

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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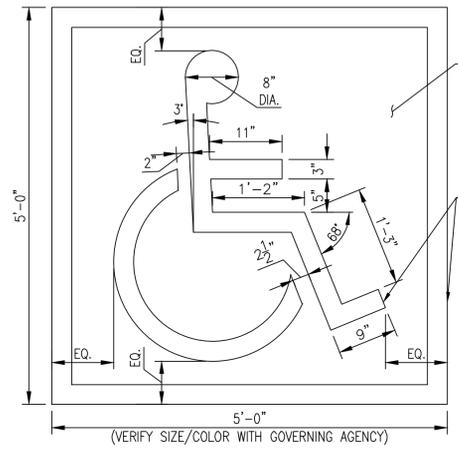
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**APPROVED BY**

\_\_\_\_\_  
**DATE**



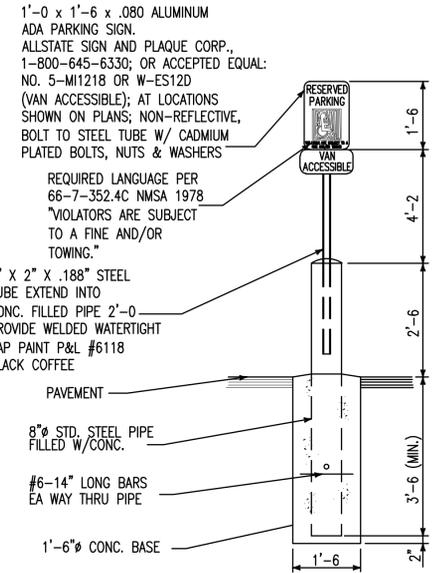
FIELD HANDICAP BLUE NUMBER 15090, FEDERAL STANDARD 595A OR EQUAL

SYMBOL: YELLOW HIGHWAY, PAINT (2) COATS 3" WIDE, TYP.

**SYMBOL OF ACCESSIBILITY**



1



1'-0" x 1'-6" x .080 ALUMINUM ADA PARKING SIGN.  
ALLSTATE SIGN AND PLAQUE CORP.,  
1-800-645-6330; OR ACCEPTED EQUAL:  
NO. 5-M11218 OR W-ES12D  
(VAN ACCESSIBLE); AT LOCATIONS SHOWN ON PLANS; NON-REFLECTIVE, BOLT TO STEEL TUBE W/ CADMIUM PLATED BOLTS, NUTS & WASHERS

REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978  
"VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."

2" X 2" X .188" STEEL TUBE EXTEND INTO CONC. FILLED PIPE 2'-0" PROVIDE WELDED WATERTIGHT CAP PAINT P&L #6118 BLACK COFFEE

PAVEMENT

8" Ø STD. STEEL PIPE FILLED W/CONC.

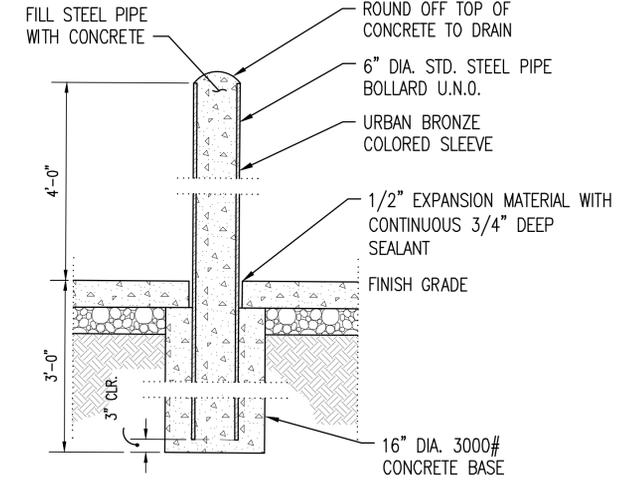
#6-14" LONG BARS EA WAY THRU PIPE

1'-6" Ø CONC. BASE

**ACCESSIBLE PARKING SIGN**



2



FILL STEEL PIPE WITH CONCRETE

ROUND OFF TOP OF CONCRETE TO DRAIN

6" DIA. STD. STEEL PIPE BOLLARD U.N.O.

