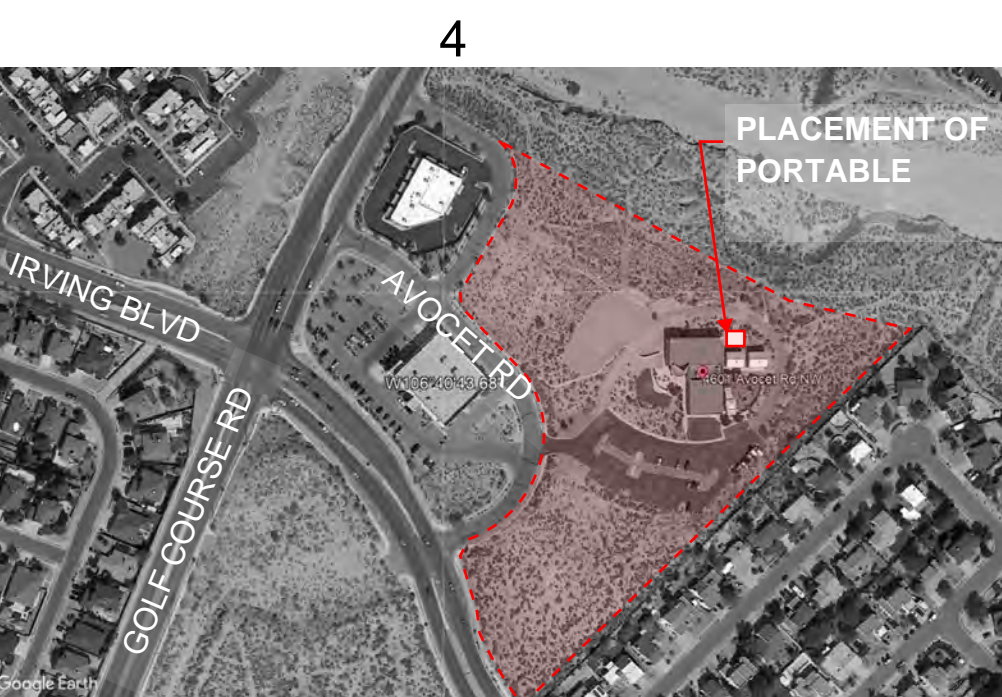
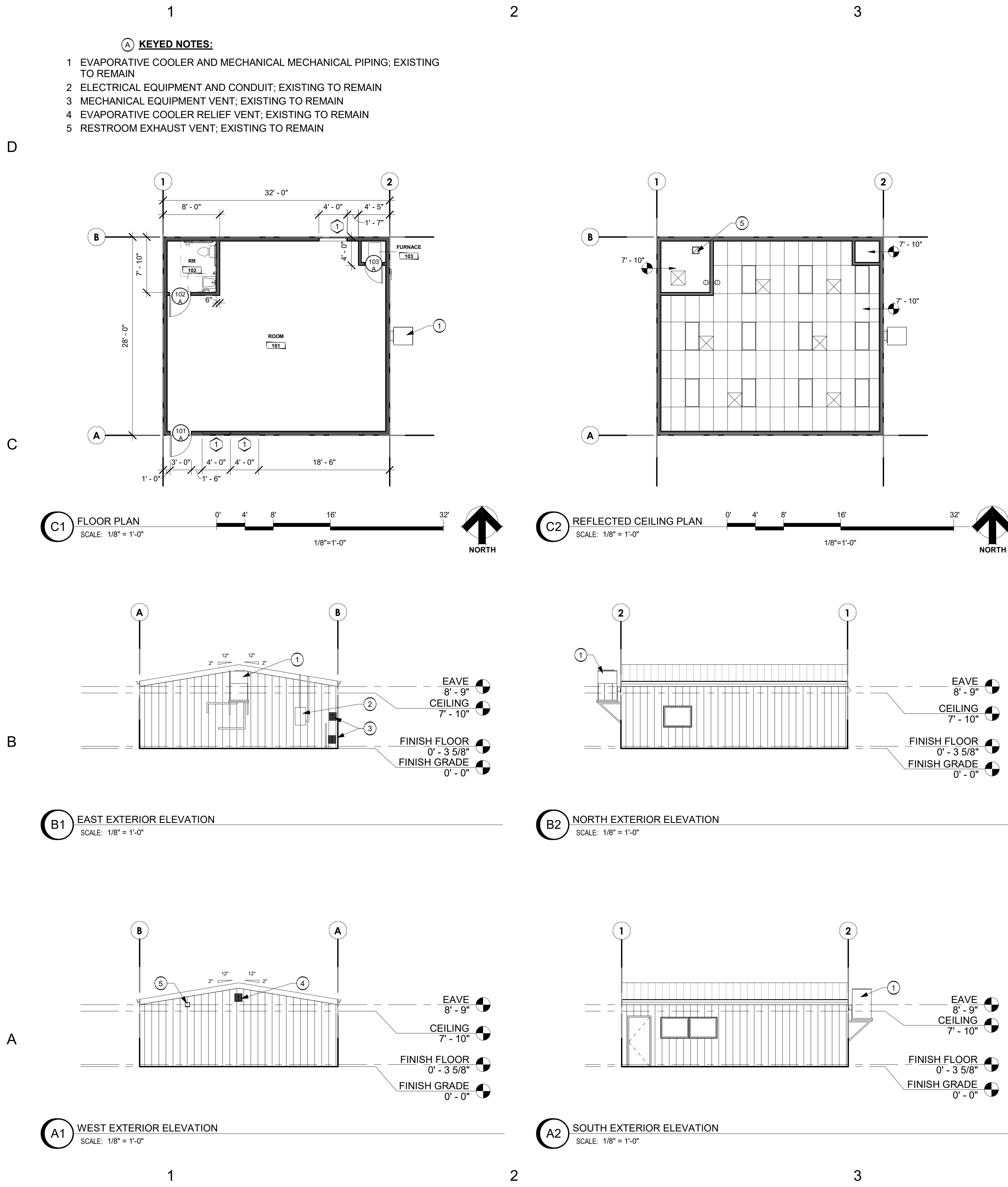


