

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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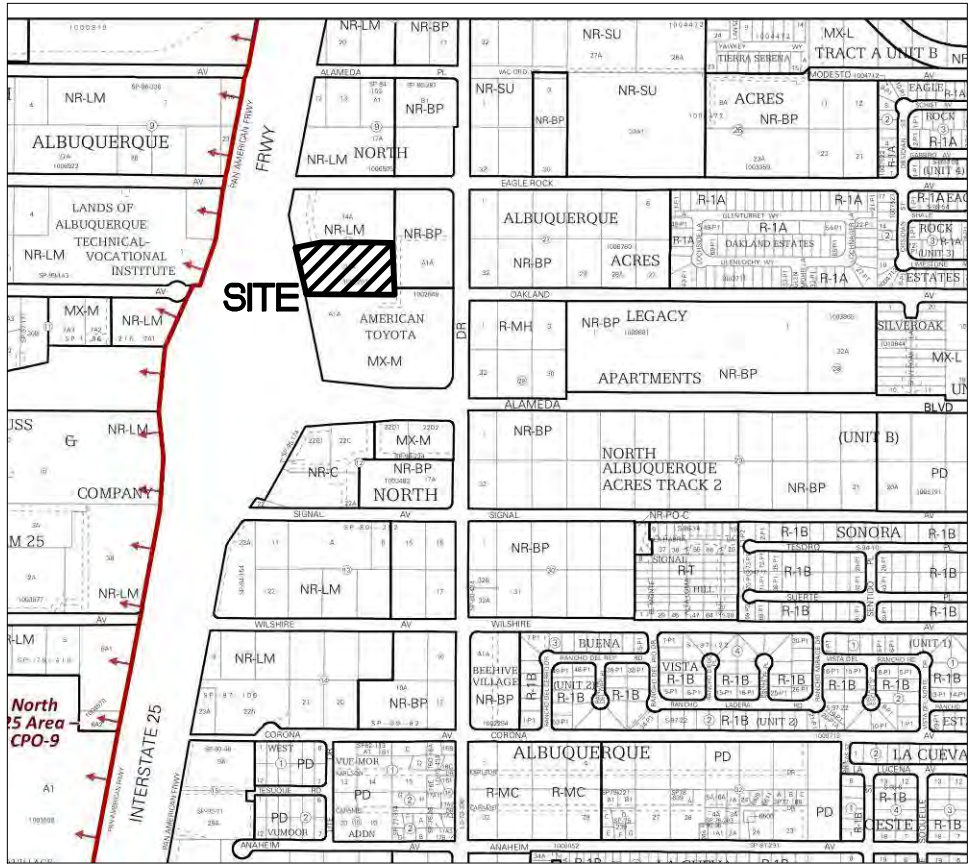
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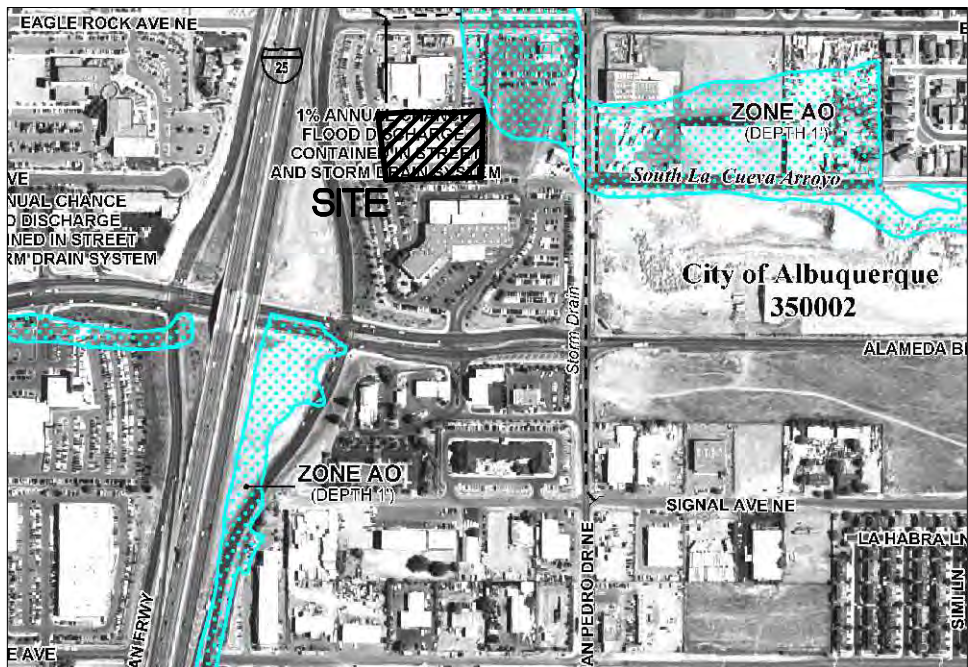
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APPROVED BY

