



Effective 3/01/2022

**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

|  |  |  |
|--|--|--|
| <b>SUBDIVISIONS</b>  | <input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2 )    | <input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2) |
| <input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)           | <input checked="" type="checkbox"/> Amendment to Site Plan (Forms P & P2)  | <input type="checkbox"/> Vacation of Public Right-of-way (Form V)      |
| <input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)             | <b>MISCELLANEOUS APPLICATIONS</b>  | <input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)   |
| <input type="checkbox"/> Extension of Preliminary Plat (Form S1)           | <input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1) | <input type="checkbox"/> Vacation of Private Easement(s) (Form V)      |
| <input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2) | <input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)  | <b>PRE-APPLICATIONS</b>  |
| <input type="checkbox"/> Minor - Final Plat (Forms S & S2)                 | <input type="checkbox"/> Temporary Deferral of S/W (Form V2)               | <input type="checkbox"/> Sketch Plat Review and Comment (Form S2)      |
| <input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)     | <input type="checkbox"/> Sidewalk Waiver (Form V2)                         | <input type="checkbox"/> Sketch Plan Review and Comment (Form P2)      |
| <b>SITE PLANS</b>  | <input type="checkbox"/> Waiver to IDO (Form V2)                           | <b>APPEAL</b>  |
| <input type="checkbox"/> DRB Site Plan (Forms P & P2)                      | <input type="checkbox"/> Waiver to DPM (Form V2)                           | <input type="checkbox"/> Decision of DRB (Form A)                      |

### BRIEF DESCRIPTION OF REQUEST

Provide new Security Fencing in several locations within the Bricklight District Parking areas. Update Parking requirement calculations to align with current IDO guidelines, Add additional parking lot lighting, and a new pole sign located at the western vehicular access off of Yale Ave.

### APPLICATION INFORMATION

|  |   |                                      |
|--|---|--------------------------------------|
| Applicant/Owner: <b>Harvard Mall Partners</b>                          |   | Phone: <b>505-243-0188</b>           |
| Address: <b>PO BOX 92560</b>   |   | Email: <b>design@rembedesign.com</b> |
| City: <b>Albuquerque</b>   | State: <b>NM</b>                              | Zip: <b>87199</b>                    |
| Professional/Agent (if any): <b>Rembe Urban Design and Development</b> |   | Phone: <b>518-364-9914</b>           |
| Address: <b>1716 Central Ave. SW</b>                                   |   | Email: <b>Design@rembedesign.com</b> |
| City: <b>Albuquerque</b>   | State: <b>NM</b>                              | Zip: <b>87104</b>                    |
| Proprietary Interest in Site: <b>Owner</b>                             | List all owners: <b>HARVARD MALL PARTNERS</b> |                                      |

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

|  |                                      |   |
|--|--------------------------------------|---|
| Lot or Tract No.: <b>Lots 6-10, 17-21 Block 1 University Heights</b> | Block:                               | Unit:   |
| Subdivision/Addition:  | MRGCD Map No.:                       | UPC Code:                                     |
| Zone Atlas Page(s): <b>K-15-Z</b>                                    | Existing Zoning: <b>PD</b>           | Proposed Zoning <b>No Change</b>              |
| # of Existing Lots: <b>15</b>  | # of Proposed Lots: <b>no change</b> | Total Area of Site (Acres): <b>1.79 acres</b> |

### LOCATION OF PROPERTY BY STREETS

|  |                                  |                                |
|--|----------------------------------|--------------------------------|
| Site Address/Street: <b>115 Harvard Dr. SE</b> | Between: <b>Yale and Harvard</b> | and: <b>Central and Silver</b> |
|--|----------------------------------|--------------------------------|

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

**Project Number 1004927, from August 17, 2006**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

|   |   |
|---|---|
| Signature:  | Date: <b>10/11/2022</b>   |
| Printed Name: <b>Kenneth Myers, Architect, Rembe Urban Design + Development</b> | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

### ☐ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

### ☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

### ☐ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ The approved Site Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☒ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ The approved Site Development Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- ☒ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

### ☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

### ☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
  - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

### ☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

City of Albuquerque  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102

**RE: Agent Authorization Notice- Bricklight District- 143 Harvard Dr. and Associated Properties**

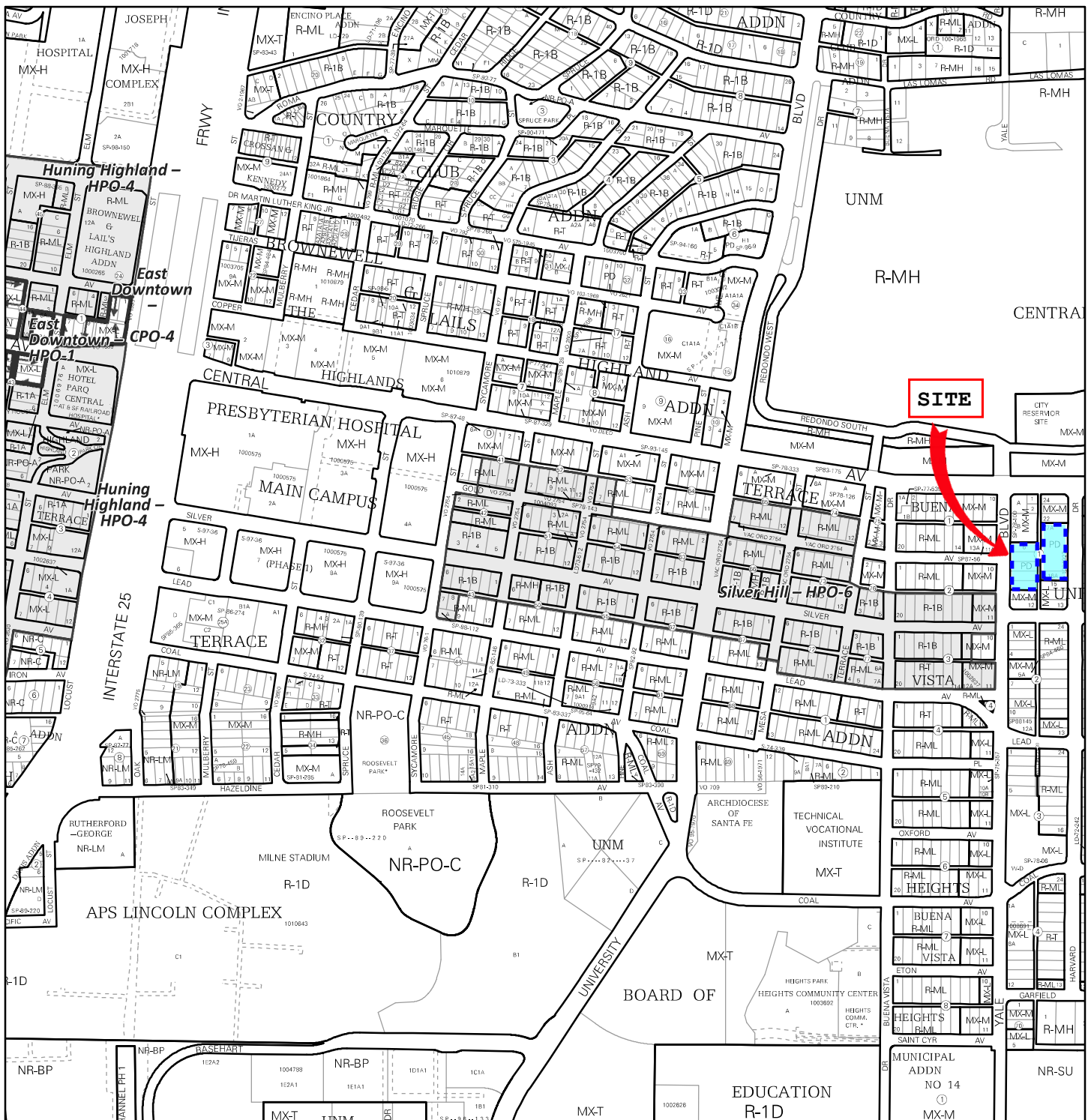
To Whom it may concern,

Harvard Mall Partners, c/o Jay Rembe, hereby authorize Kenneth Myers, Registered Architect with Rembe Urban Design and Development, to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the properties associated with the Bricklight District, located at 143 Harvard Dr. SE and legally described as LOTS 6-10, 17-21, BLOCK 1 UNIVERSITY HEIGHTS. This authorization is valid until further written notice from Harvard Mall Partners or Kenneth Myers, of Registered Architect with Rembe Urban Design and Development (Agent). Please direct all correspondence and communication to our Agent for the purposes of this request for Administrative Amendment.

