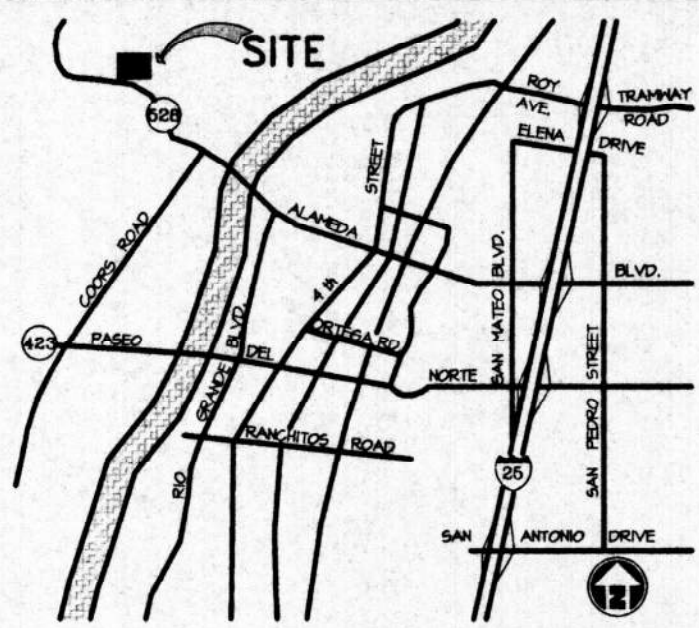


VICINITY MAP



SITE PLAN NOTES

1. PARKING STALLS WITH 4" WIDE WHITE STRIPING.
2. SITE LIGHT TO MATCH SHOPPING CENTER (WITH 400 WATT METAL HALIDES ON 17'-0" TALL POLE ON 3'-0" CONCRETE BASE).
3. CONCRETE PAD FOR TRASH ENCLOSURE. SEE SOILS REPORT.
4. NEW CONCRETE CURB RAMP.
5. NEW CONCRETE SIDEWALK.
6. PAINTED SYMBOL OF ACCESSIBILITY.
7. CMU TRASH ENCLOSURE. CONSTRUCTION TO COMPLY WITH CITY STANDARDS. PAINT COLOR P-2.
8. EXISTING CURB TO REMAIN.
9. LOADING ZONE.
10. PROPOSED ELECTRICAL TRANSFORMER LOCATION (VERIFY LOCATION).
11. NEW CURB RAMP.
12. LINE OF AUTOMOBILE OVERHANGS.
13. NEW FIRE HYDRANT. (115 GPM MIN. FIRE FLOW).
14. UTILITY EASEMENTS.
15. AC PAVING. SEE SOILS REPORT.
16. STRIPED AREA.
17. ACCESSIBLE PARKING STALLS. TYPICAL OF (3).
18. REINFORCED CONCRETE PAD FOR LOADING ZONE. SEE SOILS REPORT.
19. STRIPED PARKING STALL TO ACCOMMODATE 8'-0" WIDE ACCESS AISLE.
20. LANDSCAPE AREA. SEE LANDSCAPE PLANS (L-1).
21. ACCESSIBLE PARKING SIGN. (TYPICAL OF 3).
22. EXISTING MONUMENT SIGN LOCATION.
23. ELECTRICAL SWITCH GEAR CABINET.
24. NEW CURB AND SIDEWALK.
25. NEW MONUMENT SIGN BY OTHERS. SEE DETAIL.
26. BICYCLE RACK. SEE DETAIL.
27. STAMPED PPC CONCRETE CROSSWALK.
28. EXISTING CURB RAMP.
29. EXISTING PUBLIC WALK.
30. EXISTING BUS STOPS.
31. EXISTING TRAFFIC MEDIAN.
32. NEW STAIR AND RAILS.
33. NEW CONCRETE CURVE CURB RAMP.
34. NEW DISABLED ACCESSIBLE SIGN.
35. NEW POLLARDS.
36. EXISTING FIRE HYDRANT.
37. DETENTION POND.

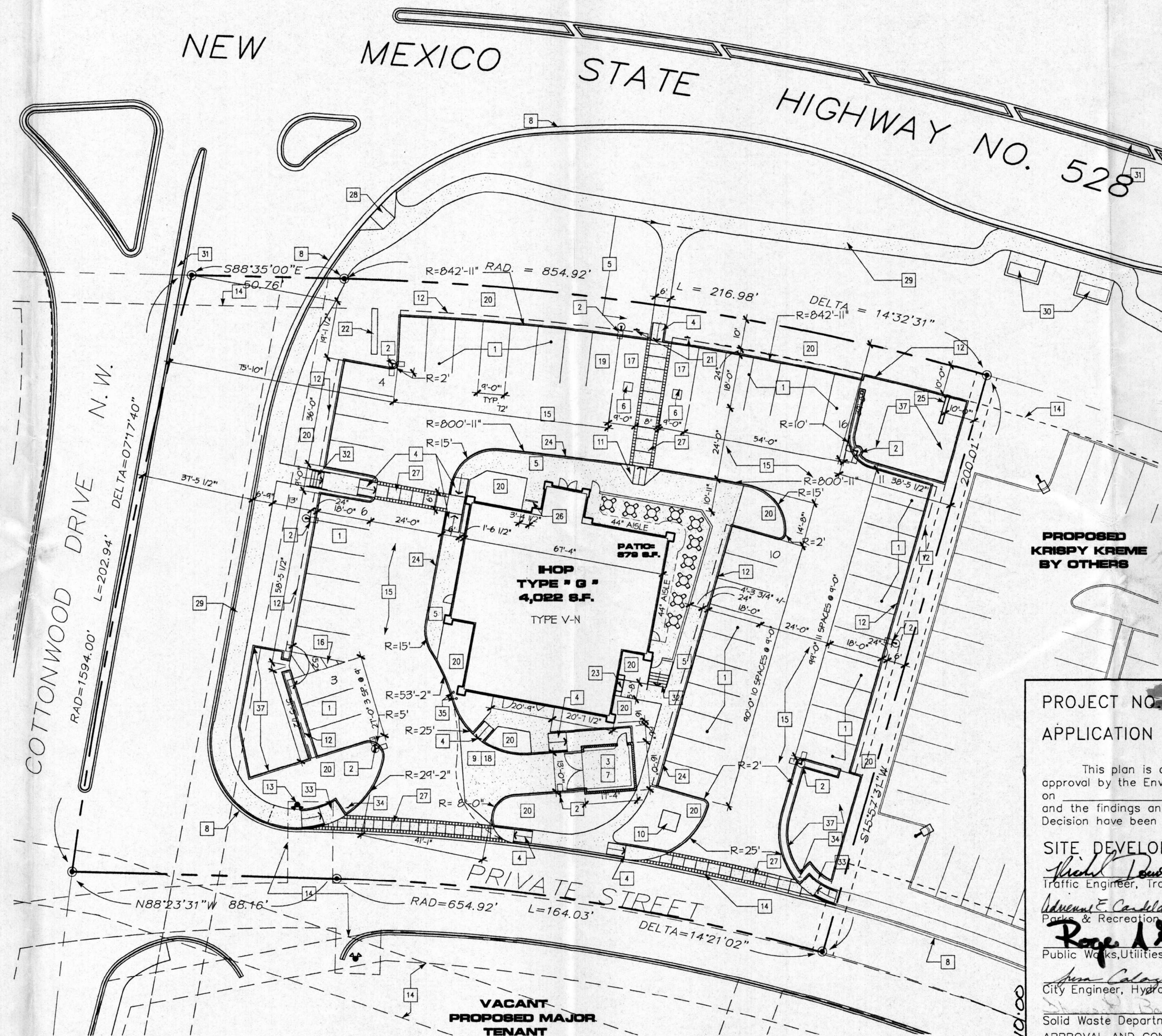
SUMMARY TABLE:

A NEW ONE-STORY PROJECT FREESTANDING BUILDING ALONG WITH SITE IMPROVEMENTS TO ACCOMMODATE AN IHOP RESTAURANT.