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DATE

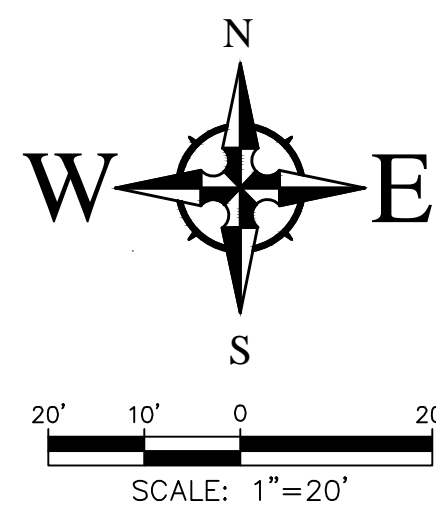




**VICINITY MAP**  
**LEGAL DESCRIPTION:**  
Portions of Lots 14-A & 21-A in Block 10, Tract A, Unit B, of North Albuquerque Acres, Bernalillo County, NM.



**FIRM MAP 35001C0137H**  
Per FIRM Map 35001C0137H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.



**GENERAL SHEET NOTES**

A. REFER TO CIVIL PLAN FOR SITE CONSTRUCTION LIMITS. DISTURB SITE AS LEAST AS POSSIBLE. MAINTAIN ACCESS TO REFUSE BIN. COORDINATE REMOVAL OF ASPHALT AND OVEREX WITH WASTE MANAGEMENT'S SCHEDULE.

B. SAWCUT LOCATIONS ARE PREFERRED AT EXISTING CONTROL JOINT LOCATIONS OR WHERE THEY MAKE SENSE TO THE CONTRACTOR IN COORDINATION OF THE GRADING AND DRAINAGE PLAN AND SPOT ELEVATIONS. LINES SHOWN ON PLAN ARE GRAPHICAL AND SHALL BE USED FOR ESTIMATION. UPON REMOVAL OF CONCRETE OR ASPHALT OUTSIDE THESE LIMITS, CONTRACTOR SHALL REPLACE MATERIALS AT EXISTING SLOPES.

**SHEET KEYNOTES**

1. REMOVE CURB AND GUTTER, CONC. WHEEL STOPS, AND ASPHALT AS REQUIRED WITHIN THE NEW ADDITION FOOTPRINT TO PREPARE FOR NEW FOOTINGS AND GRADES. REPAIR ASPHALT AS NEEDED.

2. MODIFY CURB AND GUTTER AS SHOWN ON CIVIL GRADING PLAN.

3. EXISTING TO REMAIN.

4. BOLLARD TO REMAIN.

5. EXISTING TRASH ENCLOSURE TO REMAIN.

6. EXISTING FIRE HYDRANT TO REMAIN.

7. EXISTING LIGHT POLE TO REMAIN.

8. EXISTING GAS LINE AND METER, MAY RELOCATE AS NECESSARY IF INTERFERING WITH FOOTINGS.

9. EXISTING CONCRETE FLATWORK TO REMAIN.

10. SAW CUT CLEAN JOINT AND REMOVE CONCRETE AND ASPHALT WITHIN BOUNDARY. REFER TO CIVIL GRADING PLAN FOR ELEVATIONS. REPLACE CONCRETE PAVING TO HAVE #4 BARS AT 12" OC EA WAY. DRILL AND EPOXY JOINT FROM EXISTING TO NEW CONC. SLAB ON GRADE WITH 24" SLIP DOWELS EVERY 24".