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



BUILDING CODE REVIEW:

2015 IBC INTERNATIONAL EXISTING BUILDING CODE
2015 NEW MEXICO COMMERCIAL & RESIDENTIAL BUILDING CODE ICC/ANSI A117.1 - 2009
2015 NEW MEXICO PLUMBING AND MECHANICAL CODE + 2015 UNIFORM MECHANICAL CODE (IAPMO)
2015 UNIFORM PLUMBING CODE (IAPMO)
2017 NEW MEXICO ELECTRICAL CODE
2017 NATIONAL ELECTRICAL CODE
2002 NATIONAL ELECTRICAL SAFETY CODE

1. ADDRESS: 4601 AVOCET ROAD NW, ALBUQUERQUE, NM 87114
2. SCOPE OF WORK: PLACEMENT OF EXISTING PORTABLE BUILDING ON SITE AND CONNECTION OF UTILITY SERVICES.
3. BUILDING ELEMENTS AND CONSTRUCTION CLASSIFICATION: EXISTING, UNCHANGED.
4. OCCUPANT LOAD IS EXISTING, UNCHANGED. 744 NSF/30 SF = 24.8 OCCUPANTS (25)
5. OCCUPANT TYPE: E EDUCATIONAL, UNCHANGED.

6. UNSPRINKLERED: THE BUILDING IS NOT PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM.
7. FIRE ALARM SYSTEM: NO MODIFICATIONS WILL BE MADE TO THE EXISTING FIRE ALARM SYSTEM OR ANY OTHER FIRE RELATED SYSTEM.
 1. SQUARE FOOTAGE: EXISTING 896 GSF, UNCHANGED.
8. EXITS: EXISTING EGRESS HARDWARE AT DOOR OPENING 101A.
9. PLUMBING FIXTURE COUNT REQUIREMENTS: 25 OCCUPANTS = 13 MALE AND 13 FEMALE OCCUPANTS; EDUCATIONAL OCCUPANCY E

REQUIRED: 1/50 WATER CLOSETS; 1/50 LAVATORIES; 1/100 DRINKING FOUNTAINS & 1 SERVICE SINK

PROVIDED: ONE UNISEX HC ACCESSIBLE RESTROOM W/1 WATER CLOSET AND 1 LAVATORY; FREESTANDING BOTTLED WATER DISPENSER PROVIDED; FACILITY JANITORIAL SERVICES PROVIDES SERVICES TO THE PORTABLE CLASSROOM BUILDING.

