



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Katie Kahler		Phone: 970-999-2177
Address: 1281 E Magnolia Street, Suite D, Unit 186		Email: katie.kahler@scmsllc.com
City: Fort Collins	State: CO	Zip: 80524
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Exterior facade updates to an existing Starbucks coffee shop. Includes installing new wood cladding and stone veneer, removal and infill of an existing door, and painting of existing stucco.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 16-A	Block: 18	Unit:
Subdivision/Addition: North Albuquerque Acres	MRGCD Map No.:	UPC Code: 101806425102830212
Zone Atlas Page(s): C18	Existing Zoning: NR-LM	Proposed Zoning: NR-LM
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.08

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 8101 San Pedro Dr NE	Between: San Pedro Dr NE	and: Paseo del Norte
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project No: 1003389

Signature: <i>Katelin Kahler</i>	Date: 10/13/2022
Printed Name: Katie Kahler	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

☒ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and label

☐ **ARCHEOLOGICAL CERTIFICATE**

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☒ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☒ The approved Site Plan being amended
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☐ The approved Site Development Plan being amended
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ACCELERATED EXPIRATION SITE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired

☐ **ALTERNATIVE SIGNAGE PLAN**

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

☐ **ALTERNATIVE LANDSCAPE PLAN**

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

2621 Reagan LLC

October 17, 2022

SCM Solutions
Katie Kahler
1281 E. Magnolia Street Suite D unit 186
Fort Collins, CO 80524

Re: Starbucks @ I-25 & Paseo Del Norte in Albuquerque, NM exterior improvements.

Dear Katie Kahler

The exterior improvements of the subject Starbucks have been approved by the Landlord. You all may submit the application on Landlord's behalf.

Should you have any questions, please call 972-388-5243 or brian@maylar.com.

Thank you,



Brian Matwijecky

Date November 8, 2022

Subject: Minor Exterior Amendments

Reference: Starbucks Renovation
8101 San Petro Drive NE
Albuquerque, New Mexico

To Whom It May Concern:

Pursuant to a request for clarification from the planning department, on behalf of Starbucks Corporation, this letter shall serve as an application to make minor amendments to existing exterior surfaces at the above referenced property. The scope of the proposed changes involves the following items:

- the elimination of an existing trellis,
- the introduction of upgraded exterior materials at both the northeast & northwest exterior elevations of the façade. The exterior elevations will feature a new enhanced wood finishes and an increase in the amount façade stonework.

No further modifications are anticipated to other existing exterior elements, including shading devices or eaves.

We hope that this brief letter is sufficient, please do not hesitate to contact us should you have additional questions.

Thank you,

ZIMMERMAN WEINTRAUB ASSOCIATES, LLC



Lee S. Weintraub, AIA, NCARB
Principal



Junemo Yang
Architectural Designer

DRB
AS-1

MAHLMAN &
MILES
ARCHITECTS

206 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM

STERLING CAPITAL DEVELOPMENT
March, 2004

SITE SURVEY, PROJECT
INFORMATION
AND UTILITIES

DRB TABLE OF CONTENTS

AS-1	Site Survey, Project Information, and Utilities
AS-2	Landscape Plan
AS-3	Drainage and Grading Plan
AS-4	Exterior Signage & Misc. Details
AS-5	Starbucks Ext. Signage
AS-6	Exterior Color Elevations

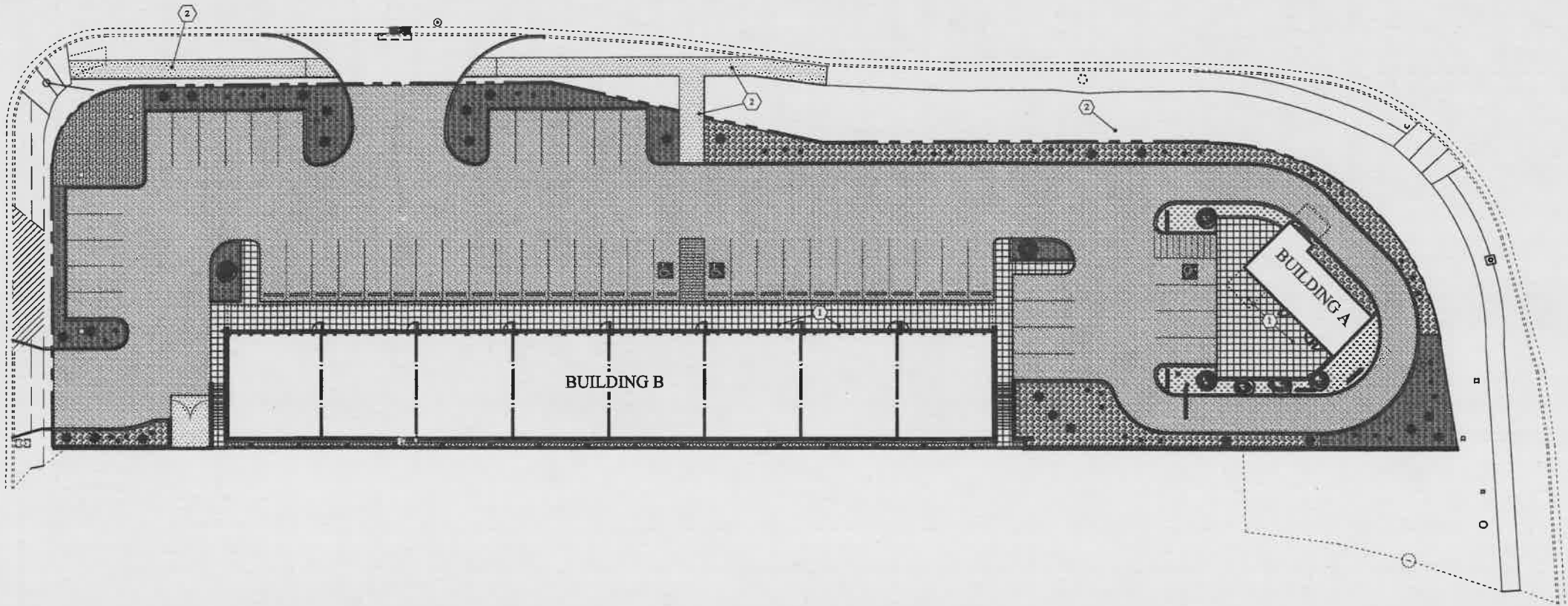
KEYED NOTES

1. New colored concrete sidewalk, see site plan.
2. New concrete sidewalk, see site plan.

LANDSCAPE PLAN

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM
STERLING CAPITAL DEVELOPMENT
March, 2004

MAHLMAN &
MILES
ARCHITECTS
206 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101



TOTAL LANDSCAPE AREA REQUIRED:

Total Lot Area	47,029	SF
(within property line)		
Retail Area	8,800	SF
Starbucks	760	SF
Landscape Requirement	X .15	SF
Total Landscape Required	5,620	SF

TOTAL LANDSCAPE AREA PROVIDED:

Area A	2,695	SF
Area B	683	SF
Area C	269	SF
Area D	70	SF
Area E	558	SF
Area F	371	SF
Area G	630	SF
Area H	1,853	SF
Area I	741	SF

Total Landscape Provided 7,980 SF
(the landscape area provided is adequate)

LANDSCAPE CALC.

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE/NOTES	HGT/SPR
⊕	FRAXINUS VELUTINA "BERINDA"	BERINDA ASH	7	2-1/2" CAL	40'X40'
✱	ERIANTHUS REVENNAE	REVENNA GRASS	24	2-1/2" CALIPER	6'X4'
•	MUHLENBERGIUS CAPALARIS	REGAL MIST	42	5 GALLON	6'X4'
•	HEDERA HELIX	ENGLISH IVY	16	1 GALLON	5' CLIMBING
•	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	16	1 GALLON	5' CLIMBING

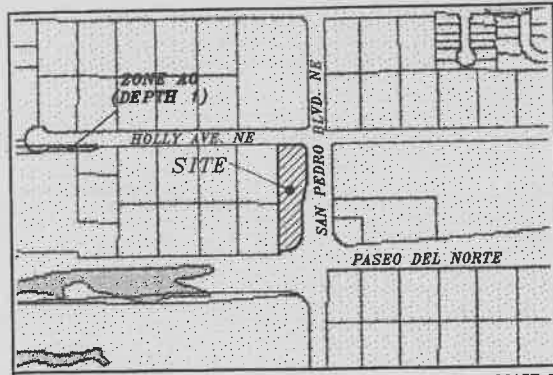
NOTE: All landscaping will be on a timed irrigation system.

PLANT LEGEND

	Grass Sodding
	River Rock
	Deco Shredded Bark Mulch
	Irrigated Buffalo Grass

MATERIALS LEGEND

DRB
AS-2

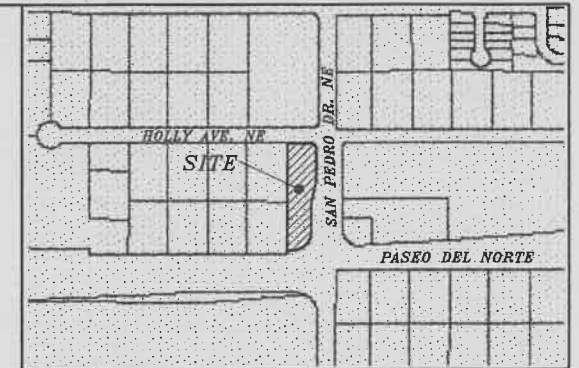


FIRM MAP: 35001C0137 D

- GENERAL NOTES:**
1. ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-17-D18 HAVING AN ELEVATION OF 5236.57 FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

