



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: EVgo		Phone: 720-318-8964
Address: 11390 W Olympic Blvd #250		Email: Christian.Tenerowicz@evgo.com
City: Los Angeles	State: CA	Zip: 90064
Professional/Agent (if any): Anna Haefele, Blymyer Engineers, Inc.		Phone: 510-822-0353
Address: 1101 Marina Village Pkwy #100		Email: ahaefele@blymyer.com
City: Alameda	State: CA	Zip: 94501
Proprietary Interest in Site: Lessee		List all owners: Glenwood Village, LLC

BRIEF DESCRIPTION OF REQUEST

Minor modification of existing site plan to install 3 EV charging stations and associated electrical equipment.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 102306104702830120	Block: 3	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): F23	Existing Zoning: Strip Shopping Center	Proposed Zoning: No change
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.8554

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 12611 MONTGOMERY BLVD Between: Tramway Blvd NE and: Larchmont Dr. NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Site Plan Case # BA-1723

Signature:	Date: 11/23/2022
Printed Name: Anna Haefele, Blymyer Engineers, Inc.	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☒ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ The approved Site Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

November 14, 2022

City of Albuquerque
ATTN: Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

To whom it may concern:

I, Douglas H. Peterson, an authorized agent of Glenwood Village, LLC a New Mexico limited liability company, am writing this letter to authorize Anna Haefele of Blymyer Engineers, Inc. to act on Glenwood Village, LLC a New Mexico limited liability company, behalf with regard to submission, coordination, and signing of all planning and permit applications and documents supporting EVGo's installation of 3 electric vehicle charging stations at 12611 Montgomery Blvd NE Albuquerque, NM 87111.

Additionally, this letter serves as acknowledgement and authorization of the use of the property by EVGo for the scope of work covered by the permits applied for to complete the project.

This permission does not extend to additional projects or activities outside the scope of work defined above.


Sincerely,

GLENWOOD VILLAGE, LLC,
a New Mexico limited liability company,

By: _____

Name: _____

Title: _____


Douglas Peterson
Manager



City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

SUBJECT: Administrative Amendment – 12611 Montgomery Blvd. – EV Charging Stations

We are requesting this amendment because we believe the addition of EV charging stations to this shopping center will be a desirable amenity to the City of Albuquerque and its residents. Studies suggest that the installation of EV charging stations produce a positive economic benefit in a variety of ways, including attracting and retaining customers at nearby businesses, as well as increasing customer time on site and dollars spent. Additionally, increasing infrastructure for electric vehicles decreases emissions and pollution, improving community health. With consideration of the existing site plan, this project falls well within the bounds of a minor amendment and carries forward both the spirit and letter of the existing ruling.

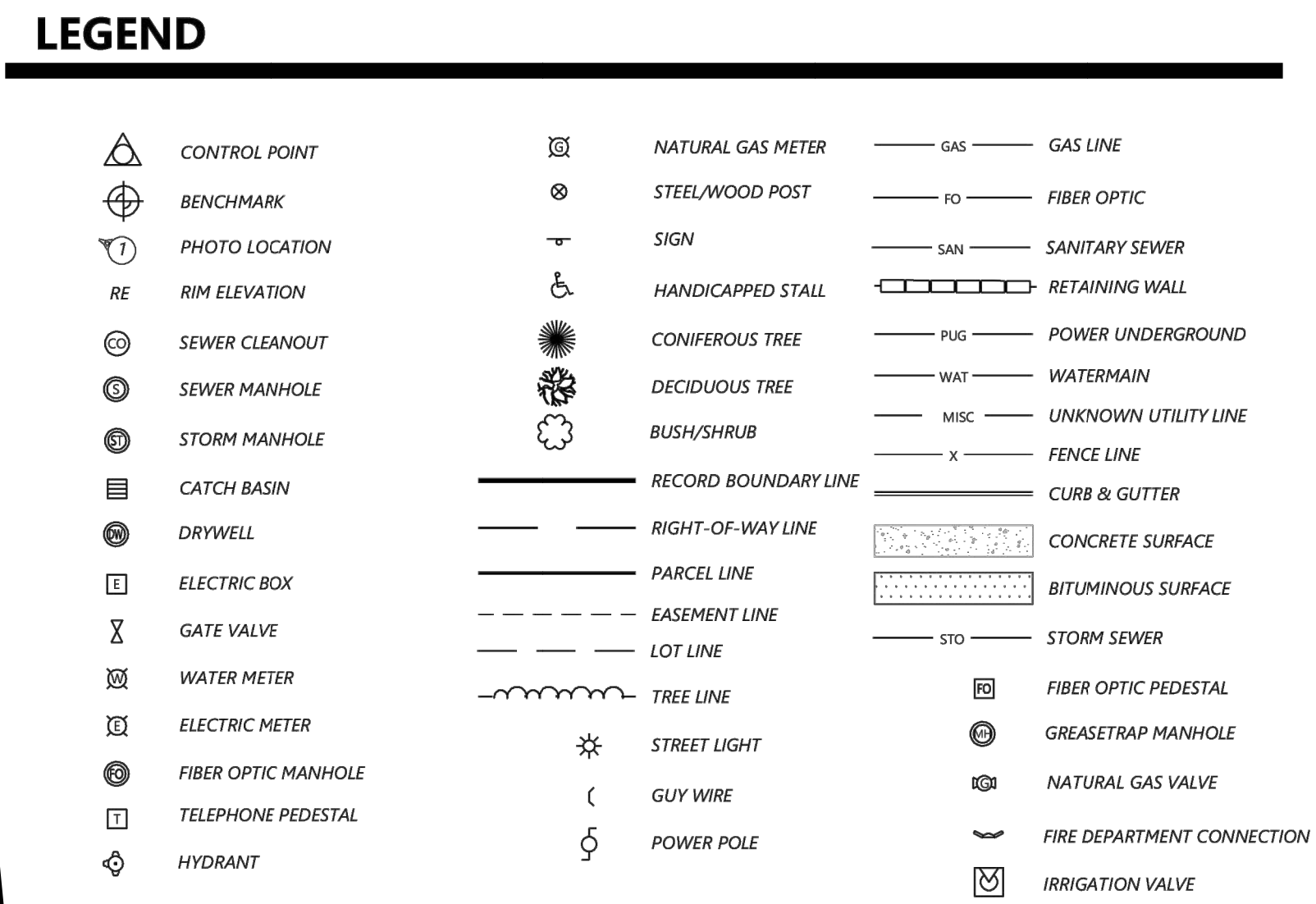
Below are responses to the specific considerations outlined in 6-4(Z)(1)(a) Minor Amendments:

- 1) This is in an existing parking lot intended to serve retail customers in the area. The proposed amendment does not alter this use. EVGo is a lessee of the stalls and the amendment may be thought of as similar in character to any other tenant improvement, but without changing the use or occupancy, and without creating adverse impacts (such as noise, traffic, or loitering) that would impact neighbors or passersby.
- 2) This work would normally fall under the purview of a building permit with an electrical subtrade permit. Nothing about this work changes the use, occupancy, or design character of the parcel.
- 3) This project does not require improvements to surrounding public infrastructure. No changes in access or infrastructure will result from the alteration. The work is a low impact private improvement that will simply add to the availability of EV charging infrastructure in the community.
- 4) This project need not require a variance, as it falls within the scope of allowable uses and modification outlined by the original determination BA-1723.

We are optimistic that you will agree that the proposed project constitutes a positive addition to the community and will choose to approve the amendment.

Best regards,

Stanislav Gorbis, PE
Blymyer Engineers, Inc.



BLYMYER
ENGINEERS
1101 MARINA VILLAGE PARKWAY # 100
ALAMEDA, CA 94501 510.521.3777



GLENWOOD VILLAGE
12611 MONTGOMERY
BLVD NE - EV
ALBUQUERQUE, NM 87111

NO.	REVISION	DATE	INIT.
0	ISSUE FOR PERMIT	09/16/22	

ORIGINAL SIZE 24"X36"
SHEET SIZE ARCH "D"

PROJECT #
222001.107

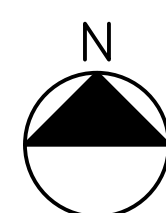
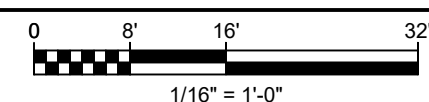
SHEET TITLE

EXISTING
SITE PLAN

SHEET NUMBER

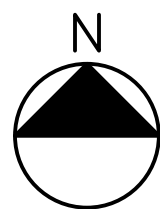
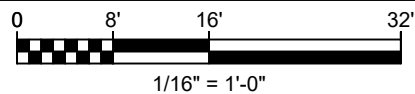
G-000