ROOM FINISH SCHEDULE

ROOM NO.	NAME	AREA	FLOOR	BASE	WALLS	CEILING
101	ROOM	758 SF	12" x 12" x 1/8" VCT	4" x 1/8" VINYL COVE	VINYL FACED 5/8" GYPSUM BOARD	2' x 4' LAY-IN ACOUSTICAL TILES
102	RR	50 SF	12" x 12" x 1/8" VCT	4" x 1/8" VINYL COVE	VINYL FACED 5/8" GYPSUM BOARD	SEMI-GLOSS PAINT 5/8" GYPSUM BOARD 7'-10" AFF; WET WALL FULL HEIGHT F.R.P.
103	FURNACE	10 SF	SHEET METAL	NONE	5/8" GYPSUM BOARD	5/8" GYPSUM BOARD 7'-10" AFF

DOOR SCHEDULE

NO.	DOOR		FRAME	HARDWARE SET
	SIZE	MATERIAL	MATERIAL	
101 A	3' - 0" x 7' - 0" x 0' - 2"	HOLLOW METAL	HOLLOW METAL	PERIMETER SEALS, 3 HINGES, LOCKSET
102 A	3' - 0" x 6' - 8" x 0' - 2"	SC WOOD	HOLLOW METAL	3 HINGES, LOCKSET
103 A	2' - 6" x 5' - 4" x 0' - 2"	SC WOOD	HOLLOW METAL	3 HINGES, LOCKSET; "NO STORAGE" SIGNAGE

WINDOW SCHEDULE

WINDOW NO.	HEIGHT	WIDTH	SILL HEIGHT	DESCRIPTION
1	3' - 0"	4' - 0"	4' - 0"	DOUBLE GLAZE WITH SCREENS
1	3' - 0"	4' - 0"	4' - 0"	DOUBLE GLAZE WITH SCREENS
1	3' - 0"	4' - 0"	3' - 0"	DOUBLE GLAZE WITH SCREENS

PLUMBING FIXTURE SCHEDULE

COUNT	DESCRIPTION	COMMENTS
1	TOILET WITH ADA CLEARANCE	EXISTING
1	ADA GRAB BARS SATIN STAINLESS STEEL 1 1/2" DIAMETER	EXISTING
1	SINGLE WALL MOUNTED LAVATORY WITH ADA CLEARANCE	EXISTING

ACCESSORIES SCHEDULE

COUNT	DESCRIPTION	COMMENTS
1	ADA GRAB BARS SATIN STAINLESS STEEL 1 1/2" DIAMETER	EXISTING
1	LIQUID SOAP DISPENSER	EXISTING
1	TISSUE PAPER DISPENSER	EXISTING
1	PAPER TOWEL DISPENSER	EXISTING

Grand total: 4

DWL ARCHITECTS
DWL ARCHITECTS & PLANNERS, INC. OF NM
202 CENTRAL AVE. S.E.
EAST COURTYARD
ALBUQUERQUE,
NEW MEXICO, 87102
PH (505) 242-6202
FAX (505) 242-4159
W.EASTMAN@DWLNM.COM