BUILDING TYPE: TYPE V-N
OCCUPANCY TYPE: A3/B
PARKING PROVIDED: 51 ON-SITE.
TOTAL SITE AREA = 53,161 S.F. (100%)

TOTAL LANDSCAPE AREA = 10,288 S.F. (19.4%)
TOTAL BUILDING AREA = 4,022 S.F. (7.6%)
TOTAL HARDSCAPE AREA = 38,851 S.F. (73.0%)

PARKING SPACES REQUIRED: 1 SPACE FOR EVERY 4 SEATS.
PARKING REQUIRED = 130 SEATS INSIDE AND 40 SEATS IN PATIO = 170 SEATS / 4 = 42.5 SPACES + 28% = 51 SPACES.
PARKING PROVIDED = 50 ON-SITE. 46.5 10%



SITE PLAN

1" = 20'



SITE SPECIFIC NOTES

1. LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT FUGITIVE LIGHT.
2. LIGHT LENSES SHALL NOT PROJECT BELOW THE LIGHT SHIELD; LIGHT ELEMENTS SHALL BE HORIZONTALLY MOUNTED.
3. SITE LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS; IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

PROJECT NO. 1000421

APPLICATION NO. 00450 00000 00946
00128 00000 00465

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 05/18/2000 and the findings and conditions in the Official Notice; notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Richard P. Smith
Traffic Engineer, Transportation Division
Date: 8-23-00

Adrienne E. Castillan
Parks & Recreation Department
Date: 8/23/00

Roger J. Hume
Public Works, Utilities Development Division
Date: 9-7-00

Jim Calogian
City Engineer, Hydrology Division / AMAFCA
Date: 8-23-00

Solid Waste Department
Date: 8-23-00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

John S. G.
City Planner
Date: 10/13/00

PLNZ (10706) 4/96

FIRE MARSHAL

SCHUSS • CLARK
AN ARCHITECTURAL CORPORATION



Architect

Seal

Revisions



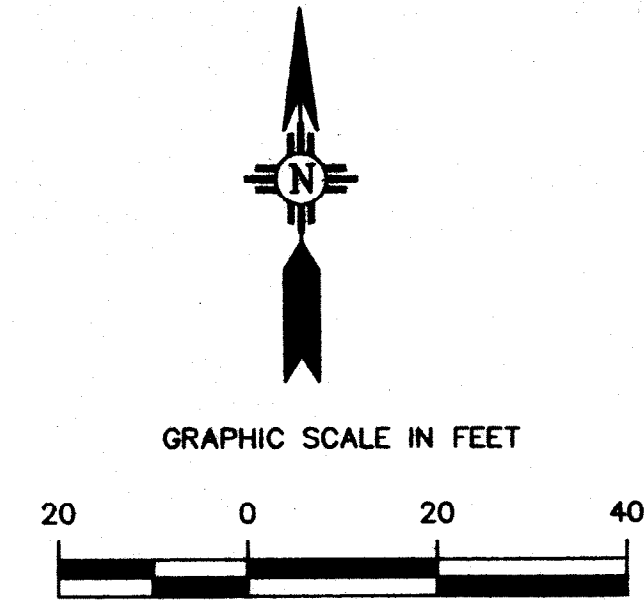
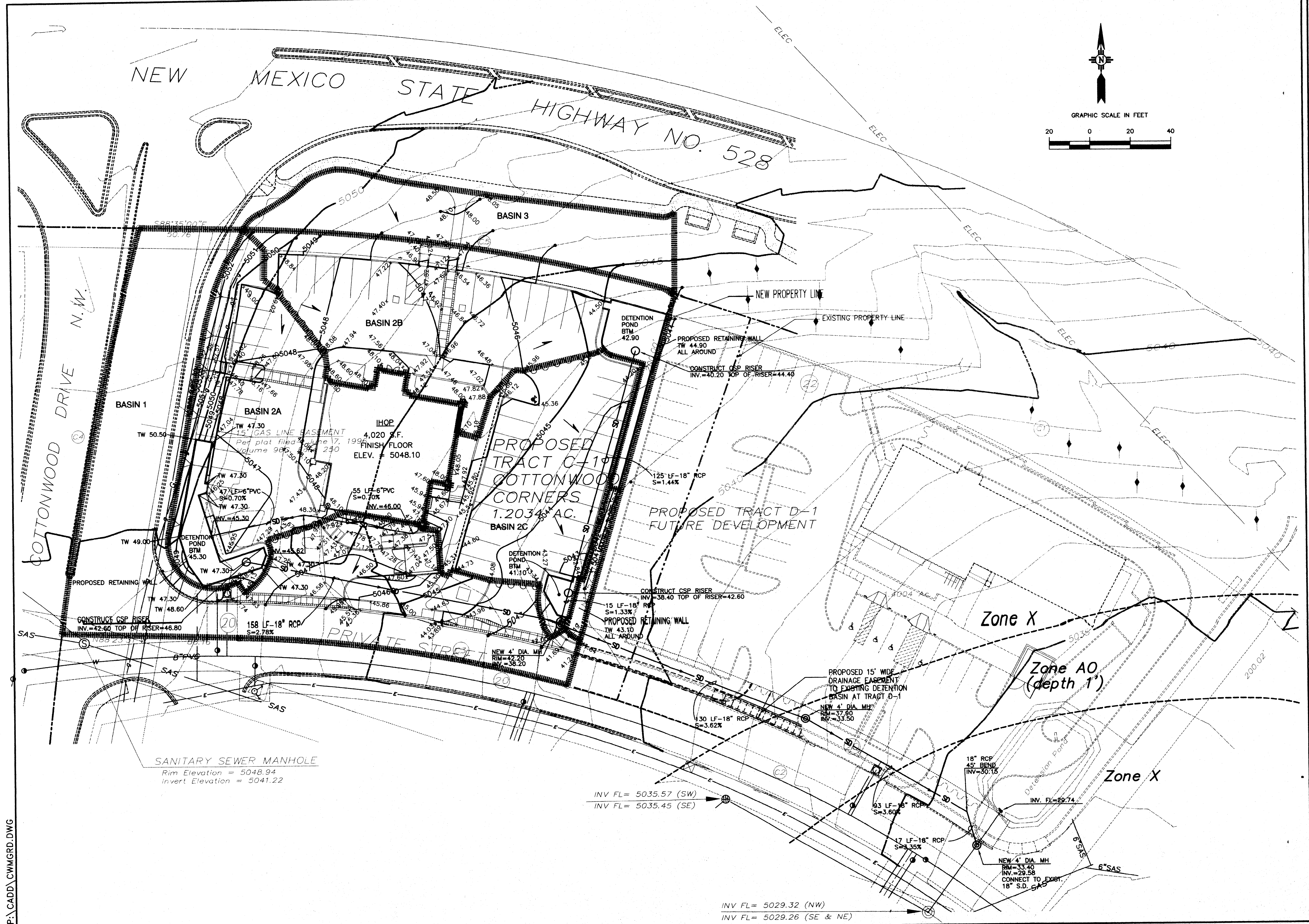
COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO

SITE PLAN

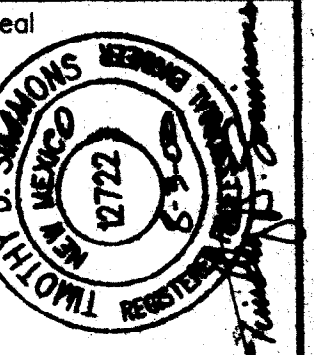
Date: 7-21-00
Scale: AS NOTED
Drawn By: MAC
Checked By: MAC
Store Number: 9617
Project Number: 99-240.101

SD-1

P:\CADD\CWMGRD.DWG



URS



Revisions

IHOP
RESTAURANT

COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNERS
ALBUQUERQUE, NEW MEXICO

CONCEPTUAL GRADING & DRAINAGE PLAN

Date: 7-10-00

Scale: AS NOTED

Drawn By: RDJ

Checked By: LSJ

Store Number:

Project Number: 99-248.101

G-1

International House of Pancakes (IHOP) is proposing to build a restaurant on proposed Tract C-1 of Cottonwood Corners. Tracts C-1 and D-1 will be created by replatting Tracts C and D of Cottonwood Corners. The replat is pending approval by the City of Albuquerque Development Review Board (DRB 00440-00000-00778). This property is zoned SU-1 for IP Uses per Zone Atlas page A-14-Z.

DRAINAGE ANALYSIS METHODOLOGY

COTTONWOOD CORNERS DRAINAGE PLAN

BASIN	BASIN AREA (acre)	LAND TREATMENT TYPE				100-YR, 24-HR STORM		
		%A	%B	%C	%D	Q (cfs)	E (in)	V (ac-ft)
106A	2.163	0	10	0	90	8.81	2.25	0.406

EXISTING DRAINAGE CONDITIONS

Based on the Hydrology and Hydraulic Report for Cottonwood Corners Shopping Center, the calculated hydrologic conditions for proposed Tract C-1 are tabulated below.

BASIN	BASIN AREA (acre)	LAND TREATMENT TYPE				100-YR, 24-HR STORM		
		%A	%B	%C	%D	Q (cfs)	E (in)	V (ac-ft)
ONSITE BASINS								
1	0.268	0	0	0	100	1.16	2.43	0.054
2	---	---	---	---	---	0.88	---	---
OFFSITE BASINS								
3	0.133	0	100	0	0	0.28	0.67	0.007

PROPOSED DRAINAGE CONDITIONS

A private storm drain will be constructed in a private 15-foot drainage easement from the ponding system on Tract C-1 to the outfall pipe of the temporary detention pond on Tract D-1. The cumulative discharge to the existing storm drain system will not exceed 0.88 cfs. The detention ponds will drain completely within 24 hours or less.