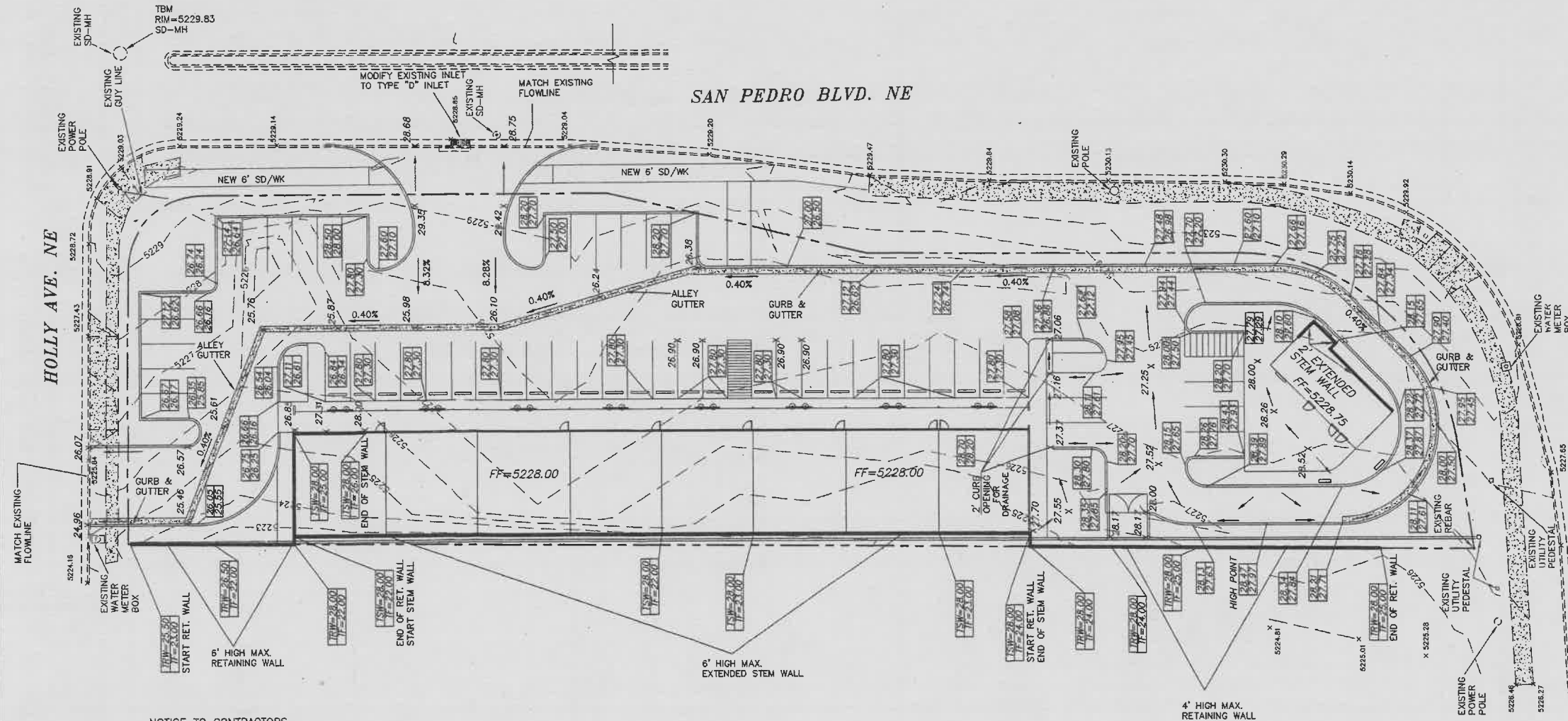
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



VICINITY MAP: C-18-Z

LEGAL DESCRIPTION:

LOT 16-A, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES CONTAINING ±1.0800 ACRES MORE OR LESS.

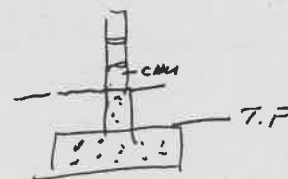


LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 16" WL --- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER
- 5100 --- EXISTING CONTOUR (MAJOR)
- 5102 --- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- TC 70.99 PROPOSED GRADE
- FL 70.49 PROPOSED SPOT ELEVATION
- X 70.28 EXISTING GRADE
- X 5228.48 EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- 100YR-VSEL --- 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
- 100YR-CEL --- EXISTING FENCE
- FEMA --- FLOODPLAIN LIMITS FROM FEMA MAP
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TSW=58.00 TOP OF RETAINING WALL
- TF=32.00 TOP OF FOOTING
- TSW=52.00 TOP OF EXTENDED STEM WALL
- TF=32.00 TOP OF FOOTING

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



GRAPHIC SCALE



APPROVALS	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL

DATE

ADVANCED ENGINEERING and CONSULTING, LLC

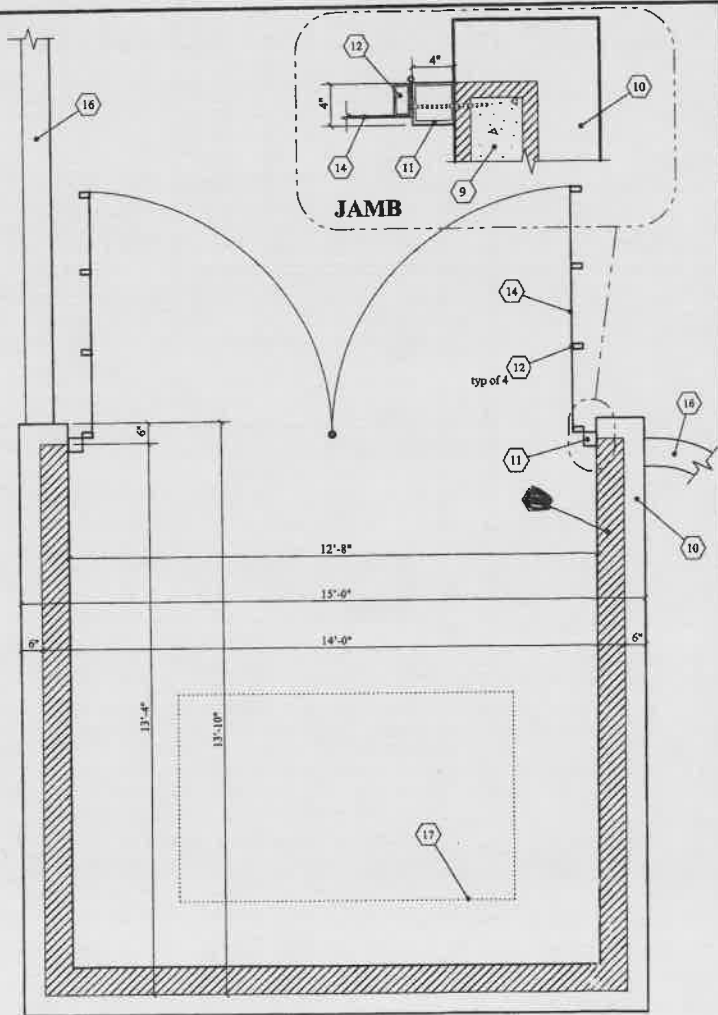
SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)859-5570

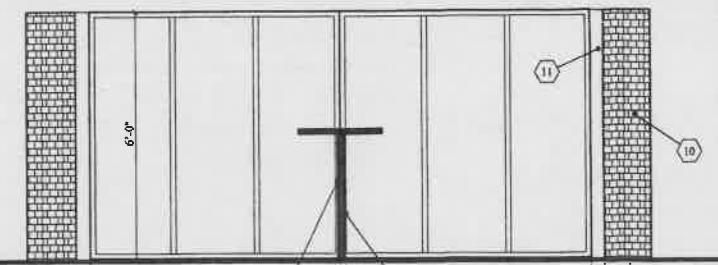
**LOT 16-A, BLK 18, TR A, UNIT B, NAA
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200350-GR.DWG	SBH	01-26-2004	AS-3

LAST REVISED: 01-26-2004



PLAN



FRONT ELEVATION

TRASH ENCLOSURE

PLAN



ELEVATION

MONUMENT SITE SIGNAGE

1/2" = 1'-0"

PLAN



ELEVATION -

POLE MOUNTED SITE SIGNAGE

1/2" = 1'-0"

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KEYED NOTES

1. 144 sq. ft. internally illuminated sign provided by Owner.
2. Changeable lexan tenant signs provided by Owner.
3. Illuminated address box provided by Owner.
4. 48 sq. ft. internally illuminated sign provided by Owner.
5. 12 3/4" dia. x 1/4" steel support pole, painted. Weld to base plate continuously. See Architect for color.
6. 1' - 6" x 1' - 6" x 1/4" base plate with 1" hole in center to allow for electrical, paint to match pole.
7. Anchor bolt size and location to be designed and installed by sign manufacturer.
8. Concrete base and rebar to be designed and installed by sign manufacturer.
9. 8 x 8 x 16 CMU wall with #4 vertical rebar @ 16" o.c. and horizontal tie @ 24" o.c.
10. Cultured stone on CMU wall with ties @ 7 o.c.
11. 4" X 4" X 1/4" steel tube jamb post with 1/4" welded cap plate. Secure post with 1/2" bolt to CMU wall. See structural for base foundation.
12. 3" x 1 1/2" x 3/16" steel tube perimeter frame, weld smooth and paint. Color to be selected by Architect, see elevations.
13. Concrete footing.
14. 1/8" steel plate welded to tube steel perimeter and intermediate supports. Grind welds smooth and paint. Color to be selected by Architect.
15. Flush bolt at each gate leaf, provide 3/4" steel pipe keeper set in 8" diameter x 1'4" deep concrete footing to receive each bolt at closed AND 120 degree hold open position.
16. New curb, see site plan.
17. Trash receptacle (NIC).
18. Stub up electrical, see electrical.

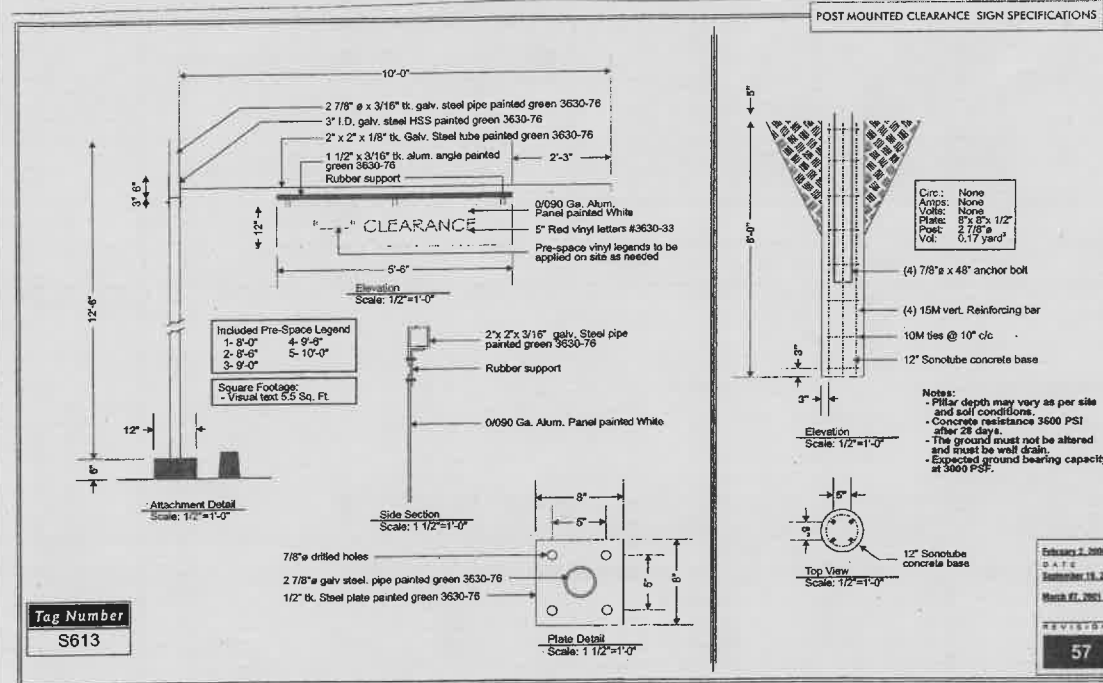
- ☐ Color A
- ☐ Color B
- ☐ Color C

EXTERIOR SIGNAGE
AND SITE DETAILS

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM
STERLING CAPITAL DEVELOPMENT
March, 2004