SEPTEMBER, 2022

**PORTABLE BUILDING
CHURCH ALIVE**

**4601 AVOCET ROAD NW
ALBUQUERQUE, NM 87114**

ISSUE/REVISION
No. Description Date

PROJECT NUMBER:
20-2208

CAD DWG FILE:
DWL-NM_

DRAWN BY:
S.SALAZAR

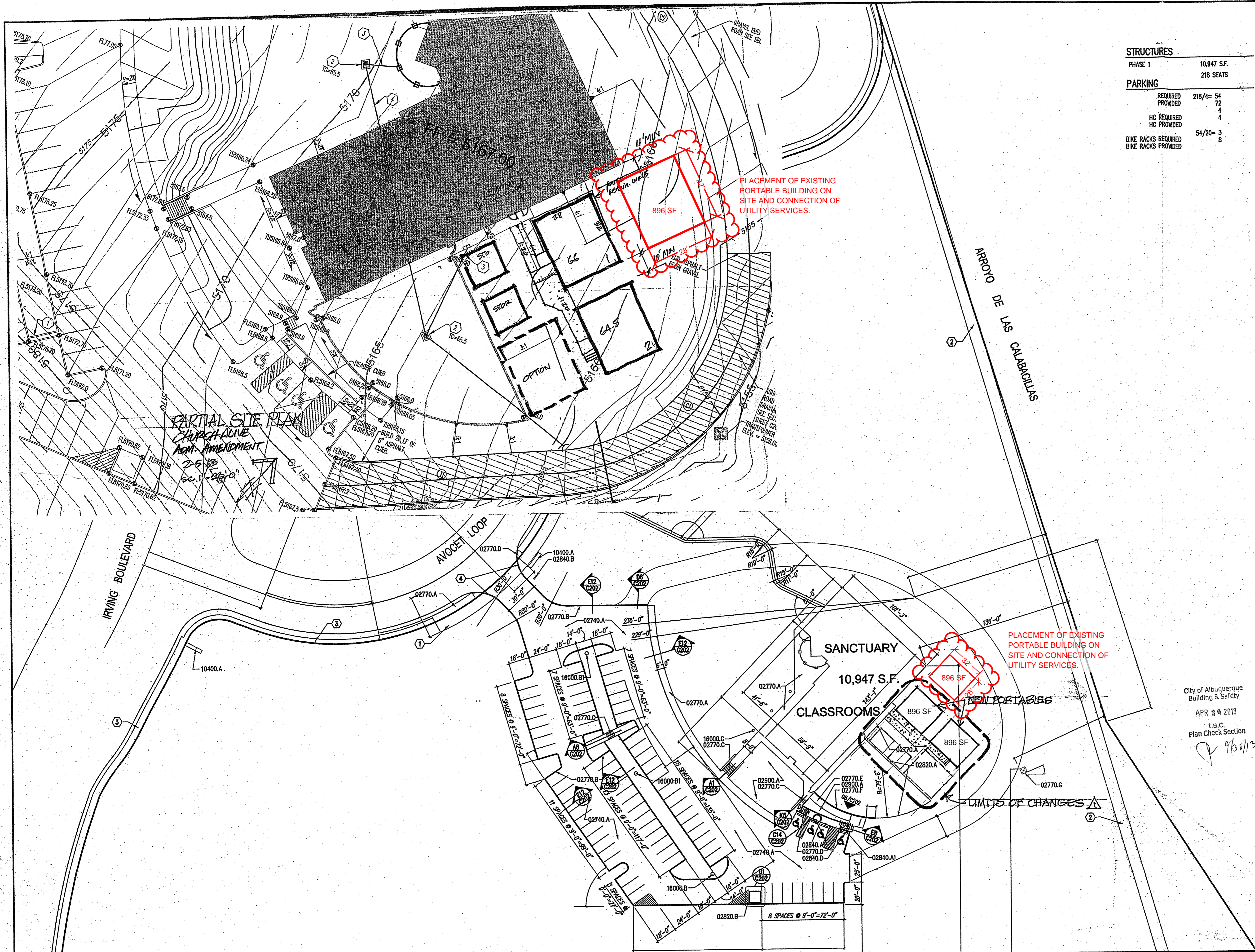
CHECKED BY:
W.EASTMAN

SHEET TITLE:
FLOOR PLAN

A101

OF SHEET

10/10/2022 1:24:50 PM



STRUCTURES

PHASE 1 10,947 S.F.
218 SEATS

PARKING

REQUIRED 218/4= 54
PROVIDED 72
4
HC REQUIRED 4
HC PROVIDED 4
BIKE RACKS REQUIRED 54/20= 3
BIKE RACKS PROVIDED 8

MATERIALS KEYING LEGEND

- 02740- ASPHALTIC CONCRETE PAVING
- A. ASPHALT PAVING
- 02770- SITE CONCRETE
- A. CONCRETE SIDEWALK
- B. CONCRETE CURB
- C. CONCRETE STAIRS
- D. CONCRETE CURB RAMP
- E. CONCRETE RAMP
- F. CONCRETE RETAINING WALL
- G. CONCRETE EQUIPMENT PAD
- 02820- FENCES AND GATES
- A. WROUGHT IRON FENCING
- B. WOOD FENCING
- 02840- WALK, ROAD, AND PARKING APPURTENANCES