URBAN BRONZE COLORED SLEEVE

1/2" EXPANSION MATERIAL WITH CONTINUOUS 3/4" DEEP SEALANT

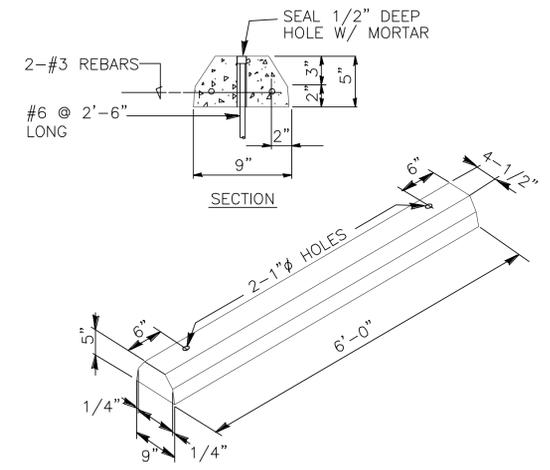
FINISH GRADE

16" DIA. 3000# CONCRETE BASE

**STEEL PIPE BOLLARD IN CONCRETE**  
N.T.S.



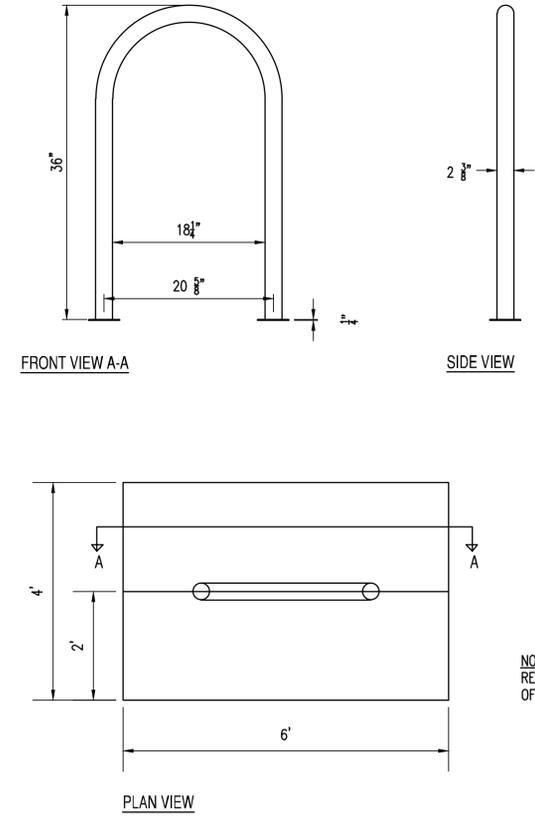
3



**PRECAST CONCRETE WHEEL STOP**  
N.T.S.



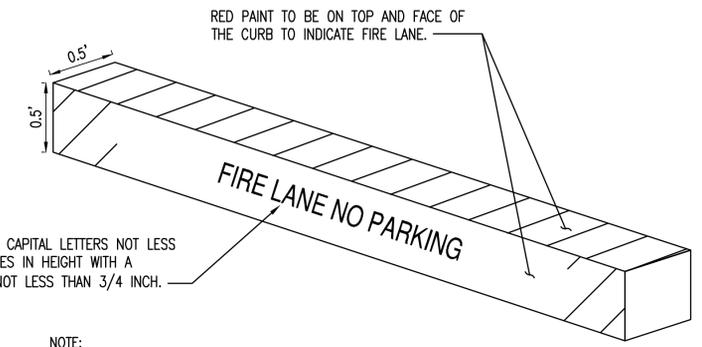
4



**BICYCLE RACK**



5



RED PAINT TO BE ON TOP AND FACE OF THE CURB TO INDICATE FIRE LANE.

WHITE BLOCK CAPITAL LETTERS NOT LESS THAN 5 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4 INCH.

NOTE:  
"NO PARKING-FIRE LANE" SHALL BE MARKED EVERY 15-FEET ALONG THE LENGTH OF THE FIRE LANE. ALL SIGNS AND MARKINGS SHALL BE AT EXPENSE OF THE OWNER, LESSEE, OR PERSON IN CONTROL OF THE PROPERTY.