BASIN	BASIN AREA (acre)	LAND	TREATMENT	TYPE	100-YR. 24-HR STORM			
		%A	%B	%C	%D	Q (cfs)	E (in)	V (ac-ft)
ONSITE BASINS								
	0.418	0	7	0	93	1.75	2.31	0.080
2A	0.306	0	28	0	72	1.13	1.93	0.049
2B	0.262	0	28	0	71	0.97	1.91	0.042
2C	0.210	0	10	0	90	0.87	2.23	0.039
OFFSITE BASINS								
3	0.133	0	97	0	3	0.29	0.72	0.008

CURRENT LEGAL DESCRIPTION

TRACT C OF COTTONWOOD CORNERS,
CITY OF ALBUQUERQUE,
BERALILLO COUNTY,
NEW MEXICO

PROPOSED LEGAL DESCRIPTION

TRACT C-1 OF COTTONWOOD CORNERS,
CITY OF ALBUQUERQUE,
BERALILLO COUNTY,
NEW MEXICO

LEGEND

- | | |
|----------------|--------------------------|
| ===== | EXISTING CURB & GUTTER |
| == | FUTURE DEVELOPMENT |
| -----5005----- | EXISTING CONTOUR (MAJOR) |
| -----5005----- | EXISTING CONTOUR (MINOR) |
| -----5005----- | PROPOSED CONTOUR (MAJOR) |
| -----5005----- | PROPOSED CONTOUR (MINOR) |
| ----- | BOUNDARY LINE |
| ----- | EASEMENT |
| | PROPOSED BASIN BOUNDARY |
| ===== | PROPOSED CURB & GUTTER |
| x 20.62 | PROPOSED SPOT ELEVATION |
| -----50----- | PROPOSED STORM DRAIN |
| ⊙ | PROPOSED MANHOLE |
| ⊗ | PROPOSED ROOF DRAIN |
| ○ | PROPOSED CSP RISER |
| ➔ | DIRECTION OF FLOW |
| ~~~~~ | PROPOSED WATER BLOCK |

Revisions



COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNERS
ALBUQUERQUE, NEW MEXICO

CONCEPTUAL GRADING & DRAINAGE PLAN

Date	
7-10-00	
Scale	
AS NOTED	
Drawn By	Checked By
RDJ	LSJ
Store Number	
9617	
Project Number	
99-240.101	

G-2

13 CENTER SIGN DETAIL
SCALE: 3/4" = 1'-0"

14 NOT USED
SCALE:

10 NOT USED
SCALE:

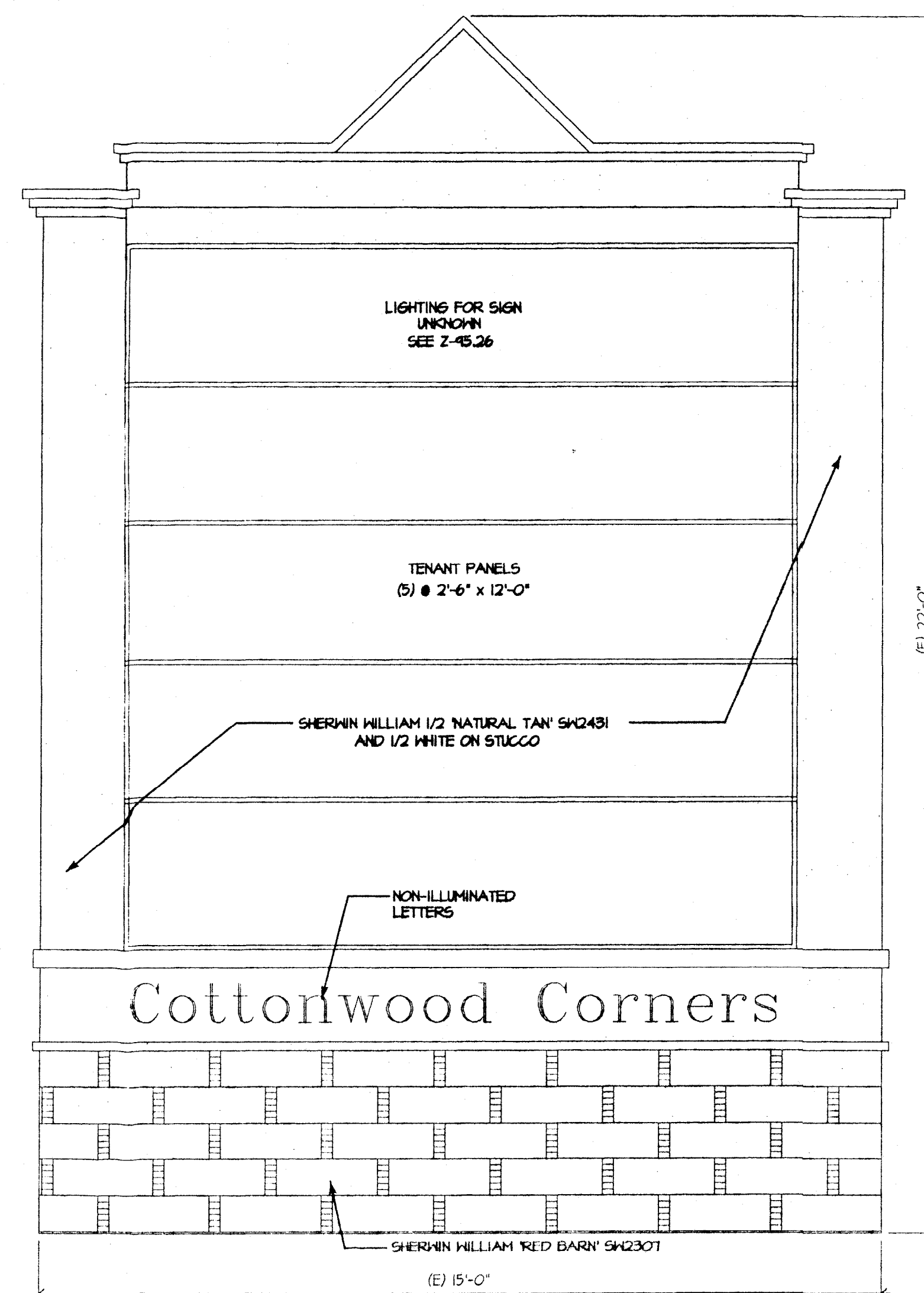
15 NOT USED
SCALE:

11 NOT USED
SCALE:

16 NOT USED
SCALE:

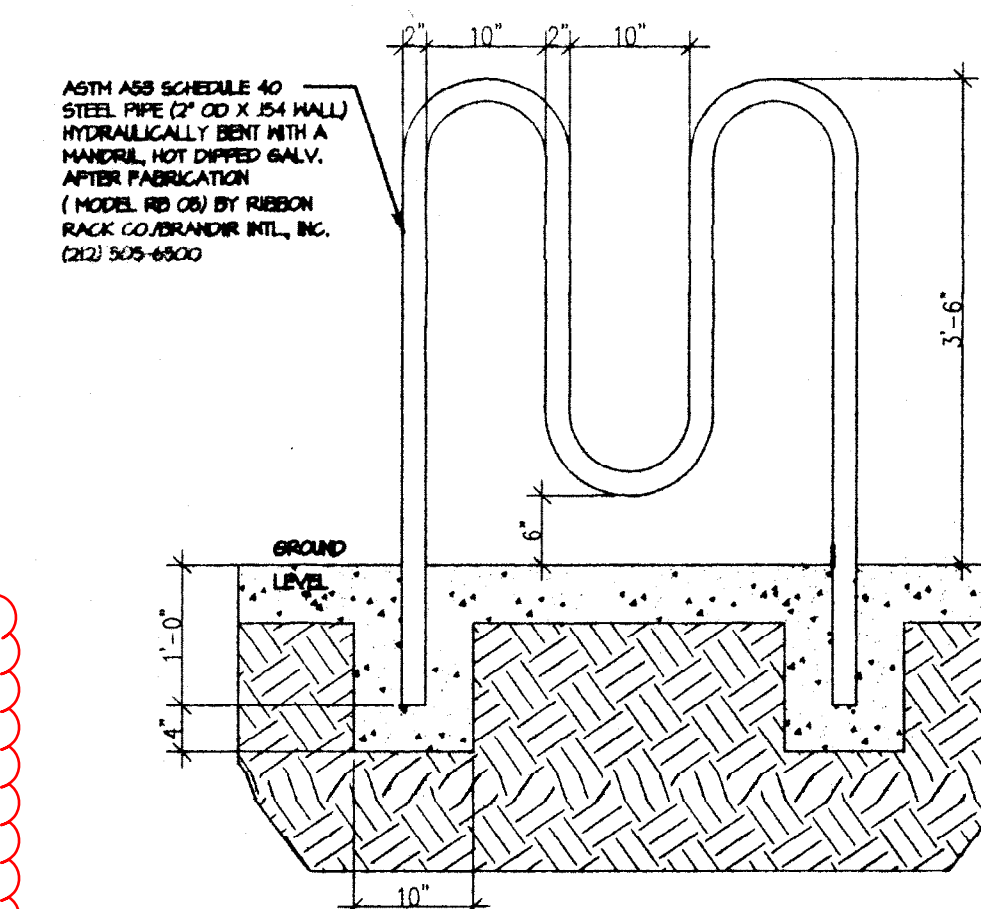
12 NOT USED
SCALE:

NEW TENANT SIGNAGE GRAPHIC ON
EXISTING MONUMENT SIGN - NO SIZE
CHANGE

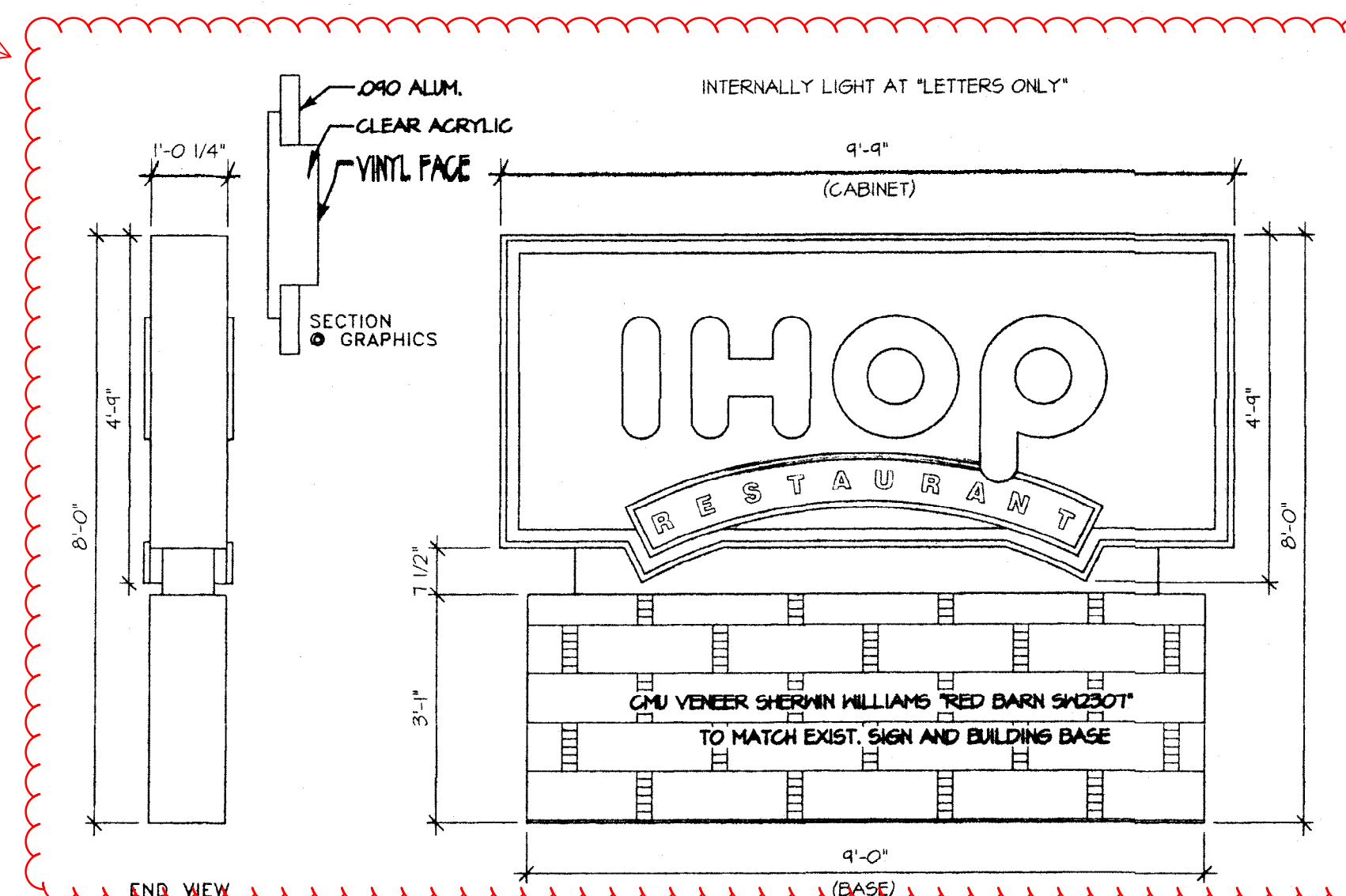


6 EXISTING MONUMENT SIGN
SCALE: 1/2" = 1'-0"

2 SITE LIGHTING DETAIL
SCALE: 1/4" = 1'-0"



3 BIKE RACK
SCALE: 3/4" = 1'-0"



8 NEW IHOP MONUMENT SIGN
SCALE: 1/2" = 1'-0"

4 NOT USED
SCALE:

Architect: **SCHUSS • CLARK**
AN ARCHITECTURAL CORPORATION

9474 Keeney Villa Road, Suite 215
San Diego, California 92126-4597
(619) 578-2850 FAX (619) 578-9346

Architect: **SCHUSS • CLARK**
AN ARCHITECTURAL CORPORATION

Site: **COTTONWOOD CORNERS**
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO

Revisions:

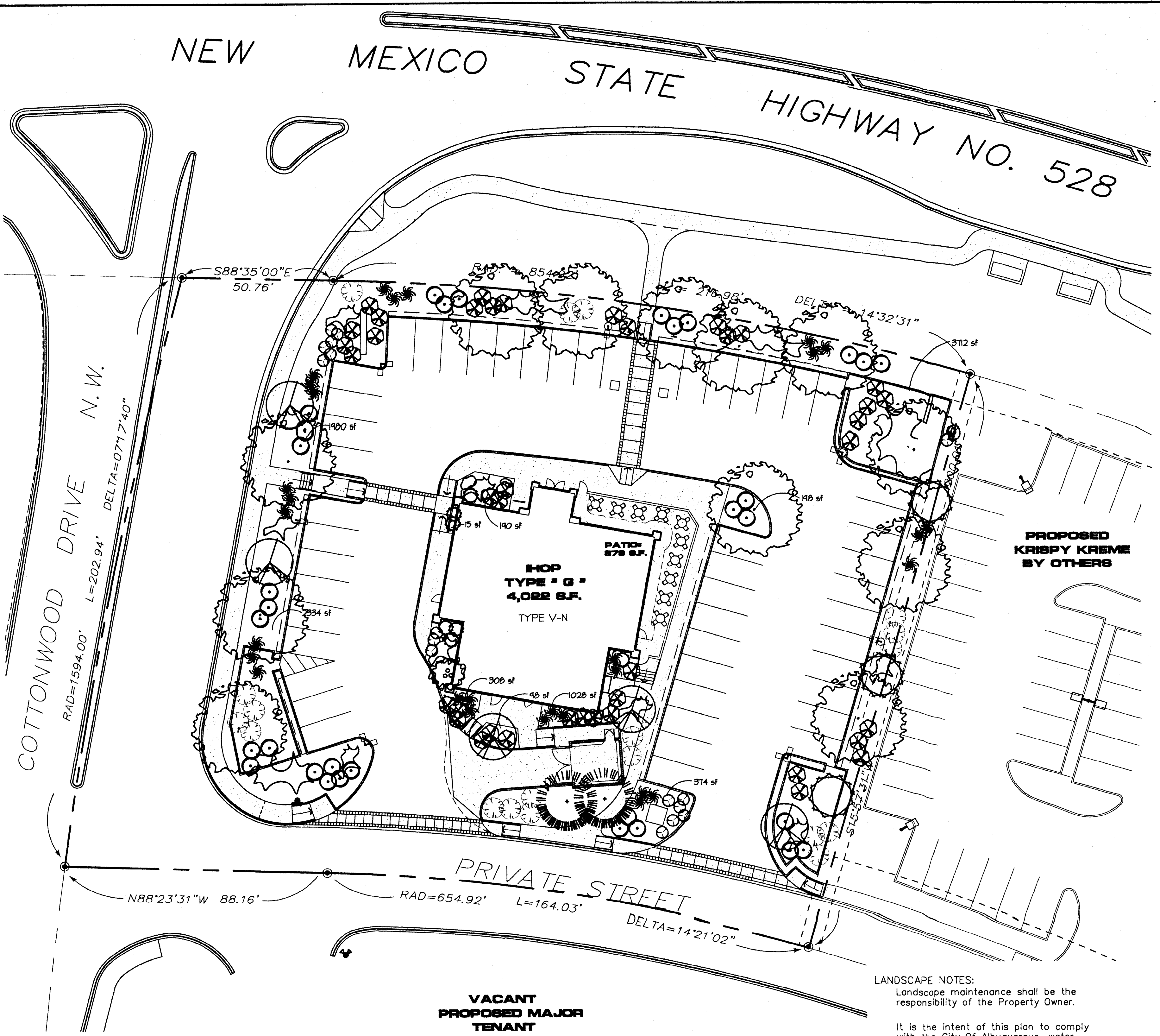
ihop
RESTAURANT

COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO

SITE DETAILS

Date: 7-07-00
Scale: AS NOTED
Drawn By: MJC
Checked By: MJC
Store Number: 9617
Project Number: 99-240.101

SD-1A



PLANT LEGEND

- ASH OR HONEY LOCUST (H) 15
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal
- FLOWERING PEAR (H) 6
Pyrus calleryana
2" Cal
- DESERT WILLOW (H) 3
Chilopsis linearis
15 gal
- AUSTRIAN PINE (H) 2
Pinus nigra
6'-8'
- WASHINGTON HAWTHORN (H) 4
Crataegus phaenopynum
- INDIAN HAWTHORN (H) 34
Raphiolepis indica
5 gal
- RUSSIAN SAGE (M) 32
Perovskia atriplicifolia
5 gal
- MAIDEN GRASS (M) 33
Miscanthus sinensis
5 gal
- SILVERBERRY (M) 11
Eleagnus pungens
5 gal
- CHAMISA (L) 16
Chrysothamnus nauseosus
1 gal
- TAM JUNIPER (M) 43
JUNIPERUS SABINA
5 gal
- WILDFLOWER 26
1 gal
- OVERSIZED GRAVEL
& BOULDERS
- 3/4" GREY GRAVEL
W/ FILTER FABRIC
- SOD
- COMMERCIAL GRADE
STEEL EDGING

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque
Street Tree Ordinance are as follows:

Name of Street STATE HWY. 528
Required # 9 Provided # 9

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	53,161	square feet
TOTAL LOT AREA	4,022	square feet
TOTAL BUILDINGS AREA	0	square feet
OFFSITE AREA	49,139	square feet
NET LOT AREA	15	square feet
LANDSCAPE REQUIREMENT	7,370	square feet
TOTAL LANDSCAPE PROVIDED	10,288	square feet
TOTAL BED PROVIDED	10,288	square feet
TOTAL SOD PROVIDED	0	square feet

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, water conservation Landscaping and waste water ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at Maturity.