- A. ACCESSIBLE SIGN
- A1. VAN ACCESSIBLE SIGN
- B. STOP SIGN
- D. PARKING BUMPER
- 02900- LANDSCAPING
- A. LANDSCAPING
- 10400- IDENTIFYING DEVICES
- A. MONUMENT SIGN
- 16000- ELECTRICAL
- B. PARKING LOT LIGHT: 16"
- B1. PARKING LOT LIGHT: 20"
- C. BOLLARD WITH LIGHT

NOTE:
DWL ANNOTATIONS
IN RED

KEYED NOTES

1. 10' PUBLIC UTILITY EASEMENT
2. EXISTING 10' PNM & M&T&T CO. EASEMENT
3. EXISTING SIDEWALK
4. NEW CURB CUT; DEMOLISH EXISTING CURB CUT

ADMINISTRATIVE AMENDMENT
 FILE # 13-10182 PROJECT # 1001720
 install 4 portable structures
 w/ option for 5th
 APPROVED BY *Manone* DATE 4/10/13

City of Albuquerque
Building & Safety
APR 30 2013
I.B.C.
Plan Check Section

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ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
115 AMHERST DRIVE SE., ALBUQUERQUE, NEW MEXICO 87106
TELE. (505) 255-8668 FAX (505) 268-6665

