



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: <b>Chick-fil-A, Inc.</b>		Phone:
Address: <b>5200 Buffington Road</b>		Email:
City: <b>Atlanta</b>	State: <b>GA</b>	Zip: <b>30349</b>
Professional/Agent (if any): <b>Interplan LLC</b> <small>Agent</small>		Phone: <b>407-645-5008</b>
Address: <b>220 East Central Parkway Ste 4000</b>		Email: <b>Abishop@interplanllc.com</b>
City: <b>Altamonte Springs</b>	State: <b>FL</b>	Zip: <b>32701</b>
Proprietary Interest in Site:	List <u>all</u> owners: <b>Levine Investments Limited Partnership / Red Shamrock 4 LLC</b>	

### BRIEF DESCRIPTION OF REQUEST

Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification & Existing Single Lane OMD Canopy Extension to Dual Lane, Transformer Relocation

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <b>LT 6 PLAT OF LOTS 1 THRU 9 COORS PAVILION</b> <b>LT 5 PLAT OF LOTS 1 THRU 9 COORS PAVILION</b>	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning: <b>NR-C</b>	Proposed Zoning: <b>NR-C</b>
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: <b>4001 Coors Boulevard NW, Albuquerque</b>	Between:	and:
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <b>Amanda Bishop</b> <small>Digitally signed by Amanda Bishop Date: 2022.06.28 12:54:27 -04'00'</small>	Date:
Printed Name: <b>Amanda Bishop; Interplan LLC a/o Chick-fil-A, Inc.</b>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

### **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

### **ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

### **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

***Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.***

### **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

***Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.***

### **ACCELERATED EXPIRATION SITE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

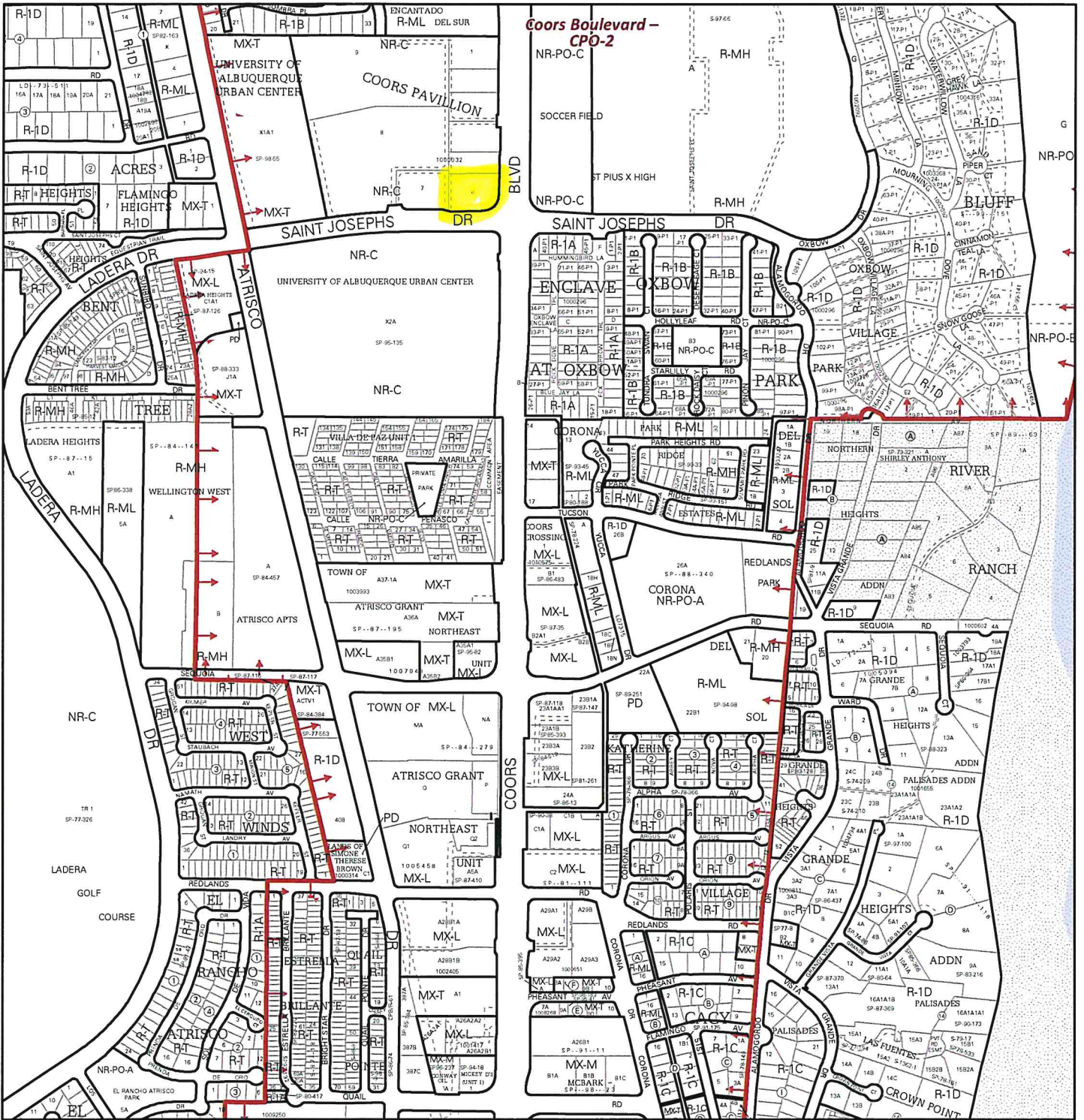
### **ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

### **ALTERNATIVE LANDSCAPE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**G-11-Z**

Easement

Petroglyph National Monument

Areas Outside of City Limits

Airport Protection Overlay (APO) Zone

Character Protection Overlay (CPO) Zone

Historic Protection Overlay (HPO) Zone

View Protection Overlay (VPO) Zone

Escarpment

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

March 4, 2022

Reference: Chick-fil-A #04107 Coors Boulevard FSU  
4001 Coors Boulevard Northwest, Albuquerque, NM 87120  
IP No.: 2021.1239  
Letter of Authorization

To Whom It May Concern:

Please accept this letter as authorization for Interplan LLC, to act as agent in correspondence and representation of all approval and permitting matters required for (project name) at the location referenced above.

If you have any questions, please contact me at 505-998-9093 or via email, josh@retailSouthwest.com.

Sincerely,  
Red Shamrock 4, LLC

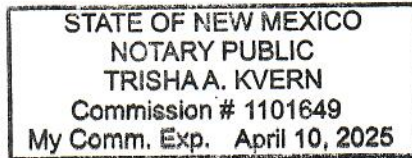
Joshua Skensgard  
Title Managing member

Subscribed and sworn to before me this 14 day of July, 2022.

Notary Public JLK

Seal

My Commission Expires: 4/10/2025





July 22, 2022

**Jay Rodenbeck**  
**City of Albuquerque Planning Department**  
**Development Review Services**  
600 Second NW  
Albuquerque, NM 87102  
505-924-3994  
[jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)

**Reference: Chick-fil-A #4107 Coors Boulevard FSU**  
**4001 Coors Boulevard, Albuquerque, NM 87120**  
**IP No.: 2021.1239**  
**Justification Letter**

To Whom It May Concern,

Chick-fil-A is proposing modifications to the existing restaurant located at the address referenced above. The scope of work involves a Parking Lot Addition, approximately 22,000sf needed for fire lane/escape lane, DT Modification, Transformer relocation & Existing Single Lane OMD Canopy Extension to Dual Lane, which will serve to protect employees and customers against the elements as well as help expedite the ordering process and alleviate traffic.

Below are the justifications which address the criteria in 14-16-6-4(y) (2) of the Integrated Development Ordinance.

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property as traffic congestion and circulation issues have increased for the site and adjacent properties.
2. The amendment does not increase or decrease the dimension of any standard beyond thresholds allowed as Minor Amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).
3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.
4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

5. The amendment does not increase the maximum number of residential selling units in the development from that shown in the existing permit, approval, or plan. If the property is located in DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwellings units in the development from that shown in the existing permit, approval or plan.
6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.
7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.
8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails or trail connections passing through the property or connecting or connecting to or designed to connect to abutting properties.
9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.
10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.
11. The amendment does not affect a property in an Overlay zone as regulated pursuant to O, in which case amendments may be granted per the original approval process for the Site Plan governing the site.
12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.
13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).





Chick-fil-A #04107 Coors Boulevard

July 22, 2022

Page 3 of 3

Upon review, please let me know if you have any questions or require additional information regarding the Letter of Justification which addresses the criteria in 14-16-6-4 (Y) (2) of the Integrated Development Ordinance (IDO).

Sincerely,

**INTERPLAN LLC**

*Amanda Bishop*

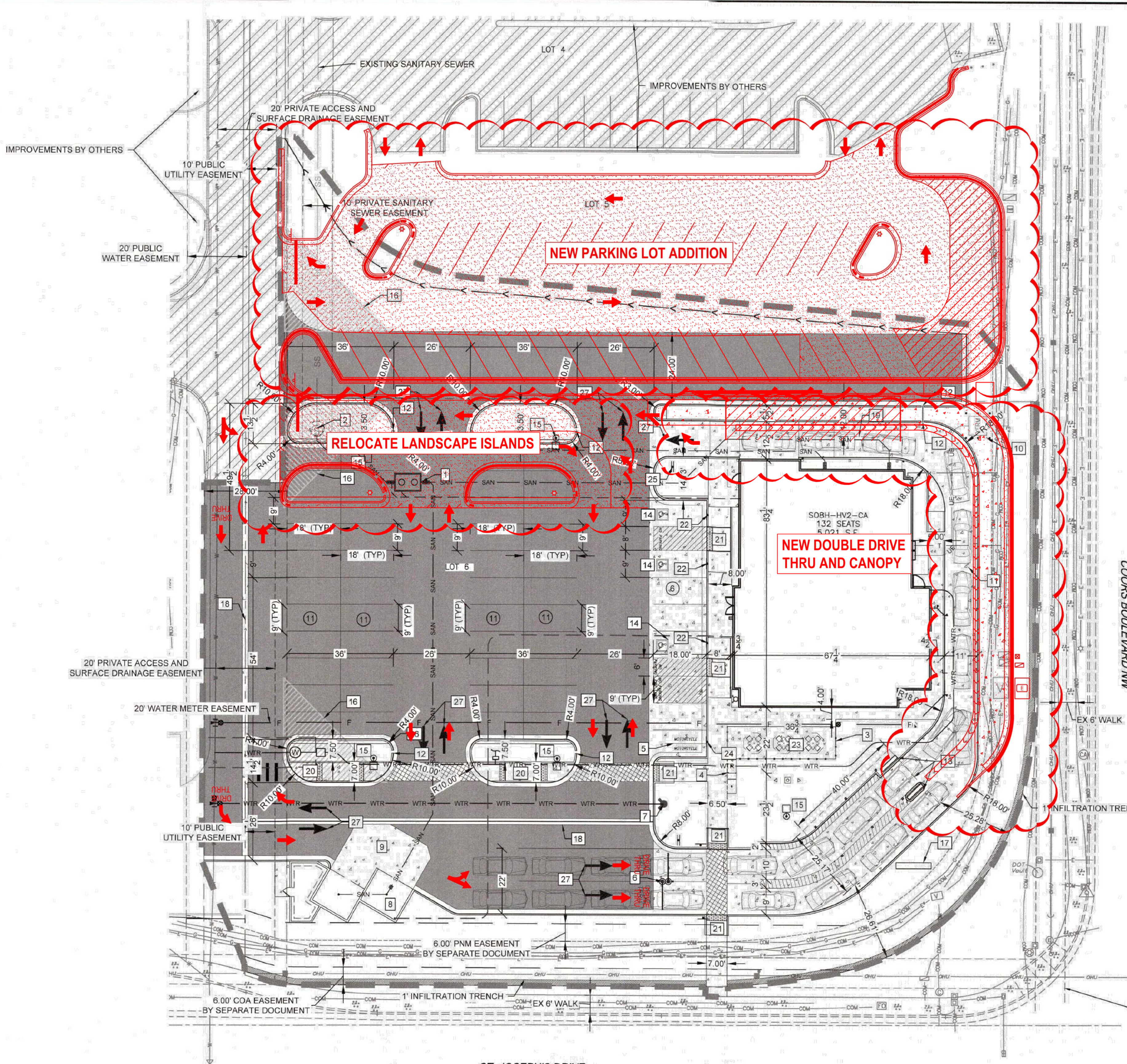
Amanda Bishop

Development Services/ Permit Coordinator

enclosures

ec: K. Teresa, C. Efford; Chick-fil-A, Inc.  
E. Cogswell, R. Osegueda, M. McRae; JLL  
D. Jenkins, M. Medina; Ensign Engineering  
N. Carreras, T. Vu; Interplan LLC





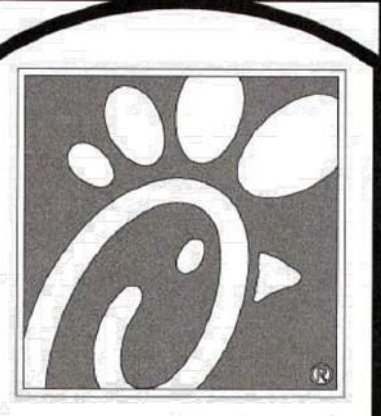
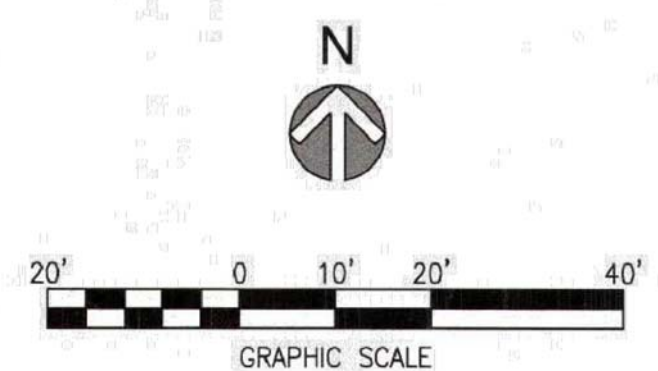
**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 GREASE INTERCEPTOR
- 2 EXISTING SANITARY MANHOLE
- 3 42" PATIO ALUMINUM GUARDRAIL RE. DETAIL THIS SHEET
- 4 BIKE RACK
- 5 MOTORCYCLE PARKING STALLS
- 6 HEIGHT CLEARANCE ARM
- 7 FIRE HYDRANT (PRIVATE)
- 8 TRASH ENCLOSURE
- 9 CONCRETE APRON
- 10 ELECTRIC TRANSFORMER
- 11 CONCRETE DRIVE THROUGH
- 12 1" CURB OPENING
- 13 ORDER POINT CANOPY AND MENU BOARDS
- 14 ACCESSIBLE PARKING STALL
- 15 25' LIGHT POLE (TYP)
- 16 SIGHT DISTANCE TRIANGLE (35' X 35'). SEE NOTE 5
- 17 MONUMENT SIGN
- 18 2' CONCRETE PAN
- 19 PICK UP WINDOW CANOPY
- 20 AT GRADE WALK
- 21 ACCESSIBLE RAMP
- 22 ACCESSIBLE PARKING SIGN
- 23 PUBLIC OUTDOOR SEATING AREA
- 24 MOTORCYCLE PARKING SIGN
- 25 THANK YOU / DO NOT ENTER SIGN
- 26 ROLL OVER CURB
- 27 PAVEMENT DIRECTIONAL ARROWS

COORS BOULEVARD NW

**GENERAL NOTES**

1. DESIGN GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW FOR ACCESS TO UTILITY FACILITIES ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
2. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
3. APPLICANT SHALL BE RESPONSIBLE TO ABIDE BY ANY CONDITIONS OR TERMS OF UTILITY EASEMENTS.
4. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
5. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
6. ALL THE BUILDINGS CONSTRUCTED WITHIN THE COORS PAVILION PROPERTY SHALL HAVE EXTERIOR SECURITY CAMERAS.