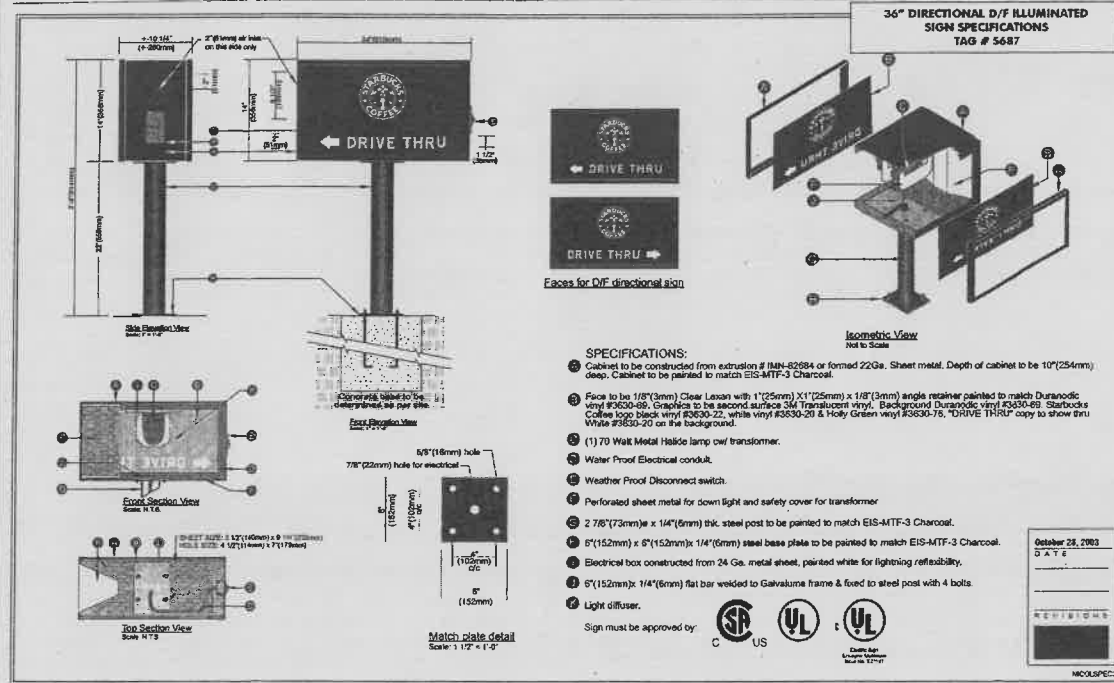
MAHLMAN &
MILES
ARCHITECTS
206 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