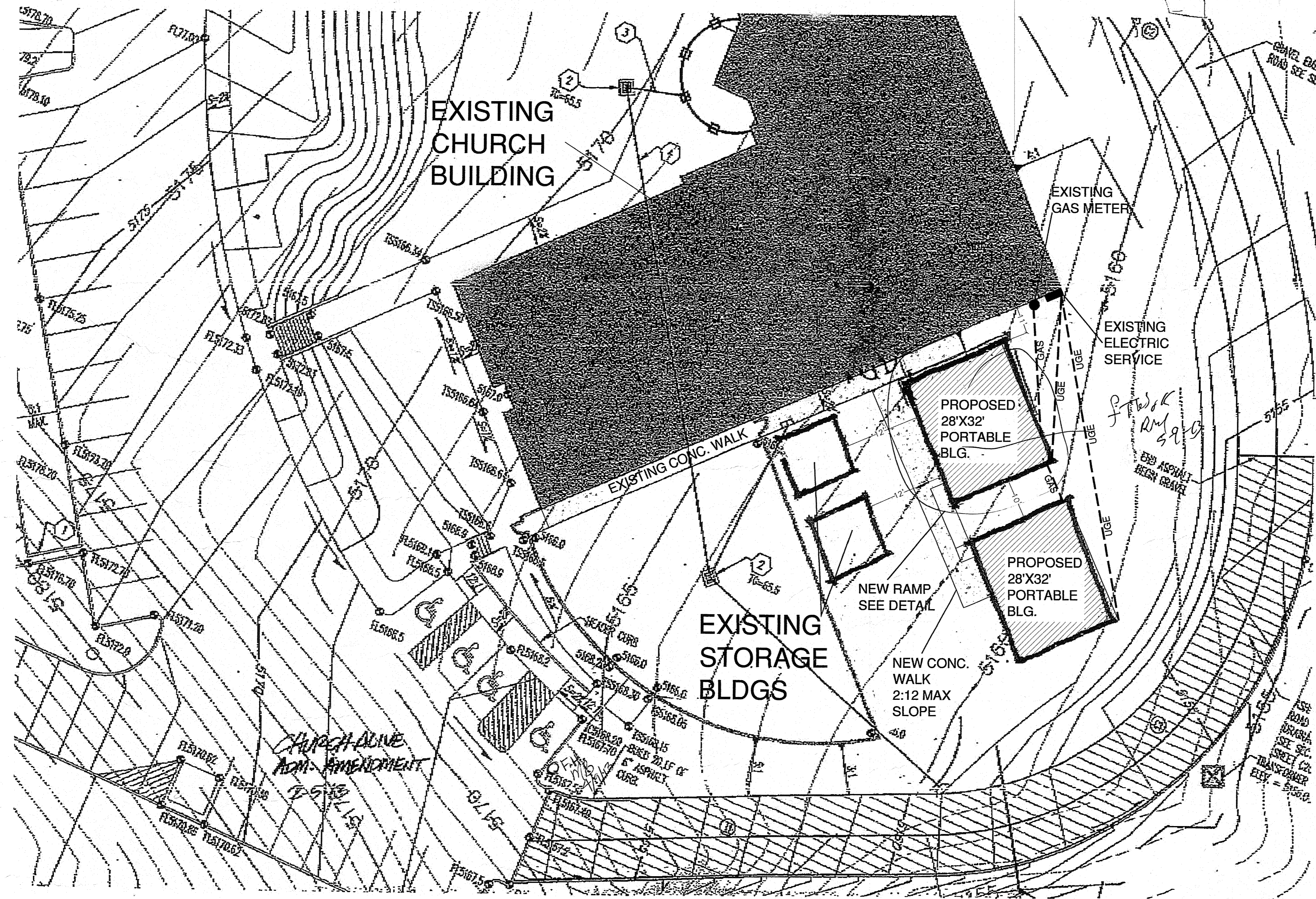


CHURCH ALIVE! - PHASE I

SITE PLAN CHANGES

REV. #	DATE	PROJECT # 02030
1	2-21-13	DWN BY: MAMP,SP1
		CHK BY: DAC