**Chick-fil-e**  
 5200 Buffington Rd.  
 Atlanta, Georgia  
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal

**LEGEND**

LIMITS OF CONSTRUCTION	---
PROPERTY LINE	---
BUILDING LINE	---
NEW CURB AND GUTTER	---
NEW SIDEWALK	---
EASEMENT LINE	---
VEHICLE (20'-0" LENGTH TYPE)	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	
EXISTING ASPHALT PAVEMENT	

**SITE DATA CHART**

LEGAL DESCRIPTION OF LEASE AREA: LOT 6 COORS PAVILION WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 2, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO.

ZONE DISTRICT: SU-3 WITH C-2 USES ALLOWED  
 PROPOSED USE: QUICK SERVICE RESTAURANT

	SQ FT	ACRES	PERCENTAGE
TOTAL AREA OF PROPERTY:	50,690	1.16	100%
LANDSCAPE AREA:	13,858	0.32	27%
HARDSCAPE AREA:	2,720	0.06	5%
TOTAL PARKING AND DRIVE AREA:	29,091	0.66	58%
TOTAL BUILDING AREA:	5,021	0.12	10%

REQUIRED PARKING CALCULATION - RESTAURANT WITH DRIVE-THRU AT LEAST 1 PARKING SPACE PER 4 SEATS IN BUILDING = 33 SPACES  
 REQUIRED HANDICAP ACCESSIBLE PARKING SPACES = 3

STANDARD PARKING SPACES:	47
ACCESSIBLE PARKING SPACES:	3
TOTAL AUTO PARKING SPACES PROVIDED:	50
MOTORCYCLE PARKING SPACES:	2

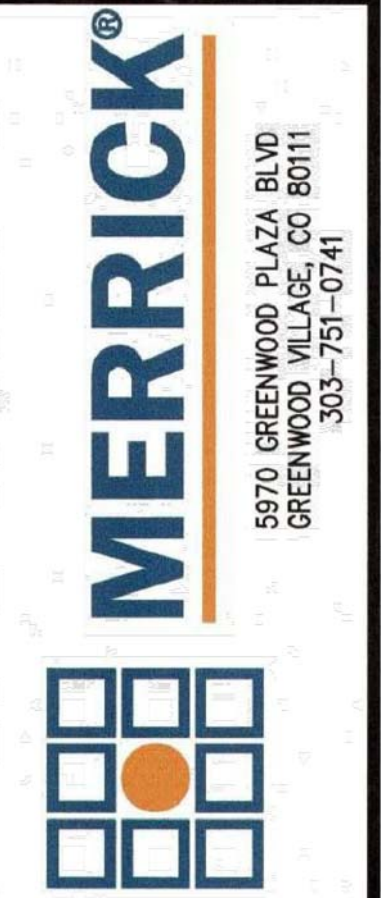
BIKE RACK SPACES:	4		
TOTAL PARKING AREA:	39,232	0.90	100%
LANDSCAPE AREA:	10,352	0.24	26%
HARDSCAPE AREA:	28,880	0.66	74%

FORMER PROJECT NUMBER: 1000032  
 PROJECT NUMBER: PR-2019-002574 (1000032)  
 APPLICATION NUMBER: SI-2019-00191

Is an Infrastructure List Required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

**SITE DEVELOPMENT PLAN APPROVAL**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	8-14-19
DATE	8-16-19
ABCWUA	08-14-19
DATE	08-14-19
PARKS AND RECREATION DEPARTMENT	9-16-19
DATE	9-16-19
CITY ENGINEER	8/16/19
DATE	8/16/19
SOLID WASTE MANAGEMENT	8/14/19
DATE	8/14/19
DRB CHAIRPERSON, PLANNING DEPARTMENT	9-16-19
DATE	9-16-19



STORE  
 CHICK-FIL-E  
 FSU #04107  
 COORS BLVD.  
 4001 COORS BLVD NW  
 ALBUQUERQUE, NM  
 87120

SHEET TITLE  
**SITE PLAN**

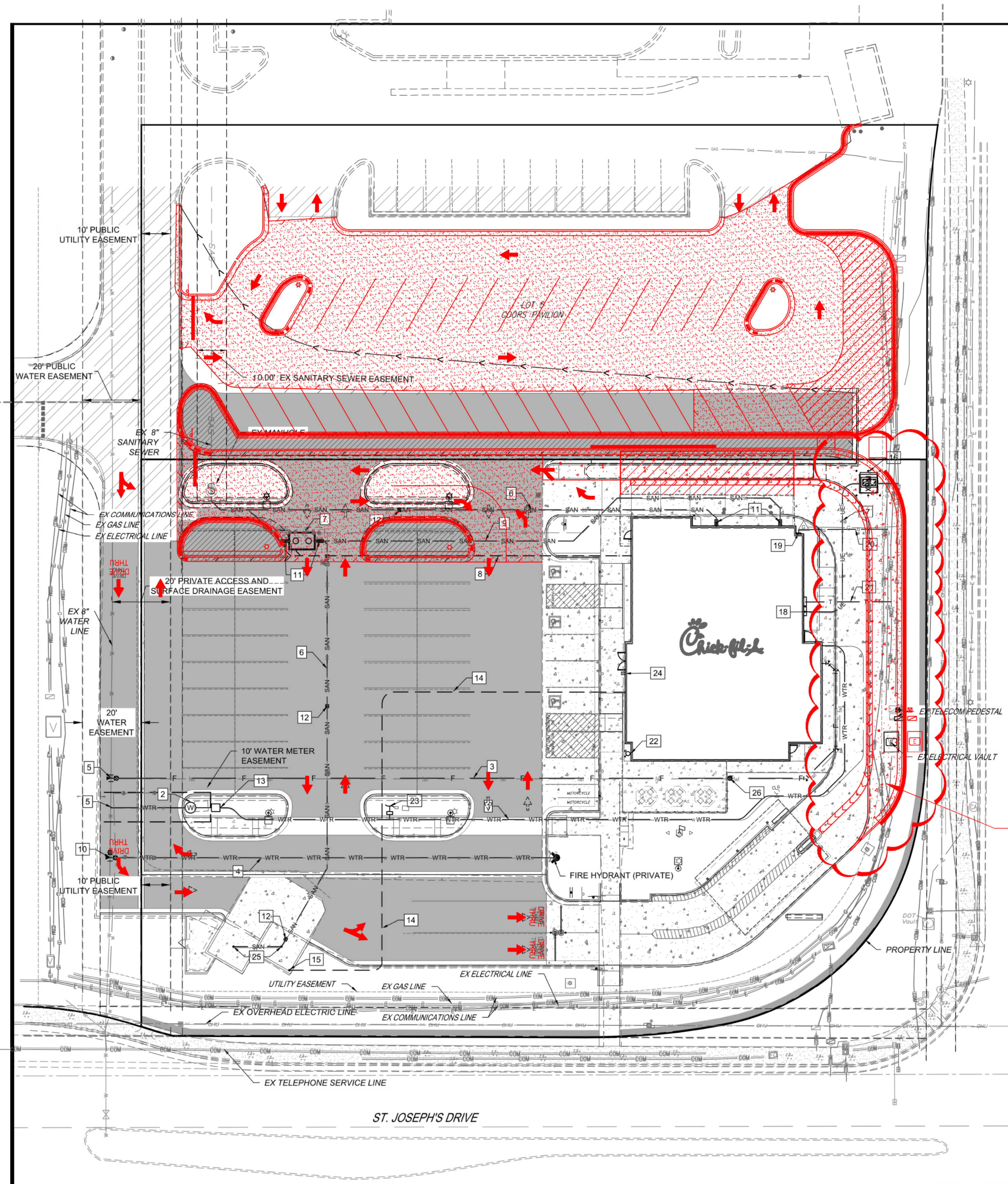
DWG EDITION ---

Job No. : 65119594  
 Store : 04107  
 Date : 8/1/19  
 Drawn By : LV  
 Checked By : KW

Sheet  
**1**







EXISTING UNDERGROUND UTILITIES

PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- 1 2" TYPE K COPPER DOMESTIC WATER SERVICE (PRIVATE)
- 2 2" WATER METER (PRIVATE)
- 3 4" D.I.P. FIRE LINE (PRIVATE)
- 4 6" D.I.P. FIRE SERVICE (PUBLIC)
- 5 CONNECT TO EXISTING WATER MAIN
- 6 4" PVC WASTEWATER SERVICE LINE (PRIVATE)
- 7 GREASE INTERCEPTOR (PRIVATE)
- 8 3" VENT LINE (PRIVATE)
- 9 4" PVC KITCHEN WASTE LINE (PRIVATE)
- 10 6" FIRE SERVICE CONNECTION (PUBLIC)
- 11 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 12 4" ONE-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 13 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY (RPBA)
- 14 3/4" TYPE K COPPER WATER SERVICE TO YARD HYDRANT (PRIVATE)
- 15 3/4" YARD HYDRANT (PRIVATE)
- 16 ELECTRIC TRANSFORMER
- 17 ELECTRIC SERVICE LINE
- 18 ELECTRIC METER AND DISTRIBUTION PANEL
- 19 GAS METER
- 20 GAS SERVICE LINE
- 21 TELEPHONE SERVICE LINE
- 22 FIRE DEPARTMENT CONNECTION
- 23 CONNECT TO IRRIGATION SYSTEM
- 24 KNOX BOX
- 25 TRASH ENCLOSURE AREA DRAIN, CONNECT TO PROPOSED SANITARY SEWER LINE.
- 26 POST INDICATOR VALVE

LEGEND:

- PROPERTY LINE
- WATER METER
- IRRIGATION METER
- GREASE TRAP
- SINGLE CLEANOUT
- TWO-WAY CLEANOUT
- TRANSFORMER
- STORM INLET
- STORM MANHOLE
- LIGHT POLE
- PROPOSED TRAFFIC SIGN
- PAVEMENT STRIPING
- PARKING STALL COUNT
- F — FIRE LINE
- WTR — WATER LINE
- SAN — SANITARY SEWER
- G — GAS SERVICE
- E — ELECTRIC SERVICE
- T — TELEPHONE SERVICE
- STORM SEWER
- 5555 — PROPOSED MAJOR CONTOUR
- 5555 — PROPOSED MINOR CONTOUR
- EX STORM MANHOLE
- EX SANITARY MANHOLE
- EX STORM INLET
- EX LIGHT POLE
- EX UNDERGROUND ELECTRIC
- EX GAS SERVICE
- W — EX WATER LINE
- SD — EX STORM SEWER
- SS — EX SANITARY SEWER
- UT — EX TELEPHONE SERVICE
- EX GUARDRAIL
- EX FIRE HYDRANT
- EX TRAFFIC SIGN
- 5555 — EX MAJOR CONTOUR
- 5555 — EX MINOR CONTOUR
- EX TREE
- EX IRRIGATION VALVE
- EX WATER VALVE
- EX TELEPHONE BOX
- EX ELECTRIC BOX
- RWY — EX RECLAIMED WATER MAIN
- EX STORM SEWER

5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

Revisions:

Mark	Date	By
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Seal

5970 GREENWOOD PLAZA BLVD  
GREENWOOD VILLAGE, CO 80111  
303-751-0741

STORE  
CHICK-FIL-A  
FSU #04107  
COORS BLVD.  
4001 COORS BLVD NW  
ALBUQUERQUE, NM  
87120

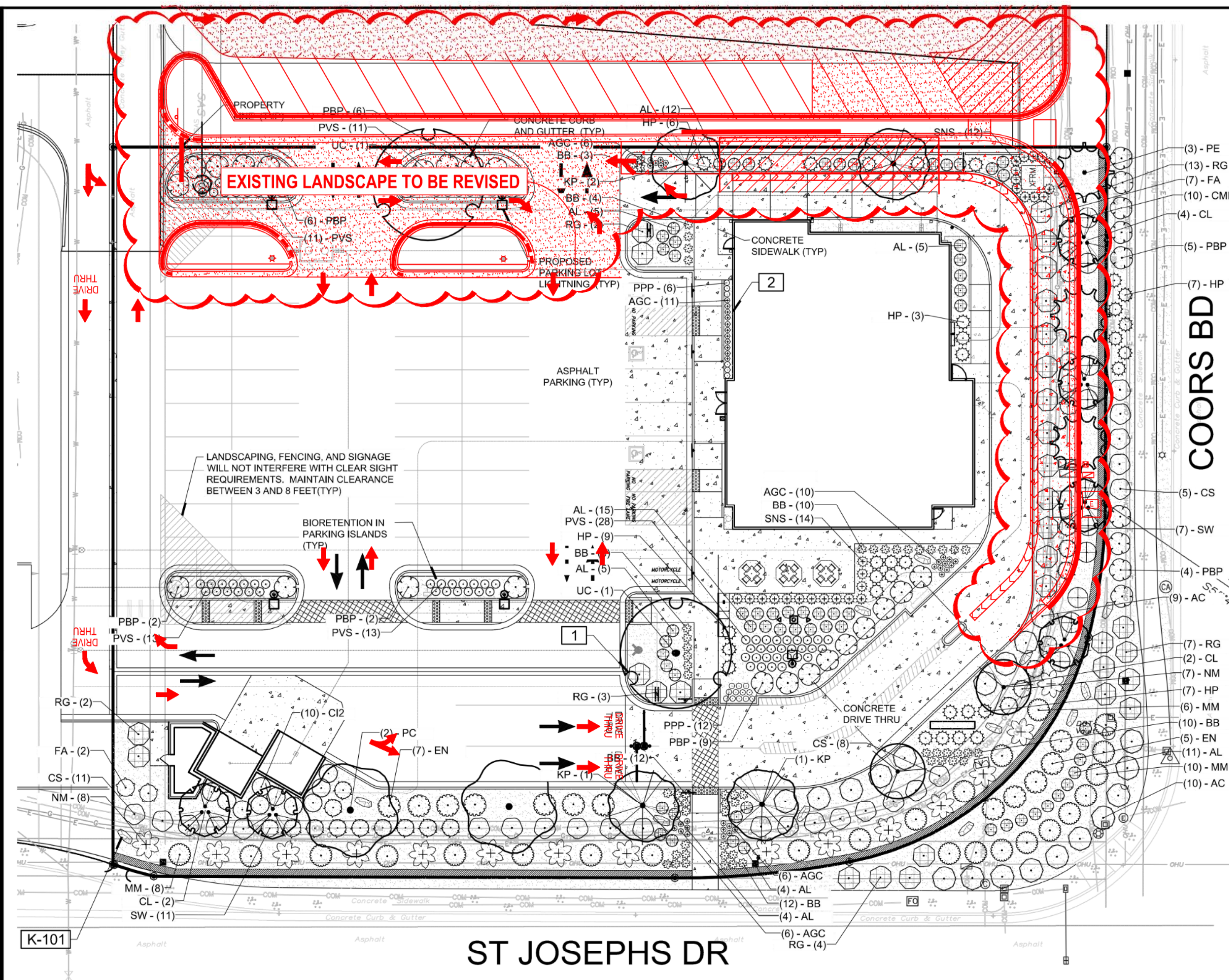
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DWG EDITION ---