3/4" Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

HIGH WATER TURF SHALL BE LIMITED TO 20% OF THE LANDSCAPED AREA.

IRRIGATION NOTES:

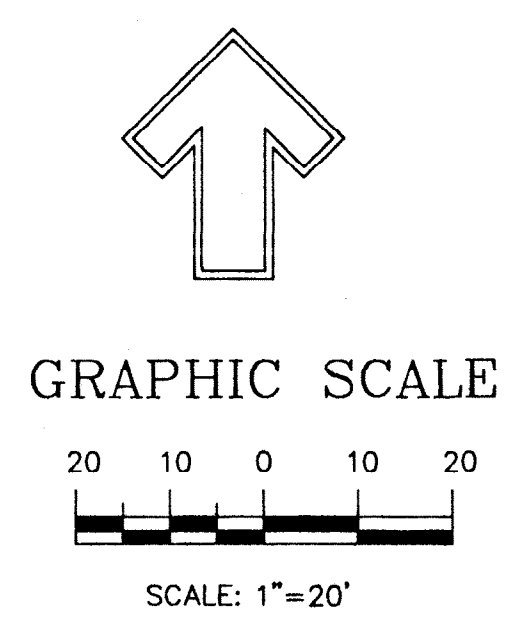
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters Shrubs to receive (2) 1.0 GPH Drip Emitters Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.



The Hilltop

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

THE HILLTOP expressly reserves the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP

SCHUSS • CLARK
AN ARCHITECTURAL CORPORATION

Architect:
Seal

Revisions
8-23-00
ADDED NOTE
TPS

9474 Kearny Villa Road, Suite 215
San Diego, California 92128-4597
(619) 576-2860 FAX (619) 576-8348

ARCHITECTURE • PLANNING

ihop
RESTAURANT

COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO

LANDSCAPE SITE PLAN

Date
7-21-00

Scale
AS NOTED

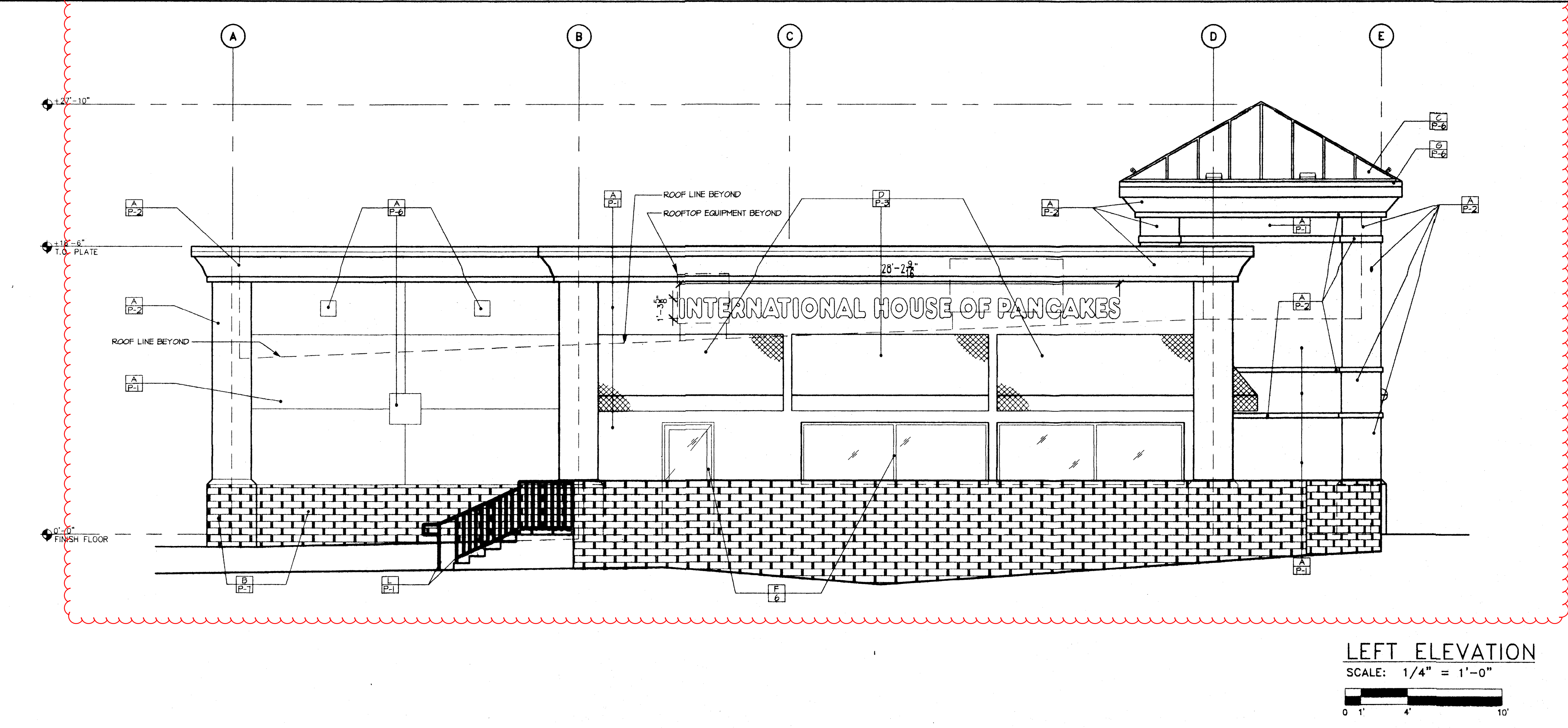
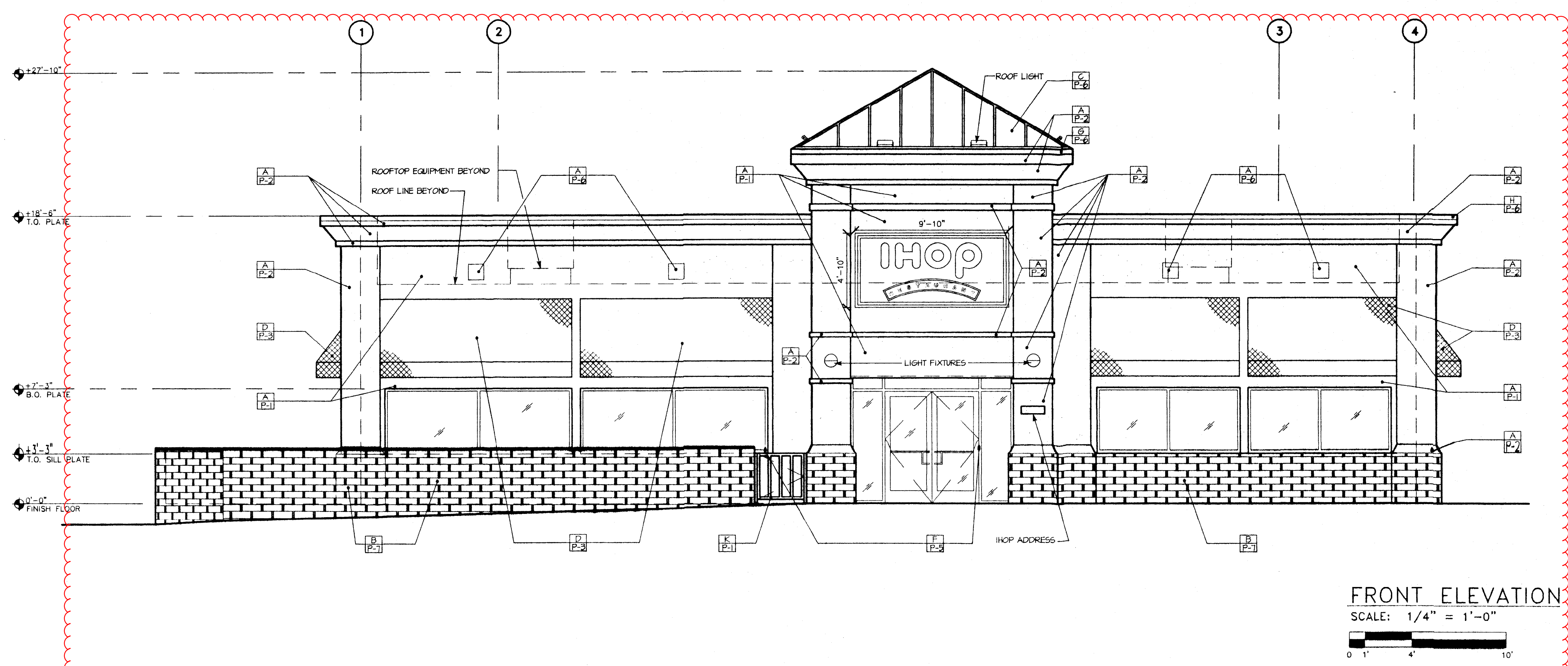
Drawn By
MJC