DRB
AS-4



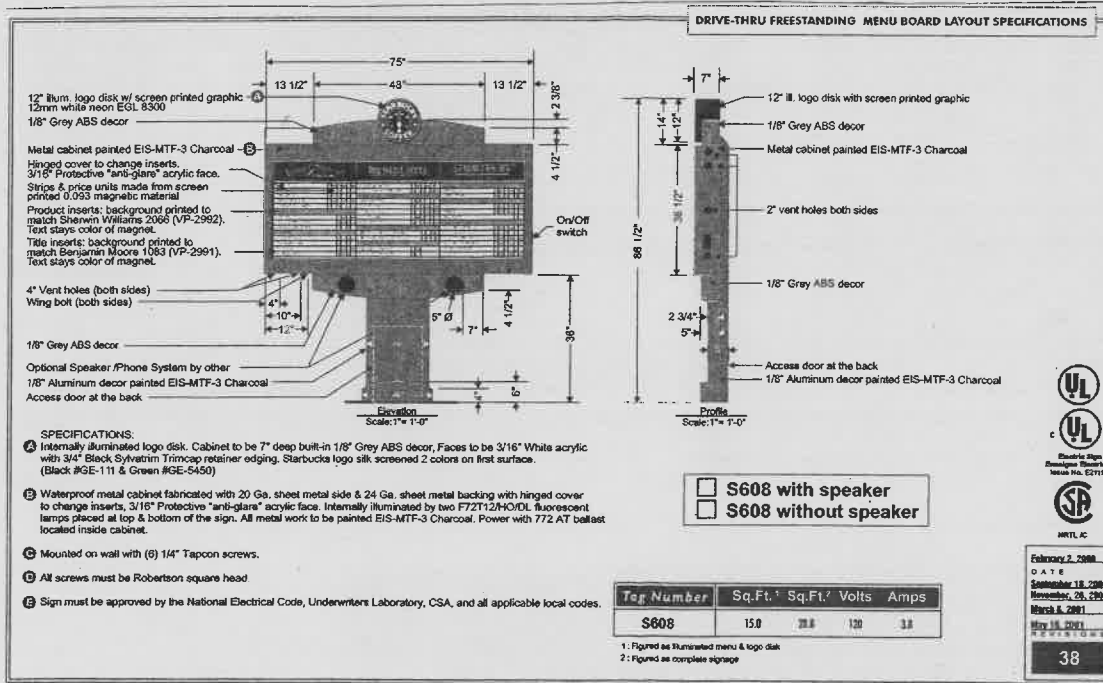
POST MOUNTED CLEARANCE SIGN

NTS 1



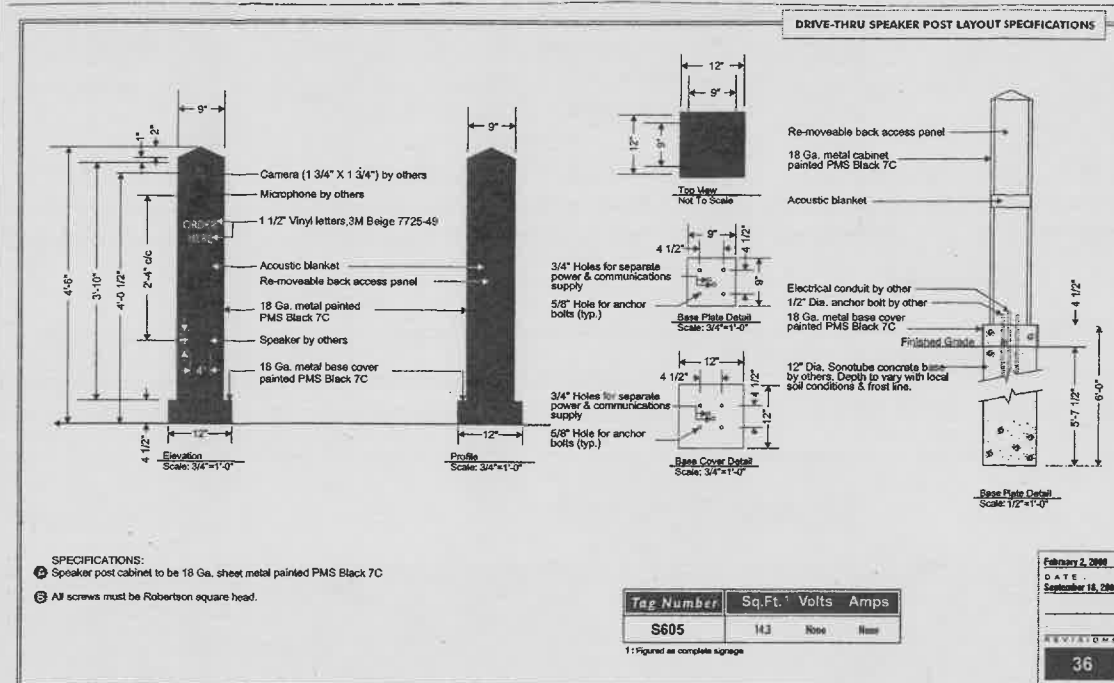
ILLUMINATED DIRECTIONAL SIGN

NTS 2



DRIVE-THRU FREESTANDING MENU

NTS 3



DRIVE-THRU SPEAKER POST

NTS 4

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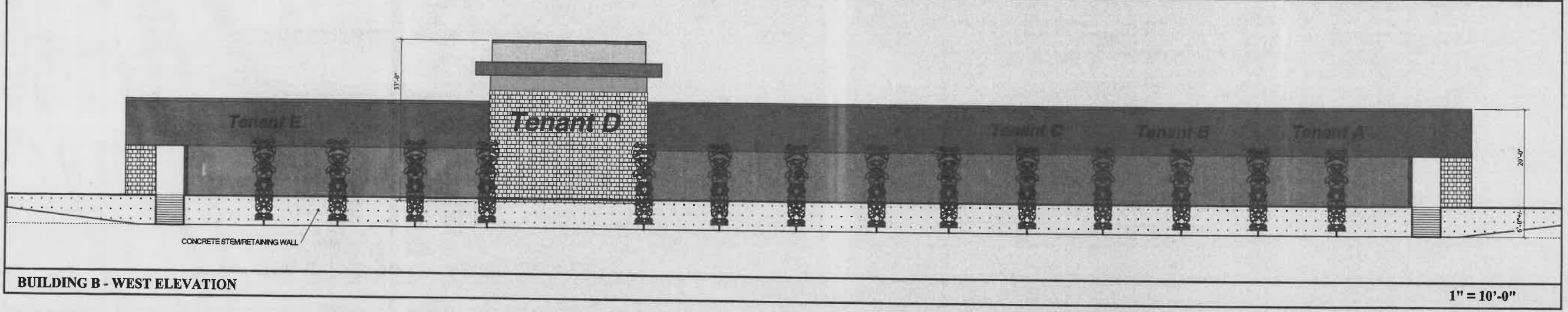
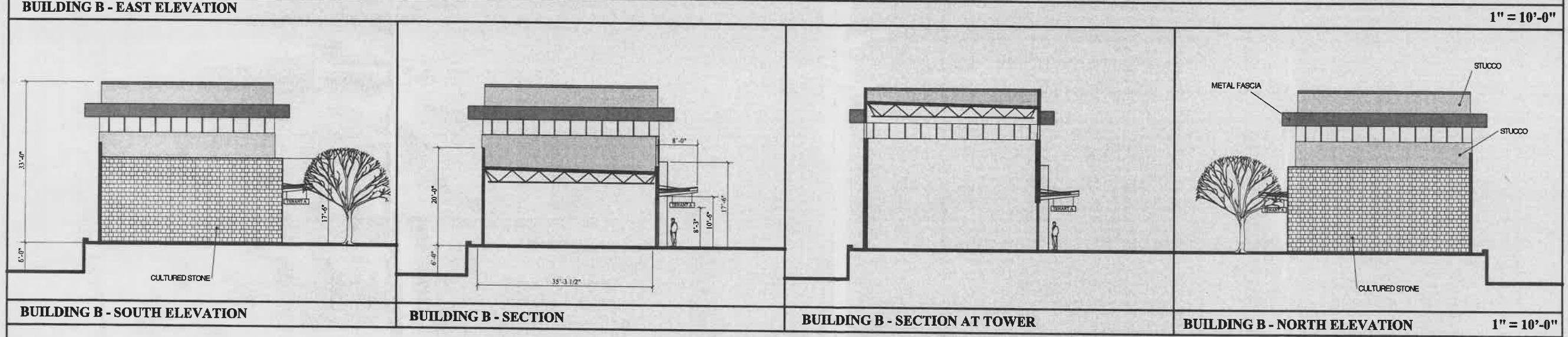
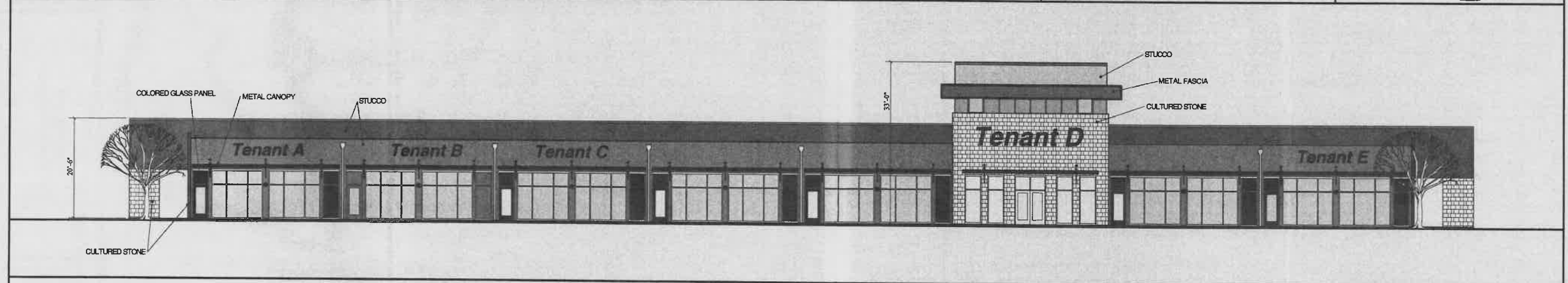
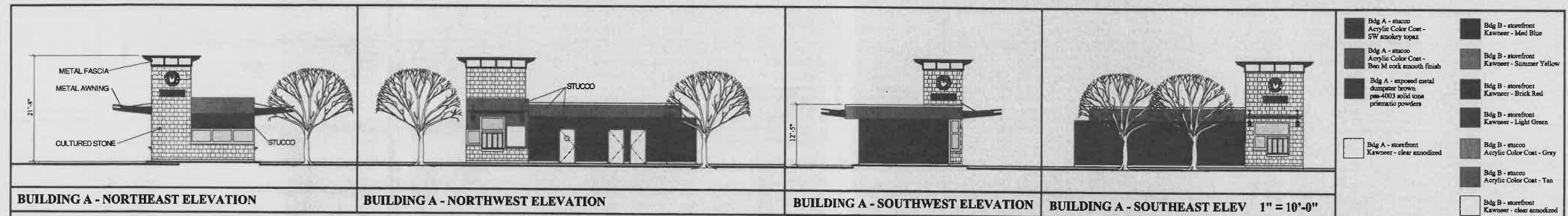
KEYED NOTES

STARBUCK'S
EXTERIOR SIGNAGE

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM
STERLING CAPITAL DEVELOPMENT
March, 2004

MAHMAN &
MILES
ARCHITECTS
206 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

DRB
AS-5



EXTERIOR COLOR ELEVATIONS

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM
STERLING CAPITAL DEVELOPMENT
March, 2004

MAHLMAN & MILES ARCHITECTS
206 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

DRB
AS-6



CITY OF ALBUQUERQUE
OFFICE OF THE ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

PHILIP STERLING request(s) a special exception to Section 14. 16. 2. 20. (B). (6).: a CONDITIONAL USE to allow retailing in a M-1 zone (drive-up window) for coffee sales on all or a portion of Lot(s) 16 A, Block(s) 18, Tract(s) A, North Albuquerque Acres, zoned SU-2/M-1 and located at 8101 SAN PEDRO NE (C-18)

Special Exception No:..... **04ZHE - 00584**
Project No: **1003389**
Hearing Date: 05-18-04
Closing of Public Record: 05-18-04
Date of Decision: 05-21-04

STATEMENT OF FACTS: The applicant requests a conditional use to allow retailing in a M-1 zone (drive-up window) for coffee sales. The applicant, Philip Sterling, was represented by David Campbell, Esq. Mr. Campbell testified that this is a request for a proposed Starbucks Coffee shop located at San Pedro Drive and Paseo Del Norte Boulevard NE. He stated that the ingress and egress of traffic to the drive-up area of this business will be onto San Pedro Drive and that there will be no direct access to Paseo Del Norte Boulevard. Mr. Campbell indicated that this business will not be injurious to adjacent properties and will be consistent with existing commercial uses in the area. He submitted a copy of the North I-25 Sector Plan to the file. The yellow sign was posted. There was no opposition to this request at the hearing, nor is there any opposition noted in the file.

Based on all of the testimony and a review of the entire file, it is determined there is substantial evidence to make the following findings and conclusions:

FINDINGS AND CONCLUSIONS: I find that this request complies with Section 14. 16. 4. 2. (C). 1., for the granting of a conditional use upon a finding that the proposed use will not cause injury to the neighborhood, adjacent property or the community, nor will it be damaged by surrounding structures. For reasons stated above, this request is approved.

DECISION: Approved with condition.

CONDITION:

1. The applicant will comply with any and all requirements of the Traffic Engineering Division.

If you wish to appeal this decision, you may do so by 5:00 p.m., on Monday, June 7, 2004 in the manner described below:

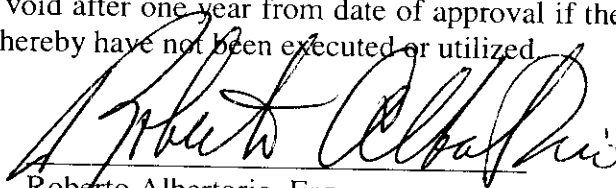
Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$55.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street, Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby. **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded.

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B)., of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined.

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement (2)
ZHE File
Philip Sterling, 8215 Rio Grande Blvd. NW, 87114
David Campbell, Esq., 6100 Uptown Blvd. NE, Suite 500, 87110-4143

GENERAL NOTES

- A. SITE PLAN SHOWN ONLY FOR REFERENCE.
B. EXISTING SITE TO REMAIN.

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FOR A PROTOTYPICAL STARBUCKS STORE (WHICH IS SUBJECT
TO CHANGE AT ANYTIME) AND DO NOT REFLECT ACTUAL SITE
CONDITIONS. NEITHER PARTY SHALL HAVE ANY OBLIGATION
NOR LIABILITY TO THE OTHER (EXCEPT STATED ABOVE) UNTIL A
WRITTEN AGREEMENT IS FULLY EXECUTED BY BOTH PARTIES.

STARBUCKS TEMPLATE VERSION: i2021.07.23



Lee S. Weintraub

**ZIMMERMAN
WEINTRAUB
ASSOCIATES**

PROJECT NAME:
**I-25 & PASEO DEL NORTE
BOULEVARD NE**

PROJECT ADDRESS:
**8101 SAN PEDRO DRIVE NE
ALBUQUERQUE, NM 87113**

ISSUE DATE: 06-03-2022
DESIGN MANAGER: MELISSA LEE
PRODUCTION DESIGNER: ZWA - J. YANG
CHECKED BY: MELISSA LEE

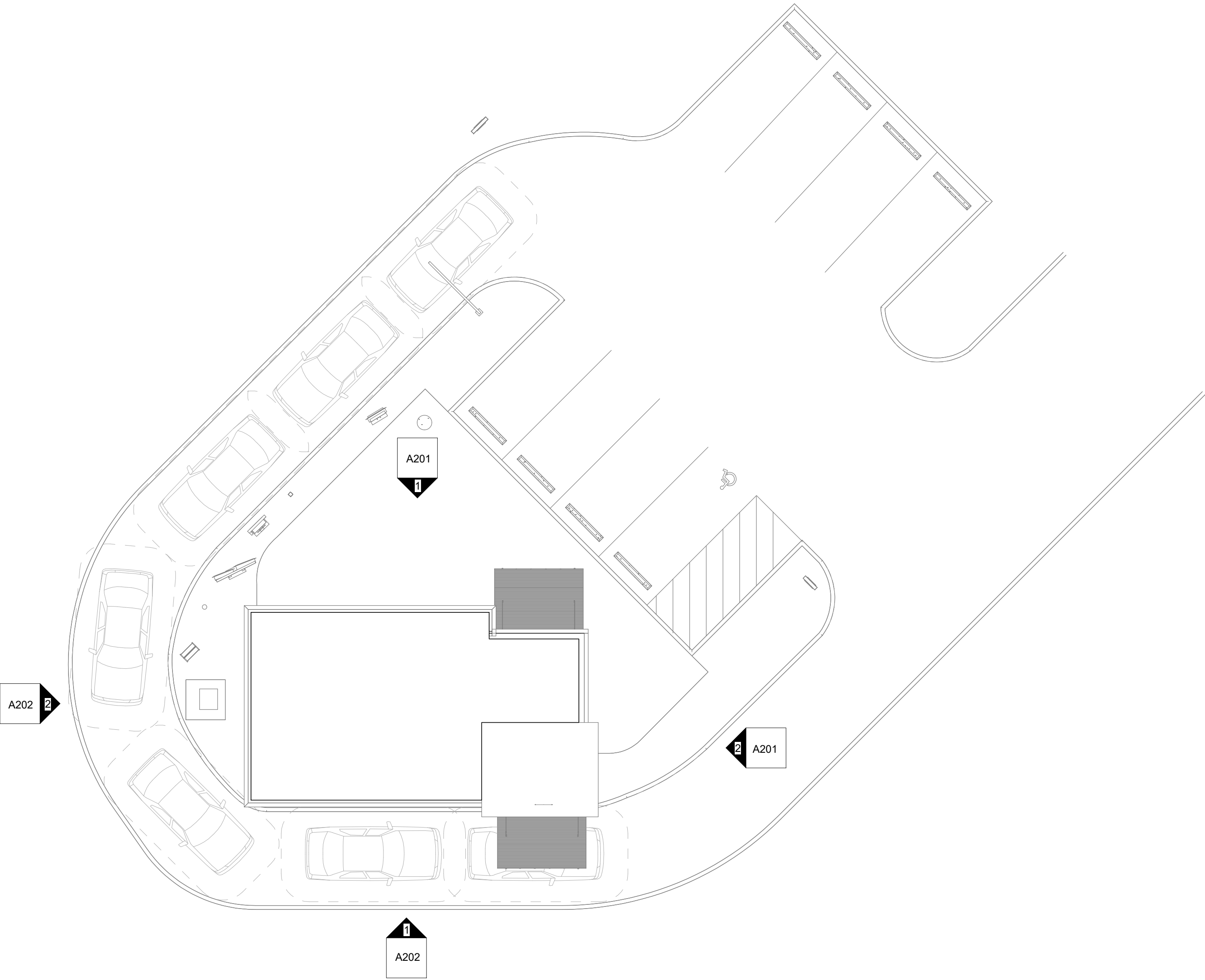
Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SCALE: AS SHOWN