Sincerely,

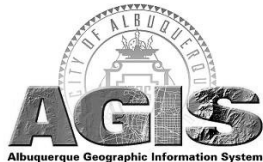


Harvard Mall Partners  
c/o Jay Rembe  
PO BOX 92560  
Albuquerque, NM 87199  
Phone: 505-453-7164  
Email: rembe@rembedesign.com

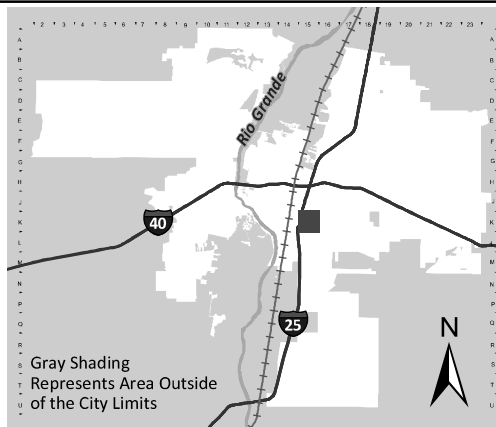


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**K-15-Z**

- Easement
  - Escarpment
  - Petroglyph National Monument
  - Areas Outside of City Limits
  - Airport Protection Overlay (APO) Zone
  - Character Protection Overlay (CPO) Zone
  - Historic Protection Overlay (HPO) Zone
  - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet



# REMBE

urban design + development

October 11, 2022

City of Albuquerque Planning Department- Development Services  
600 2nd St NW, Albuquerque, NM 87102

RE: Minor Amendment to Site Development Plan-Project Number 1004927, from August 17, 2006

We respectfully submit the following information and attached documentation for your review and comment.

**Project Goals:**

The purpose of this Minor amendment is to improve security, and to help control access throughout the existing site. In addition, we request an update to the existing parking requirements from pre-IDO standards to the minimum standards set forth in the current edition of the IDO. Updated calculations have been included on sheet AA001 for review and approval.

The amendment includes the following new construction:

1. Proposes a new 6'-0" tall Design Master (see attached Cut Sheet) security fence along the alley way located just west of the Bricklight Courtyard Apartments. See Site Plan for location. This fence height is allowed under the IDO table 5-7-1 under Standard Wall Heights 'Walls in other locations' in a Mixed-use zone.
2. Proposes new 6'-0" tall Design Master security fence on the east side of the existing 36" tall stucco wall along Yale. See Site plan for location. The proposed fence height is not allowed per the IDO table 5-7-1 under Standard Wall Heights "Wall in the front yard or street side yard" in a Mixed-use zone. As such we have submitted a request for variance for this location. See associated Project Number PR-2022-007708.
3. Proposes a new post sign consistent with the IDO requirements for the vehicular access point on Yale Ave. Sign to be a maximum of 26'-0" tall.
4. Proposes (2) new light posts at the center of the parking lot in order to increase site visibility and security after dark. The proposed light posts and string lighting shall conform to the requirements set forth in the current version of the IDO section 14-16-5-8 Outdoor and Site Lighting. See submitted plan for locations.

The requested revisions represent less than a 10% change to the parking lot, as is required by Table 6-4-4 of the IDO, require no major public infrastructure changes, and meet all other requirements set forth in IDO section 6-4-Z-1.

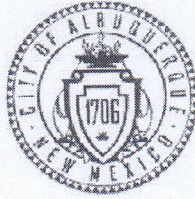
Please feel free to contact me with any questions or concerns,

Thank you for your time,  
Best regards,



Kenneth Myers, Architect  
Rembe Urban Design + Development  
1716 Central Ave. SW  
Albuquerque, NM 87104





City of Albuquerque  
Planning Department  
Development Review Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: August 18, 2006

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004927**  
06EPC-00765 Sector Development Plan Zone  
Map Amendment  
06EPC-00777 Site Development Plan for  
Building Permit

Harvard Mall Partners  
P.O. Box 1404  
Albuq. NM 87103

**LEGAL DESCRIPTION:** for all or a portion of Block 1, Lots 6-10 and 16-21, **University Heights Addition**, a zone map amendment from SU-2/UC & SU-2/R3C to SU-2/SU-1 for a Mixed Use Development, located on HARVARD DR. SE, between CENTRAL AVE. SE and SILVER AVE. SE, containing approximately 2 acres. (K-16) Stephanie Shumsky, Staff Planner

On August 17, 2006 the Environmental Planning Commission voted to approve Project 1004927/06EPC-00765, an sector plan map amendment, for Block 1, Lot(s) 6, 7, 8, 9, 10, 16, 17, 18, 19, 20 and 21, University Heights Addition, from SU-2/RC3 and SU-2/UC to SU-2/SU-1 for a Mixed Use Development, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This request is for a University Heights Sector Development Plan map amendment to change the zoning for an approximately 1.8-acre site, located on Harvard Drive between Central Avenue and Silver Avenue SE, known as Block 1, Lots 6-10 and 16-21, University Heights Addition, from SU-2/UC and SU-2/R3C to SU-2/SU-1 for Mixed Use Development.
2. This request is accompanied by a request for approval of a site development plan for building permit (06EPC-00777) for the development of up to 46 dwelling units (31,000 square feet of residential space) and 7,200 square feet of commercial space.
3. The requested zoning and the existing zoning are similar with regard to allowed uses and both further the goals of the University Heights Sector Development Plan.
4. The request is found to be justified per R-270-1980:



- A. The proposed zone change is found to be consistent with the health, safety, morals, and general welfare of the city because it does not allow uses that are considered harmful and it furthers several applicable goals and policies.
- B. The applicant's justification hinges on the accompanying site development plan for building permit, which is not in itself basis of justification for the change. There is both neighborhood support and opposition for the proposed zoning, which is less intense than the existing zoning. The general land use will remain stable since the proposed and existing zoning allow similar uses.
- C. A proposed change is not in significant conflict with adopted elements of the Comprehensive Plan or other City master plans and furthers several policies of applicable plans (University Heights Sector Development Plan).
- D. The applicant demonstrated that the existing zoning is inappropriate for the development as proposed in an accompanying site development plan for building permit. The applicant did not unequivocally demonstrate that the existing zoning is no longer appropriate for development in general. However, evidence was provided in the form of a letter of support from the University Heights Neighborhood Association, which indicates that the proposed zoning may be more appropriate for the neighborhood because of the restriction of uses. In addition, the following City goals and policies were cited by the applicant as being furthered by this request:
  - 1. Central Urban Area policy b because the proposed development will replace older housing with modern buildings that have more efficient floor plans and will provide a transition between the higher-intensity uses along Central Avenue and the single-family residential uses to the south.
  - 2. Established Urban Area:
    - a. Policy d is furthered because the project has some neighborhood support.
    - b. Policy i is furthered because the proposed development will not adversely affect adjacent residents and the proposed mix of uses provides a transition from the commercial uses along Central Avenue to the residential uses south of the subject site.
    - c. Policy l is furthered because the proposed building layout, design and architecture are unique yet appropriate to the plan area.
    - d. Policy o is furthered because the subject site is located in an older neighborhood and the proposed redevelopment complies with many elements of the governing sector plan and goals and policies of the Comprehensive Plan and there is support from the surrounding University Heights Neighborhood Association.
    - e. Policy p is furthered because of the proposed improvements to the public infrastructure that will result from this project at no cost to the City.
    - f. Air Quality policy b is furthered because the subject site is located in close proximity to transit and a bike route. The proposed uses will not contribute to air pollution and will not create a land use/air quality conflict.
    - g. Transportation and Transit policy c is furthered because of the site's close proximity to the City's Rapid Ride bus route and other transit routes.



- h. Housing policy b is furthered because the proposed dwelling units will be innovative in their design and the construction materials are of a high quality (brick, metal, stucco, etc.).
    - i. The applicant did not cite the Economic Development goal and policies a, b, and g. This goal and these policies apply but are furthered more by the zoning than the proposed zoning because the existing zoning allows for a wider range of land uses and economic opportunities.
  - E. The uses proposed with this zoning are generally not considered harmful to adjacent property, the neighborhood, or the community.
  - F. The proposed zone change and subsequent development resulting from it will not require the expenditure of unprogrammed capital funds.
  - G. The cost of land and other economic considerations are a major factor driving this request.
  - H. The site's proximity to Central Avenue is one aspect of the justification but it is not the sole reason for the request.
  - I. This request will not create a spot zone.
  - J. This zone change will not create a strip zone.
5. The University Heights Neighborhood Association, Sycamore Neighborhood Association, Silver Hill and Spruce Park Neighborhood Associations as well as property owners within 100' of the subject site were notified of this request. A facilitated meeting was held on Friday July 7, 2006. The subject site is entirely within the University Heights Neighborhood Association Boundary and a letter of support was received from them. There is opposition to this request from some area residents.