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Store : 04107  
Date : 8/1/19  
Drawn By : LV  
Checked By : KW

Sheet  
**4**

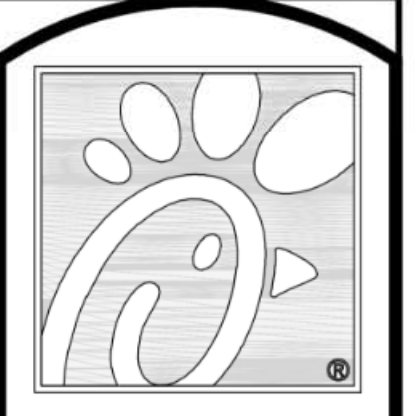
CALL NMOC  
TWO WORKING DAYS  
BEFORE YOU DIG  
NM811  
OR  
1-888-NM-GAS-CO  
NMOCALL.ORG





**PLANT SCHEDULE ON-SITE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	GAL
	CL	8	CHILOPSIS LINEARIS / DESERT WILLOW	B#B	2.0" CAL MULTISTEM
	KP	4	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	B#B	2" CAL
	PE	3	PINUS EDULIS / PINON PINE	10-12' HT	
	PC	2	PISTACHIA CHINENSIS / CHINESE PISTACHE	B # B	2" CAL
	UC	2	ULMUS 'ACCOLADE' / ACCOLADE ELM	B # B	2" CAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	AL	61	AMORPHA CANESCENS / LEADPLANT	2 GAL	
	AC	19	ARCTOSTAPHYLOS X COLORADOENSIS 'CHIEFTAIN' / MANZANITA	5 GAL	
	CI2	10	CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY	5 GAL	
	CMF	10	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	
	CS	24	CYTISUS SCOPARIUS 'MOONLIGHT' / MOONLIGHT SCOTCH BROOM	5 GAL	
	EN	12	ERICAMERIA NAUSEOSA / RUBBER RABBITBRUSH	5 GAL	
	FA	9	FALLUGIA PARADOXA / APACHE PLUME I 2356D	5 GAL	
	HP	32	HESPERALOE PARVIFOLIA / RED YUCCA	5 GAL	
	PBP	34	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	5 GAL	
	RG	31	RHUS TRILOBATA 'AUTUMN AMBER' / AUTM N AMBER SUMAC	5 GAL	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	BB	57	BOUPELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
	NM	15	NOLINA MICROCARPA / SACAHUISTA	1 GAL	
	PVS	76	PANICUM VIRGATUM 'SHENENDOAH' / BURGUNDY SWITCH GRASS	1 GAL	
	SNS	26	SORGHASTRUM NUTANS 'SIOUX BLUE' / INDIAN GRASS	1 GAL	
	SW	18	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	AGC	39	AGASTACHE CANA 'SONORAN SUNSET' / SONORAN SUNSET HYSSOP	1 GAL	
	MM	24	MIRABILIS MULTIFLORA / COLORADO FOUR O' CLOCK	1 GAL	
	PPP	18	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	4" POT	
MULCHES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	RM	16,739 SF	ROCK MULCH / RIVER ROCK MIXTURE PER OWNER APPROVAL PLACE TO A UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.	MULCH	



5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal

**MERRICK & COMPANY**  
5970 GREENWOOD PLAZA BLVD  
GREENWOOD VILLAGE, CO 80111  
303-751-0741

STORE  
CHICK-FIL-A  
FSU #04107  
COORS BLVD.

COORS BLVD NW  
& St. JOSEPHS DR NW  
ALBUQUERQUE, NM  
87120

SHEET TITLE  
LANDSCAPE PLAN

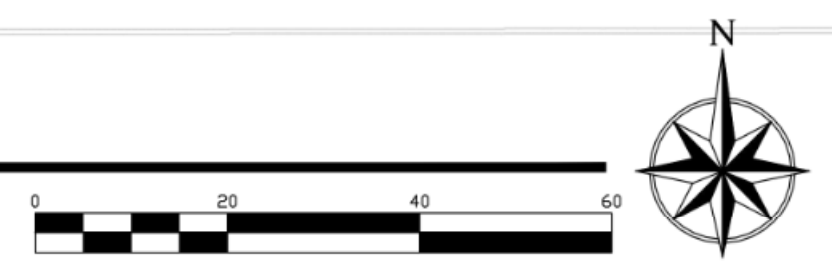
DWG EDITION ---

Job No. : 65119594  
Store : 04107  
Date : 08/02/19  
Drawn By : JRO  
Checked By : NAM

Sheet  
**L1.0**

**LANDSCAPE PLAN**

SCALE: 1" = 20'



**SITE CATEGORY REQUIREMENTS**

OVERALL LANDSCAPING PROVIDED: 13,214 SF	Site Area: 50,691 SF
Groundplane Veg Cover % Req/Provided: 13,214 / 75 = 9910 Req / 10,215 provided = 77.30% cover)	Building Area: 4,867 SF
Total Trees: 19	Net Lot Area: 45,824
Total Shrubs: 183	Required Landscaping (15%): 6,874 sf
	Provided Landscaping = 13,125
	Percentage = 28.68%

**PARKING BUFFERS / INTERNAL**

Frontage and LF	Bed Width / Coverage %	# of Spaces	Trees Req / Prov	Shade Trees Req / Prov
South - St Josephs NW - 316 ft	10' / 80%	53	5 / 5 (1 per 10)	5 / 5
East - Coors Bd NW - 164 ft	10' / 75%			

NO PARKING SPACE MAY BE LOCATED MORE THAN 100' FROM TREE TRUNK

**STREET TREES (1 - 30 LF)**

Frontage and LF	Trees Req / Provided
East - 164 LF	5 / 5
South - 316 LF	9 / 9

**PLAN NOTES:**

- STREET TREE PROVIDED PER SECTION 6-1-1-1.
- NO SOD IS PROPOSED.
- PROVIDE A 2' PARKING OVERHANG FOR ALL PLANTS WHERE APPLICABLE.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THESE AREAS.
- ALL IRRIGATION TO COMPLY WITH WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE FOR ALBUQUERQUE.
- PROPOSED LANDSCAPING COMPLIES WITH CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE (RE: SEC. 6-1-1)
- LANDSCAPE BEDS TO BE DEPRESSED AT LEAST 6" BELOW GRADE TO ALLOW FOR RAINWATER HARVESTING.
- THIS PLAN COMPLIES WITH CITY CODE 14-16-3-10, GENERAL LANDSCAPING REGULATIONS, WITH THE INCLUSION OF REQUIREMENTS TABLE AND REQUIRED LANDSCAPE MATERIAL SIZE AND LOCATIONS AS SPECIFIED IN AFOREMENTIONED CODE.

(1) Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.  
 (2) Any damage to utility lines resulting from the negligence of the abutting landowner, his agents, or employees in the installation and maintenance of the landscaped area in the public right-of-way shall be the responsibility of such landowner. Any damage to utility lines resulting from the growth of plant materials, which have been approved by the applicable public utility as part of a plan for landscaping on the public right-of-way, shall be the responsibility of such public utility. If a public utility disturbs a landscaped area in the public right-of-way, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If, nonetheless some plant materials die, it is the obligation of the abutting landowner to replace the plant materials.  
 (3) Landscaping shall have adequate maintenance. Landscaping which dies shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 days after notification.

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY	DETAIL
[1]	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).		
[2]	MINIMUM 3" ROOTBALL OFFSET FROM BUILDING, TYP.		
SYMBOL	ROCK DESCRIPTION	QTY	DETAIL
[K-101]	GRANITE/MOSS ROCK BOULDER--DECORATIVE. 1/2 TON AVG SIZE	16	

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS.
- DRIFTLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL.
- ALL EMITTERS PER IRRIGATION PLAN UNLESS OTHERWISE NOTED.
- ALL EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS AS NECESSARY.
- SEE LANDSCAPE DETAILS SHEET FOR ADDITIONAL NOTES AND DETAILS.
- ALL NATIVE AND XERIC PLANTING AREAS TO BE AMENDED FOR DRAINAGE AS NECESSARY AND IN ACCORDANCE WITH CURRENT LANDSCAPE BMPs.



Natural Design Solutions  
Landscape Architecture  
Land Planning · Irrigation Design  
5539 Colt Drive, Longmont, CO 80503  
(303) 443-0388 · neil@ndscolorado.com



# SITE PLAN CHECKLIST

Project #: CFA# 4107 Coors Boulevard Application #: 4001 Coors Boulevard NW, Albuquerque, NM

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

*I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.*

**Amanda Bishop**

Digitally signed by Amanda Bishop

Date: 2022.06.28 12:46:34 -04'00'

**Applicant or Agent Signature / Date**

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Grading and Drainage Plan**
4. **Utility Plan**
5. **Building and Structure Elevations**
6. **Previously approved Development Plan (if applicable)**

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Legend
- ✓ 6. Scaled vicinity map
- ✓ 7. Property lines (clearly identify)
- ✓ 8. Existing and proposed easements (identify each)
- ✓ 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- ✓ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓ B. Square footage of each structure
- ✓ C. Proposed use of each structure
- ✓ D. Signs (freestanding) and other improvements
- ✓ E. Walls, fences, and screening: indicate height, length, color and materials
- ✓ F. Dimensions of all principal site elements or typical dimensions
- ✓ G. Loading facilities
- \_\_\_ H. Site lighting (indicate height & fixture type)
- ✓ I. Indicate structures within 20 feet of site
- ✓ J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓ K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- ✓ A. Parking layout with spaces numbered per aisle and totaled.
  - \_\_\_ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - \_\_\_ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - \_\_\_ 3. On street parking spaces
- ✓ B. Bicycle parking & facilities
  - \_\_\_ 1. Bicycle racks – location and detail
  - \_\_\_ 2. Other bicycle facilities, if applicable
- ✓ C. Vehicular Circulation (Refer to DPM and IDO)
  - \_\_\_ 1. Ingress and egress locations, including width and curve radii dimensions
  - \_\_\_ 2. Drive aisle locations, including width and curve radii dimensions
  - \_\_\_ 3. End aisle locations, including width and curve radii dimensions
  - \_\_\_ 4. Location & orientation of refuse enclosure, with dimensions
  - \_\_\_ 5. Loading, service area, and refuse service locations and dimensions
- ✓ D. Pedestrian Circulation
  - \_\_\_ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)



## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

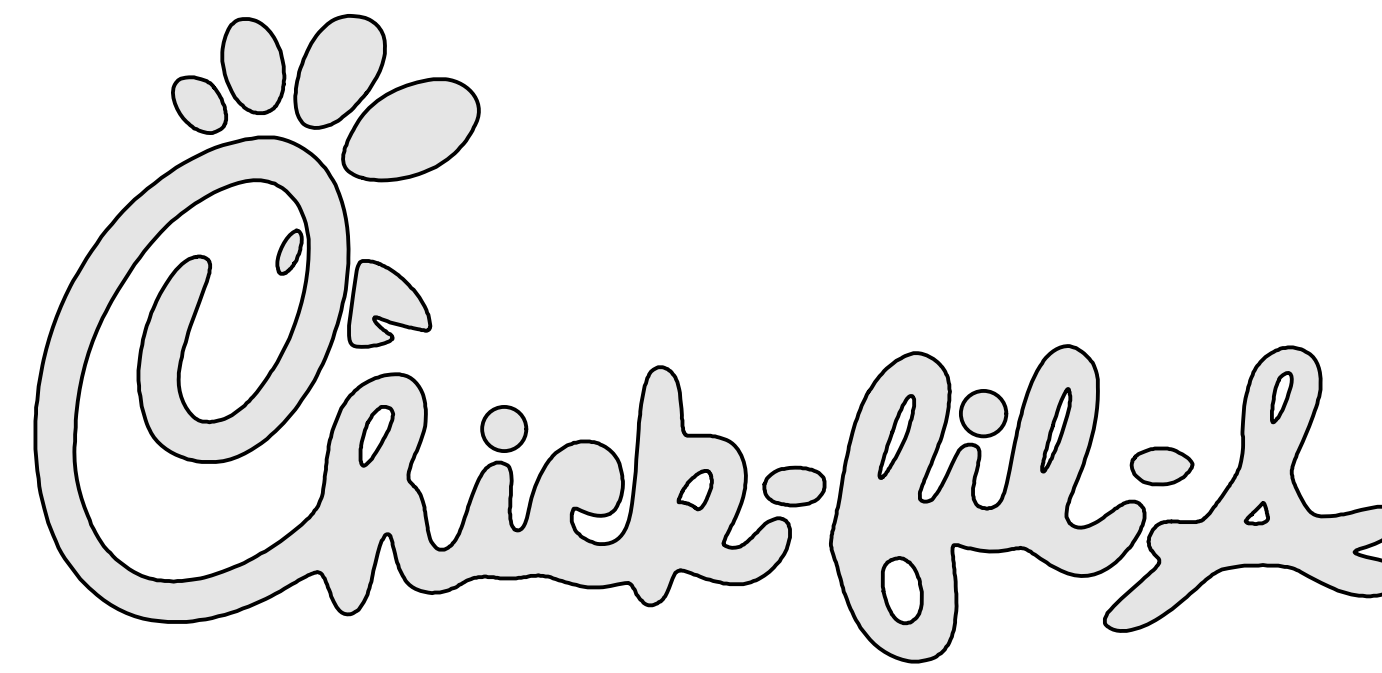
### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage ✓