1 EXISTING SITE PLAN
- SCALE: 1/16" = 1'-0"





1 OVERLAY SITE PLAN
SCALE: 1/16" = 1'-0"



GLENWOOD VILLAGE
12611 MONTGOMERY
BLVD NE - EV
ALBUQUERQUE, NM 87111

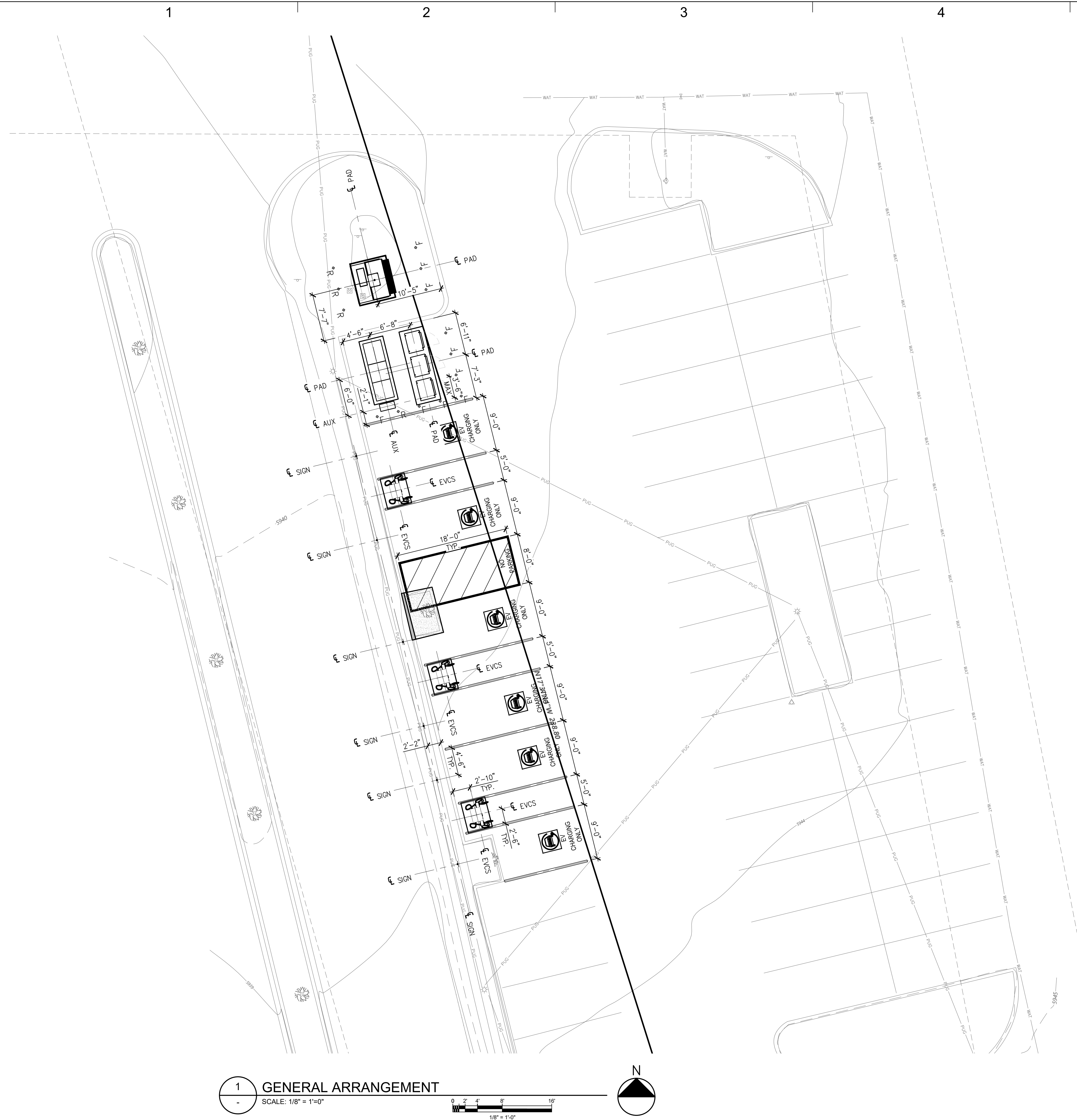
NO.	REVISION	DATE	INIT.
0	ISSUE FOR PERMIT	09/16/22	

ORIGINAL SIZE 24"x36"
SHEET SIZE ARCH "D"
0 30' 1"