#### CONDITIONS:

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
- 3. This sector plan amendment shall not set a precedent for future sector development plan map amendments in compliance with the neighborhood residents' request.
- 4. The subject site shall be replatted to ensure that lot lines correspond to the zone lines.



5. The retailing of alcoholic drinks shall be deleted as a use within the zoning designated for the subject site.
- 

On August 17, 2006 the Environmental Planning Commission voted to approve Project 1004927/06EPC-0777, a site development plan for building permit, for Block 1, Lot(s) 6, 7, 8, 9, 10, 16, 17, 18, 19, 20 and 21, University Heights Addition, zoned SU-2/SU-1 for a Mixed Use Development, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This request is for a site development plan for building permit for an approximately 1.8-acre site, zoned SU-2/SU-1 for Mixed Use Development for Block 1, Lots 6-10 and 16-21, University Heights Addition, located on Harvard Drive between Central Avenue and Silver Avenue SE.
2. This request is accompanied by a sector development plan map amendment request (06EPC-00765).
3. The proposed development consists of up to 46 one-bedroom and two-bedroom apartment dwelling units (31,000 square feet) above 7,200 square feet of commercial space.
4. This request furthers the Central Urban Area policy b because the proposed development will replace older housing with modern buildings that have more efficient floor plans and will provide a transition between the higher-intensity uses along Central Avenue and the single-family residential uses to the south.
5. This request furthers or partially furthers the Established Urban Area goal and policies:
  - a. The goal is partially furthered because the proposed development is of a quality design and the structures are of high quality materials. The development will provide high-density housing adjacent to a major transit corridor and within an activity center.
  - b. Policy a is furthered because the site plan will both allow and provide for a full range of land uses that will complement existing uses in the area.
  - c. Policy d is partially furthered because the project has some neighborhood support.
  - d. Policy h is partially furthered because higher density housing is appropriate at the subject site. However, the existing zoning already allows for higher density housing up to 30 DUs/acre.
  - e. Policy i is furthered because the proposed development will not adversely affect residents and the proposed mix of uses provides a transition from the commercial uses along Central Avenue to the residential uses south of the subject site.
  - f. Policy j is furthered because the subject site is located in an existing commercially zoned area.
  - g. Policy l is furthered because the proposed building layout, design, and architecture are unique yet appropriate to the plan area.



- h. Policy o is furthered because the subject site is located in an older neighborhood and the proposed redevelopment complies with many elements of the governing sector plan and goals and policies of the Comprehensive Plan and there is support from the surrounding University Heights Neighborhood Association.
  - i. Policy p is furthered because of the proposed improvements to the public infrastructure that will result from this project at no cost to the City.
- 2. The Air Quality goal and policies b, d, and i are furthered because the subject site is located in close proximity to transit and bike routes. The proposed mixed-use development will provide area residents with commercial, retail, and service uses while providing additional housing options. The mix of uses will not contribute to air pollution and will not create a land use/air quality conflict.
- 3. The Noise goal and policies a and b are partially furthered. The proposed courtyard design and the addition of landscaping in the public courtyards will enhance the environment and provide some noise mitigation. The applicant should include insulation and double or triple pane windows to further reduce any potential land use/noise conflicts.
- 4. The Historic Resources policy b will be furthered by this request if the applicant completes a historic resources inventory. The applicant should contact the City's Historic Preservation Planner for guidance.
- 5. The Developed Landscape goal is furthered because the proposed architecture contributes to the quality of the existing architecture. Policy d is not furthered because the landscaping plan is very deficient. This policy will be furthered by the provision of the required landscaping as recommended in the conditions of approval.
- 6. The Community Identity and Urban Design goal is not furthered by this request because the development does not preserve the built or historical features of the subject site. Policy d is partially furthered because the proposed development is designed to foster walking by area residents and encourages the use of bicycles and mass transit. The addition of landscaping in the public courtyard areas, as recommended as a condition of approval, will further enhance the street and contribute to the furtherance of this policy.
- 7. The Transportation and Transit goal and several policies are furthered or partially furthered by this request:
  - a. The goal is furthered because the proposed uses are placed in close proximity to Central Avenue and are accessible by various modes of transit.
  - b. Policy a (Table 11) is partially furthered because the development provides an appropriate design and land uses appropriate to a major transit corridor. The proposed density (approximately 50+ dwelling units/acre) does not further this policy. Policy a calls for densities between 10-35 DUs/acre. According to this policy, the proposed density is too high.



- c. Policies c and o are furthered because of the site's close proximity to the City's Rapid Ride bus route and other transit routes and peak hour transportation demands may be reduced.
  - d. Policy g is partially furthered because the proposed development is integrated into the existing pedestrian routes adjacent to and through the site. A recommended condition will require the proposed pedestrian walkway be extended through the parking area to Yale Boulevard in compliance with sector plan and zoning code requirements.
8. The Housing goal and policy a are partially furthered by these requests because additional housing options will be available for area residents. However, it is not clear from the application if the units will be considered affordable. Policy b is furthered by this request because the dwelling units will be innovative in their design and the construction materials are of a high quality (brick, metal, stucco, etc.).
9. The Economic Development goal and policies a, b, and g are furthered more by the existing development and zoning than the proposed development because the existing zoning allows for a wider range of land uses and economic opportunities.
10. The Water Management goal and policy a are not furthered because the site plan does not demonstrate that any water management techniques are utilized.
11. The Energy Management goal and policies a, b, and c are not furthered because the site plan does not demonstrate that any energy management techniques are utilized.
12. This request generally complies with the University Heights Sector Development Plan. The recommended conditions of approval will bring the plan into greater compliance.
13. This request generally complies with Zoning Code regulations. The recommended conditions of approval will bring the plan into greater compliance.
14. The University Heights Neighborhood Association, Sycamore Neighborhood Association, Silver Hill and Spruce Park Neighborhood Associations as well as property owners within 100' of the subject site were notified of this request. A facilitated meeting was held on Friday July 7, 2006. The subject site is entirely within the University Heights Neighborhood Association Boundary and a letter of support was received from them. There is opposition to this request from some area residents.



**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. As per the University Neighborhood Sector Development Plan (pg.77), this site development plan for building permit will be void two years after approval unless building permits for the structures have been issued. The Planning Director may give one-six month extension to each two-year approval. This extension may be given without public notice or hearing but the Planning Director shall record it in the file. Extension may be given when the Planning Director finds that a building permit for all or a major part of the approved development will probably be obtained within six months and that there is no public purpose in holding a hearing on the site development plan prior to such extension.
4. Replatting of the subject site shall be a concurrent DRB action.
5. The applicant shall conduct a Historic Inventory of the existing structures. The applicant shall contact the City's Historic Preservation Planner to determine the requirements and procedure for conducting the inventory. The inventory may include photographing and documenting the existing structures for community archival purposes.
6. In order to comply with minimum Zoning Code Regulations and University Heights Sector Development Plan requirements, the applicant shall address the following parking lot deficiencies prior to DRB submittal:
  - a. The parking lot shall comply with all Zoning Code Regulations (O-1 zone Parking Lot Regulations, Landscape Regulations and Off-Street Parking Regulations) and University Heights Sector Development Plan Regulations.
  - b. Provide a detail of the 3-foot screen wall adjacent to the parking area along Yale Boulevard (#45 on Sheet A001).
  - c. A minimum 5-foot wide landscape buffer is required to separate the parking lot from the public sidewalk and 1 tree every 20' is required to be planted (*Staff note: 25' is acceptable for healthy growth and so as to be consistent with other City requirements*). Barriers shall be placed in the parking lot to prevent destruction of the landscape area (SDP requirement).
  - d. The pedestrian walkway at the south end of the project (on lot 6) shall extend through the parking lot and shall connect to the public sidewalk adjacent to Yale Boulevard.