SHEET NUMBER:

A001



1 SITE PLAN
Scale: 1" = 10'-0"



ITEMS TO DEMOLISH

- EXTERIOR SEATING, TABLES, AND UMBRELLAS
- ALL BATHROOM FIXTURES
- ALL INTERIOR CASEWORK AND
- BOH FREEZERS
- BOH ICE MACHINE
- BOH 3-COMP SINK, DISH WASHER, HAND SINK

ITEMS TO PRESERVE

- BOH STORAGE RACKS AND 2-DOOR REFRIGERATORS, PASTRY TRAY RACK
- ESPRESSO MACHINES, UNDER-COUNTER REFRIGERATORS, COFFEE BREWERS, BREWER STANDS, DITTERS, BLENDERS, OVENS
- ENGINE DATA FIXTURES
- COAT RACK
- ROOF LADDER

KEYED NOTES

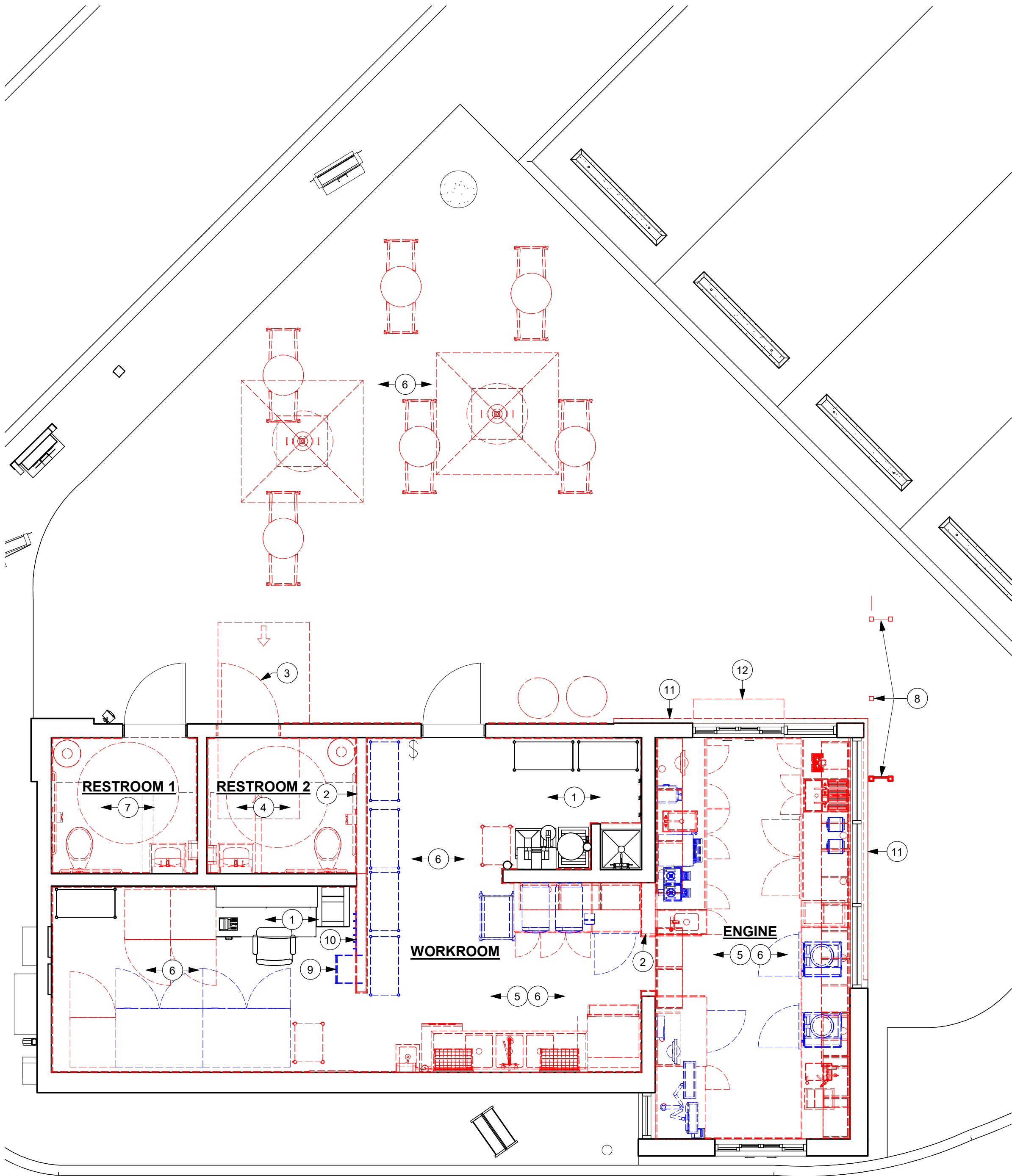
1. EXISTING TO REMAIN (ETR).
2. REMOVE INTERIOR PARTITION FROM FLOOR TO UNDERSIDE OF STRUCTURE.
3. REMOVE EXISTING DOOR, DOOR FRAME AND ASSOCIATED FASTENERS.
4. REMOVE EXISTING RESTROOM FIXTURES AND CAP PLUMBING.
5. REMOVE EXISTING CASE WORK, HANGING DEVICES, AND FASTENERS AS SHOWN. CAP EXISTING PLUMBING.
6. REMOVE EXISTING FIXTURES, FURNITURE, AND EQUIPMENT. REFERENCE SCHEDULES FOR ITEMS TO BE PRESERVED.
7. REMOVE EXISTING RESTROOM FIXTURES AND PREPARE FOR NEW PLUMBING FIXTURES.
8. DEMOLISH EXISTING TRELLIS.
9. REMOVE EXISTING ROOF LADDER. LADDER TO BE REINSTALLED IN SAME LOCATION ON NEW REPLACEMENT WALL.
10. REMOVE EXISTING COAT RACK. COAT RACK TO BE REINSTALLED IN SAME LOCATION ON NEW REPLACEMENT WALL.
11. DEMOLISH EXISTING STONE-FINISHED HALF-HEIGHT EXTERIOR FURRING WALL.
12. DEMOLISH EXISTING WALK-UP WINDOW LEDGE.

LEGEND

- ITEM TO BE DEMOLISHED
- PRESERVE FOR FUTURE USE
- EXISTING ITEM TO REMAIN

GENERAL NOTES

- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF EXISTING CONDITIONS DEVIATE FROM CONSTRUCTION DOCUMENTS.
- REMOVE EXISTING INTERIOR WALL FINISH AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVE WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOLITION, (I.E. PIECES OF WALL COVERING OR BACKING). REMOVAL OF ALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN. ALSO REMOVE WALL DEVICES AND ITEMS MOUNTED TO WALLS.
- REMOVE EXISTING FLOORING AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVAL OF EXISTING FLOORING INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF EXISTING CERAMIC TILE, CARPET OR VINYL TILE FLOORING AND ASSOCIATED WALL BASE. SUBFLOOR TO BE STRIPPED OF ALL COVERING/FINISH AND CLEANED TO REMOVE EXISTING ADHESIVE, GROUT, MORTAR, DIRT AND COATINGS. FINAL SURFACE TO BE STREAK-FREE WITH NO MACHINE MARKS AND/OR SMOOTH, STABLE AND LEVEL. PROVIDE LEVELING WHERE NECESSARY TO ACCOMMODATE NEW FINISHES.
- DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, HANDRAILS, WALL PROTECTION, CLOSETS, SINKS ETC. PRIOR TO DEMOLITION, FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
- DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, DUPLEXES, DATA OUTLETS, CABLES, SHELVING, METAL STUD AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOLDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
- VERIFY WITH STARBUCKS CONSTRUCTION MANAGER ACCESS TO THE DEMOLITION AREA, INGRESS AND EGRESS ROUTES FOR MATERIAL AND EQUIPMENT.
- PROTECT EXISTING FLOORS, WALLS AND CORNERS TO REMAIN ALONG WORK ACCESS ROUTES.
- CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
- THE GENERAL CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, CEILINGS, SUPPORTS, STRUCTURE, ETC. TO REMAIN.
- ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT SURFACE.
- REFER TO "ITEMS TO BE PRESERVED" LIST FOR ITEMS THAT SHALL BE SALVAGED FOR RELOCATION. VERIFY WITH OWNER FOR ON SITE STORAGE LOCATION OF SALVAGED ITEMS.
- DAMAGED FIREPROOFING SHALL BE REPAIRED/ REPLACED TO MATCH EXISTING.
- THE GENERAL CONTRACTOR SHALL DEMOLISH ANY EXISTING ABANDONED VOICE/DATA CABLING AND DEAD OR NON-USE ELECTRICAL BACK TO PANEL. ALL RECEPTACLES NOT REUSED ARE TO BE REMOVED, PATCHED AND PAINTED.
- REMOVAL OF LOW VOLTAGE EQUIPMENT, PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED BY THE STARBUCKS CONSTRUCTION MANAGER PRIOR TO REMOVAL. SALVAGED EQUIPMENT SHALL BE STORED IN A CLIMATE CONTROLLED ENVIRONMENT FOR FUTURE INSTALLATION.
- LABEL ALL ITEMS AND PROPERLY STORE FOR RE-INSTALL.
- REMOVE EXISTING PLUMBING FIXTURES AND HVAC EQUIPMENT AS NECESSARY. CAP LINES AND TERMINATE DUCTS AS NECESSARY FOR THOSE NOT BEING RE-USED.