**RED PAINTED FIRE CURB**



6



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

**SUSTAINABILITY ENGINEERING GROUP**

**SEG**



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE  
LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN: GA 01/27/2022  
DESIGNED: LP 01/27/2022  
QC: SC 06/14/2022  
FINAL QC: AF 06/22/2022

DATE: 06/22/2022  
ISSUED FOR: DRB  
PR-2018-001346  
SI-2022-00184

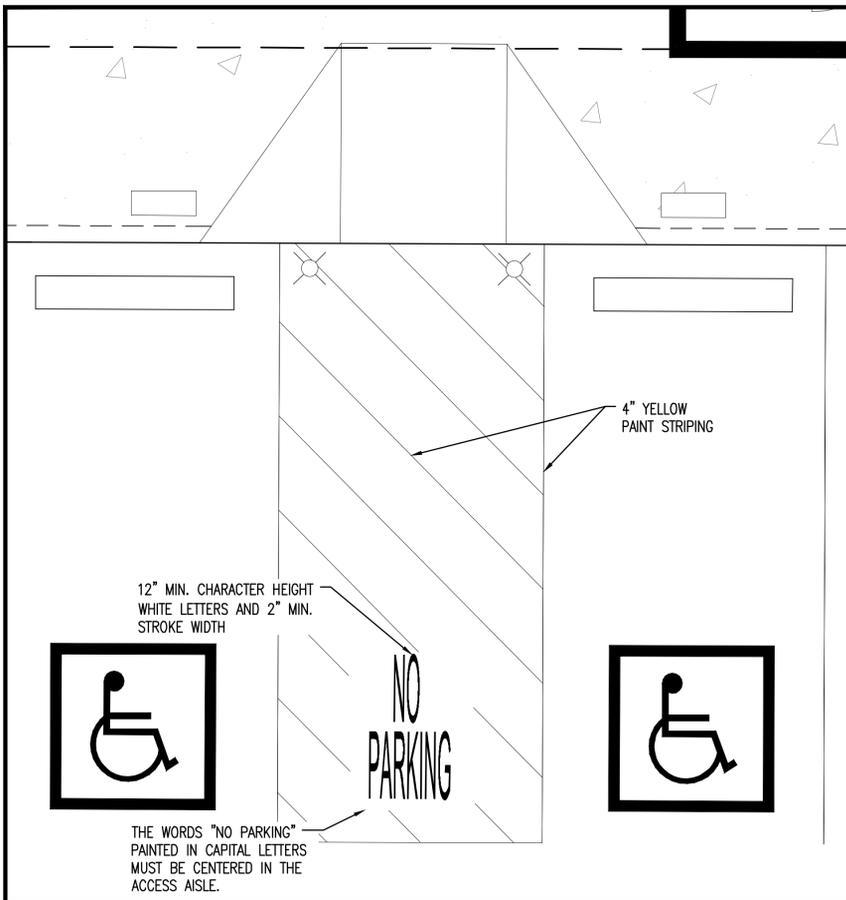
REVISION NO.: DATE:  
JOB NO.: 210907

SHEET TITLE:

**PRELIMINARY SITE PLAN DETAILS**

PAGE NO.: 2 OF 3  
SHEET NO.: C2.10

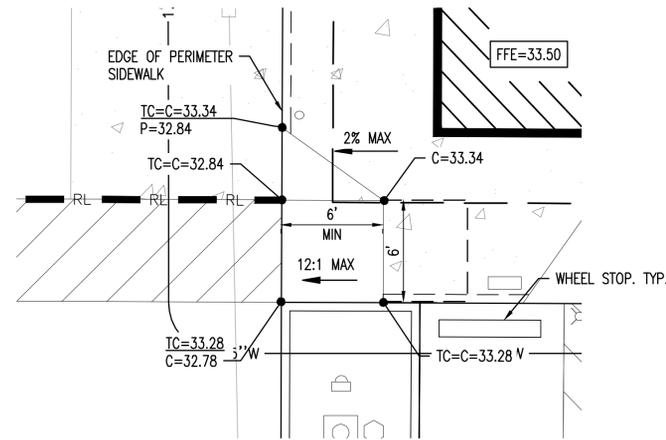
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ADA ACCESS AISLE