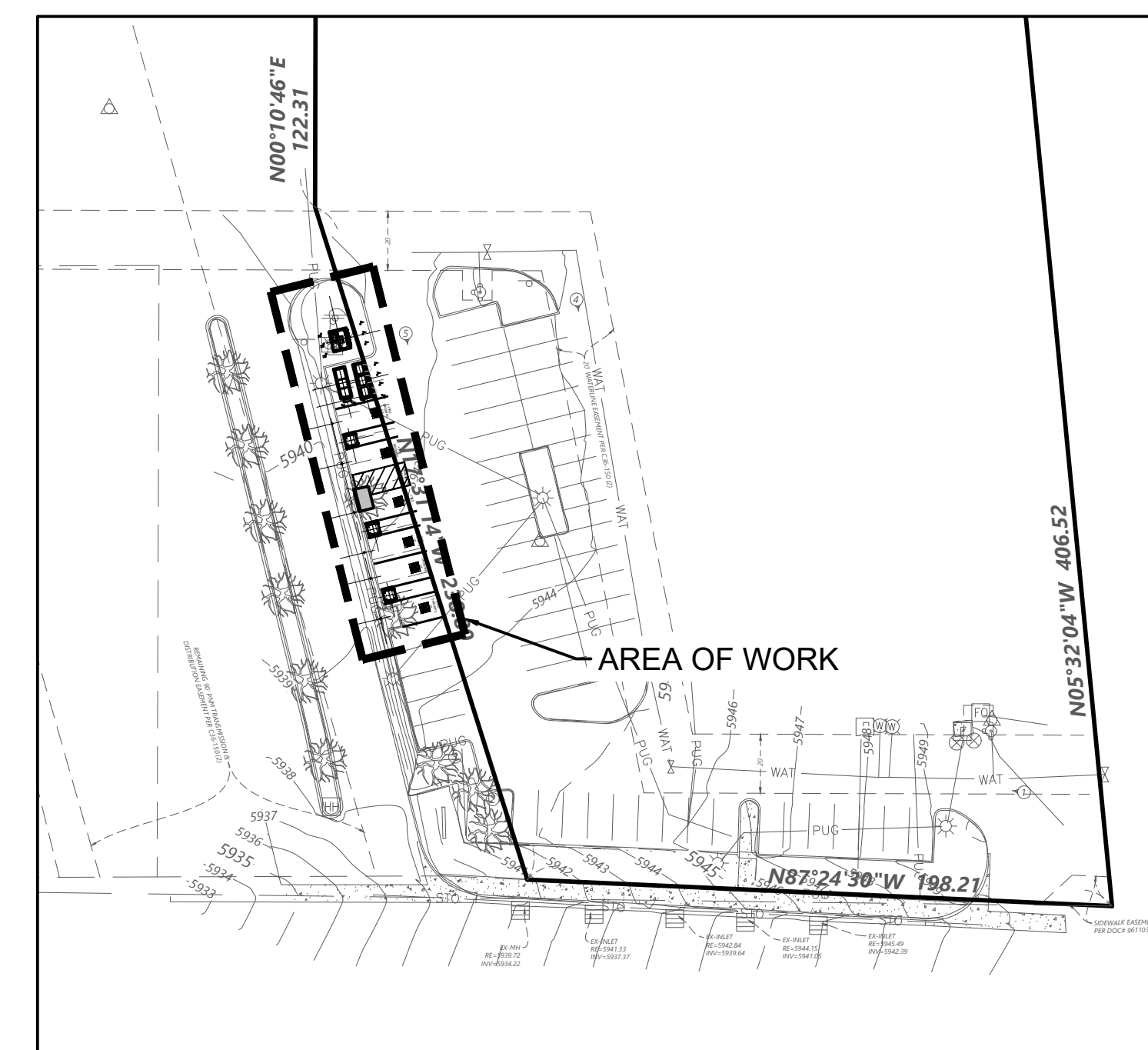
PROJECT #
222001.107

SHEET TITLE
OVERLAY SITE PLAN

SHEET NUMBER
G-001



1 GENERAL ARRANGEMENT
- SCALE: 1/8" = 1'-0"



2 VICINITY MAP
- SCALE: 1" = 50'-0"



GLENWOOD VILLAGE
12611 MONTGOMERY
BLVD NE - EV
ALBUQUERQUE, NM 87111

[illegible]

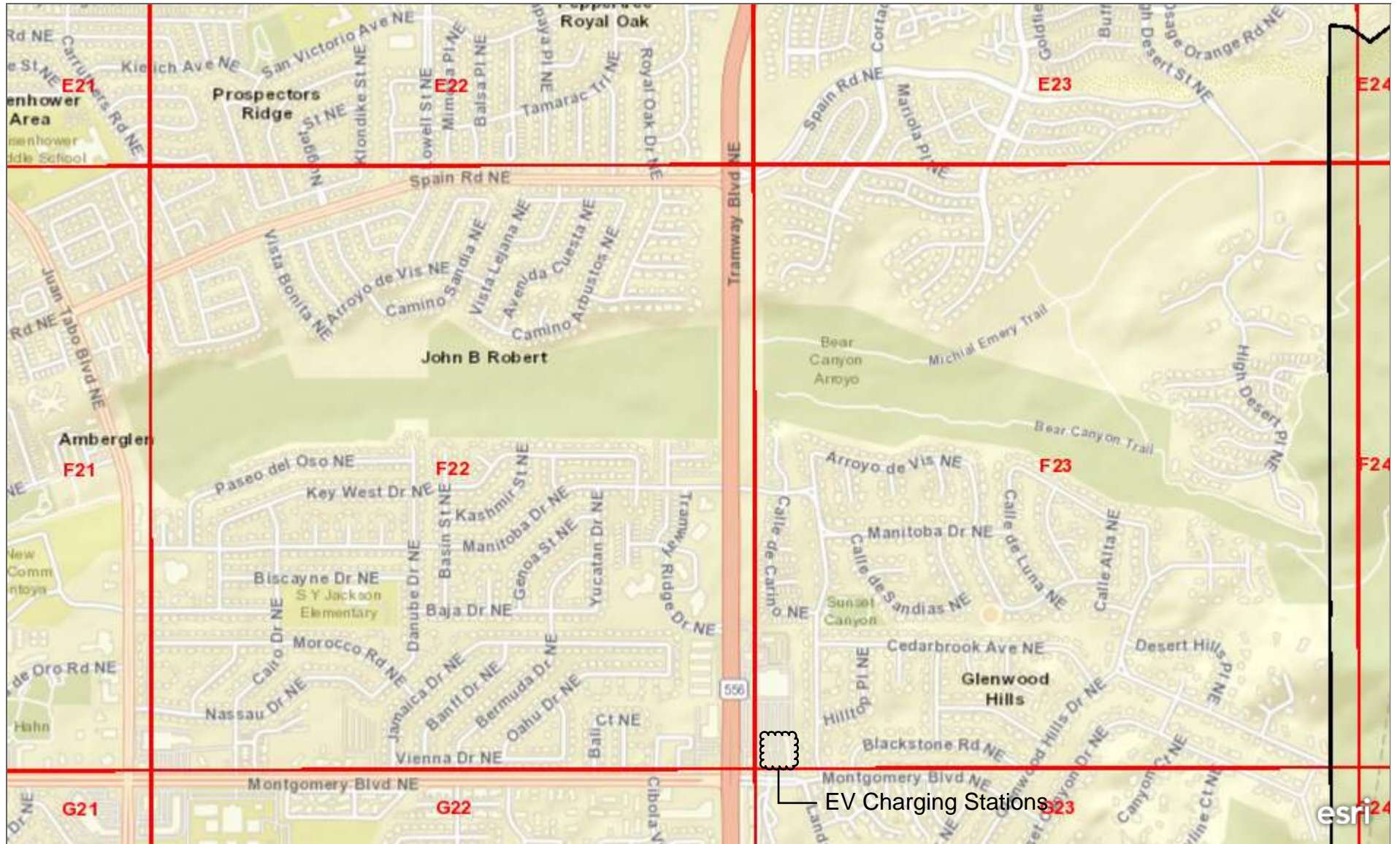
ORIGINAL SIZE 24"X36"
SHEET SIZE ARCH "D"

PROJECT #
222001.107

SHEET TITLE
GENERAL
ARRANGEMENT

SHEET NUMBER
G-101.0

Zone Atlas



City Zone Atlas Pages

0.2mi

City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, GeoTechnologies, Inc., NGA, USGS

BA-1723

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT, Box 1111, Albuquerque, New Mexico

Phone 242-1531

KEEP THIS LETTER

YOU MUST SHOW THIS LETTER TO OBTAIN A PERMIT

Universal Grading Co.
Box 6006, Ste B
Albuquerque, N.M.