Checked By
MJC

Store Number
9617

Project Number
98-240.101

L-1



REFER TO THE ATTACHED
ELEVATION SHEETS FOR
EXTERIOR/FACADE REVISIONS

SIGNAGE CALCULATION
FRONT ELEVATION FRONT WALL AREA: 1329 SQUARE FEET SIGNAGE AREA: 9'-10" X 4'-10" = 48 SQ. FT. 48 S.F. X 100% / 1329 S.F. = 3.6% WHICH IS LESS THAN 6% REQUIREMENTS
LEFT ELEVATION SIDE WALL AREA: 804 SQUARE FEET SIGNAGE AREA: 28'-2 3/8" X 1'-7" = 38 SQ. FT. 38 S.F. X 100% / 804 S.F. = 4.7% WHICH IS LESS THAN 6% REQUIREMENTS

MATERIALS LEGEND
A = STUCCO B = SPLITFACE CMU C = STANDING SEAM ROOF D = FABRIC AWNING E = HOLLOW METAL DOORS F = STOREFRONT SYSTEM G = METAL GUTTER H = METAL PARAPET CAP K = METAL PATIO GATE L = METAL RAIL

COLORS LEGEND
P-1 = SHERWIN WILLIAMS: NATURAL TAN SW2431 P-2 = 1/2 SHERWIN WILLIAMS: NATURAL TAN SW2431 AND 1/2 WHITE P-3 = "SUNBRELLA" #6601 ARTIC BLUE P-4 = NOT USED P-5 = WHITE ANODIZED P-6 = KYNAR 500 VALSPARE #436A674-IHOP BLUE P-7 = SHERWIN WILLIAMS: RED BARN SW 2307

Architect:

SCHLUSS • CLARK
AN ARCHITECTURAL CORPORATION

9474 Keeney Villa Road, Suite 216
San Diego, California 92128-4597
(619)578-2960 FAX (619)578-6348

Seal

Revisions

COTTONWOOD CORNERS

PAD 6, COTTONWOOD CORNER

ALBUQUERQUE, NEW MEXICO

EXTERIOR ELEVATIONS

Date: 7-07-00

Scale: AS NOTED

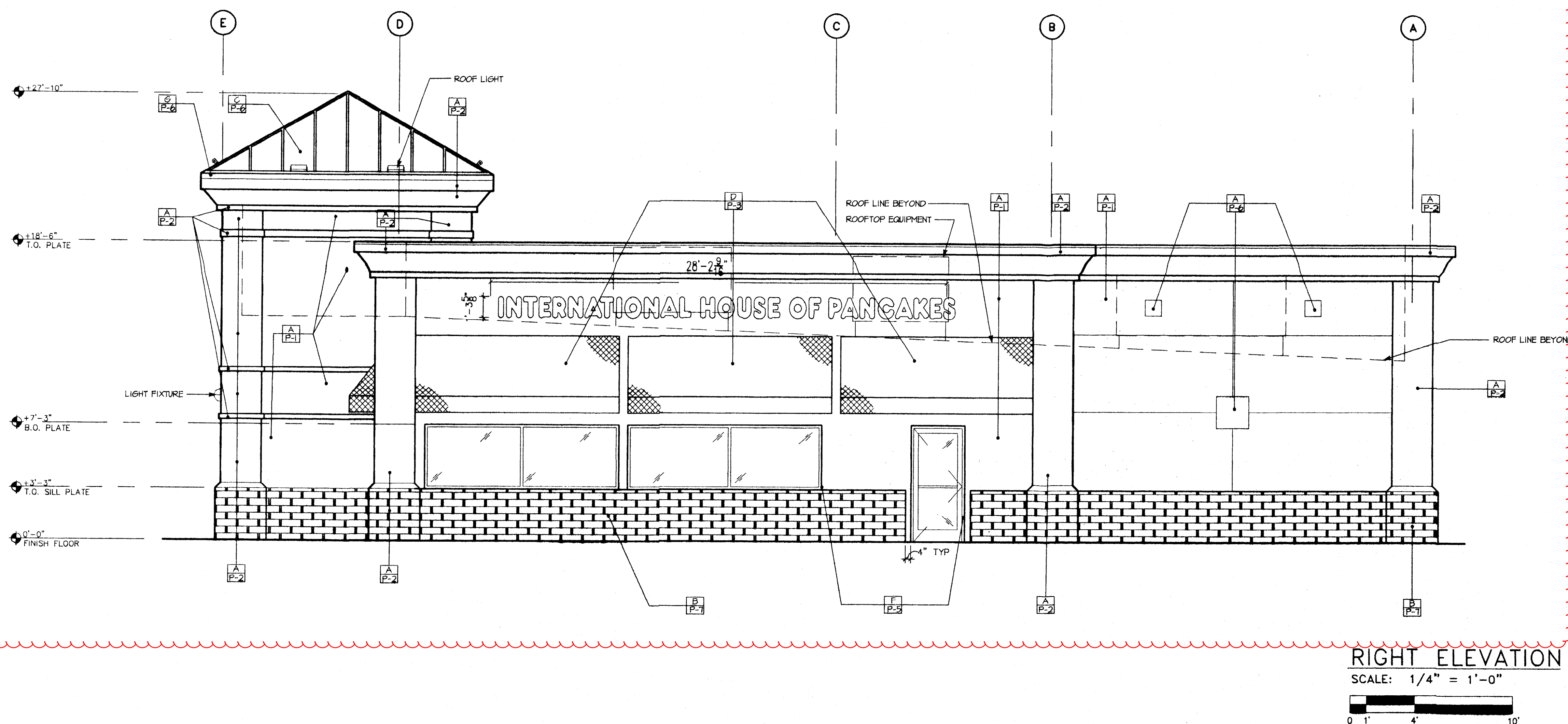
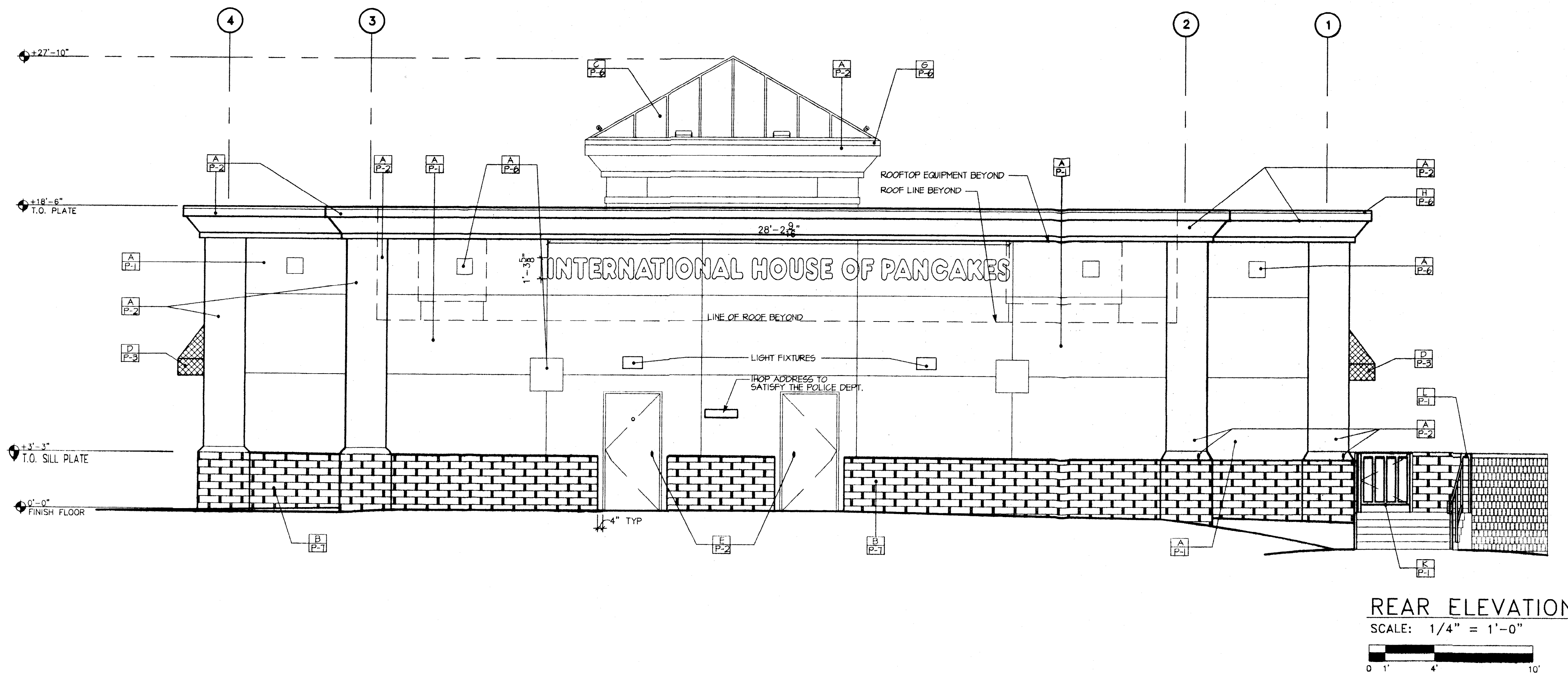
Drawn By: MJC