		DATE: 08-29-02

C101
OF

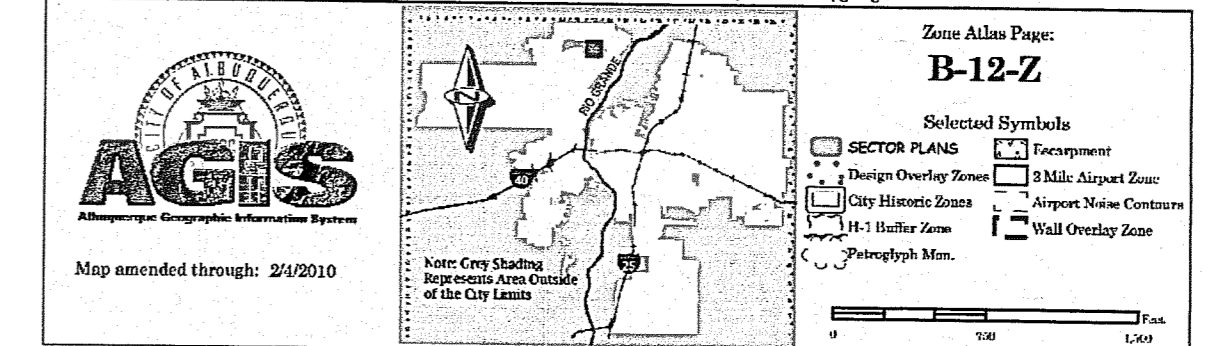
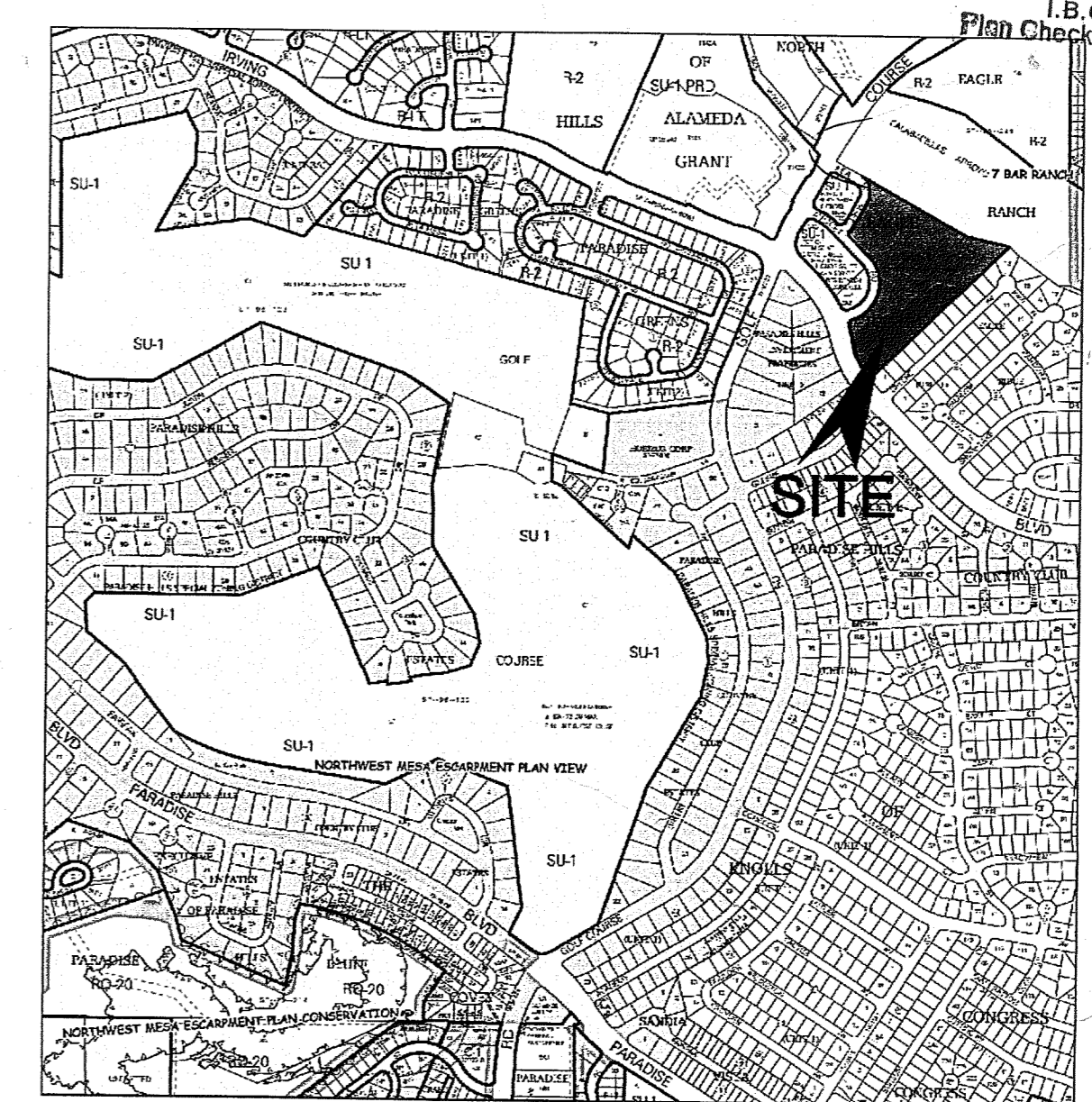


(D) PARTIAL SITE PLAN (FOR REFERENCE)
N.T.S.