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO





## COORS BLVD AND ST. JOSEPHS DRIVE ALBUQUERQUE, NM

### INDEX OF DRAWINGS

C 0.1	DEMOLITION PLAN
C 1.0	SITE DIMENSION PLAN
C 1.1	TRAFFIC CIRCULATION LAYOUT
C 2.0	SITE GRADING PLAN
C 3.0	SITE UTILITY PLAN
L -1	LANDSCAPE PLAN

**NOT FOR CONSTRUCTION  
FOR REVIEW**

#### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

#### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

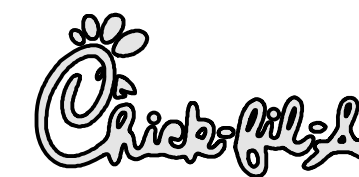
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

#### NOTICE TO DEVELOPER/ CONTRACTOR

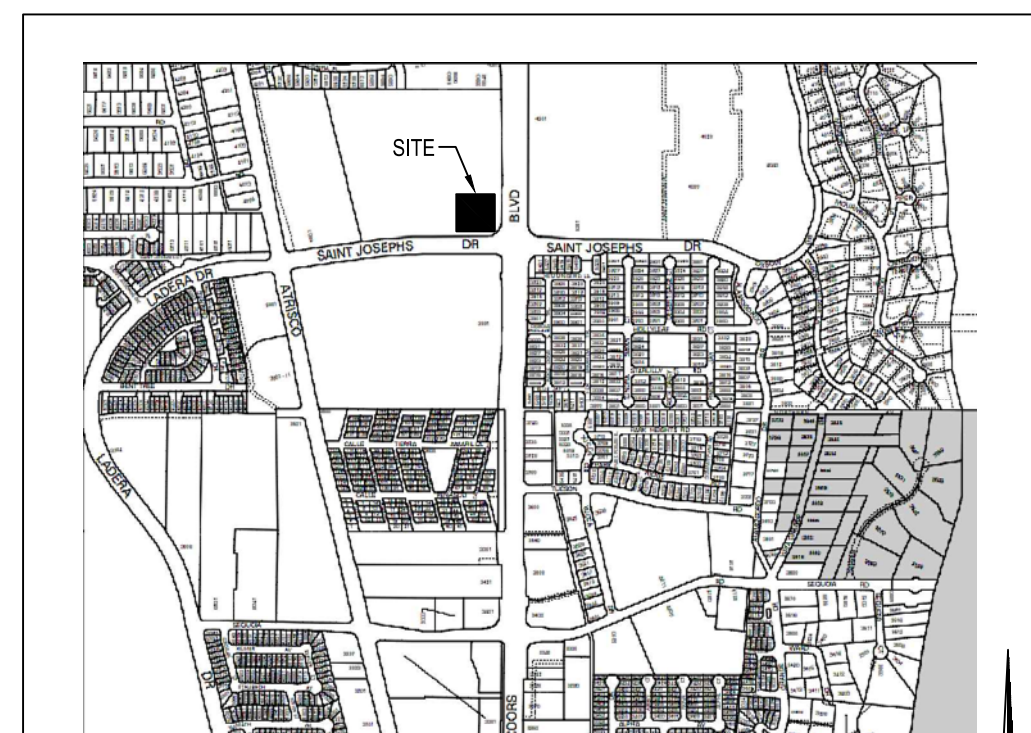
UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

#### OWNER

CONTACT  
MAGGIE NUCKOLS  
17877 VON KARMAN AVE, SUITE 500  
IRVINE, CA 92614  
PHONE: 602-741-5695



#### VICINITY MAP



NO SCALE

#### GENERAL NOTES

- ALL WORK SHALL CONFORM WITH ALBUQUERQUE CITY, AND CHICK-FIL-A STANDARDS & SPECIFICATIONS.
- CALL NMOC 48 HOURS PRIOR TO DIGGING.
- CONTROL POINT: 60D NAIL WITH ALUMINUM DISK STAMPED "SURV-TEK CONTROL" N=1,502,746.35' E=1,505,788.82' ELEV = 5116.08'
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE CONSTRUCTING ANY IMPROVEMENTS.

#### ENGINEER/SURVEYOR:



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529  
Fax: 801.255.4449

**LAYTON**  
Phone: 801.547.1100

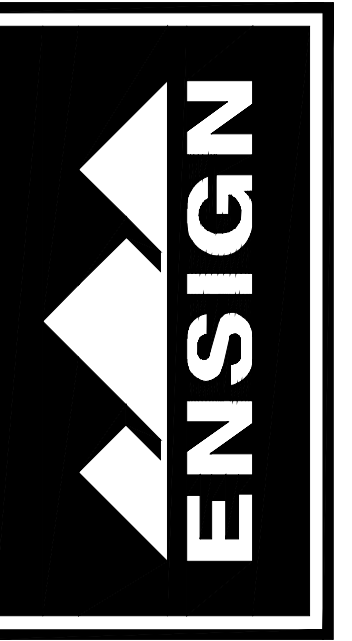
**TOOELE**  
Phone: 435.643.3590

**CEDAR CITY**  
Phone: 435.865.1453

WWW.ENSIGNUTAH.COM

**CHICK-FIL-A #04107 COORS DRIVE THRU EXPANSION**

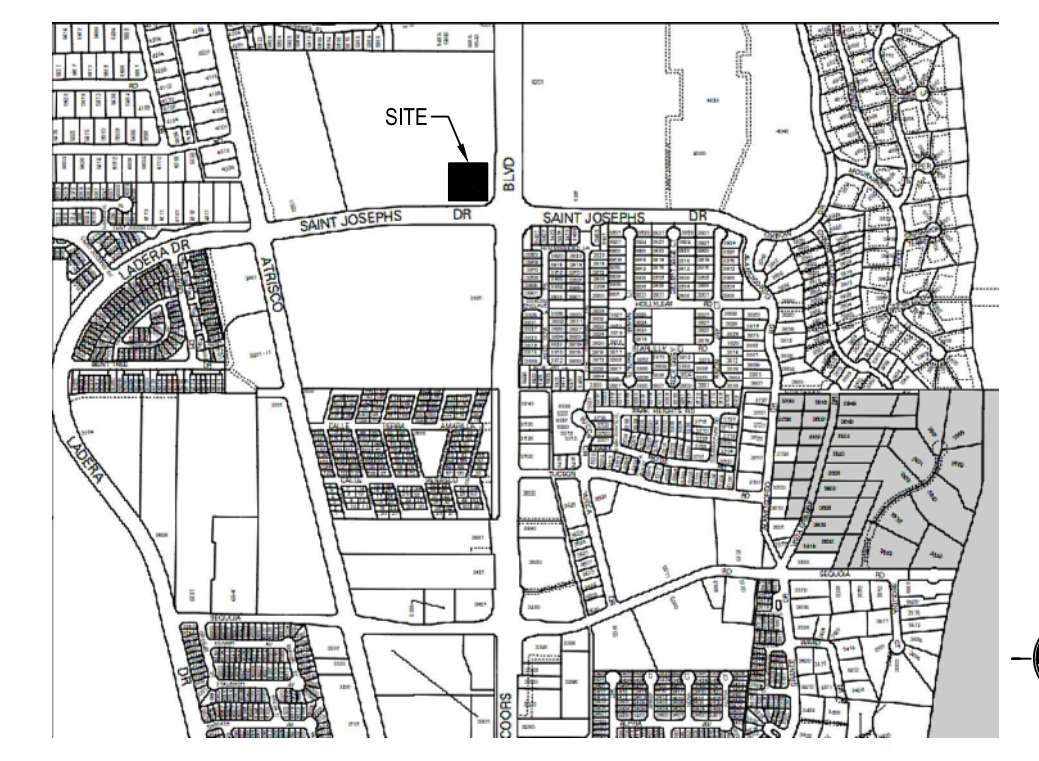
**JUNE, 2022**





**811** CALL BLUESTAKES  
 @ 811 AT LEAST 48 HOURS  
 PRIOR TO THE  
 COMMENCEMENT OF ANY  
 CONSTRUCTION.  
 Know what's below.  
 Call before you dig.

**VICINITY MAP**



5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998

Revisions:  
 Mark Date By

△ \_\_\_\_\_

△ \_\_\_\_\_

△ \_\_\_\_\_

△ \_\_\_\_\_

Seal



**SALT LAKE CITY**  
 45 W. 10000 S., Suite 500  
 Sandy, UT 84070  
 Phone: 801.255.0529  
 Fax: 801.255.4449

[WWW.ENSIGNENG.COM](http://WWW.ENSIGNENG.COM)

STORE  
 CHICK-FIL-A  
 FSU #04107  
 COORS BLVD.

COORS BLVD NW & ST.  
 JOSEPHS DR NW  
 ALBUQUERQUE, NM  
 87120

SHEET TITLE  
 SITE PLAN

VERSION:  
 ISSUE DATE:

Job No. : 11274  
 Store : 04107  
 Date : 6/21/22  
 Drawn By : MM  
 Checked By : DJ

Sheet  
**C-1.0**

**GENERAL NOTES**

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

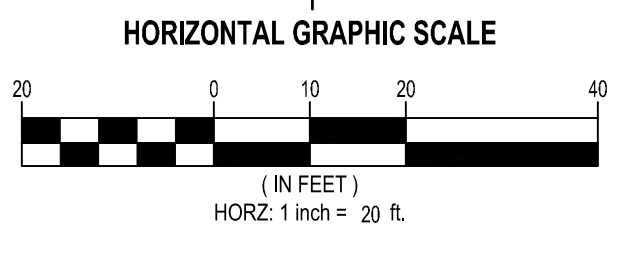
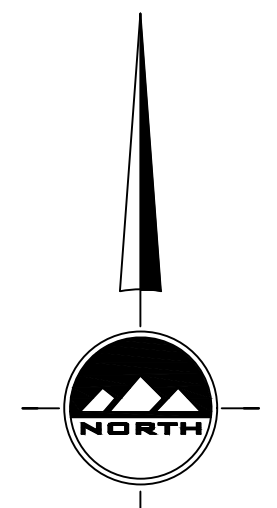
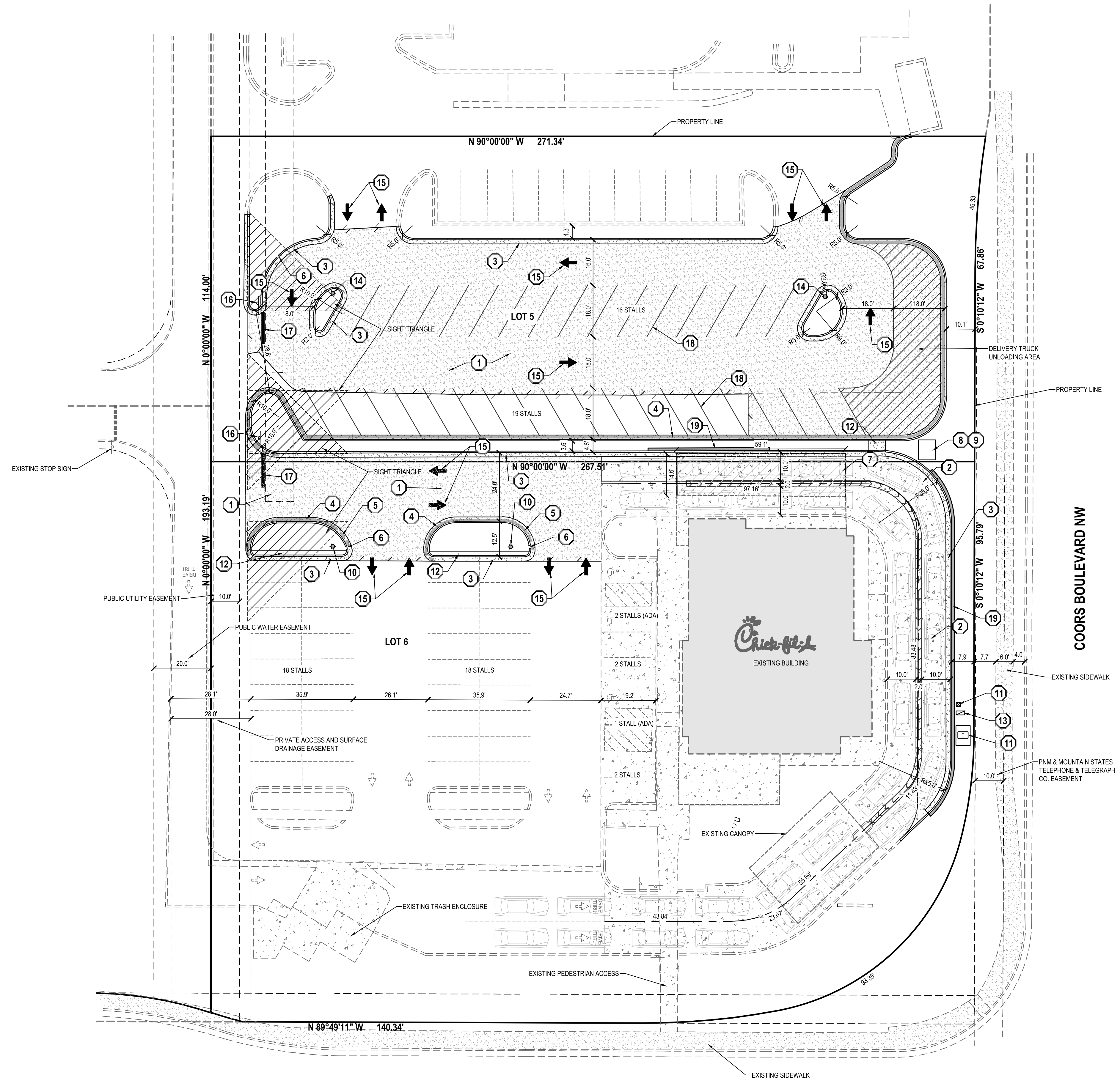
- ASPHALT PAVEMENT. SEE DETAIL 1/C-3.0.
- CONCRETE PAVEMENT DRIVE-THRU. SEE DETAIL 2/C-3.0.
- 24" CATCHING CURB AND GUTTER PER DETAIL 3/C-3.0.
- 24" SPILLING CURB AND GUTTER PER DETAIL 3/C-3.0.
- TRANSITION BETWEEN CATCHING AND SPILLING CURB AND GUTTER.
- 1" CURB OPENING.
- PROPOSED CANOPY. SEE ARCHITECTURAL DRAWINGS.
- CONCRETE PAD FOR ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- RELOCATED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- RELOCATED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- RELOCATED ELECTRICAL EQUIPMENT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- CONCRETE SIDEWALK. SEE DETAIL 5/C-3.0.
- RELOCATED COMMUNICATIONS EQUIPMENT. COORDINATE WITH SERVICE PROVIDER.
- PROPOSED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- PAINTED LANE-USE ARROWS. SEE DETAIL 4/C-3.0.
- "STOP" SIGN.
- 12" SOLID STOP BAR.
- 4" WIDE SOLID PAVEMENT MARKING PER PARKING LOT STRIPING SPECIFICATIONS. SEE 5/C-3.0.
- RETAINING WALL. SEE GRADING PLANS FOR ELEVATIONS.