Checked By: MJC

Store Number: 9617

Project Number: 99-240.101

A-11



REFER TO THE ATTACHED
ELEVATION SHEETS FOR
EXTERIOR/FACADE REVISIONS

SIGNAGE CALCULATION

REAR ELEVATION
FRONT WALL AREA: 975 SQUARE FEET
SIGNAGE AREA: 28'-2 1/4" X 15 1/2" = 38 SQ. FT.
38 S.F. X 100% / 975 S.F. = 3.8% WHICH IS LESS THAN 6% REQUIREMENTS

RIGHT ELEVATION
SIDE WALL AREA: 804 SQUARE FEET
SIGNAGE AREA: 28'-2 1/4" X 15 1/2" = 38 SQ. FT.
38 S.F. X 100% / 804 S.F. = 4.7% WHICH IS LESS THAN 6% REQUIREMENTS

MATERIALS LEGEND

- A = STUCCO
- B = SPLITFACE CMU
- C = STANDING SEAM ROOF
- D = FABRIC AWNING
- E = HOLLOW METAL DOORS
- F = STOREFRONT SYSTEM
- G = METAL GUTTER
- H = METAL PARAPET CAP
- K = METAL PATIO GATE
- L = METAL RAIL

COLORS LEGEND

- P-1 = SHERWIN WILLIAMS: NATURAL TAN SW2431
- P-2 = 1/3 SHERWIN WILLIAMS: NATURAL TAN SW2431 AND 2/3 WHITE
- P-3 = "SUNBRELLA" #8601 ARTIC BLUE
- P-4 = NOT USED
- P-5 = WHITE ANODIZED
- P-6 = KYNAR 500 VALSPARE #436A674-IHOP BLUE
- P-7 = SHERWIN WILLIAMS: RED BARN SW 2307



COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO
EXTERIOR
ELEVATIONS

Date: 7-07-00
Scale: AS NOTED
Drawn By: MJC
Checked By: MJC
Store Number: 9617
Project Number: 99-240.101

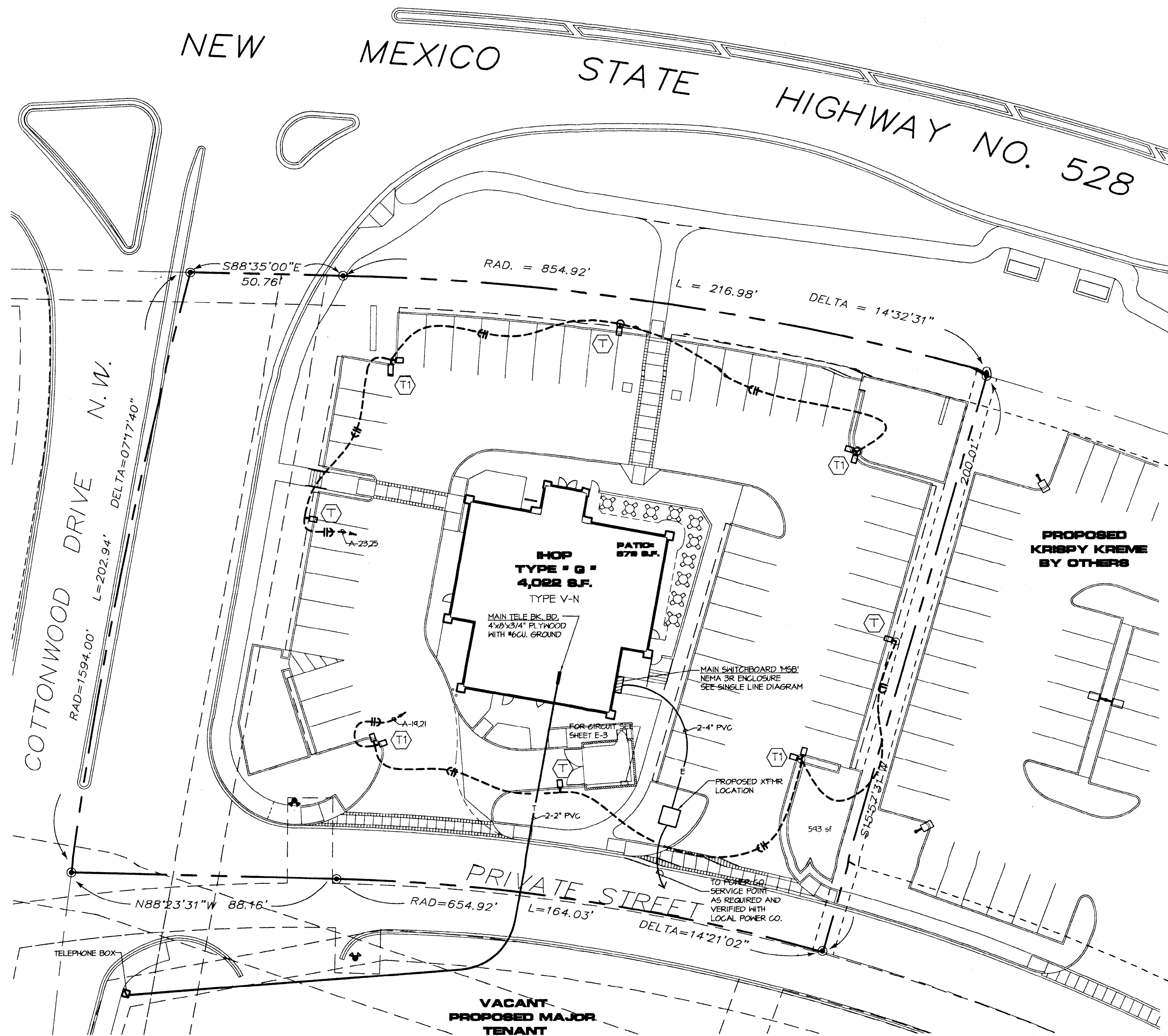
A-12

SCHUSS • CLARK
AN ARCHITECTURAL CORPORATION
ARCHITECTURE • PLANNING
9474 Kearny Villa Road, Suite 215
San Diego, California 92126-4597
(619) 576-1250 FAX (619) 576-6946



PS-1

© 2000 SCHLUSSE • CLARK AN ARCHITECTURAL CORPORATION



ELECTRICAL SITE PLAN

1" = 20'



LIGHTING FIXTURE SCHEDULE

TAG	DESCRIPTION	ACCEPTABLE MANUFACTURER CATALOG NO.	NO. OF LAMP NOMINAL WATT	TYPE OF LAMP	VOLT	MOUNTING	NOTES
T1	SOFT SQUARE CUT OFF LUMINAIRE. 17" SQUARE STRAIGHT STEEL POLE. (SINGLE HEAD)	LITHONIA # KAD400N-TB-SPD04	1 400W	400W METAL HALIDE	120V	17" SQ. STR. STEEL POLE	
T2	SOFT SQUARE CUT OFF LUMINAIRE. 17" SQUARE STRAIGHT STEEL POLE. (DOUBLE HEAD)	LITHONIA # KAD400N-TB-SPD04	1 400W	400W METAL HALIDE	120V	17" SQ. STR. STEEL POLE	



COTTONWOOD CORNERS
PAD 6, COTTONWOOD CORNER
ALBUQUERQUE, NEW MEXICO

ELECTRICAL SITE PLAN

Date: 7-21-00
Scale: AS NOTED
Drawn By: JMC
Checked By: JMC
Store Number: 9917
Project Number: 99-240.101
E-1

SCHUSS • CLARK
AN ARCHITECTURAL CORPORATION

9474 Kearny Villa Road, Suite 215
San Diego, California 92126-4557
(619) 578-2660 FAX (619) 578-0348

Architect

Seal

Revisions

1. ALL EXTERIOR SIGNAGE DESIGN AND INSTALLATION SHALL BE DESIGN/BUILD BY THE OWNER OR OWNER'S CONSULTANT, AND SHALL BE SUBMITTED FOR SEPARATE PERMIT TO THE CITY/COUNTY AUTHORITIES HAVING JURISDICTION BY OWNER'S VENDOR.
2. FINAL SIGN LOCATIONS SHALL BE VERIFIED IN THE FIELD WITH THE OWNER.
3. ALL PENETRATIONS IN EXIST. WALL ASSEMBLIES FOR NEW SIGNAGE MOUNTING BRACKETS, ELECTRICAL COMPONENTS, ETC. SHALL BE FULLY WEATHER PROTECTED AND SEALED; SEALANT COLORS TO MATCH ADJACENT FINISHES.