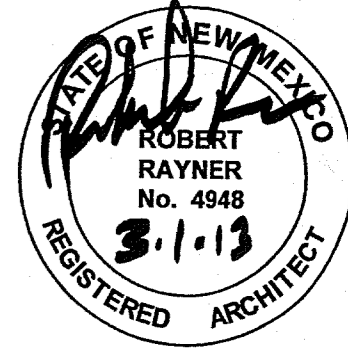
PROJECT:	PORTABLE BUILDING PLACEMENT CHURCH ALIVE 4601 AVOCET RD NW ALBUQUERQUE, NM 87114
OWNER:	CHURCH ALIVE INC. 4601 AVOCET RD NW ALBUQUERQUE, NM 87114 (505) 896-2800
ARCHITECT:	ROBERT RAYNER, ARCHITECT NM REG. #4948 730 SAN MATEO BLVD SE ALBUQUERQUE, NM 87108 505-884-9694
CONTRACTOR:	ANCHORBUILT INC. NM LIC # 81458 PO BOX 27688 ALBUQUERQUE, NM 87125 505-342-2452
BUILDING CODE:	INTERNATIONAL BUILDING CODE (IBC) 2009 NEW MEXICO BUILDING CODE (COMMERCIAL)
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-2003
SEISMIC DESIGN CRITERIA:	SITE CLASSIFICATION "D" OCCUPANCY CATEGORY II SEISMIC DESIGN CATEGORY B SEISMIC IMPORTANCE FACTOR 1.25
CONST. TYPE:	V-B
OCCUPANCY:	E
BUILDING AREA:	BUILDING 1: 896 SF BUILDING 2: 896 SF
ZONING:	SU-1
PARKING:	EXISTING AND UNCHANGED
LEGAL:	TRACT 3A1 PLAT OF TRACTS 3-A-1, 3-A-2, 3 & 3-A-4 EAGLE RANCH, CONT. 9.8359 AC ML UPC 101206545143010829

SCOPE OF WORK:
THE SCOPE OF WORK FOR THIS PROJECT INCLUDES
THE PLACEMENT OF 2 PORTABLE CLASSROOM
BUILDINGS WITH RAMPS AND STAIRS AS SHOWN.
ELECTRICAL AND GAS CONNECTION WILL BE UNDER
SEPERATE PERMIT. THIS PROJECT DOES NOT EFFECT
ADJACENT SITES. PARKING IS EXISTING AND
UNCHANGED.

City of Albuquerque
Building & Safety
MAR 26 2013

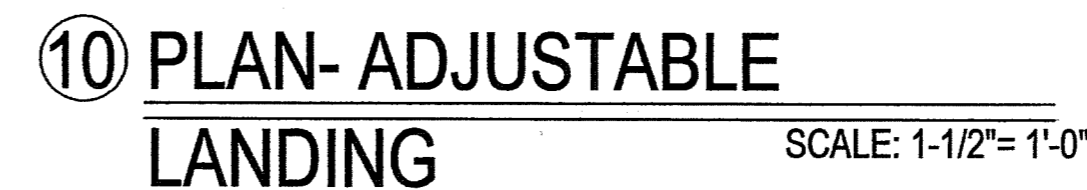
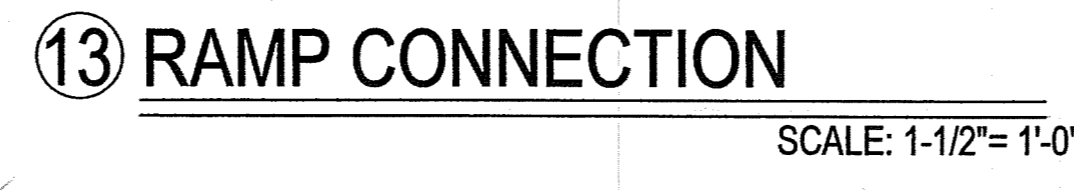


(V) VICINITY MAP
N.T.S.



R² ARCHITECTURAL DESIGN
730 SAN MATEO BLVD. SE
ALBUQUERQUE, NEW MEXICO 87108
TEL: 505.884.9694 FAX: 888.892.5814

NO.	DATE	COMMENTS
1		
2		
3		
4		
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7		
8		
9		
10		



- City of Albuquerque
Building & Safety
MAR 26 2013
I.B.C.
Plan Check Section