OFFICIAL NOTICE OF DECISION

AUGUST 17, 2006

PROJECT #1004927

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- e. Parking spaces must be 8.5' x 20' minimum except those with a designated concrete planter may be 8.5' x 16'.
7. Landscape Plan deficiencies to be addressed by the applicant prior to DRB submittal:
- a. The Landscaping Plan (Sheet L101) approved by the EPC is final. Changes to the Plan are through the administrative amendment process, or if the changes are significant, are through the EPC process.
  - b. 27 trees are required in order to comply with minimum Zoning Code requirements for multi-family development. The site plan shows that 17 trees are provided. 6 additional trees are required per EPC.
  - c. Replace Modesto Ash with low allergen species of similar size and spread.
  - d. Parking lot trees are required at a rate of 1 tree/10 parking spaces. Planters must be a minimum of 36 sf. in a raised or buried Planters are acceptable.
  - e. Revise the landscape calculations to include Lots 6-10.
  - f. The Landscape Calculations must be revised to reflect the total site area as 1.76 acres as identified in the site plan. Site landscaping is required to comply with Zoning Code requirements. The required amount of landscaping, street trees, groundcover, parking lot trees and other site trees and vegetation as required by the Zoning Code and University Heights Sector Development Plan is required.
  - g. Street trees are required along Yale Boulevard at a rate of one tree per 25 to 30 feet. Several street trees exist already. The applicant shall replace any diseased or dead street trees and ensure spacing of new trees every 25 to 30 feet on-center.
  - h. Street trees shall and landscaping shall be as mature at planting as possible.
8. Drainage Plan deficiencies to be addressed by the applicant prior to DRB submittal:
- a. Include and identify all lots involved in this request.
  - b. Identify all existing and proposed easements. The proposed 8' wide pedestrian easement is not identified on the plan.
9. Utility Plan deficiencies to be addressed by the applicant prior to DRB submittal:
- a. Include and identify all lots involved in this request.
  - b. Identify all existing and proposed fire hydrants.
  - c. Include standard Utility Plan notes/description and a legend.
10. The residential square footage shall be limited to the proposed 33,4000 square feet and the number of dwelling units is limited to a total of 46.
11. Recycling bins shall be provided for residents and/or other recycling options shall be available.
12. The applicant shall demonstrate how the Water Management Goal, Section II.D.2 of the Comprehensive Plan, is furthered. A note on the site plan describing water management/water harvesting techniques or lack thereof shall suffice.



OFFICIAL NOTICE OF DECISION  
AUGUST 17, 2006  
PROJECT #1004927  
PAGE 9 OF 10

13. The applicant shall demonstrate how the Energy Management Goal, Section II.D.3 of the Comprehensive Plan, is furthered. A note on the site plan describing energy management techniques or lack thereof shall suffice.
14. Conditions from the City Engineer, Municipal Development, Water Authority and NMDOT:
  - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
  - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
  - c. The Developer will need to provide additional right-of-way to accommodate a 20' wide alley (City Standard). The requirement can be up to 4'.
  - d. Site plan shall comply and be designed per DPM Standards.
15. Provide additional motorcycle parking and handicap parking spaces where appropriate.
16. 6 foot walkways shall be provided adjacent to buildings instead of the 5 feet.
17. Pavers shall be used instead of striping to indicate HC parking areas.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **SEPTEMBER 1, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC's RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC's DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.



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AUGUST 17, 2006  
PROJECT #1004927  
PAGE 10 OF 10

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

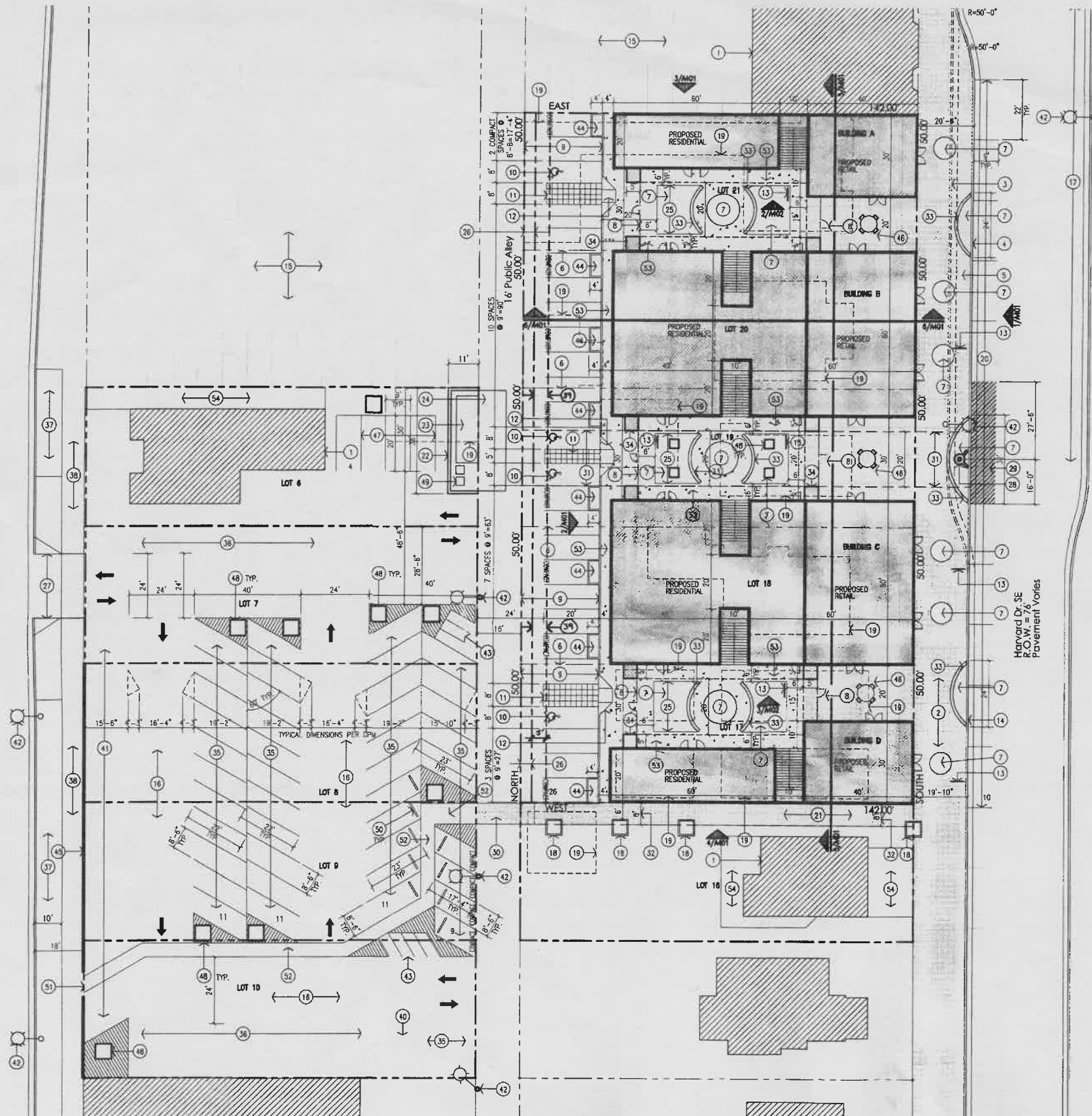
Sincerely,

*for* *CMarone*  
Richard Dineen  
Planning Director

RD/SS/ac

cc: Consensus Planning, 302 8<sup>th</sup> St. NW, Albuquerque, NM 87102  
Danny Hernandez, University Heights, 402 Harvard SE, Albuquerque, NM 87106  
Ben Roberts, University Heights, 315 Harvard SE, Albuquerque, NM 87106  
John Gates, 219 1/2 Cornell SE, Albuquerque, NM 87106  
Gordon Reiselt, P.O.Box 40012, Albuquerque, NM 87106  
Bill Cobb, 1701 Silver SE, Albuquerque, NM 87106  
Mardon Gardella, 4114 Maple St. NE, Albuquerque, NM 87106  
Don Hancock, 324 B Harvard SE, Albuquerque, NM 87106





**Site Plan for Building Permit**  
Scale: 1" = 20'-0"



**PARKING CALCULATIONS:**

PARKING REQUIRED:  
7,200 SF. RETAIL  
1 PER 300 SF. PER UIC ZONE  
7,200/300 = 24 SPACES REQUIRED

34,700 SF. RESIDENTIAL UNITS  
1 PER 600 SF. PER R3C ZONE  
33,400/600 = 56 SPACES REQUIRED

80 TOTAL SPACES REQUIRED  
LESS 10% REDUCTION AS PROJECT IS WITHIN  
300' OF TRANSIT ROUTE = 72 SPACES REQUIRED

PARKING PROVIDED:  
28 SPACES ARE PROVIDED OFF OF ALLEY.  
LOTS 17,18,19,20.  
48 SPACES PROVIDED AND DESIGNATED IN  
ADJACENT PARKING LOT. LOTS 6,7,8,9,10.  
72 TOTAL SPACES PROVIDED

ADDITIONAL REQUIREMENTS:  
4 HC ACCESSIBLE SPACES AND 3 MOTORCYCLE  
SPACES REQUIRED PER C.O.A. REQUIREMENTS.  
4 HC ACCESSIBLE SPACES PROVIDED OFF OF ALLEY  
7 MOTORCYCLE SPACES PROVIDED IN ADJACENT LOT.