1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"



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DESIGN MANAGER: MELISSA LEE
PRODUCTION DESIGNER: ZWA - J. YANG
CHECKED BY: MELISSA LEE

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
DEMOLITION FLOOR PLAN

SCALE: AS SHOWN

SHEET NUMBER:

D101

FURNITURE SCHEDULE - "F"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
MIRROR					
10342	1	MIRROR - RESTROOM - 18X36IN 455X915MM	SB	GC	
OTHER					
10756	1	COAT HOOK 1 PRONG SQUARE - 2IN 50MM - SST	SB	GC	
WINDOW TREATMENT					
22486	3	ROLLER SHADE - DARK BROWN - 5PC OPEN	SB	GC	

SPECIALTY EQUIPMENT SCHEDULE - "E"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	COMMENTS
COOLING					
10267	2	FRIDGE UNDERCOUNTER 1 DOOR - 27IN 685MM	SB	GC	
13682	2	FREEZER REACH IN 2 DOOR - 54IN 1370MM	SB	GC	
20011	1	FRIDGE NITRO 2 TAP JT NITCOM RH	SB	GC	KIT INCLUDES UNDERCOUNTER FRIDGE, FONT, TRAY, AND TUBING
EQUIPMENT					
15186	1	DISHWASHER LXER ADVANSYS	SB	GC	
17564	1	BLENDER PITCHER RINSER WITH SENSOR	SB	GC	
21679	1	NITROGEN GENERATOR ELEMENT COMPACT	SB	GC	
ICE					
10344	1	ICE - BIN DROP IN 90LB 40KG	SB	GC	
18029	1	ICE - BIN B110	SB	GC	BPF-1 ADAPTER KIT (011076103) REQUIRED WHEN PAIRING WITH 30" (760MM) ICE MACHINES
18846	1	ICE - MACHINE CIM1446HR SERIES REMOTE COOLED	SB	GC	
19278	1	ICE - BIN DROP IN 45LB 20KG HORIZONTAL	SB	GC	
OTHER					
10099	1	RESTROOM TOILET PAPER HOLDER	SB	GC	
10172	1	RESTROOM SEAT COVER DISPENSER	SB	GC	
10179	1	HAND DRYER SURFACE MOUNTED	SB	GC	
10384	1	DIAPER CHANGING STATION HORIZONTAL	SB	GC	
10501	1	FIRE EXTINGUISHER	GC	GC	
10769	1	RESTROOM GRAB BAR VERTICAL - 18IN 455MM	SB	GC	
10859	1	RESTROOM GRAB BAR - 48IN 1220MM	SB	GC	
10862	1	RESTROOM GRAB BAR - 36IN 915MM	SB	GC	
10947	1	SOAP DISPENSER WALL MOUNTED	SB	GC	
10977	1	PAPER TOWEL DISPENSER FULL SIZE	SB	GC	
11115	2	SOAP DISPENSER SINK MOUNTED	SB	GC	
20403	6	KEG - 3GAL	SB	GC	
21988	1	HAND DRYER BACK PANEL	SB	GC	
22627	1	NITRO 2 TAP HANDLE WITH BADGE AND MOUNT KIT	SB	GC	JOE TAP. FOR USE AT BACKBAR NITRO FONT
STORAGE					
10222	1	WIRE SHELF GRID AT SINK	SB	GC	
11153	3	WIRE SHELF - 48IN 1220MM	SB	GC	SPG MODEL NUMBER WST964C
13578	2	DISHWARE DRYING RACK - 21IN 535MM	SB	GC	
17639	1	WORKROOM CART - 24IN 610MM	SB	GC	
19476	2	5 COMP LOCKER - 12IN 305MM	SB	GC	
22213	2	WIRE SHELF SET POST MOUNT - 24IN 610MM	SB	GC	SPG MODEL NUMBER WST1883C
X4000	1	WIRE SHELF - 24IN 610MM	SB	GC	SPG MODEL NUMBER WST1889C
X4001	1	WIRE SHELVEING POST MOUNT - 48IN 1220MM	SB	GC	SPG MODEL NUMBER WST1888C

KEYED NOTES

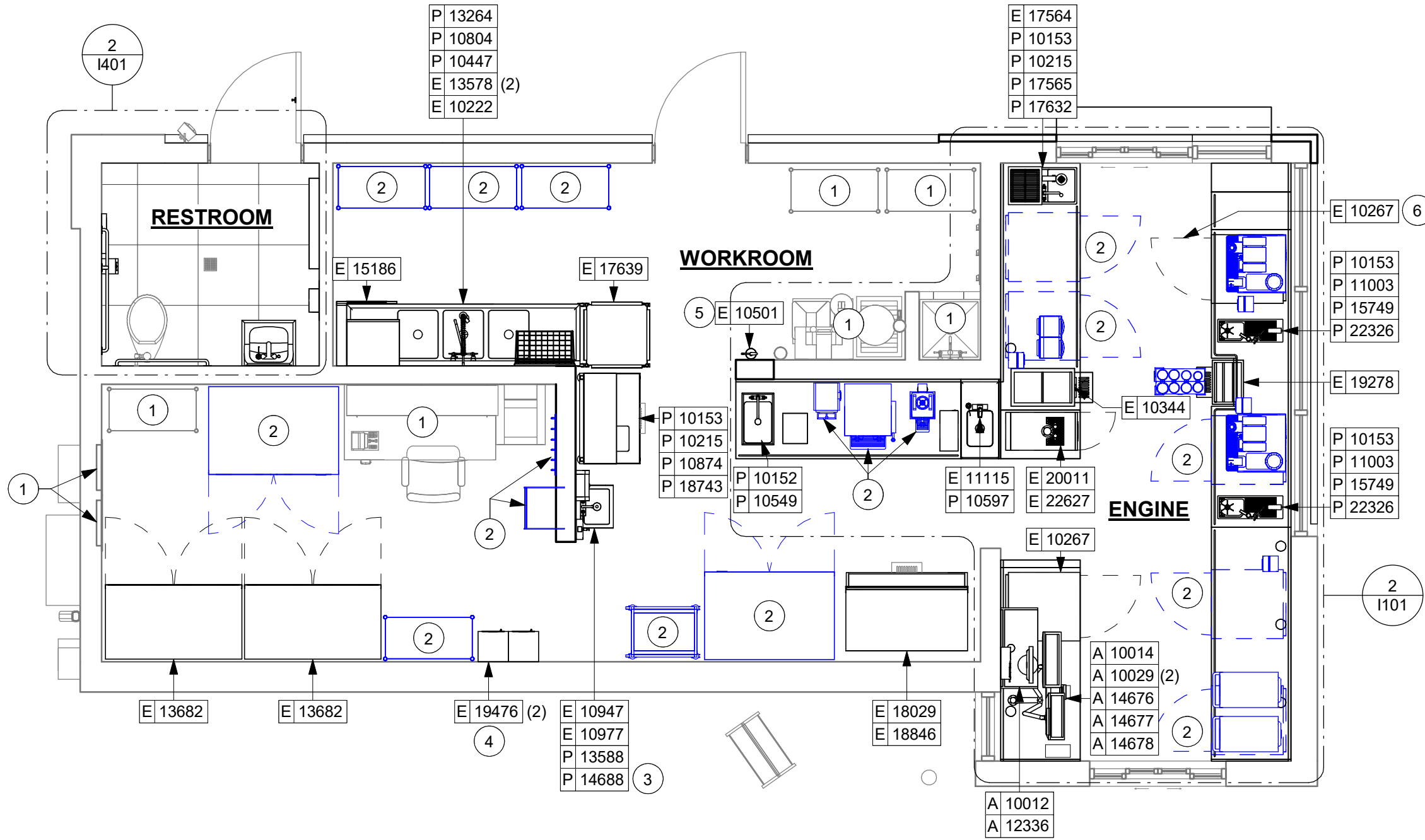
- EXISTING EQUIPMENT / FIXTURE TO REMAIN.
- EXISTING EQUIPMENT TO BE RELOCATED AS SHOWN.
- HAND SINK W/ INTEGRAL SPLASH GUARD.
- SECURE LOCKERS TO WALL.
- LOCATION OF FIRE EXTINGUISHER.
- G.C. TO REVERSE HINGE ON U.C. REFRIGERATOR TO LEFT HAND SWING AS SHOWN.
- SEE ELEVATION SHEET FOR INSTALL HEIGHT. PROVIDE BLOCKING AS REQUIRED.