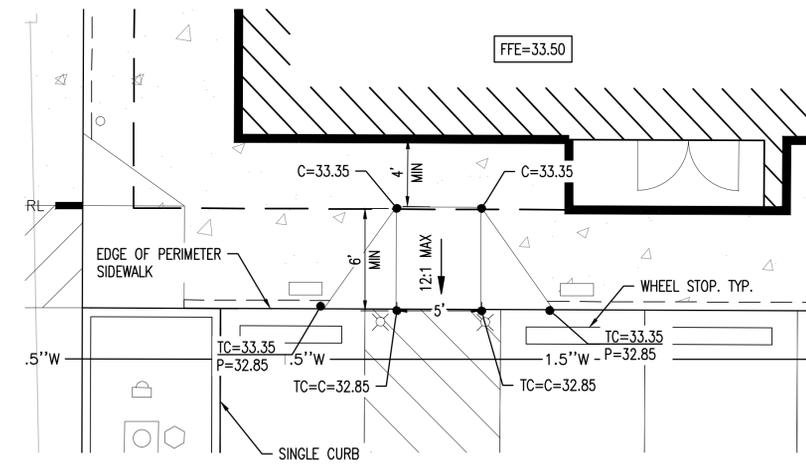
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ADA ACCESSIBLE RAMP



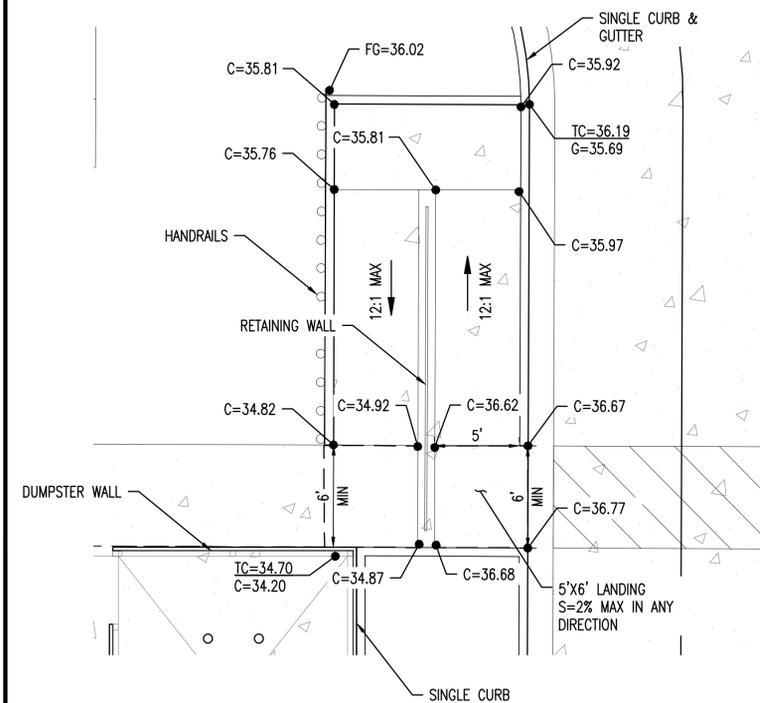
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ADA ACCESSIBLE RAMP



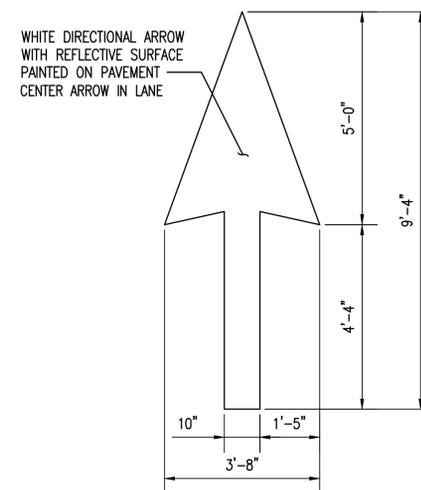
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ADA ACCESSIBLE RAMP



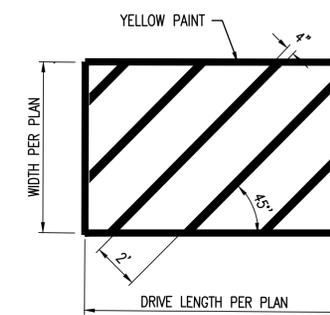
10



DIRECTIONAL ARROW



11



CROSSWALK STRIPING DETAIL  
N.T.S.