Date Nov. 20, 1963
File BA-1723

Your application for special exception under the Comprehensive Zoning Ordinance was considered at the Board of Adjustment meeting on November 18, 1963. The following recommendation was made:

BE IT RESOLVED THAT BA-1723 be granted Conditional Use for a builders yard on Lot 3, Block 3, Glenwood Hills Addition, Unit 1, zoned O-1 and located on the north side of Montgomery Boulevard NE approximately 330 feet to the east of Panorama Boulevard for a period of one year subject to the condition that the other regulations set forth in Section 6.8.9 of Zoning Ordinance No. 1493 must be complied with.

Should you wish to appeal this decision, you may do so in the manner described below.

Extract from Ordinance No. 1493: Any determination by the Board shall be based on the written notice of appeal to the City Commission. It shall be filed within fifteen (15) days after the determination by the Board. The day of determination by the Board shall not be included in the 15 day period for filing of an appeal, and if the 15th day falls on a Saturday, Sunday or holiday as listed in the Davis System Ordinance, the next working day shall be considered as the deadline for filing an appeal. A building permit or certificate of occupancy shall not be issued until any appeal is decided or the time for filing such appeal has expired. The concurring vote of at least four (4) members of the City Commission shall be required to reverse any determination by the Board. The following procedure shall be complied with in filing of any appeal:

1. Written notice of appeal shall be filed with the Planning Director.
2. Public notice of any appeal shall be given by legal advertisement in the manner prescribed for an application for special exception. The Planning Director shall give written notice of any appeal, together with notice of hearing date to the applicant, a representative of the opponents, if any, and the appellant. The appeal shall be presented to the City Commission within three (3) months after the date of filing. Once the appeal is presented to the City Commission, any request for delay in hearing the appeal shall be acted upon at a regular City Commission meeting.

Successful applicants are reminded that regulations of the City Department must be complied with, even after approval of the Board is secured.

If the application is approved, this letter must be presented to the Department of Building and Inspection, City Hall, in order to secure a building permit. If such is necessary, work must be started on an approved project within six (6) months of receipt of approval. Otherwise it will be necessary to re-apply for approval thereafter.

Yours very truly,

E. B. JONES
PLANNING DIRECTOR

Jan Van Erven
Jan Van Erven, Planner

A. J. Gortan
Bruce D. Johnson
Files

BA Letter of Notice

Board of Adjustment Minutes
November 18, 1963
Page 3

Members Present: White, Strong,
Garcia and Underwood

BA-1717 I. D. Bowen requests Conditional Use for a dwelling group to allow the construction of 3 structures containing 8 dwelling units in total, on Lots 9, 10 and 11, Block 5, Loma Verde Addition, zoned R-3 and located at 240 Charleston Street NE.

Mr. I. D. Bowen, was present in behalf of this request. There were no objectors present.

Mr. Underwood made the following motion:

BE IT RESOLVED THAT BA-1717 be granted approval of Conditional Use for a dwelling group to allow the construction of 3 structures containing 8 dwelling units in total, on Lots 9, 10 and 11, Block 5, Loma Verde Addition, zoned R-3 and located at 240 Charleston Street NE on the grounds that it will help the development of the area and not be injurious to the neighborhood.

Seconded by Mr. Strong

Motion carried unanimously.

BA-1722 Mrs. Ann D. Gillum requests approval of Conditional Use for a nursery school on Lot 16, Block 30, Mesa Village Addition, zoned R-1 and located at 1013 Walker Drive NE.

Mrs. D. Ann Gillum was present in behalf of this request. There were no objectors present.

Mr. Strong made the following motion:

BE IT RESOLVED THAT BA-1722 be granted approval of Conditional Use for a nursery school on Lot 16, Block 30, Mesa Village Addition, zoned R-1 and located at 1013 Walker Drive NE, subject to the following conditions:

1. No more than 10 children, including applicant's children, shall be cared for at any one time.
2. Hours of operation will be from 6:00 A. M. to 6:00 P.M.
3. Requirements set forth by the Health Department must be complied with.
4. City license must be obtained.

Seconded by Mr. Underwood

Motion carried unanimously.

BA-1723 Bruce D. Johnson, agent for Universal Grading Company, requests Conditional Use for a builders yard on Lot 3, Block 3, Glenwood Hills Addition, Unit #1, zoned O-1 and located on the north side of Montgomery Boulevard NE approximately 330 ft. to the east of Panorama Boulevard.

There was no one present in behalf of this request, neither were objectors present.

Mr. Underwood stated that he was familiar with the area which is undeveloped.

Mr. White stated that applicant's request was to allow the yard for 8 months. The members then agreed that there was no objection to grant this request for one year.

Board of Adjustment Minutes
November 18, 1963
Page 4

Members Present: White, Strong,
Garcia and Underwood.

BA-1723 (Cont'd)

Mr. Underwood made the following motion:

BE IT RESOLVED THAT BA-1723 be granted Conditional Use for a builders yard on Lot 3, Block 3, Glenwood Hills Addition, Unit 1, zoned O-1 and located on the north side of Montgomery Boulevard NE approximately 330 feet to the east of Panorama Boulevard for a period of one year subject to the condition that the other regulations set forth in Section 6.B.9 of Zoning Ordinance No. 1493 must be complied with.

Seconded by Mr. Strong

Motion carried unanimously.