RESPONSIBILITY LEGEND

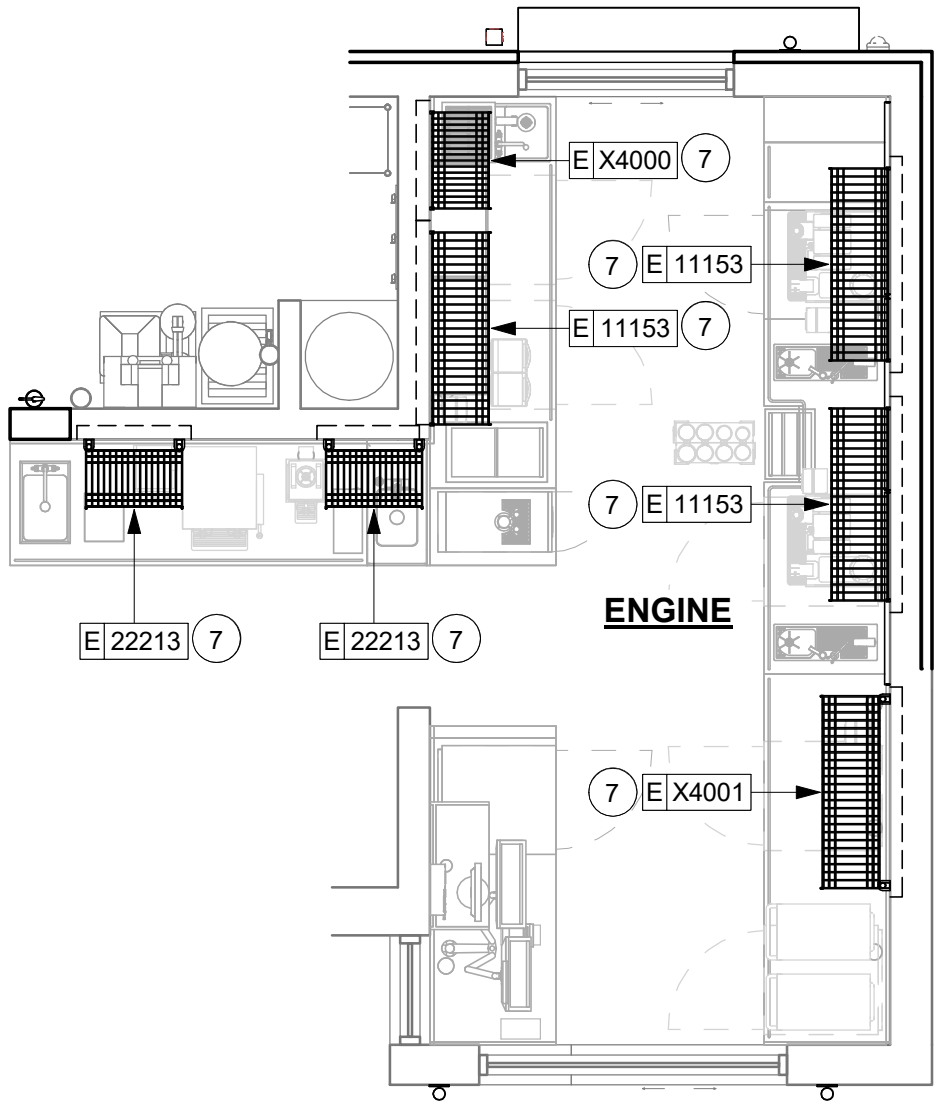
GC GENERAL CONTRACTOR
LL LANDLORD
SB STARBUCKS

GENERAL NOTES

- GENERAL CONTRACTOR TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR LIST OF APPROVED START UP CONTRACTORS, CONTACT PROJECT CONSTRUCTION REPRESENTATIVE.
- THE SITE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- ALL FOOD STORAGE SHALL BE 6" (150mm) A.F.F.
- ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- ALL EQUIPMENT AND CABINETRY WILL BE FLUSH MOUNTED TO COUNTERS, WALLS OR FLOORS, OR BE RAISED TO ALLOW FOR CLEANING.
- CONFIRM ALL NECESSARY EQUIPMENT CLEARANCES PER PRODUCT CUT SHEET (E.G. ICE MACHINE).
- FOR LOCATION OF COUNTERTOP EQUIPMENT, REFER TO CASEWORK ELECTRICAL DETAILS.
- EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER, AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- FOR PLUMBING FIXTURES, REFER TO THE PLUMBING DESIGN PLAN. FOR DATA DEVICE SCHEDULE, REFER TO THE ELECTRICAL DESIGN PLAN.
- SEE ELEVATIONS FOR DISTRIBUTION OF CUP DISPENSERS.
- PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE LOCAL JURISDICTION.



1 FIXTURES AND EQUIPMENT PLAN
Scale: 1/4" = 1'-0"



2 UPPER EQUIPMENT PLAN
Scale: 1/4" = 1'-0"



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STARBUCKS TEMPLATE VERSION: i2021.07.23



Lee S. Weintraub

**ZIMMERMAN
WEINTRAUB
ASSOCIATES**

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BOULEVARD NE**

PROJECT ADDRESS:
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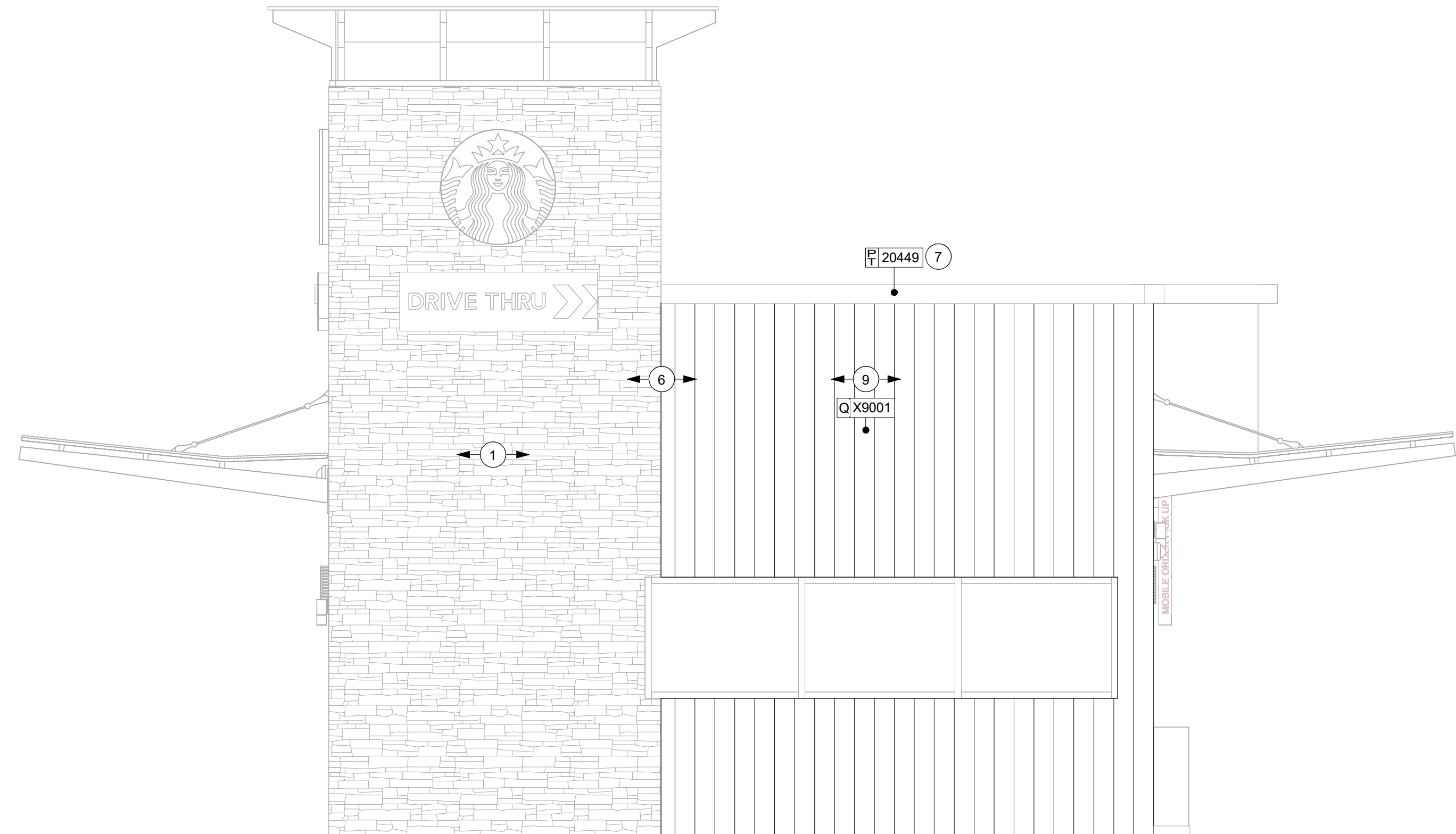
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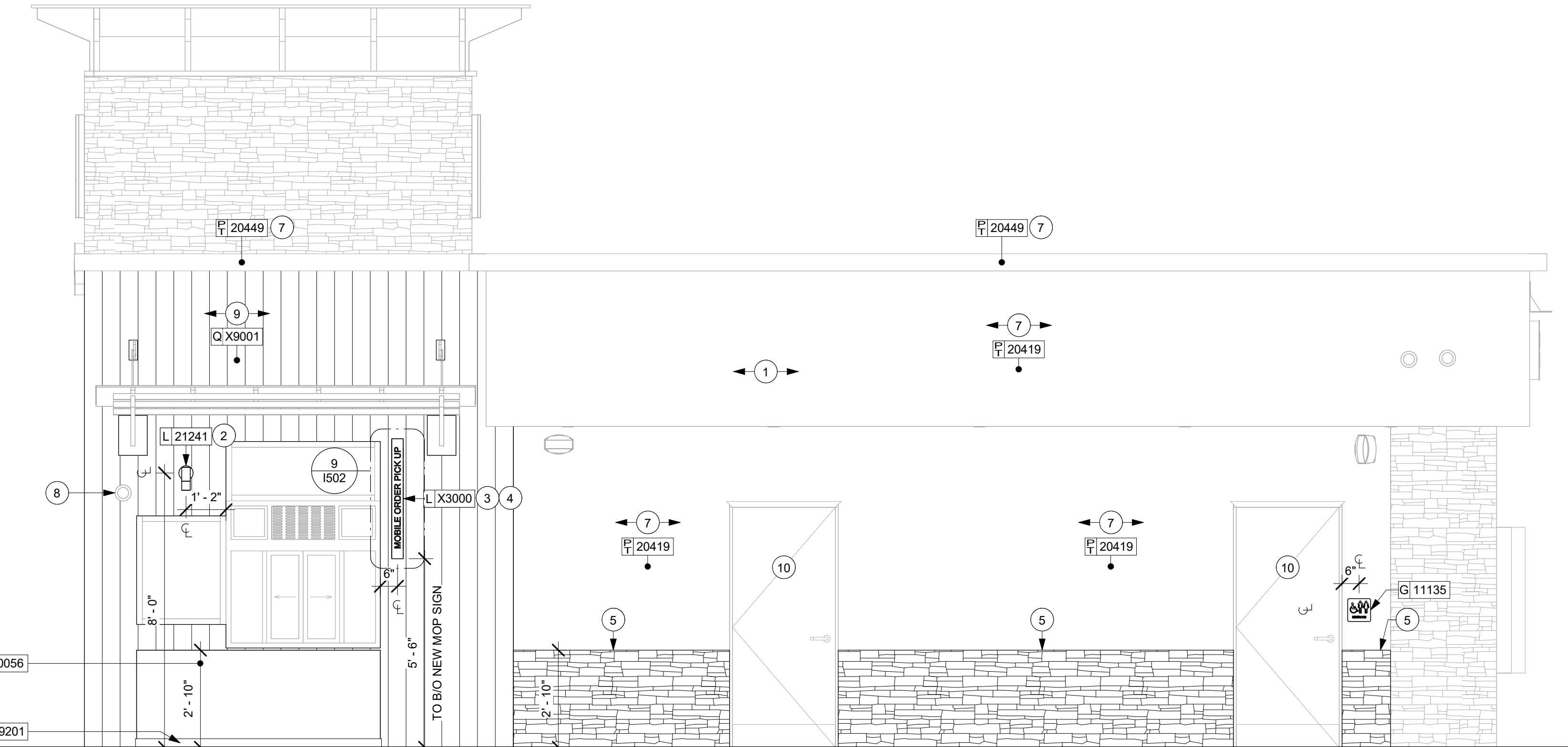
SHEET TITLE:
F & E PLAN