12



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY  
ENGINEERING  
GROUP

SEG



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE  
LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN: GA 01/27/2022  
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PR-2018-001346  
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REVISION NO.: DATE:


JOB NO.: 210907

SHEET TITLE:

PRELIMINARY SITE  
PLAN DETAILS

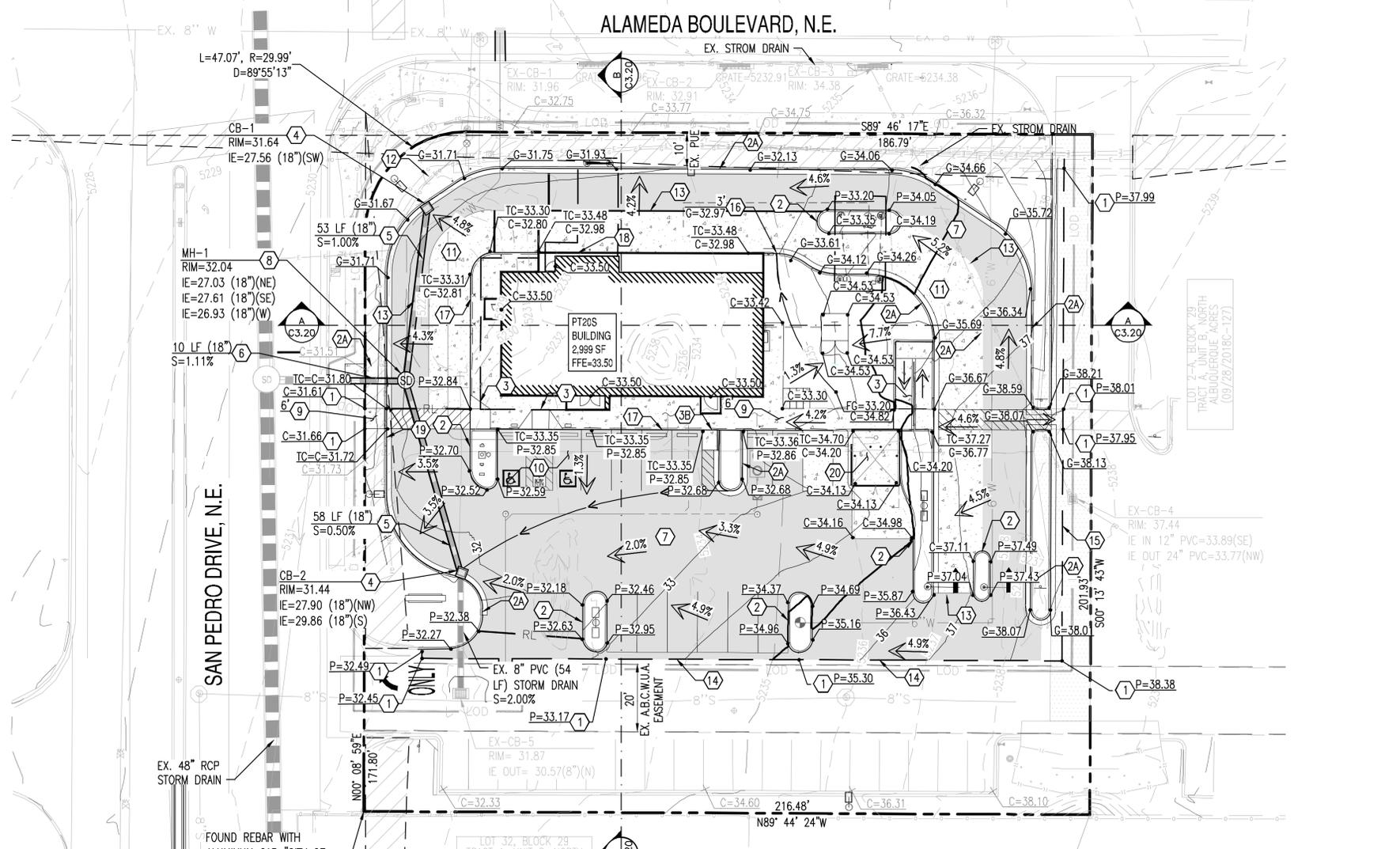
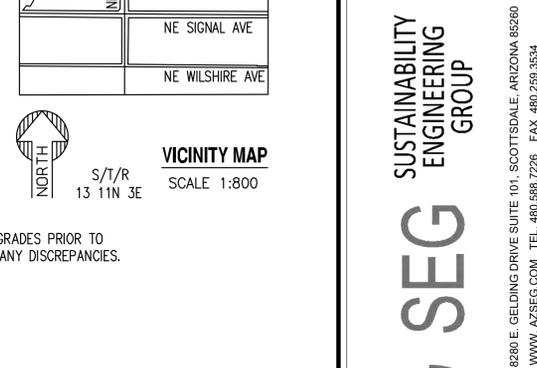
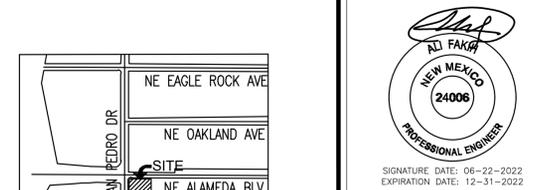
PAGE NO.: 3 OF 3  
SHEET NO.: C2.11