**PARKING DATA TABLE**

EXISTING STALLS TO BE REMOVED	4
PROPOSED STALLS	35
EXISTING STALLS (TO REMAIN)	40
EXISTING ADA STALLS (TO REMAIN)	3
<b>TOTAL STALLS</b>	<b>78</b>

**LEGEND**

- EXISTING BOLLARD
- PROPOSED BOLLARD
- ⊙ EXISTING SIGN
- ⊙ PROPOSED SIGN
- ⊙ EXISTING FLAG POLE
- EXISTING EDGE OF ASPHALT
- - - PROPOSED EDGE OF ASPHALT
- - - EXISTING STRIPING
- - - PROPOSED STRIPING
- ▭ EXISTING WALL
- ▭ PROPOSED ASPHALT
- ▭ EXISTING CURB AND GUTTER
- ▭ PROPOSED CURB AND GUTTER
- ▭ PROPOSED REVERSE PAN CURB AND GUTTER
- ▭ TRANSITION TO REVERSE PAN CURB
- ▭ EXISTING CONCRETE
- ▭ PROPOSED CONCRETE
- ▭ EXISTING BUILDING
- ▭ EXISTING MONUMENT SIGN



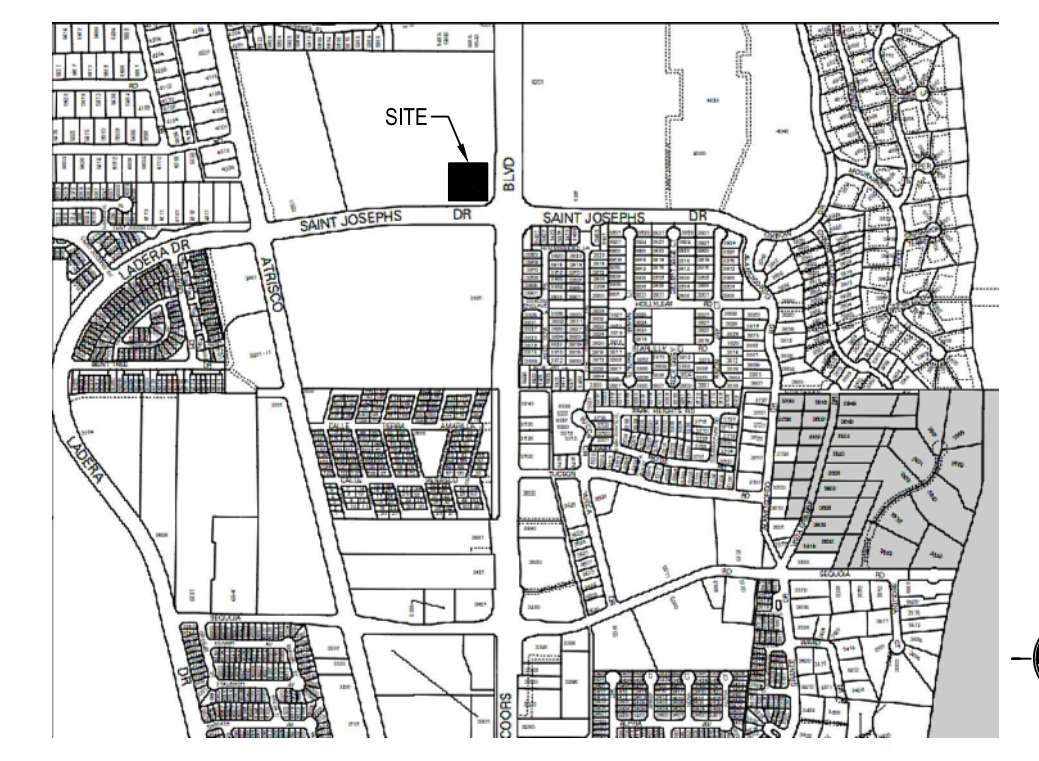
ST. JOSEPHS DRIVE

COORS BOULEVARD NW



**811** CALL BLUESTAKES  
 @ 811 AT LEAST 48 HOURS  
 PRIOR TO THE  
 COMMENCEMENT OF ANY  
 CONSTRUCTION.  
 Know what's below.  
 Call before you dig.

VICINITY MAP



5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

Seal



**SALT LAKE CITY**  
 45 W. 10000 S., Suite 500  
 Sandy, UT 84070  
 Phone: 801.255.0529  
 Fax: 801.255.4449

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STORE  
 CHICK-FIL-A  
 FSU #04107  
 COORS BLVD.

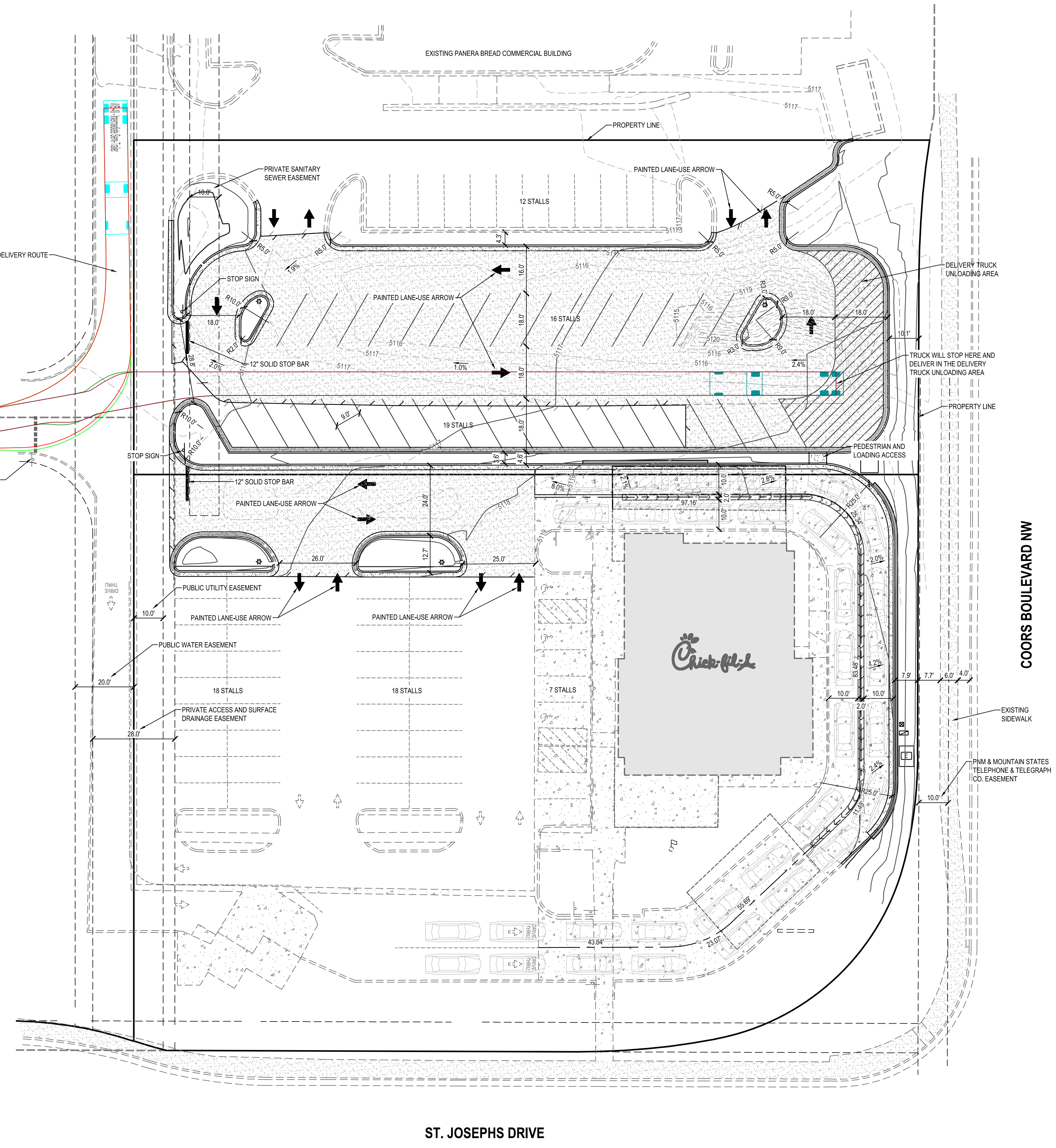
COORS BLVD NW & ST.  
 JOSEPHS DR NW  
 ALBUQUERQUE, NM  
 87120

SHEET TITLE  
 TRAFFIC  
 CIRCULATION  
 LAYOUT

VERSION:  
 ISSUE DATE:

Job No. : 11274  
 Store : 04107  
 Date : 6/21/22  
 Drawn By : MM  
 Checked By : DJ

Sheet  
**C II**

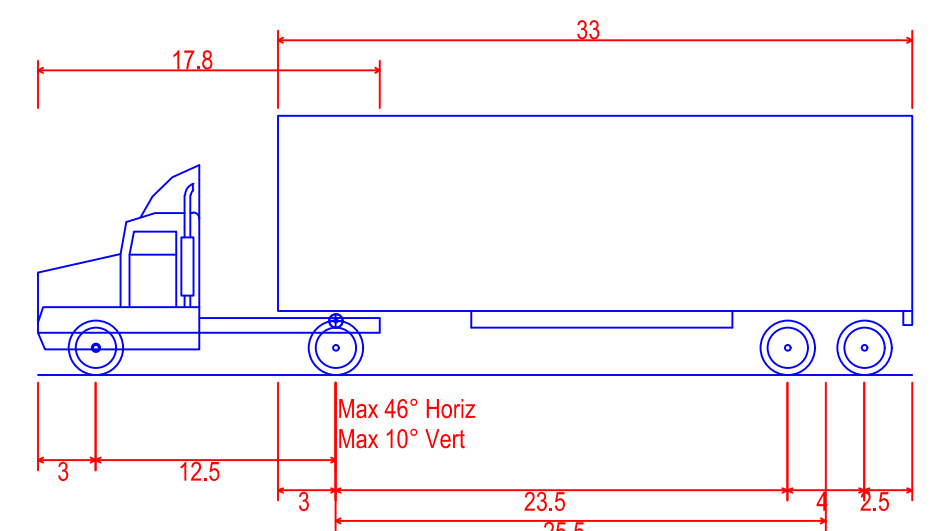


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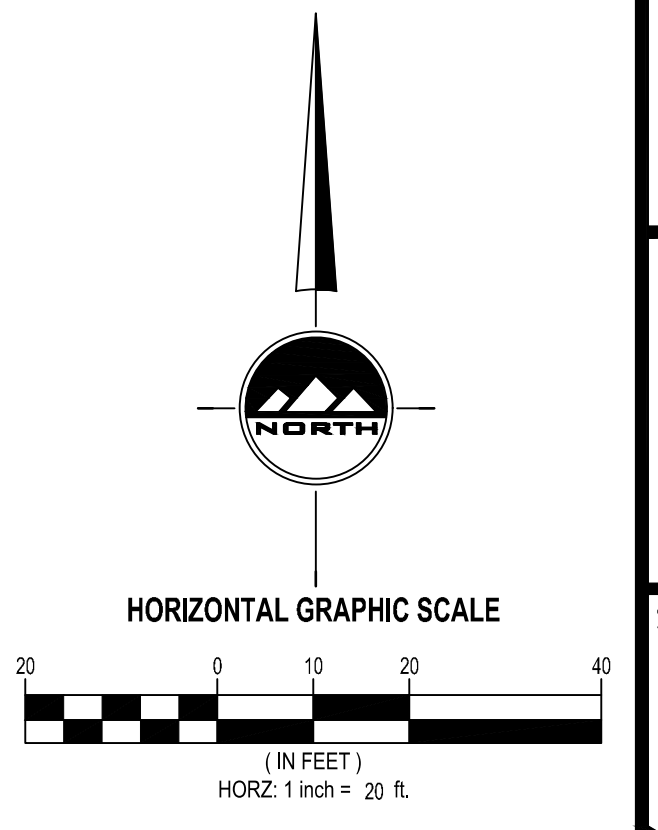
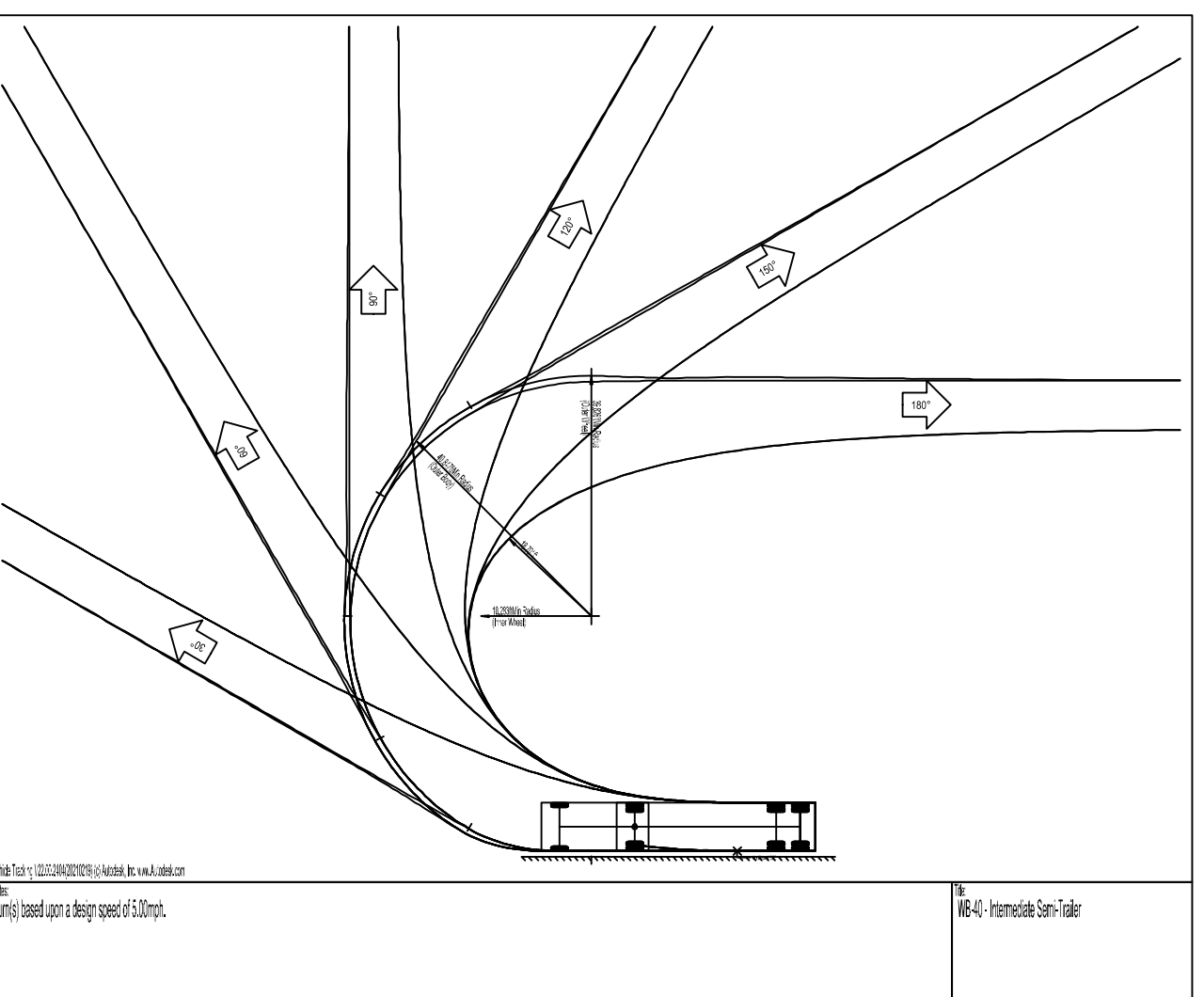
EXISTING STALLS TO BE REMOVED	4
PROPOSED STALLS	35
EXISTING STALLS (TO REMAIN)	40
EXISTING ADA STALLS (TO REMAIN)	3
TOTAL STALLS	78