11. REMOVE AND DISPOSE OF CONCRETE CURB AROUND BUILDING WHERE IN WAY OF NEW ADDITION.

**PARKING REQUIREMENTS**

(e) = EXISTING PARKING SPACES

PER CABQ IDO ZONING:  
ZONING = NR-LM LIGHT MANUFACTURING

5- 5(B)(1)Activities that Trigger Parking Requirements:

5- 5(B)(1)(b)Expansion of the gross floor area of an existing primary building by more than 25 percent or 2,500 square feet, whichever is less, from the square footage originally approved, in which case the provisions of Table 5-5-1 and Table 5-5-2 shall apply to the expanded gross floor area of the building. All relevant standards in this Section 14-15-5 shall apply to any new parking added to conform with this provision and to any portions of the site affected by the expansion.

**PER THE PROVISIONS ABOVE, THIS PROJECT WOULD BE EXEMPT AT ONLY 1,743 SF OF EXPANDED GROSS FLOOR AREA.**

HOWEVER, THIS PROJECT DOES REMOVE 7 SPACES TOTAL.

PARKING REQUIREMENTS PER IDO 14-15-5:

TABLE 5-5

MOTOR VEHICLE RELATED

LIGHT VEHICLE REPAIR = 1 space per 1,000 SF GFA

LIGHT, VEHICLE SALES AND RENTAL = 2 SPACES PER 1,000 SF GFA

SALES AND RENTAL SPACE = 15,913 SF

SERVICE AND REPAIR = 20,035 SF

SALES AND RENTAL REQUIRED = 32

SERVICE AND REPAIR REQUIRED = 30

TOTAL PROVIDED BEFORE ADDITION = 127 + 3HC + 1VAN

TOTAL PROVIDED AFTER ADDITIONAL 1,743 SF AND REMOVAL OF 7 SPACES = 125 + 3HC + 1VAN

\*\*THE REQUIRED PARKING EXCEEDS THE REQUIREMENTS OF IDO CHAPTER 5\*\*

**LEGEND**

(e) = EXISTING PARKING SPACES

EXISTING BUILDING - NO WORK  
36,443 SF

EXISTING BUILDING - RENOVATION  
1,869 SF

NEW ADDITION  
1,743 SF

**2.12 Acres**

**1 ARCHITECTURAL SITE PLAN 2.12 Acres**  
1" = 20'-0"

38,312 Total Existing  
1,743 SF New  
40,055 SF Total



P.O. BOX 3987  
ALBUQUERQUE, NM 87119  
O: 505.857.0050  
F: 505.857.0054  
www.ebnm.com  
CONSULTANT

SEAL

PROJECT:

AUDI / PORSCHE REMODEL AND EXPANSION

8820 PAN AMERICAN FREEWAY, NE  
Albuquerque, NM 87113

REVISIONS:  
DATE/ DESCRIPTION

DRAWING NAME:  
ARCHITECTURAL SITE PLAN

DRAWN BY: CG

REVIEWED BY: CG

DATE ISSUED: 10/24/22

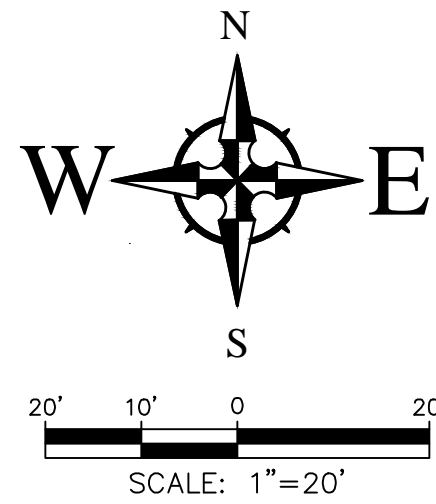
STATUS:  
DRG MINOR AMENDMENT / PERMIT SITE PLAN

SHEET NO.

AS-101

10/22/2022 4:07:50 PM





CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