**COMPREHENSIVE PLAN WATER MANAGEMENT**

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES  
THAT WILL ENFORCE THE COMPREHENSIVE PLAN:  
A. WATER HARVESTING THAT CHANNELS STORM  
WATER FROM HARD SURFACES TO LANDSCAPE AREAS.  
B. LOW WATER USE LANDSCAPING.  
C. COMPLY WITH STORM WATER RUN-OFF PLAN, AND  
D. LOW-FLOW WATER CLOSETS AND SHOWER HEADS IN  
ALL RESIDENTIAL UNITS.

**GENERAL NOTES:**

- SITE LIGHTING WILL BE PROVIDED BY THE FOLLOWING:  
- RECESSED HIO FLUORESCENT DOWN LIGHTS ALONG RETAIL FRONTAGE.  
- SHIELDED HIO METAL HALIDE WALL PACKS AT WEST SIDE OF PROJECT AND AT PEDESTRIAN WALKWAY.  
- COMPACT FLUORESCENT STEP LIGHTS AT RAISED PLANTERS AT COURTYARDS AND AT PEDESTRIAN WALKWAY.  
- LOW WATTAGE LANDSCAPE LIGHTING IN THE COURTYARDS.  
- DECORATIVE FIXTURE ADJACENT TO EACH RESIDENCE DOOR.
- CURRENT PARKING IN LOTS 6,7,8,9,10 ARE COMPRISED OF 63 PAD PARKING SPACES AND 19 REQUIRED SPACES FOR ADJACENT BUSINESSES. 46 OF THE 63 PAD PARKING SPACES WILL BE DESIGNATED FOR REQUIRED OFF STREET PARKING FOR THE PROPOSED DEVELOPMENT. 7 MOTORCYCLE SPACES WILL BE ADDED. ANY FUTURE DEVELOPMENT OF THESE LOTS WILL REQUIRE THESE 48 DESIGNATED SPACES TO BE ACCOMMODATED ELSEWHERE AS REQUIRED BY THE CITY OF ALBUQUERQUE.
- THE RESIDENTIAL SQUARE FOOTAGE SHALL BE LIMITED TO 33,400 NET SQUARE FEET AND THE NUMBER OF DWELLING UNITS IS LIMITED TO A TOTAL OF 46.

**KEYED NOTES:**

- EXISTING BUILDING TO REMAIN.
- EXISTING BRICK SIDEWALK TO REMAIN.
- EXISTING CURB AND GUTTER TO BE REMOVED PER CITY WORK ORDER.
- PROPOSED CITY STANDARD CURB AND GUTTER PER CITY WORK ORDER.
- PROPOSED BRICK SIDEWALK TO MATCH EXISTING.
- EXISTING PROPERTY LINE TO BE DELETED BY REPLAT.
- PROPOSED LANDSCAPED AREA.
- PROPOSED WROUGHT IRON GATE.
- NEW ASPHALT PAVING TO BE LEVEL WITH ALLEY PAVING. SEE GRADING AND DRAINAGE PLAN.
- PROPOSED HANDICAP ACCESSIBLE PARKING.
- PROPOSED SCORED CONCRETE HANDICAP ACCESSIBLE ACCESS AISLE.
- PROPOSED HANDICAP ACCESSIBLE RAMP.
- PROPOSED BIKE RACK LOCATION. 6 SPACES PER RACK.
- EXISTING CITY CURB TO REMAIN.
- EXISTING PARKING LOT TO REMAIN. NOT A PART OF THIS PROJECT.
- EXISTING PARALLEL AND METERED PARKING TO REMAIN.
- PROPOSED 6"x6"x2" HIGH RAISED BRICK LANDSCAPE PLANTER WITH RECESSED FLUORESCENT STEP LIGHTING TYPICAL OF 3 EACH.
- EXISTING BUILDING TO BE REMOVED.
- NEW PARALLEL AND CITY METERED PARKING SPACES. PARKING METERS TO BE RELOCATED PER CITY WORK ORDER.
- NEW 8" WIDE BRICK PEDESTRIAN CONNECTION FROM EXISTING PARKING LOT TO HARVARD DRIVE.
- 8" HIGH CURB COMPACTOR ENCLOSURE. STUCCO TO MATCH PROPOSED BUILDINGS. SEE 6/AA02.
- SELF-CONTAINED REFUSE COMPACTOR ON WHEEL GUIDES. PROVIDED BY OWNER.
- 10' WIDE x 6" THICK CONCRETE APRON.
- LINE OF PROPOSED WALKWAY ABOVE.
- ADDITIONAL 4' RIGHT-OF-WAY DEDICATED TO ALLEY BY REPLAT.
- EXISTING CURB CUT, DRIVEWAY AND HANDICAP RAMPS TO REMAIN.
- NEW FIRE HYDRANT FED BY 6" LINE IN PUBLIC ALLEY.
- NEW FIRE LANE ACCESS. 4" STRIPING TO BE RED. ADJACENT CURB TO BE PAINTED RED WITH WHITE LETTERING TO READ "FIRE LANE NO PARKING".
- RAISED 8" WIDE PEDESTRIAN CONNECTION ACROSS ALLEY. PER CITY WORK ORDER.
- NEW 20" WATER UTILITY EASEMENT.
- NEW 8" PEDESTRIAN ACCESS EASEMENT.
- 16" HIGH BRICK SEATWALL WITH RECESSED FLUORESCENT STEP LIGHTING. TYPICAL OF 3 AT EACH SEATWALL.
- BRICK PLASTER AT GATE LOCATIONS. TYPICAL.
- EXISTING PAD PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT.
- TOTAL OF 42.
- EXISTING SPACES REQUIRED BY EXISTING BUSINESSES TO REMAIN.
- EXISTING LANDSCAPE AREA.
- EXISTING CITY SIDEWALK.
- NEW 6" WIDE 5' PUBLIC WATERLINE AND SEWERLINE EASEMENT.
- EXISTING DUMPSTER ENCLOSURE.
- PAID PARKING SPACES TO REMAIN.
- EXISTING UTILITY POLE TO REMAIN.
- NEW 4"x10" MOTORCYCLE PARKING-7 TOTAL.
- CONCRETE PLANTER BOXES LEVEL WITH SIDEWALK.
- NEW 36" HIGH STUCCO SCREEN WALL. SEE 6/AA02.
- 36" DIAMETER OUTDOOR TABLE WITH UMBRELLA AND SEATING.
- NEW PAD PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT.
- TOTAL OF 4.
- 36 SQUARE FOOT PLANTER. SEE LANDSCAPE PLAN.
- RECYCLING BINS (2) WITHIN COMPACTOR ENCLOSURE.
- PARKING BUMPER, TYPICAL ALONG PEDESTRIAN WALKWAY.
- 9" WIDE OPENING IN YARD WALL WITH ADA COMPLIANT ACCESS TO EXISTING SIDEWALK.
- STRIPED PEDESTRIAN WALKWAY.
- COLOR CONCRETE SIDEWALK TO MATCH BRICK PAVING.
- EXISTING LANDSCAPING TO REMAIN.

**COMPREHENSIVE PLAN ENERGY MANAGEMENT**

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES THAT WILL ENFORCE THE COMPREHENSIVE PLAN:  
A. INSULATED WINDOWS IN ALL RETAIL SPACES AND RESIDENTIAL UNITS.  
B. MINIMIZE GLAZING ON THE WEST ELEVATIONS.  
C. UTILIZE LANDSCAPING AND OVERHANGS TO PROVIDE BUILDING SHADING.  
D. PROVIDE SINGLE METERING OF UTILITIES FOR ALL RESIDENTIAL UNITS.  
E. CERTIFY COMPLIANCE WITH THE SOLAR ACCESS PROVISION, AND  
F. PROMOTE MASS TRANSIT AND PEDESTRIAN IMPROVEMENTS BY PROVIDING THE EXACT NUMBER OF PARKING SPACES REQUIRED.