- LEGEND**
- EXISTING BOLLARD
  - PROPOSED BOLLARD
  - EXISTING SIGN
  - PROPOSED SIGN
  - EXISTING FLAG POLE
  - EXISTING EDGE OF ASPHALT
  - PROPOSED EDGE OF ASPHALT
  - EXISTING STRIPING
  - PROPOSED STRIPING
  - EXISTING WALL
  - PROPOSED ASPHALT
  - EXISTING CURB AND GUTTER
  - PROPOSED CURB AND GUTTER
  - PROPOSED REVERSE PAN CURB AND GUTTER
  - TRANSITION TO REVERSE PAN CURB
  - EXISTING CONCRETE
  - PROPOSED CONCRETE
  - EXISTING BUILDING
  - EXISTING MONUMENT SIGN

DELIVERY TRUCK



WB-40 - Intermediate Semi-Trailer  
 Overall Length 45.499ft  
 Overall Width 8.000ft  
 Overall Body Height 13.500ft  
 Min Body Ground Clearance 1.334ft  
 Track Width 8.000ft  
 Lock-to-lock time 4.00s  
 Max Steering Angle (Virtual) 20.30°



ST. JOSEPHS DRIVE

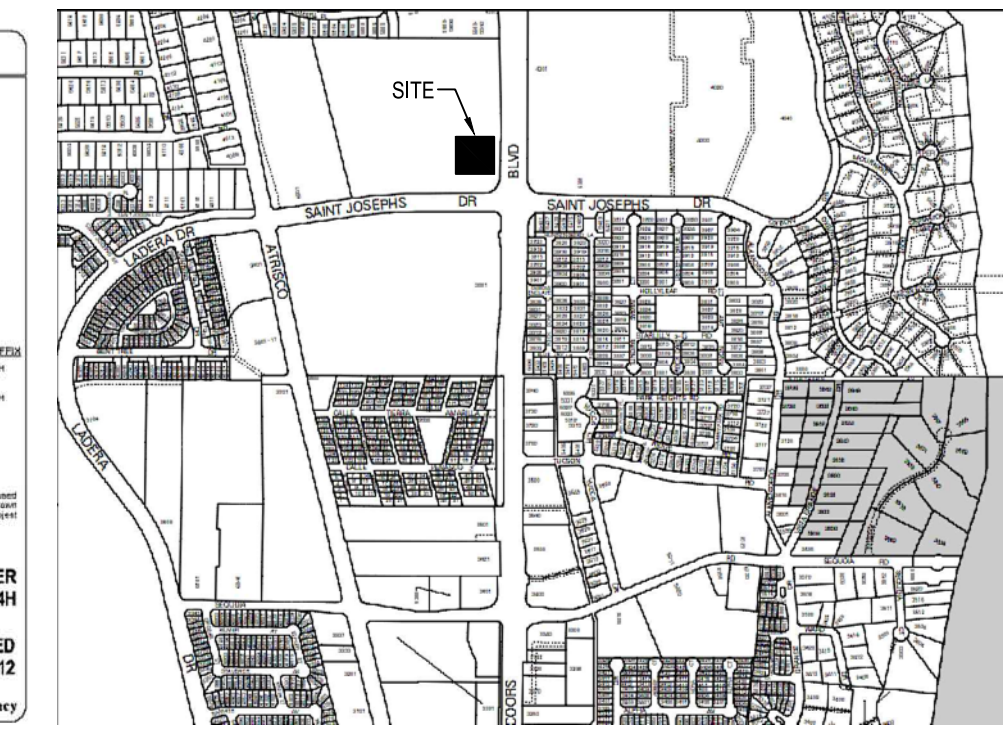
COORS BOULEVARD NW



FIRM MAP NO 35001C0114H

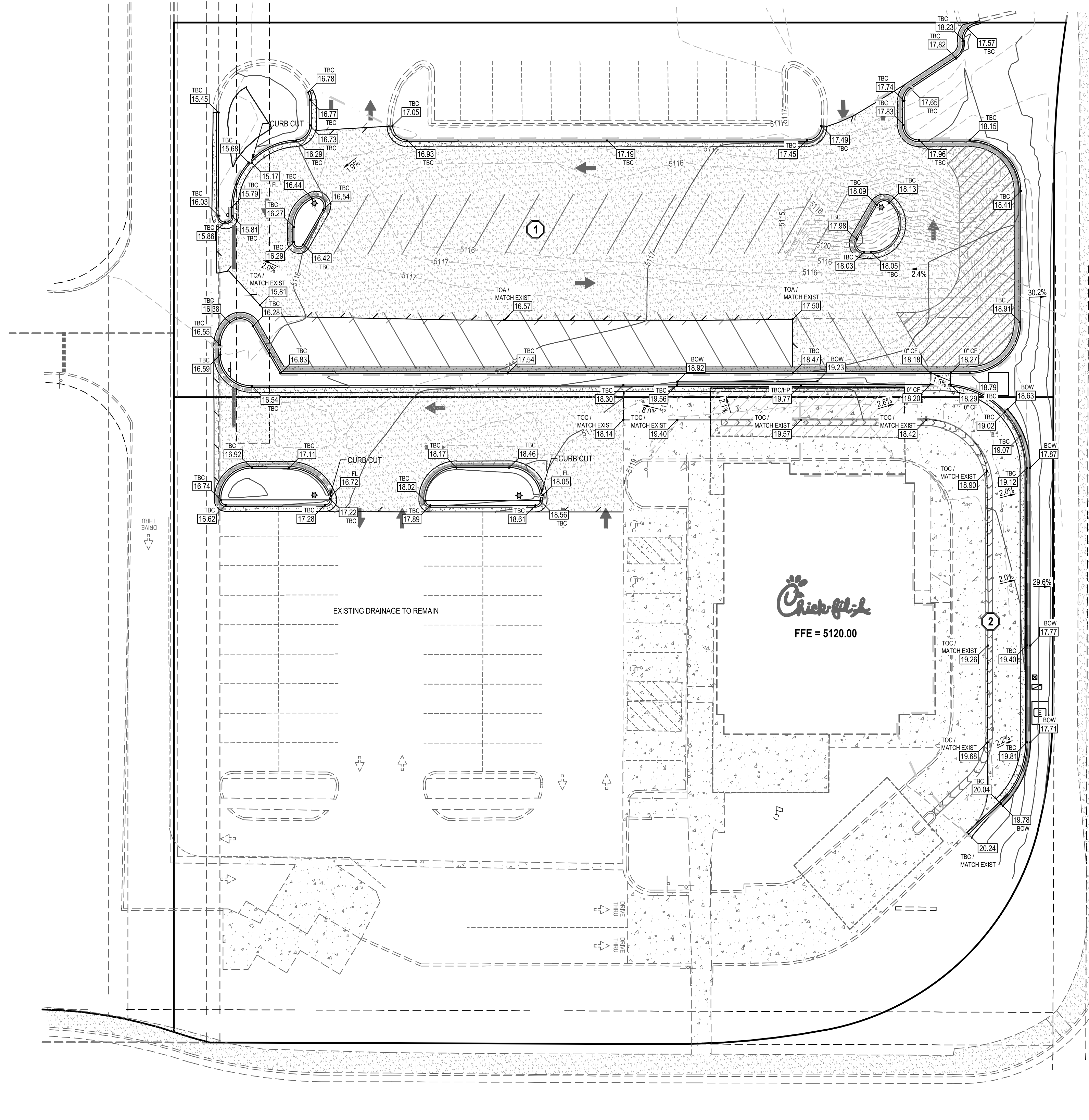


VICINITY MAP



**FIRM FLOOD INSURANCE RATE MAP**  
 BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS  
 PANEL 114 OF 825  
 (REVISED 08/16/2012)  
 FEDERAL EMERGENCY MANAGEMENT AGENCY

**811** CALL BLUESTAKES @ 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.  
 Know what's below. Call before you dig.



COORS BOULEVARD NW

ST. JOSEPHS DRIVE

**LEGEND**

●	EXISTING BOLLARD
○	PROPOSED BOLLARD
+	EXISTING SIGN
+	PROPOSED SIGN
+	EXISTING FLAG POLE
---	EXISTING EDGE OF ASPHALT
---	PROPOSED EDGE OF ASPHALT
---	EXISTING STRIPING
---	PROPOSED STRIPING
---	EXISTING WALL
---	PROPOSED WALL
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	PROPOSED ASPHALT
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	PROPOSED REVERSE PAN CURB AND GUTTER
---	TRANSITION TO REVERSE PAN CURB
---	EXISTING CONCRETE
---	PROPOSED CONCRETE
---	EXISTING BUILDING
---	EXISTING MONUMENT SIGN
---	CATCHMENTS / BASINS

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
  3. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
  4. ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXX REPRESENTS AN ELEVATION OF SIX.XXX ON THESE PLANS.
  5. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  6. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
  7. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
  8. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
  9. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**LOCATION AND DESCRIPTION**  
 THE PROPOSED SITE IS LOT 5 OF COORS PAVILION AND IS 0.7 ACRES LOCATED ON THE NORTH SIDE OF ST. JOSEPHS BLVD. AND THE WEST SIDE OF COORS BLVD. THE PROPOSED DEVELOPMENT WILL BE A PARKING LOT TO EXPAND THE EXISTING PARKING LOT.

**FLOODPLAIN STATUS**  
 THE SITE IS WITHIN FEMA'S FLOOD INSURANCE RATE MAP 35001C0114H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

**METHODOLOGY**  
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD.

**PRECIPITATION**  
 THE 100-YR 12-MIN DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT MANUAL, SECTION 22.2

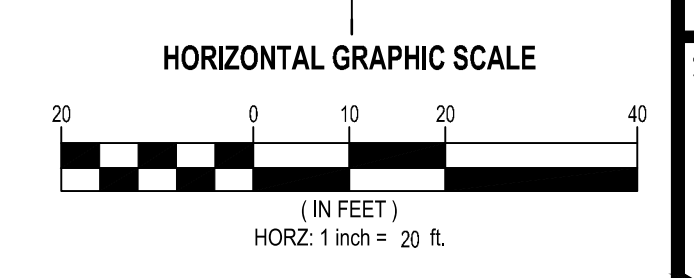
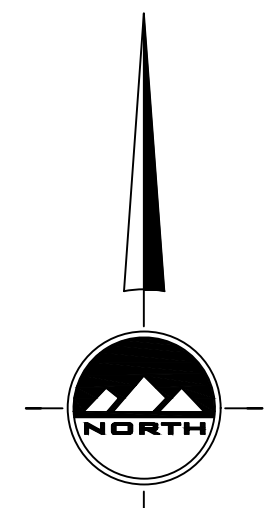
**EXISTING DRAINAGE**  
 THE SITE IS WITHIN THE AREA OF THE COORS PAVILION DRAINAGE MASTER PLAN DATED FEBRUARY 22, 2017. THE EXISTING DRAINAGE FLOWS TO THE NORTHWEST TO A PROPOSED POND FOR SHARED USE BY LOTS INCLUDED IN THE MASTER DRAINAGE PLAN.

**DEVELOPED CONDITION**  
 THE SITE WILL BE DEVELOPED WITH SITE FLOWS FROM LOT 5 AND PART OF LOT 6 DIRECTED INTO A CONCRETE PAN IN THE MIDDLE OF THE PRIVATE DRIVE ON THE WEST SIDE OF THE SITE VIA A COMBINATION OF CURB AND GUTTER AND OVERLAND FLOW. THE PAN WILL ULTIMATELY DIRECT THE FLOW INTO THE FIRST FLUSH POND PROVIDED BY THE DEVELOPMENT. THE 100 YEAR PEAK RUNOFF FROM THIS DEVELOPMENT IS IN ACCORDANCE WITH THE MASTER DRAINAGE REPORT. RUNOFF ADJACENT TO COORS BLVD AND ST. JOSEPHS DR WILL BE CAPTURED BY AN EXISTING INFILTRATION TRENCH AT THE REAR OF THE EXISTING SIDEWALK, ALLOWING NO RUNOFF FROM THIS SITE TO ENTER EITHER ROADWAY RIGHT-OF-WAY.

**REQUIRED FIRST FLUSH VOLUME**  
 LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.  
 LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE TOTAL VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA \* (0.44-0.10) / 12 IN CUBIC FEET.  
 IMPERVIOUS AREA = 22946 SQ.FT.  
 REQUIRED VOLUME = 650 CU.FT.  
 PROVIDED VOLUME ON SITE (BASIN A) = 0 CU.FT.  
 PROVIDED VOLUME IN POND = 1289 CU.FT.

- BASIN A**  
 AREA = 41 AC  
 1 100 YR RUNOFF (CFS) = 1.68  
 10 YR RUNOFF (CFS) = 1.04  
 2 YR RUNOFF (CFS) = .65
- BASIN B**  
 AREA = 12 AC  
 2 100 YR RUNOFF (CFS) = .49  
 10 YR RUNOFF (CFS) = .31  
 2 YR RUNOFF (CFS) = .19

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998

Revisions:  
 Mark Date By  
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Mark Date By  
 △

Mark Date By  
 △

Seal  

 DAVID ALTER  
 NEW MEXICO  
 12354  
 PROFESSIONAL ENGINEER  
 06/28/2009



**SALT LAKE CITY**  
 45 W. 10000 S., Suite 500  
 Sandy, UT 84070  
 Phone: 801.255.0529  
 Fax: 801.255.4449

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 FSU #04107  
 COORS BLVD.