BA-1724 R. E. Hargrove, agent for Abel Garcia, requests Conditional Use for a beauty shop on Lots 13 and 14, Block 16, Perea Addition, zoned O-1 and located at 1321 Marquette Avenue NW.

Mr. Hargrove was present in behalf of this request. There were no objectors present.

In the discussion of this request it was found that a request for a beauty shop on the property to the east has been granted previously. Mr. Hargrove stated that the beauty shop would only operate on week-ends.

Mr. Underwood made the following motion:

BE IT RESOLVED THAT BA-1724 be granted Conditional Use for a beauty shop on Lots 13 and 14, Block 16, Perea Addition, zoned O-1 and located at 1321 Marquette Avenue NW, subject to the condition that this use be restricted to one operator, by appointment only, and that parking space be provided on the property for at least one customer vehicle.

Seconded by Mr. Strong

Motion carried unanimously.

BA-1725 Electrical Products Co. of New Mexico requests Conditional Use for a free standing sign over 20 square feet in area on a portion of the Elena Gallegos Grant Subdivision No. 1, zoned P-1 and located at 4600 San Mateo Blvd. NE.

There was no one present in behalf of this request, nor were there objectors present.

Mr. Garcia made the following motion:

BE IT RESOLVED THAT BA-1725 be granted Conditional Use for a free standing sign over 20 square feet in area on a portion of the Elena Gallegos Grant Subdivision No. 1, zoned P-1 and located at 4600 San Mateo Blvd. NE, subject to the following conditions:

1. Sign must be located on private property.
2. Sign must be so located and lighted as not to reflect into any residential zone.
3. Sign must be removed at owner's expense in the event additional right-of-way is required for future widening of San Mateo Blvd. NE.

Seconded by Mr. Underwood

Motion carried unanimously.

PLANNING DEPARTMENT
CITY OF ALBUQUERQUE

BOARD OF ADJUSTMENT
November 18, 1963
BA-1723

BA-1723

Bruce D. Johnson, agent for Universal Grading Company, requests Conditional Use for a builders yard on Lot 3, Block 3, Glenwood Hills Addition Unit 1, zoned O-1 and located on the north side of Montgomery Boulevard NE approximately 330 feet to the east of Panorama Boulevard.

REASON FOR REQUEST AS STATED BY APPLICANT:

"The contractor who is building the streets and utility systems for this subdivision desires to establish a construction yard on the site. This site will be in use approximately 8 months."

COMMENTS FROM OTHER DEPARTMENTS:

Traffic Engineer:	"No objections." 10/30/63
Bldg. & Inspection:	"No objections." 10/29/63
Land Agent:	"Land Dept. has no problem on this item." 10/29/63

PLANNING DEPARTMENT COMMENTS:

Subject property is zoned O-1 with P-1 to the west and to the north, C-1 to the south and P-1 to the east. Most of the area is undeveloped.

A field check revealed that building materials are already located on subject property and that the property is enclosed by a chain-link fence.

The builders yard could be considered important to the development of the area.

Approval of this request for a period of one year is recommended subject to the condition that the other regulations set forth in Section 6.B 9 of Zoning Ordinance No. 1493 must be complied with.


Jan Van Erven, Planner


L. Bernie Jones, Planning Director

JVE/ep/tp

Copy of report to: Universal Grading Co., Applicant
Box 6008, Ste B, Albuq., N.M.
Bruce D. Johnson, Agent
Box 6008, Ste B, Albuq., N.M.

SEND BACK

TO: CITY CLERK
FROM: PLANNING DEPARTMENT

FILE WITH CASE NO. BA 1723
Z

The applicant takes this to the
City Clerk's Office in City Hall after
application has been completed.....

+++++
+The fee in connection with the application
mentioned below has been paid and my stamp
of receipt is shown.

IDA V. MALONE, City Clerk

(Put File Number in Appropriate Space)

\$ 15.00

DATE: October 11, 1963, 1963

Z- BA- 1723 OTHER
Variance Conditional Use Application

+++++
Check drawn on First National Bank

Branch North 4th Branch

Check No. 000037

/s/ By B. D. Johnson Address Sta. B., Box 6008

Phone # 344-3571

CASH payment—Forward 3 copies of this receipt.

+++++

CITY CLERK

Date:

RECEIVED

PLANNING DEPARTMENT

OCT 15 1963

AM PM
7 8 9 10 11 12 1 2 3 4 5 6

Paig
10/14/63
AN

**BOARD OF ADJUSTMENT
NOTICE OF PUBLIC HEARING
Monday, November 18, 1963 - 2:00 P.M.
City Commission Room - City Hall
Second Street and Tijeras Avenue N.W.**