**2 Vicinity Map**



**3 Aerial Photograph**

PROJECT NUMBER: 1004927 APPLICATION NUMBER: 060908-01631

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AUGUST 17, 2006 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

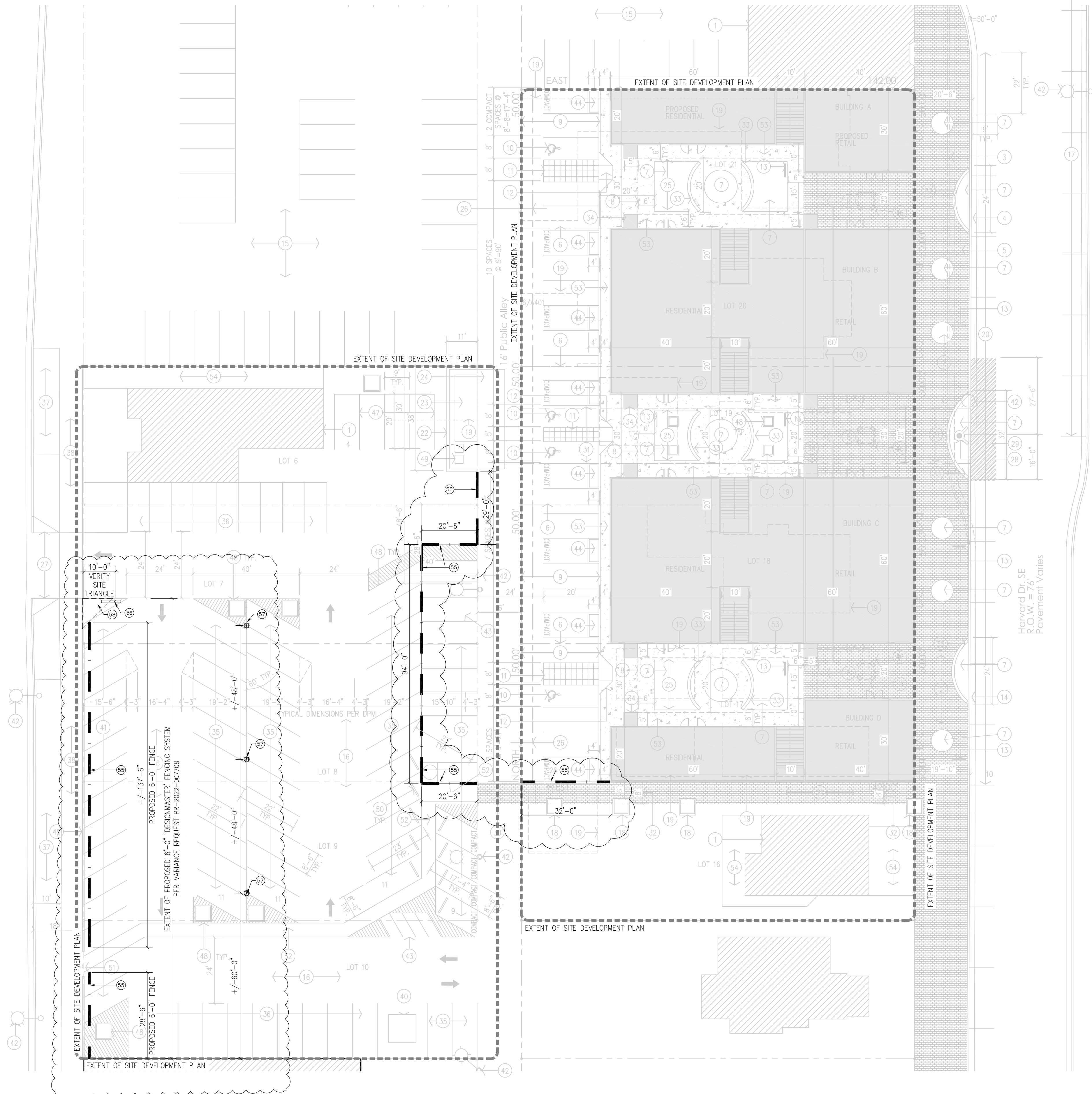
|   |         |
|---|---------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION             | 5-9-07  |
| Utilities Development                                 | 5/9/07  |
| Christine Sandoval<br>PARKS AND RECREATION DEPARTMENT | 5/9/07  |
| Bradley L. Blynn<br>CITY ENGINEER                     | 5/30/07 |
| N/A   |         |
| ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)         |         |
| Joe White (ally car)                                  | 5-20-07 |
| DRG CHAIRPERSON, PLANNING DEPARTMENT                  | 5/30/07 |
| Stephanie G. Whitham, Planner                         | 5/8/07  |

project file  
**Bricklight Courtyards**  
Lots 6-10, 17-21, Block 1, University Heights  
Albuquerque, New Mexico  
sheet title  
**Site Development Plan for Building Permit**

2 sheet-9  
**A001**

revision  
by  
date  
rev  
**MH**  
Mullen Heller  
Architecture P.C.  
1015 Tijeras Avenue NW  
Suite 220  
Albuquerque 87102  
505 268 4144(p)  
505 268 4244 (f)

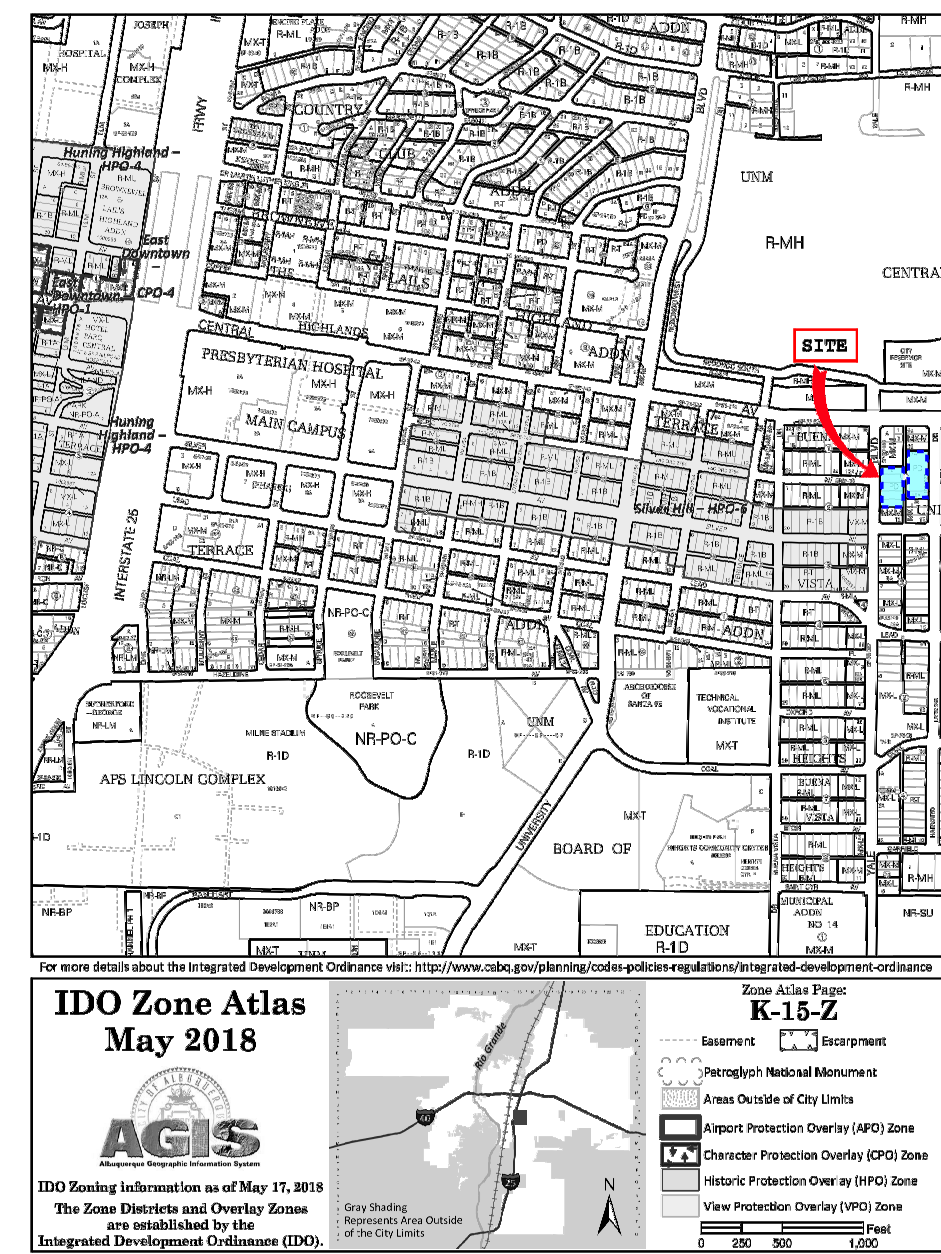




A1 Site Plan for Administrative Amendment  
1"=20'-0"