COORS BLVD NW & ST.  
 JOSEPHS DR NW  
 ALBUQUERQUE, NM  
 87120

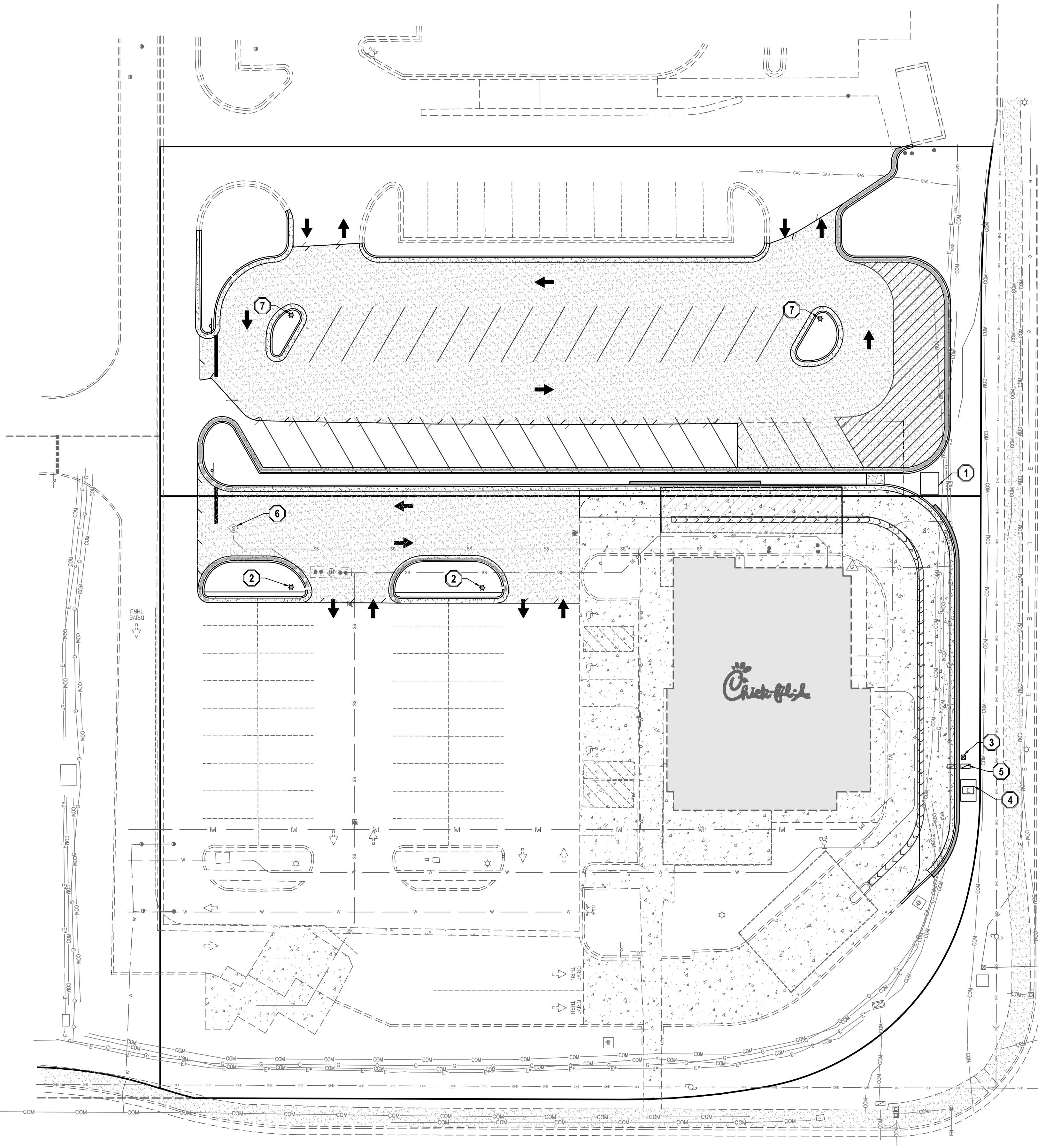
SHEET TITLE  
 GRADING AND  
 DRAINAGE PLAN

VERSION:  
 ISSUE DATE:

Job No. : 11274  
 Store : 04107  
 Date : 6/21/22  
 Drawn By : MM  
 Checked By : DJ

Sheet  
**C-2.0**





**GENERAL NOTES**

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
6. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
7. PROJECT SHALL COMPLY WITH ALL NEW MEXICO DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
8. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
9. CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINES.
10. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
11. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
12. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**SCOPE OF WORK:**

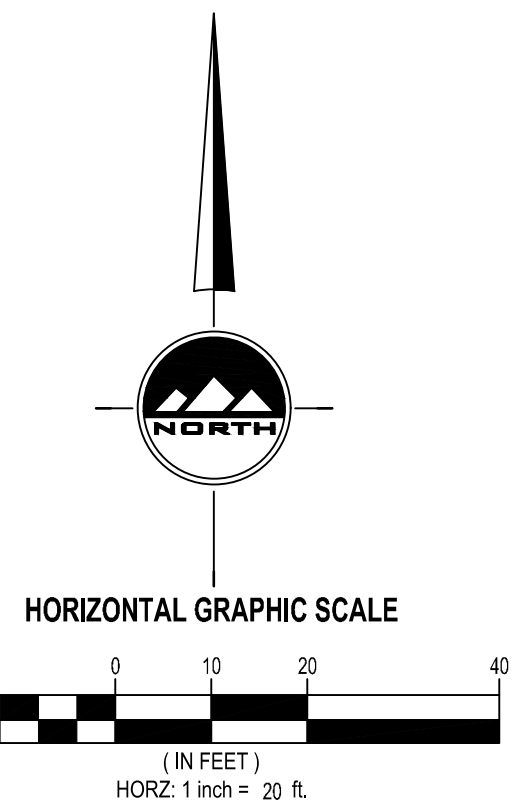
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 RELOCATED ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 2 RELOCATED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 3 RELOCATED ELECTRICAL PEDESTAL. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 4 RELOCATED ELECTRICAL VAULT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 5 RELOCATED TELEPHONE PEDESTAL. COORDINATE WITH SERVICE PROVIDER.
- 6 ADJUST SEWER MAHOLE RIM TO GRADE.
- 7 PROPOSED LIGHT POLE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

**LEGEND**

- EXISTING WATER METER
- EXISTING WATER MANHOLE
- EXISTING WATER BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SECONDARY WATER VALVE
- EXISTING IRRIGATION BOX
- EXISTING IRRIGATION VALVE
- EXISTING GREASE TRAP MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY CLEAN OUT
- EXISTING STORM DRAIN CLEAN OUT BOX
- EXISTING STORM DRAIN INLET BOX
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING STORM DRAIN COMBO BOX
- EXISTING STORM DRAIN CLEAN OUT
- EXISTING ELECTRICAL PEDESTAL
- EXISTING ELECTRICAL BOX
- EXISTING TRANSFORMER
- EXISTING POWER POLE
- EXISTING LIGHT
- PROPOSED LIGHT
- EXISTING OVERHEAD TRAFFIC LIGHT POLE
- EXISTING GAS METER
- EXISTING GAS VALVE
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING CABLE BOX
- EXISTING SANITARY SEWER
- EXISTING CULINARY WATER LINE
- EXISTING SECONDARY WATER LINE
- EXISTING IRRIGATION LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING COMMUNICATIONS LINE

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED.



COORS BOULEVARD NW

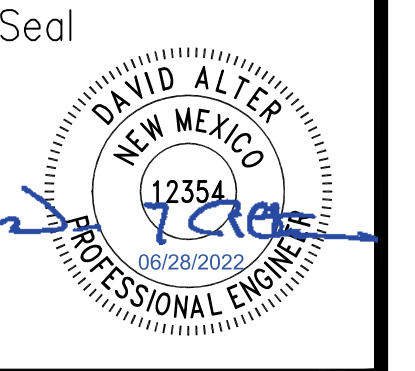
ST. JOSEPHS DRIVE



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

**Revisions:**

Mark	Date	By
△		
△		
△		



**SALT LAKE CITY**  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529  
Fax: 801.255.4449

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STORE  
CHICK-FIL-A  
FSU #04107  
COORS BLVD.

COORS BLVD NW & ST.  
JOSEPHS DR NW  
ALBUQUERQUE, NM  
87120

SHEET TITLE  
UTILITY PLAN

VERSION:  
ISSUE DATE:

Job No. : 11274  
Store : 04107  
Date : 6/21/22  
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Checked By : DJ

Sheet  
**C-3.0**



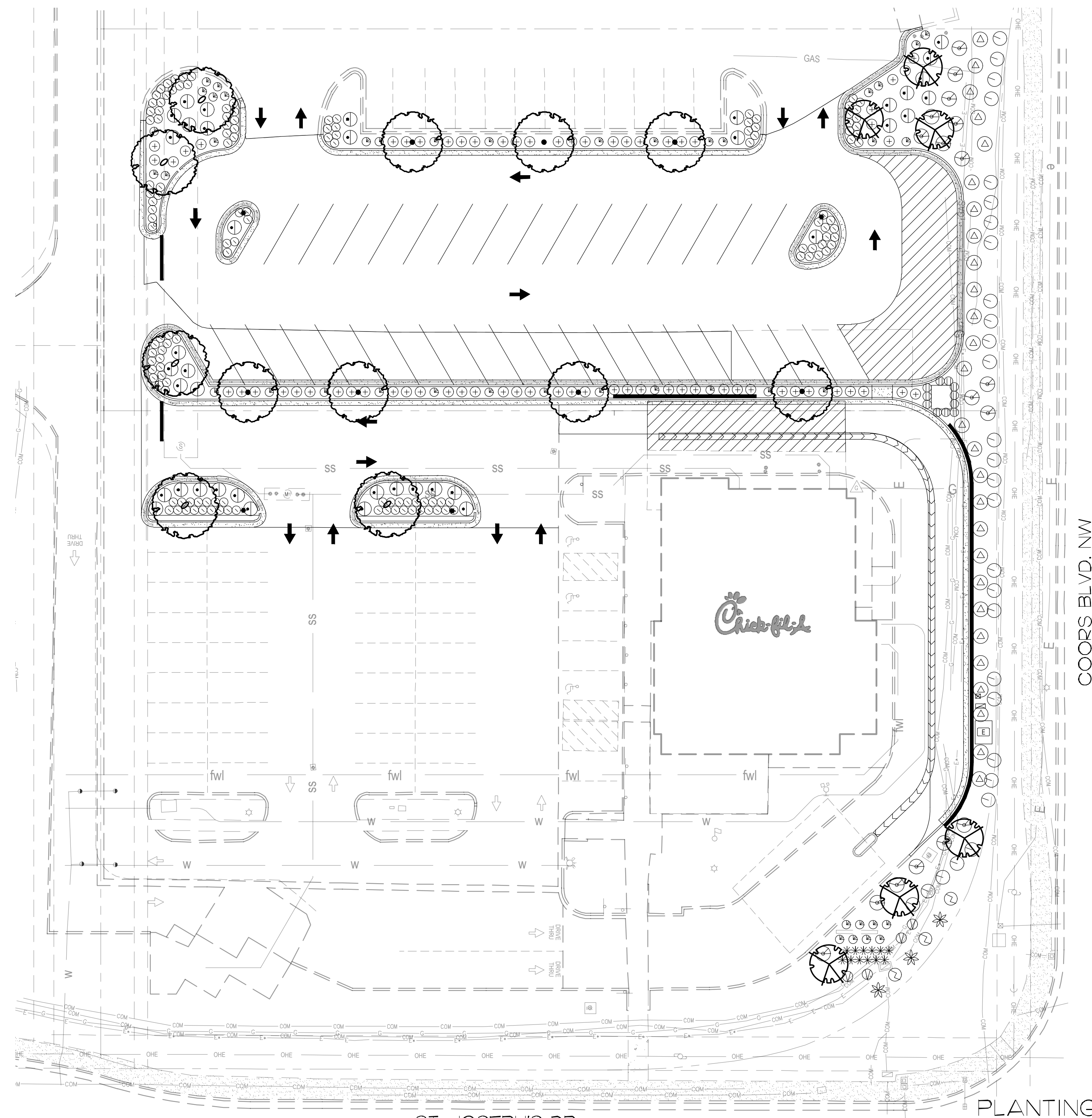
**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
<b>TREES</b>					
	ULMUS 'ACCOLADE'	ACCOLADE ELM	24" BOX	5	STANDARD 2" MIN. CALIPER
	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	24" BOX	7	STANDARD 2" MIN. CALIPER
	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	6	STANDARD 2" MIN. CALIPER
<b>SHRUBS</b>					
	NOLINA MICROCARPA	SACAJUISTA	5 GAL.	3	AS SHOWN
	ARCTOSTAPHYLOS X. C. 'CHIEFTAIN'	MANZANITA	5 GAL.	17	AS SHOWN
	AMORPHA CANESCENS	LEADPLANT	5 GAL.	67	AS SHOWN
	BOUTELOUA G. 'BLONDE AMBITION'	BLUE GRAMA	1 GAL.	12	2'-6" O.C.
	PRUNUS B. 'PAWNEE BUTTES'	SAND CHERRY	5 GAL.	39	AS SHOWN
	PANICUM V. 'SHENANDOAH'	BURGUNDY SWITCH GRASS	1 GAL.	132	2'-6" O.C.
	CYTISUS S. 'MOONLIGHT'	MOONLIGHT SCOTCH BROOM	5 GAL.	4	AS SHOWN
	HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL.	43	AS SHOWN
	SORGHASTRUM N. 'SIOUX BLUE'	INDIAN GRASS	1 GAL.	11	2'-6" O.C.
	FALLUGIA PARADOXA	APACHE PLUM	5 GAL.	29	AS SHOWN
	MIRABILIS MULTIFLORA	COLORADO FOUR O' CLOCK	1 GAL.	3	AS SHOWN
	RHUS T. 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	5 GAL.	27	AS SHOWN

NOTE: ALL PLANTER AREAS SHALL BE TOP DRESSED WITH A 3" DEEP LAYER OF A ROCK MULCH/RIVER ROCK MIXTURE TO MATCH CENTER - PLACED OVER FILTER FABRIC

**LANDSCAPE AREAS**

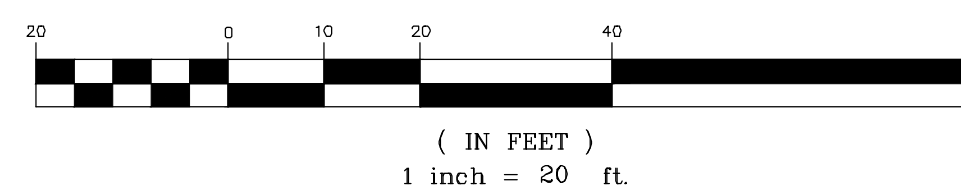
SHRUBS/TREES - LOW/MOD. WATER USE - 7,647 S.F.  
IRRIGATION - HIGH EFFICIENCY DRIP TUBING  
PERCENTAGE OF LANDSCAPED AREA - 100%



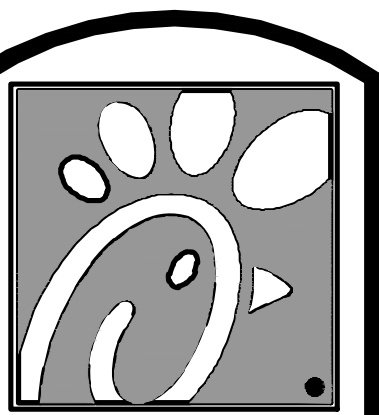
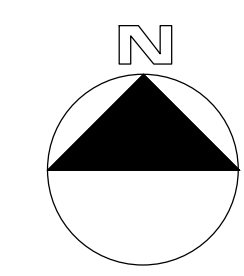
**PLANTING NOTES**

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS. WWW.ANLA.ORG
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- ALL TREES WITHIN 5' OF ANY HARDSCAPE SURFACE TO HAVE A ROOT BARRIER TO REDIRECT ROOT GROWTH PER MANUFACTURER'S SPECIFICATIONS.
- FINISH GRADE TO BE 2" BELOW TOP OF CURB OR SIDEWALK FOR PLANTING AREAS.
- FERTILIZER FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOILS REPORT.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT TO MEET OR EXCEED CITY LANDSCAPE GUIDELINES, STANDARDS AND AGENCY REQUIREMENTS.
- ALL PLANTER AREAS SHALL BE TOP DRESSED WITH 3" MINIMUM MULCH COVER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS. ALL PLANTER BEDS TO BE AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS ARE ALLOWED.
- ALL PLANTING SHALL BE IRRIGATED WITH LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AUTOMATIC REMOTE CONTROL VALVES AND AND TIED INTO AN AUTOMATIC IRRIGATION CONTROLLER.