- BA-1717 T. D. Bowen requests Conditional Use for a dwelling group to allow the construction of 3 structures containing 8 dwelling units in total, on Lots 9, 10 and 11, Block 5, Loma Verde Addition, zoned R-3 and located at 240 Charleston Street NE.
- BA-1718 Benjamin DeLao requests an Interpretation of the Zoning Ordinance in order to receive a decision as to whether a "Parachute Club" is a permissive use in the R-1 zone.
- BA-1719 Cecil Smithson, agent for Mr. Ashley, requests a side yard variance of 3 feet to allow the construction of a multiple family dwelling on Lots 38, 39 and 40, Block 14, Mesa Verde Addition, zoned R-2 and located at 219 Texas Street NE.
- BA-1720 Miguel R. Chaves requests Expansion of a Non-Conforming Use (dwelling group) and a side yard variance of 3 feet to allow the construction of an addition to one of the existing dwellings on Lot 7, Block 20, Torreon Addition, zoned C-3 and located at 2223 Arno Street SE.
- BA-1721 Jim S. Wright, agent for Western Plumbing Supply, Inc., requests an Interpretation of the Zoning Ordinance in order to receive a decision as to whether the storage or sales of building materials includes the storage or sales of "plumbing materials" and therefore must comply with the requirements set forth under Section 12.C. of Zoning Ordinance No. 1493.
- BA-1722 Mrs. D. Ann Gillum requests approval of Conditional Use for a nursery school on Lot 16, Block 30, Mesa Village Addition, zoned R-1 and located at 1013 Walker Drive NE.
- BA-1723 Bruce D. Johnson, agent for Universal Grading Company, requests Conditional Use for a builders yard on Lot 3, Block 3, Glenwood Hills Addition Unit 1, zoned O-1 and located on the north side of Montgomery Boulevard NE approximately 330 feet to the east of Panorama Boulevard.
- BA-1724 R. E. Hargrove, agent for Abel Garcia, requests Conditional Use for a beauty shop on Lots 13 and 14, Block 16, Perea Addition, zoned O-1 and located at 1321 Marquette Avenue NW.
- BA-1725 Electrical Products Co. of New Mexico requests Conditional Use for a free standing sign over 20 square feet in area on a portion of the Elena Gallegos Grant Subdivision No. 1, zoned P-1 and located at 4600 San Mateo Blvd. NE.
- BA-1726 Albuquerque Neon Co., agent for Jiffy Broasted Chicken, requests Conditional Use for a free standing sign over 40 square feet in area on Lot 12, Block 25, Mesa Village Addition, zoned C-1 and located at 1307 Eubank Boulevard NE.
- BA-1727 Schubert Enterprises Inc., agent for Donald A. Valencia, requests a front yard variance of 2 feet and a rear yard variance of 11 ft. and 6 inches to allow the construction of a dwelling on Tract 119 A-1, MRGCD Map No. 34, zoned A-1 and located at 3228 Rio Grande Boulevard NW.

APPLICATION FOR
SPECIAL EXCEPTION
UNDER THE ZONING ORDINANCE

Board of Adjustment
City of Albuquerque

APPLICANT: Universal Grading Company

TELEPHONE 344-3571

ADDRESS: Station B, Box 6008, Albuquerque, New Mexico 87107

AGENT: Bruce D. Johnson

TELEPHONE 344-3571

ADDRESS: Station B, Box 6008, Albuquerque, New Mexico 87107

REQUEST (Check where applicable and indicate kind and/or amount of Special Exception wanted):

☒ Conditional Use (\$15 fee):

☐ Non-conforming use expansion (\$20 fee):

☐ H-1 Zone Use:

☐ Interpretation:

☐ Administrative Review:

☐ Other Use:

☐ Variance (\$15 fee):

Height:

Area:

Front Yard:

Side Yard:

Rear Yard:

LEGAL DESCRIPTION OF PROPERTY (Use extra sheet, if necessary):

Lot: 3 Block: 3 Plat: Glenwood Hills Subdivision

LOCATION OF PROPERTY BY STREETS: On Montgomery

between Panorama and Larchmont

House number, if any: None

ZONING OF PROPERTY: O-1 Date building completed: Acquired:

WAS THERE ANY PREVIOUS APPLICATION AFFECTING THIS PROPERTY? (Yes or no)

REASON FOR REQUEST (use extra sheet if necessary):

The contractor who is building the streets and utility systems for this subdivision desires to establish a construction yard on the site. This site will be in use approximately 8 months.

Signature: Bruce D. Johnson Date: Oct. 9, 1963

INSTRUCTIONS: Submit one copy of the completed application to the Planning Department, 220 1/2 Third St., NW, room 218. Each application must be accompanied by appropriate filing fee, if any, and four copies of a sketch showing the location of the property which is the subject of the request, location of buildings on the property in relation to property lines and other buildings, adjoining property, abutting streets and alleys, and north directional arrow. Checks should be made payable to the City of Albuquerque. (Note: No sketches are required with application for Interpretation, Other Use ruling, or Administrative Review, unless obviously pertinent). Additional material is required for Conditional Uses, Non-Conforming Use expansion plans, and H-1 Zone Use applications. The Planning Department should be consulted before application is made. If the application is approved, any further proceeding must be delayed until the appeal period of 15 days has expired or any appeal is decided. Approval of any application does not constitute approval of plans for a building permit.

PLANNING DEPARTMENT, 220 1/2 Third St., NW, P.O. Box 1293. TELEPHONE: CHapel 7-1531.