- GENERAL NOTES:
- A. SITE LIGHTING WILL BE PROVIDED BY THE FOLLOWING:
- RECESSED HID FLUORESCENT DOWN LIGHTS ALONG RETAIL FRONTAGE.
  - SHIELDED HID METAL HALIDE WALL PACKS AT WEST SIDE OF PROJECT AND AT PEDESTRIAN WALKWAY.
  - COMPACT FLUORESCENT STEP LIGHTS AT RAISED PLANTERS AT COURTYARDS AND AT PEDESTRIAN WALKWAY.
  - LOW VOLTAGE LANDSCAPE LIGHTING IN THE COURTYARDS.
  - DECORATIVE FIXTURE ADJACENT TO EACH RESIDENCE DOOR.
- B. CURRENT PARKING IN LOTS 6,7,8,9,10 ARE COMPRISED OF 63 PAID PARKING SPACES AND 19 REQUIRED SPACES FOR ADJACENT BUSINESSES. 46 OF THE 63 PAID PARKING SPACES WILL BE DESIGNATED FOR REQUIRED OFF STREET PARKING FOR THE PROPOSED DEVELOPMENT. 7 MOTORCYCLE SPACES WILL BE ADDED. ANY FUTURE DEVELOPMENT OF THESE LOTS WILL REQUIRE THESE 48 DESIGNATED SPACES TO BE ACCOMMODATED ELSEWHERE AS REQUIRED BY THE CITY OF ALBUQUERQUE. THE RESIDENTIAL SQUARE FOOTAGE SHALL BE LIMITED TO 33,400 NET SQUARE FEET AND THE NUMBER OF DWELLING UNITS IS LIMITED TO A TOTAL OF 46.
- C. KEYED NOTES:
- [1] EXISTING BUILDING TO REMAIN.
  - [2] EXISTING BRICK SIDEWALK TO REMAIN.
  - [3] EXISTING CURB AND GUTTER TO BE REMOVED PER CITY WORK ORDER.
  - [4] PROPOSED CITY STANDARD CURB AND GUTTER PER CITY WORK ORDER.
  - [5] PROPOSED BRICK SIDEWALK TO MATCH EXISTING.
  - [6] EXISTING PROPERTY LINE TO BE DELETED BY REPLAT.
  - [7] PROPOSED LANDSCAPED AREA.
  - [8] PROPOSED WROUGHT IRON GATE.
  - [9] NEW ASPHALT PAVING TO BE LEVEL WITH ALLEY PAVING. SEE GRADING AND DRAINAGE PLAN.
  - [10] PROPOSED HANDICAP ACCESSIBLE PARKING.
  - [11] PROPOSED SCORED CONCRETE HANDICAP ACCESSIBLE ACCESS AISLE.
  - [12] PROPOSED HANDICAP ACCESSIBLE RAMP.
  - [13] PROPOSED BIKE RACK LOCATION: 6 SPACES PER RACK.
  - [14] EXISTING CITY CURB TO REMAIN.
  - [15] EXISTING PARKING LOT TO REMAIN. NOT A PART OF THIS PROJECT.
  - [16] EXISTING PARKING LOT. 46 DESIGNATED FOR PROPOSED PROJECT.
  - [17] EXISTING PARALLEL AND METERED PARKING TO REMAIN.
  - [18] PROPOSED 6'x6'x2" HIGH RAISED BRICK LANDSCAPE PLANTER WITH RECESSED FLUORESCENT STEP LIGHTING TYPICAL OF 3 EACH.
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  - [20] NEW PARALLEL AND CITY METERED PARKING SPACES. PARKING METERS TO BE RELOCATED PER CITY WORK ORDER.
  - [21] NEW 8' WIDE BRICK PEDESTRIAN CONNECTION FROM EXISTING PARKING LOT TO HARVARD DRIVE.
  - [22] 8' HIGH CMU COMPACTOR ENCLOSURE. STUCCO TO MATCH PROPOSED BUILDINGS. SEE 4/A402.
  - [23] SELF-CONTAINED REFUSE COMPACTOR ON WHEEL GUIDES. PROVIDED BY OWNER.
  - [24] 10' WIDE x 6" THICK CONCRETE APRON.
  - [25] LINE OF PROPOSED WALKWAY ABOVE.
  - [26] ADDITIONAL 4' RIGHT-OF-WAY DEDICATED TO ALLEY BY REPLAT.
  - [27] EXISTING CURB CUT, DRIVEWAY AND HANDICAP RAMPS TO REMAIN.
  - [28] NEW FIRE HYDRANT FED BY 6" LINE IN PUBLIC ALLEY.
  - [29] NEW FIRE LANE ACCESS. 4" STRINGING TO BE RED ADJACENT CURB TO BE PAINTED RED WITH WHITE LETTERING TO READ "FIRE LANE NO PARKING".
  - [30] RAISED 8' WIDE PEDESTRIAN CONNECTION ACROSS ALLEY.
  - [31] NEW 20' WATER UTILITY EASEMENT.
  - [32] NEW 8' PEDESTRIAN ACCESS EASEMENT.
  - [33] 16" HIGH BRICK SEATWALL WITH RECESSED FLUORESCENT STEP LIGHTING. TYPICAL OF 3 AT EACH SEATWALL.
  - [34] BRICK PLASTER AT GATE LOCATIONS. TYPICAL.
  - [35] EXISTING PAID PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT. TOTAL OF 42.
  - [36] EXISTING SPACES REQUIRED BY EXISTING BUSINESSES TO REMAIN.
  - [37] EXISTING LANDSCAPE AREA.
  - [38] EXISTING CITY SIDEWALK.
  - [39] NOT USED.
  - [40] EXISTING DUMPSTER ENCLOSURE.
  - [41] PAID PARKING SPACES TO REMAIN.
  - [42] EXISTING LITE POLE TO REMAIN.
  - [43] NEW 4'x10' MOTORCYCLE PARKING-7 TOTAL.
  - [44] CONCRETE PLANTER BOXES LEVEL WITH SIDEWALK.
  - [45] NEW 36" HIGH STUCCO SCREEN WALL. SEE 6/A402.
  - [46] 36" DIAMETER OUTDOOR TABLE WITH UMBRELLA AND SEATING.
  - [47] NEW PAID PARKING SPACES TO BE DESIGNATED TO THE PROPOSED PROJECT. TOTAL OF 4.
  - [48] 36 SQUARE FOOT PLANTER. SEE LANDSCAPE PLAN.
  - [49] RECYCLING BINS (2) WITHIN COMPACTOR ENCLOSURE.
  - [50] PARKING BUMPER, TYPICAL ALONG PEDESTRIAN WALKWAY.
  - [51] 9' WIDE OPENING IN YARD WALL WITH ADA COMPLIANT ACCESS TO EXISTING SIDEWALK.
  - [52] STRIPED PEDESTRIAN WALKWAY.
  - [53] COLORED CONCRETE SIDEWALK TO MATCH BRICK PAVING.
  - [54] EXISTING LANDSCAPING TO REMAIN.
  - [55] NEW DESIGN MASTER 6'-0" TALL FENCE- FINISH TO BE POWDER COATED BLACK.
  - [56] PROPOSED 26'-0" TALL POST SIGN- LOCATE POST OUTSIDE MINI SITE TRIANGLE. BOTTOM OF SIGN TO BE MIN. 8'-0" FROM GRADE- SIGN TO MEET ALL IDO REQUIREMENTS.
  - [57] PROPOSED NEW LIGHT POST FOR STRING LIGHTING W/ 24" BASE FOUNDATION.
  - [58] EXTENT OF MINI-SITE TRIANGLE-11'-0"x11'-0"



2 Vicinity Map

COMPREHENSIVE PLAN ENERGY MANAGEMENT

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES THAT WILL ENFORCE THE COMPREHENSIVE PLAN:

- INSULATED WINDOWS IN ALL RETAIL SPACES AND RESIDENTIAL UNITS.
- MINIMIZE GLAZING ON THE WEST ELEVATIONS.
- UTILIZE LANDSCAPING AND OVERHANGS TO PROVIDE BUILDING SHADING.
- PROVIDE SINGLE METERING OF UTILITIES FOR ALL RESIDENTIAL UNITS.
- CERTIFY COMPLIANCE WITH THE SOLAR ACCESS PROVISION, AND
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COMPREHENSIVE PLAN WATER MANAGEMENT

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES THAT WILL ENFORCE THE COMPREHENSIVE PLAN:

- WATER HARVESTING THAT CHANNELS STORM WATER FROM HARD SURFACES TO LANDSCAPE AREAS.
- LOW WATER USE LANDSCAPING.
- COMPLY WITH STORM WATER RUN-OFF PLAN, AND
- LOW-FLOW WATER CLOSETS AND SHOWER HEADS IN ALL RESIDENTIAL UNITS.