SCALE: AS SHOWN

SHEET NUMBER:



2 EXTERIOR ELEVATION - NORTHEAST



1 EXTERIOR ELEVATION - NORTHWEST

KEYED NOTES

- EXISTING TO REMAIN (ETR) UNLESS NOTED OTHERWISE.
- NEW WALL-MOUNTED EXTERIOR LIGHTING SCONCE FIXTURE.
- NEW WALL-MOUNTED ILLUMINATED "MOBILE ORDER PICK UP" SIGN.
- PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
- NEW HALF-HEIGHT EXTERIOR FURRING WALL. FINISHING MATERIAL TO MATCH EXISTING STONE FACADE. NEW FINISHING EDGE TO ALIGN WITH EXISTING STONE FACADE EDGE.
- NEW EXTERIOR WOOD CLADDING FURRING WALL TO ALIGN WITH EXISTING STONE FINISHED WALL.
- NEW PAINT FINISH ON EXTERIOR ELEMENT.
- SECURITY CAMERA TO BE REINSTALLED IN SAME POSITION AFTER NEW EXTERIOR FURRING WALL HAS BEEN INSTALLED. GC TO VERIFY CAMERA LOCATION IN FIELD.
- NEW FURRING WALL WITH WOOD CLADING FINISH. GC TO INSTALL PER MANUFACTURER INSTALL GUIDE.
- EXISTING DOORS AND TRIM TO BE PAINTED WITH SAME PAINT AS HOSTING WALL.

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.

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STATE OF NEW MEXICO
LEE S.
WEINTRAUB
NO. 004945
REGISTERED ARCHITECT

Lee S. Weintraub

**ZIMMERMAN
WEINTRAUB
ASSOCIATES**

PROJECT NAME:
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BOULEVARD NE**

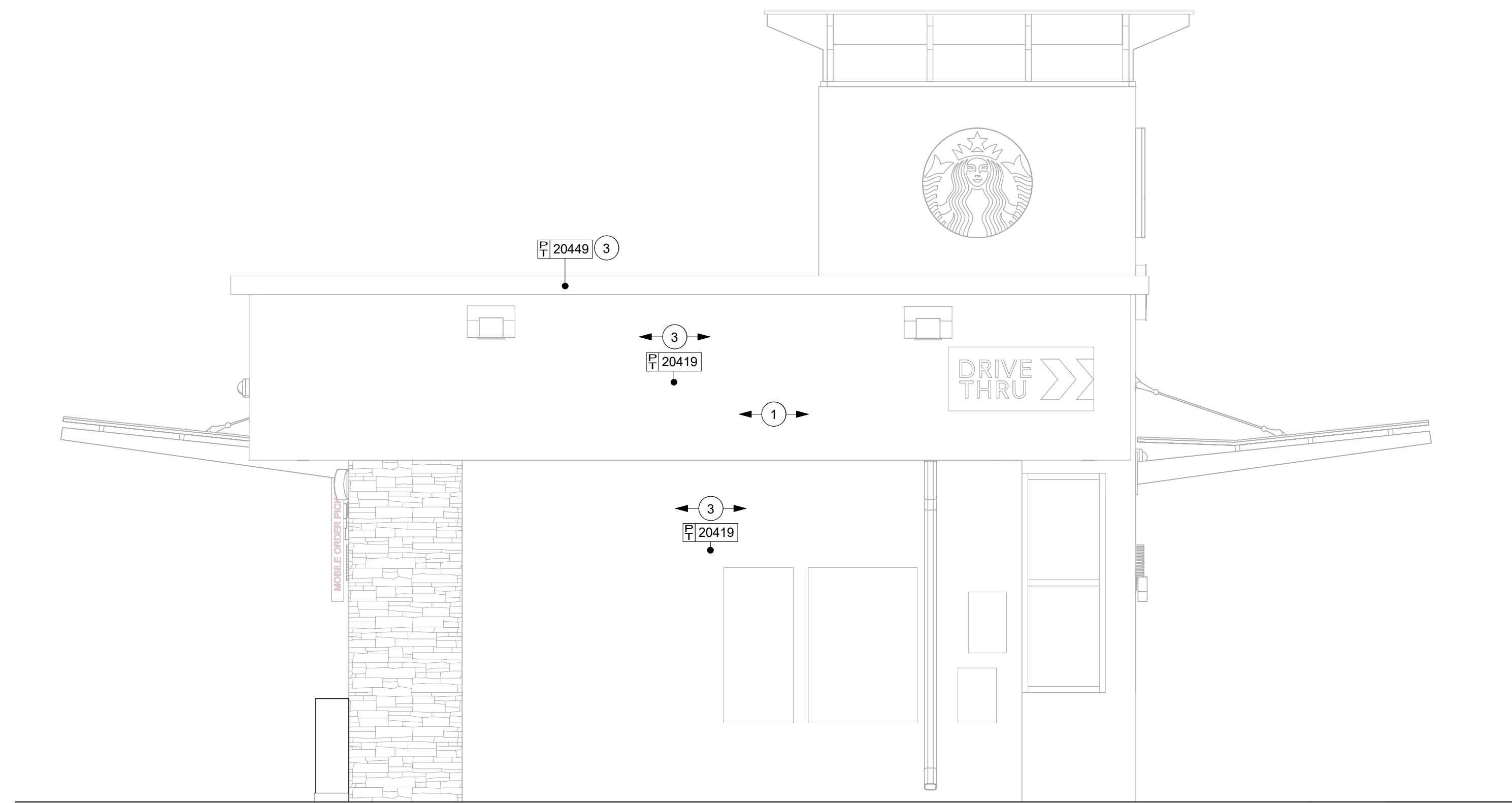
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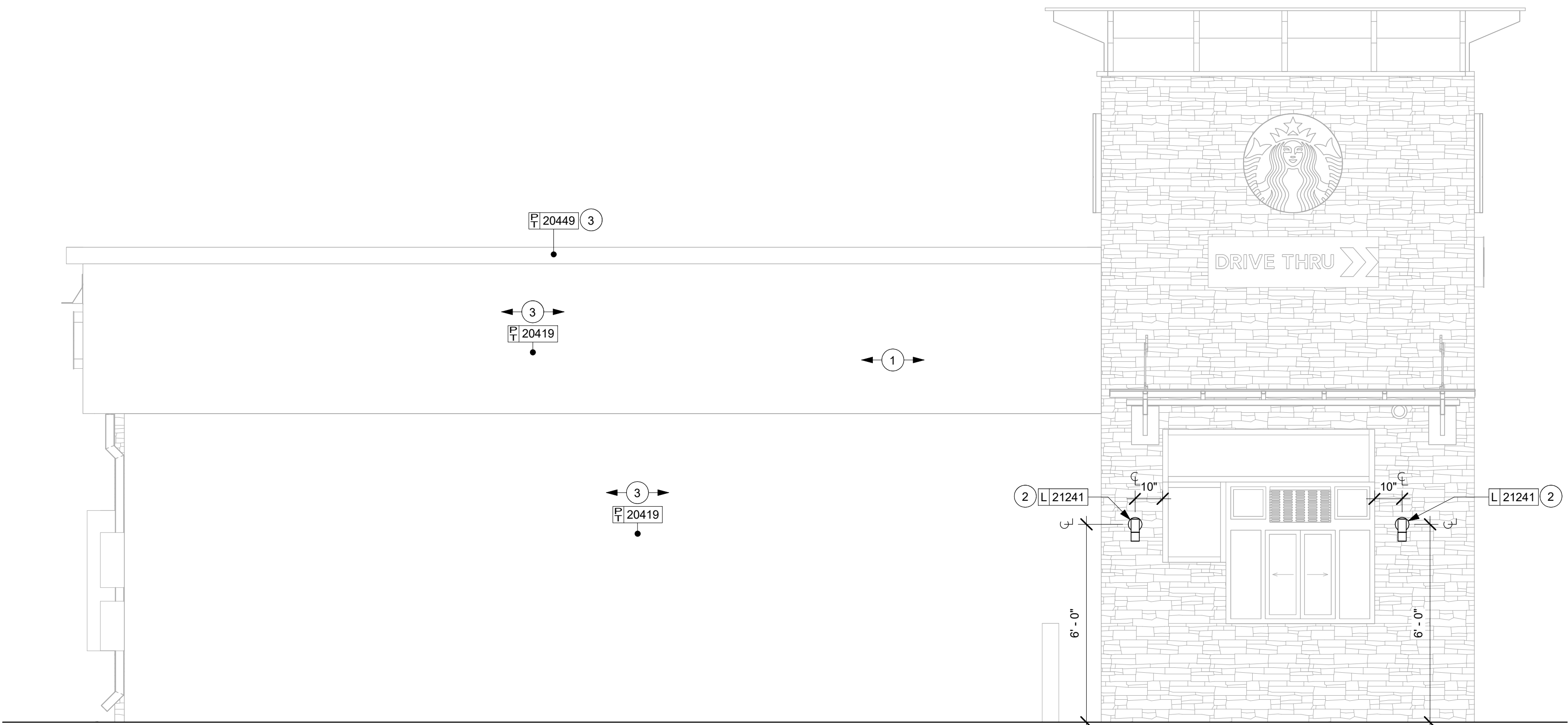
SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
A201



2 EXTERIOR ELEVATION - SOUTHWEST

Scale: 3/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTHEAST

Scale: 3/8" = 1'-0"

KEYED NOTES

- EXISTING TO REMAIN (ETR) UNLESS NOTED OTHERWISE.
- NEW WALL-MOUNTED EXTERIOR LIGHTING SCONCE FIXTURE.
- NEW PAINT FINISH ON EXTERIOR ELEMENT.

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
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**I-25 & PASEO DEL NORTE
BOULEVARD NE**

PROJECT ADDRESS:
**8101 SAN PEDRO DRIVE NE
ALBUQUERQUE, NM 87113**

ISSUE DATE:	06-03-2022
DESIGN MANAGER:	MELISSA LEE
PRODUCTION DESIGNER:	ZWA - J. YANG
CHECKED BY:	MELISSA LEE

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
A202