1	MTL3 CHANNEL: 1"-2" X 9-11"W RECESSED 4" FROM FACE OF WD4; MTL3 RETURNS TYP. ALL SIDES
2	RELOCATE (E) FUTURE POWER AS REQ'D.
3	WD4 OVER (E) STUCCO ASSEMBLY/SYSTEM: GENERAL CONTRACTOR SHALL DESIGN-BUILD NEW ATTACHMENT SYSTEM SUCH THAT THE EXTERIOR ENCLOSURE ASSEMBLY REMAINS FULLY WEATHER-PROTECTED; PROVIDE ANCHORAGE SYSTEMS, SUPPLEMENTAL WEATHER BARRIERS, FLASHINGS, INSECT SCREENS, ETC.; WHERE REQ'D., FURR-OUT EXIST. WALL. RECESSES FOR A FLUSH FINISH



3711 ELLISON ROAD NW, ALBUQUERQUE, NM 87114

8 DECEMBER 2021

EXTERIOR ELEVATIONS

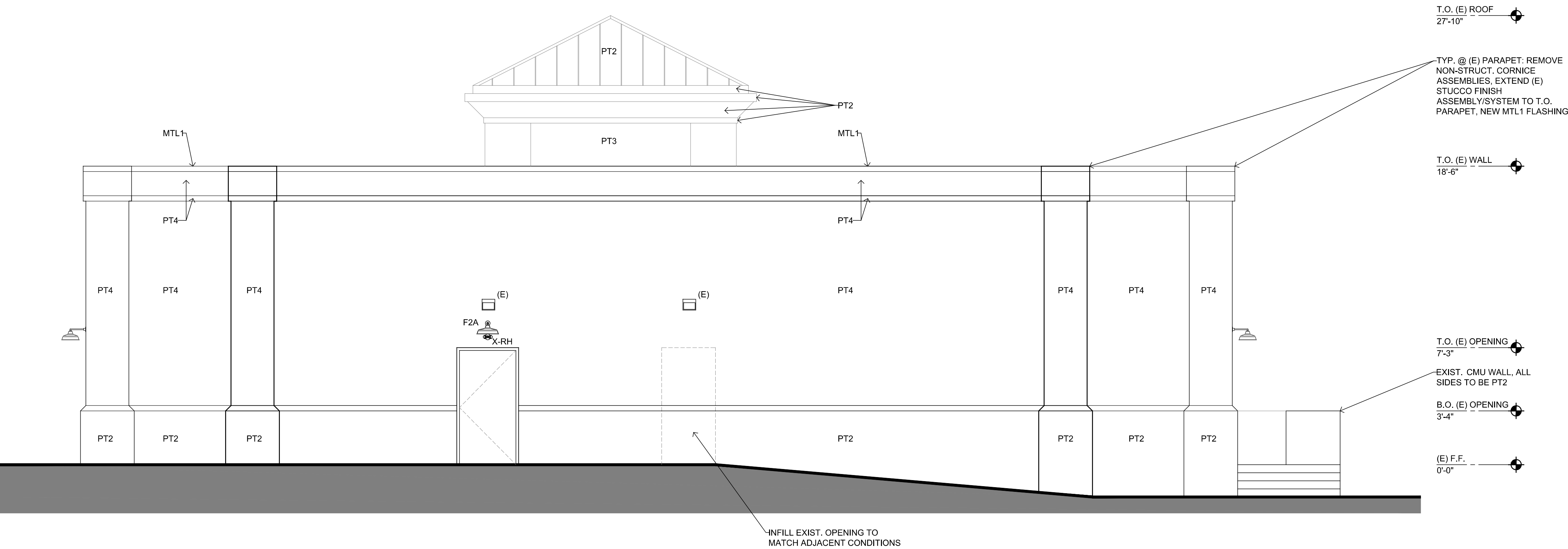
A601

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF studio | shop AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF studio | shop.

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF studio | shop AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF studio | shop.

EXTERIOR ELEVATION GENERAL NOTES

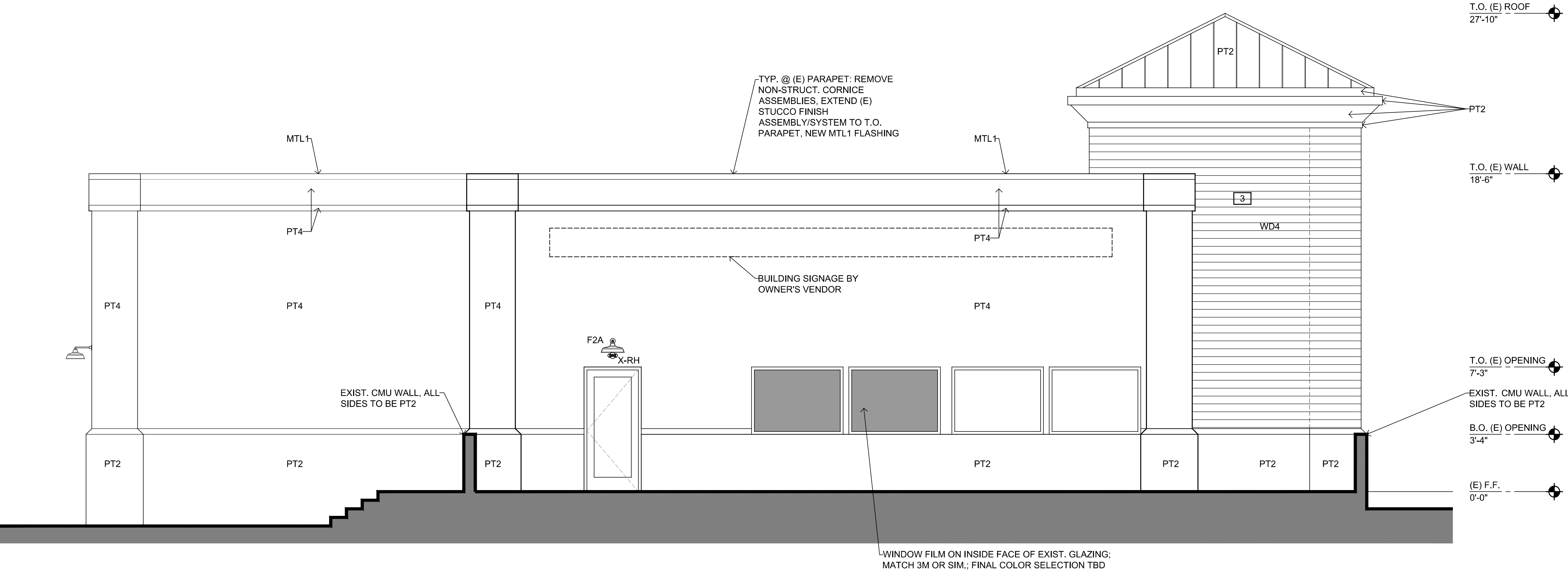
1. ALL EXTERIOR SIGNAGE DESIGN AND INSTALLATION SHALL BE DESIGN/BUILD BY THE OWNER OR OWNER'S CONSULTANT, AND SHALL BE SUBMITTED FOR SEPARATE PERMIT TO THE CITY/COUNTY AUTHORITIES HAVING JURISDICTION BY OWNER'S VENDOR.
2. FINAL SIGN LOCATIONS SHALL BE VERIFIED IN THE FIELD WITH THE OWNER.
3. ALL PENETRATIONS IN EXIST. WALL ASSEMBLIES FOR NEW SIGNAGE MOUNTING BRACKETS, ELECTRICAL COMPONENTS, ETC. SHALL BE FULLY WEATHER PROTECTED AND SEALED; SEALANT COLORS TO MATCH ADJACENT FINISHES.



03 SOUTH ELEVATION

1/4" = 1'-0"

REF.: 01/A301



01 EAST ELEVATION

1/4" = 1'-0"

REF.: 01/A301



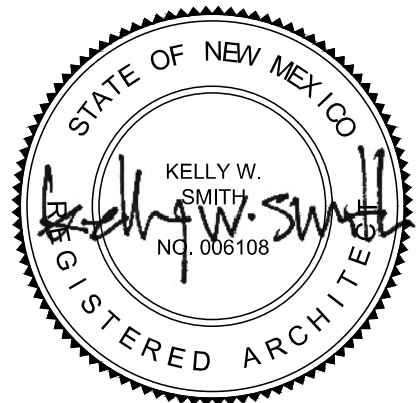
MAGGIE'S FARM - ABQ ELLISON

3711 ELLISON ROAD NW, ALBUQUERQUE, NM 87114

studio | shop. PROJECT NO. 2130.00

CONSTRUCTION DOCUMENTS

21-1208



8 DECEMBER 2021

studio | shop.

architecture ideas culture

EXTERIOR ELEVATIONS

A602