FOR OFFICE USE ONLY:

Application received by: *John E. Jones*

Date: 10-11-63

BA 1723

PL Map F-23

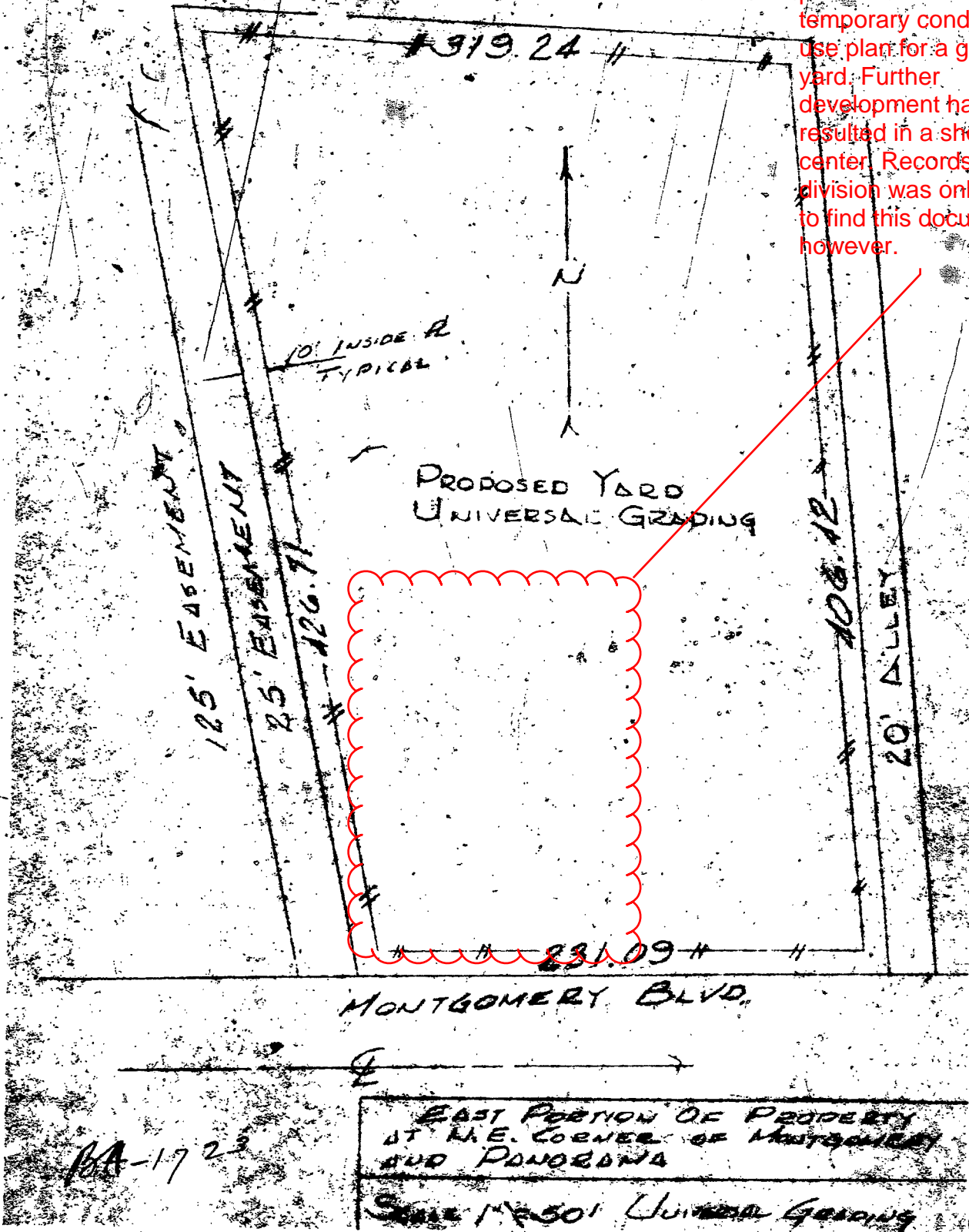
Census Tract

CR

BA

131-3M-461

Affected portion of property. Original site plan was for a temporary conditional use plan for a grading yard. Further development has resulted in a shopping center. Records division was only able to find this document, however.



PROPERTY OWNERSHIP LIST

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

F: A- 1723

Meeting Date: Nov. 18, 1963

Z -

AX -

Index Map: 7-23

V -

Notification Radius: 200 Ft.

Cross Reference:

Legal Description & Location: Lot 3, Bl. 3, Glenwood Hills

Subdivision located on Montgomery between
Panorama and Larchmont

Request: C. U.

Applicant: Universal Trading Co.

Phone: 344-3571

Address: Sta B, Box 6008, Albany

Agent: Bruce L. Johnson

Phone: 344-3571

Address: Sta B, Box 6008, Albany, N. M.

Copy of Legal Ad to be sent to
Applicant & Agent by:

Certified Mail
No. 624785
Applicant

Certified Mail
No. 624786
Agent

SPECIAL INSTRUCTIONS

Notices must be mailed from
the City 11 Days prior to
the meeting

Date Mailed: _____

Signature: _____

The Following
Prepared By:

Initial Date

Property Description: me 10/11/63

Ownership Search: _____

BLOCK	LOT TRACT	NAME	ADDRESS
3-173		Blinnard Hill Add Unit 1	
2	1	Blinnard Corp	420 Washington SE
	2		
	3		
	4		
3	1	James H. Brown	420 Washington SE
	2		
	3		
	4		
4	1	Blinnard Corp	
	2		
	3		
	4		
	5	Andres Nicolas	4717 Pershing SE
	6	Blinnard	
	7		
6	11	Henry H. Vailley	3124 Euclid NE
7	1	Blinnard	
	2		
	3		
	4		
5-174		Edmond J. Raby	
3-146	Parcel 1	Edmond J. Raby	4011 La Resolana NE
	2		
3-147	Unplatted land located in the NW 1/4, NW 1/4, NW 1/4 Sec. 2, R. 4E 2 10N, a strip of land along the S side of Montgomery Blvd, Approx 100' wide extending immediately from the E boundary of Blinnard Hills Unit 1 (approx 250' eastward) of Blinnard Corp. 46 Blinnard Corp 420 Washington SE		