**GRAPHIC SCALE**



**PRELIMINARY PLANTING PLAN**  
1" = 20'



**Chick-fil-A**

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

**Revisions:**

Mark Date By

\_\_\_\_\_

Mark Date By

\_\_\_\_\_

Mark Date By

\_\_\_\_\_

Seal



hourian associates, inc.  
landscape architecture + design  
san clemente | santa barbara, california  
o: 949.489.5623 f: 858.810.0335

STORE  
CHICK-FIL-A  
FSU #04107  
COORS BLVD.

COORS BLVD NW & ST.  
JOSEPHS DR NW  
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87120

SHEET TITLE

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ISSUE DATE:

Job No. : \_11274  
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Date : 6/28/22  
Drawn By : \_\_\_\_\_  
Checked By : \_\_\_\_\_

Sheet  
**PRELIMINARY PLANTING PLAN**

**L-I-O**





**Chick-fil-A**  
Chick-fil-A

5200 Buffington Road  
Atlanta, Georgia  
30349-2998

**INTERPLAN**  
INTERPLAN LLC

AR0011595  
CA 8660

ARCHITECTURE  
ENGINEERING  
PERMITTING

220 E. CENTRAL PKWY, STE 4000  
ALTIMONTE SPRINGS, FL 32701  
407.645.5008

SEAL:

THIS DOCUMENT IS NOT  
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OR CONSTRUCTION.

**CHICK-FIL-A**  
**COORS**

4001 COORS BLVD NW  
ALBUQUERQUE, NM 87120

**FSR#04107**

BUILDING TYPE / SIZE: P12-SE-LRG  
RELEASE: v2.18.08

PRINTED FOR  
**Project Status**

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

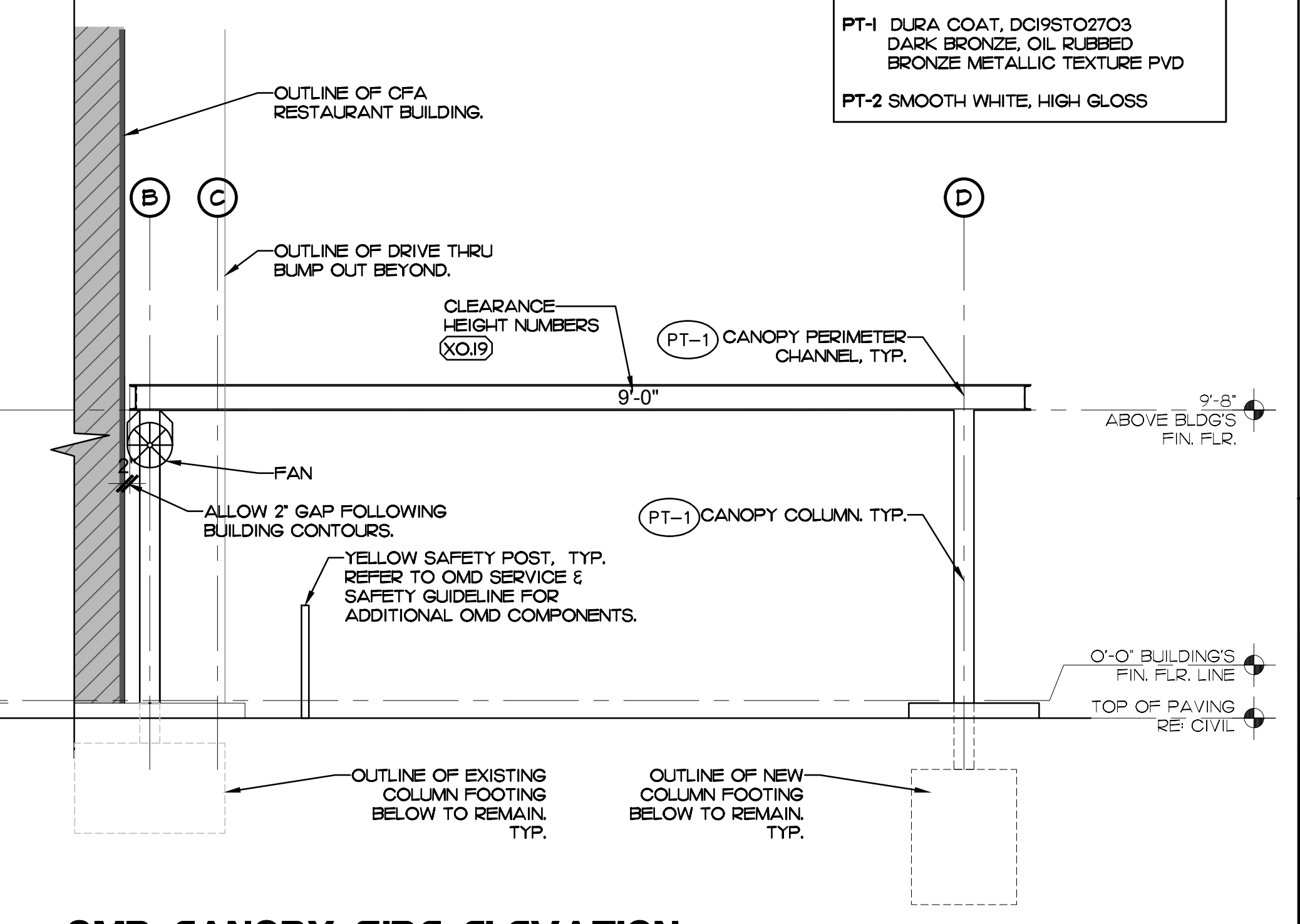
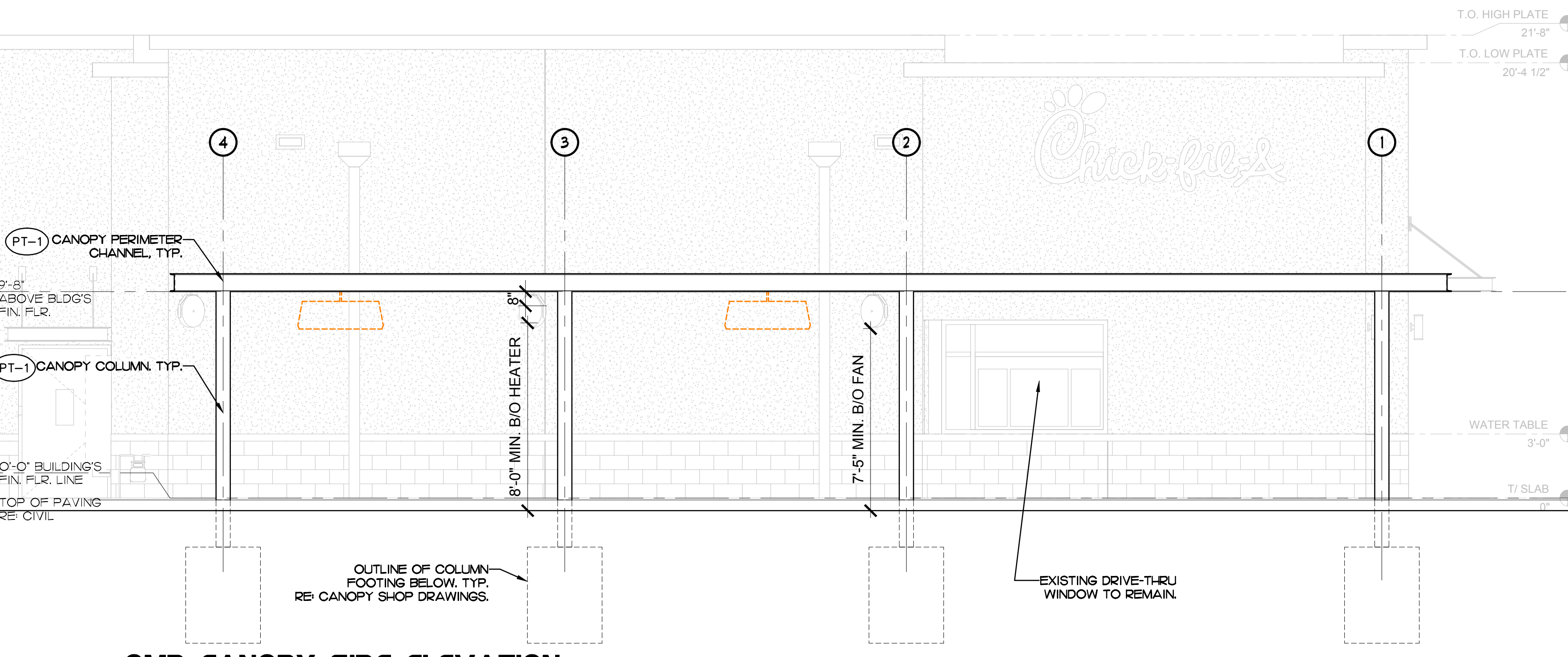
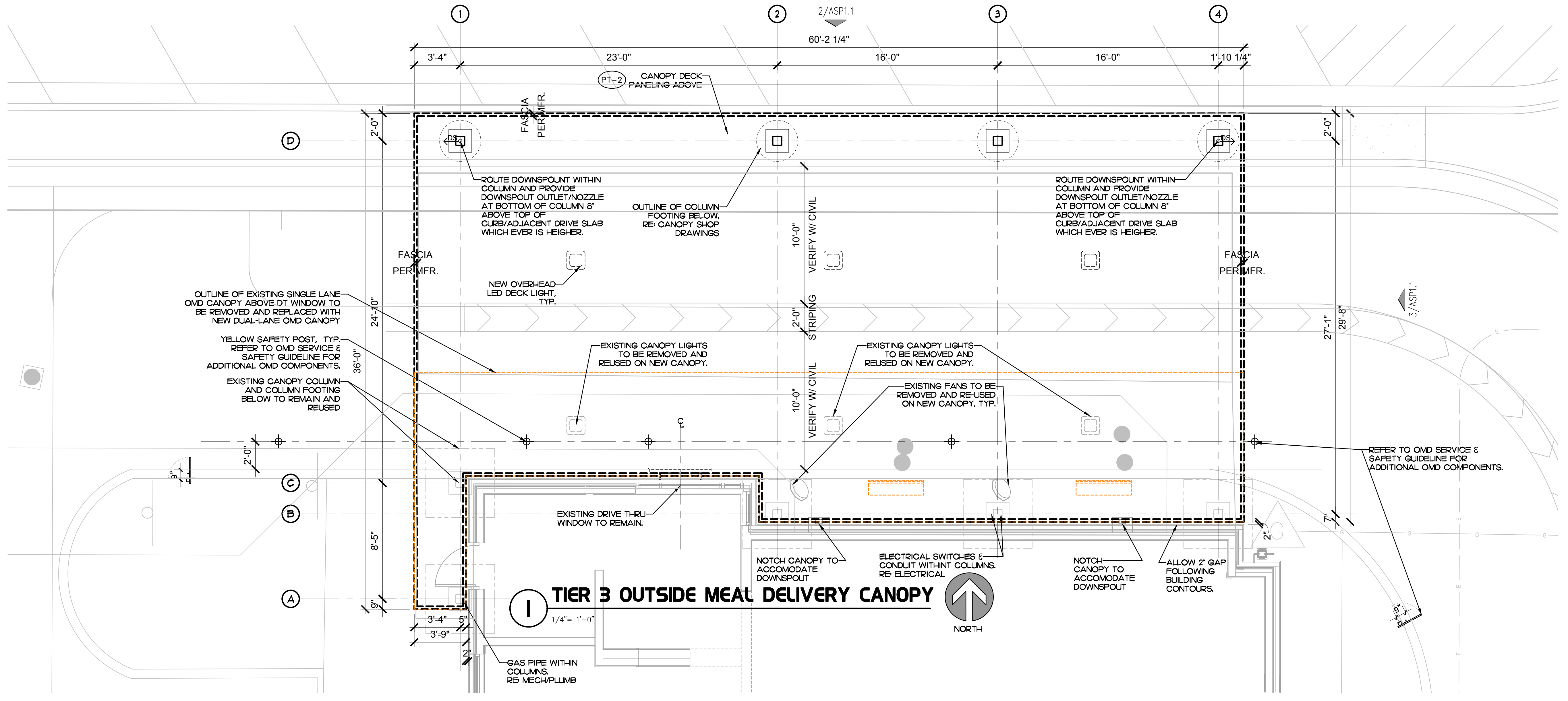
CONSULTANT PROJECT # 2021.1239  
DATE JUNE 2022  
DRAWN BY JF  
CHECKED BY JF

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ARCHITECTURAL SITE PLAN  
- OMD CANOPY

SHEET NUMBER

**ASP-1.1**



**EXTERIOR FINISH SCHEDULE**

PT-1	DURA COAT, DC19ST02703 DARK BRONZE, OIL RUBBED BRONZE METALLIC TEXTURE PVD
PT-2	SMOOTH WHITE, HIGH GLOSS

**2 OMD CANOPY SIDE ELEVATION**  
1/4" = 1'-0"

**3 OMD CANOPY SIDE ELEVATION**  
1/4" = 1'-0"



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_