#### ADMINISTRATIVE AMENDMENT NOTES:

- A. THE PURPOSE OF THIS MINOR ADMINISTRATIVE AMENDMENT IS TO MAKE REVISIONS TO THE EXISTING PARKING LOT LOCATED AT SOUTHWEST SIDE OF THE EXISTING SITE DEVELOPMENT PLAN. REVISIONS INCLUDE THE FOLLOWING:
- INCLUDES UPDATING THE CURRENT PARKING REQUIREMENTS TO CALCULATIONS BASED ON THE CURRENT ADDITION OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO)-SEE PROPOSED NEW CALCULATIONS BELOW.
  - PROPOSES A NEW 6'-0" TALL DESIGN MASTER (SEE ATTACHED CUT SHEET) SECURITY FENCE ALONG THE ALLEY WAY LOCATED JUST WEST OF THE BRICKLIGHT COURTYARD APARTMENTS. SEE SITE PLAN FOR LOCATION.
  - PROPOSES NEW 6'-0" TALL DESIGN MASTER SECURITY FENCE ON THE EAST SIDE OF THE EXISTING 36" TALL STUCCO WALL ALONG YALE. SEE SITE PLAN FOR LOCATION. SEE VARIANCE REQUEST NUMBER PR-2022-007708.
  - PROPOSES A NEW POST SIGN CONSISTENT WITH THE IDO REQUIREMENTS FOR THE VEHICULAR ACCESS POINT ON YALE AVE. SIGN TO BE A MAXIMUM OF 26'-0" TALL.
  - PROPOSES (2) NEW LIGHT POSTS AT THE CENTER OF THE PARKING LOT IN ORDER TO INCREASE SITE VISIBILITY AND SECURITY AFTER DARK. THE PROPOSED LIGHT POSTS AND STRING LIGHTING SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE CURRENT VERSION OF THE IDO SECTION 14-16-5-8 OUTDOOR AND SITE LIGHTING. MAXIMUM HEIGHT 20'-0". SEE SUBMITTED PLAN FOR LOCATIONS.
- C. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

#### Proposed Parking Calculations

| Use per Table 5-5-3                                    | Unit Count | Gross Square Footage | Space # | Parking Requirement per IDO              | Actual Spaces per use | Required Spaces per use |
|--|------------|----------------------|---------|--|-----------------------|-------------------------|
| Residential unit                                       | 46         |                      | 1       | space per Dwelling Unit (DU) in UC-MS-PT | 46                    | 46                      |
| Office Space/ Retail                                   |            | 4,200                | 2.5     | Spaces per 1,000 GSF UC-MS-PT            | 10.5                  | 10                      |
| Restaurant/ Bar Tap Room                               |            | 3,600                | 5       | spaces per 1,000 GSF UC-MS-PT            | 18                    | 18                      |
| Total (Prior to application of credits and Reductions) |            |                      |         |  | 74.5                  | 75                      |

Reductions

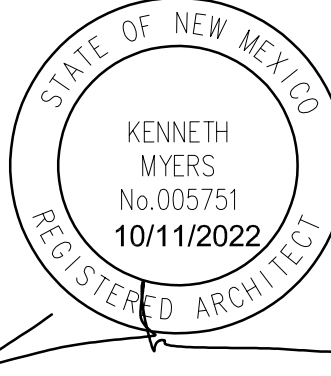
Shared Parking: 5-5(h)-Table 5-5-3: Residential/Restaurant: 1.1: 46+18=64/1.1= 58 spaces=10= 68 spaces

Proximity to Transit: 5-5-C (b)1: 30% reduction for proximity to transit stop=68-20=51 spaces

|  |           |
|--|-----------|
| Total spaces required under current IDO guidelines   | 48 Spaces |
| Total spaces required under pre-IDO guidelines       | 72 Spaces |
| Total spaces provided                                | 72 Spaces |
| Required Motorcycle Parking Table 5-5-4              | 3 Spaces  |
| Required Motorcycle Parking under pre-IDO guidelines | 7 Space   |
| Provide Motorcycle Parking: No Change                | 7 Spaces  |
| Required Bicycle Parking per table 5-5-5             | 5 Spaces  |
| Required Bicycle Parking under pre-IDO guidelines    | Spaces    |
| Provided Bicycle Parking: No Change                  | 10 Spaces |

BRICKLIGHT COURTYARDS | ADMINISTRATIVE AMENDMENT  
LOTS 6-10, 17-21, BLOCK 1 UNIVERSITY HEIGHTS  
ALBUQUERQUE, NM

Architect Stamp:



REMBE  
urban design + development  
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Project: Bricklight District  
Drawn By: KMA Checked By: KMA  
Phase: COA SUBMITTAL  
Date: 10/10/2022  
Project Number: 2203

Bricklight Courtyards  
Site Plan Revisions for  
Administrative  
Amendment

Sheet Number:

AA001



# CLASSIC

Clearly built for  
timeless beauty  
& strength.

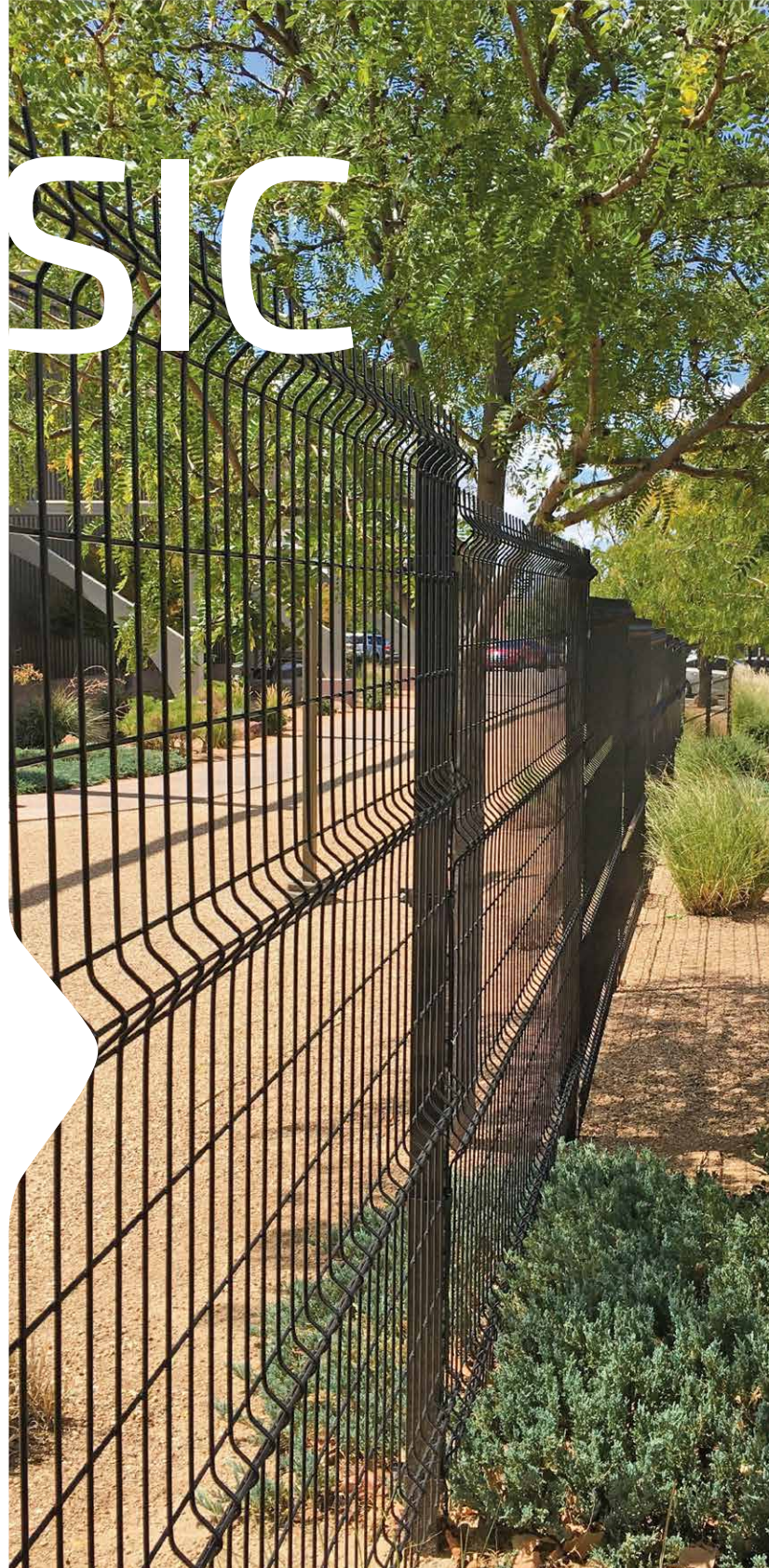
Proposed fence to be 6'-0" tall  
finish to be black powder coat



**CLEAR** see-through design

**TIMELESS** classic beauty

**STRENGTH** for mid-level  
security



**When beauty factors into perimeter security, Classic's stately elegance is an incomparable choice.** Difficult to climb or penetrate, made to last and competitively priced, Classic's v-shaped braces along the length of each steel panel add lateral strength, and its adaptability to elevation and directional changes (120° swing) make this fence ideal for nearly any application.