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# WHATABURGER

## GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM  
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST  
BERNALILLO COUNTY, NEW MEXICO.



### GRADING CONSTRUCTION KEY NOTES

- 1 MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 CONSTRUCT 6" HEADER CURB PER C.O.A. STD. DWG. 2415C
- 2A CONSTRUCT 6" CURB AND GUTTER PER C.O.A. STD DWG 2415A.
- 3 CONSTRUCT ADA RAMP. PER SITE PLANS.
- 3B CONSTRUCT DELIVERY RAMP PER DET. 2/C3.10.
- 4 FURNISH AND INSTALL NYLOPLAST DRAIN BASIN WITH 30" RISER AND 2'X2' STEEL GRATE PER DET. 13/C3.11 & 14/C3.11.
- 5 FURNISH AND INSTALL HDPE DOUBLE WALL PIPE, CLASS 100; LENGTH, SIZE AND SLOPE PER PLAN.
- 6 FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
- 7 CONSTRUCT HEAVY DUTY PAVEMENT PER DETAIL 5/C3.10.
- 8 FURNISH AND INSTALL 4" MANHOLE PER C.O.A. 220B.
- 9 CONSTRUCT CONCRETE SIDEWALK PER C.O.A. STD DWG 2430. WIDTH PER PLAN.
- 10 CONSTRUCT PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
- 11 CONSTRUCT CONCRETE PAVEMENT PER DETAIL 6/C3.10.
- 12 CAUTION! PROTECT EXISTING GAS AND POWER UTILITIES.
- 13 PAVING TRANSITION PER DET. 7/C3.10.
- 14 TRANSITION TO EXISTING PAVEMENT PER DET. 1/C3.10.
- 15 SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
- 16 CONSTRUCT 3' CURB OPENING PER DET. 3/C3.10.
- 17 TURN DOWN SIDEWALK. PER STRUCTURAL PLANS DET. A2/S3.1.
- 18 TURN DOWN SLAB. PER STRUCTURAL PLANS DET. C2/S3.1.
- 19 5' CURB TRANSITION FROM 6" TO 0" REVEAL. PER DET. 9/C3.10.
- 20 CONSTRUCT TRASH ENCLOSURE WITH SANITARY SEWER DRAIN. REFER TO ARCHITECTURAL PLANS.
- 21

**EXISTING CONDITIONS AND PROPOSED DEVELOPMENT:**  
THE EXISTING SITE IS PARTIALLY DEVELOPED. THE SOUTHERN PORTION OF THE PROPERTY INCLUDES A PARKING LOT WITH LANDSCAPE ISLANDS WHILE THE NORTH AREA REMAINS UNDEVELOPED WITH AN EXISTING DRAINAGE POND, DIRT PILES AND STORAGE CONTAINER. DRAINAGE STRUCTURES, SEWER AND WATER LINES, AND DRY UTILITIES SUCH AS POWER, GAS AND ELECTRICITY EXIST WITHIN THE SITE. LOT ELEVATION DROP FROM 1,238' AT THE EAST PROPERTY LINE TO ABOUT 1,232' AT THE WEST PROPERTY LINE.

THE PROJECT WILL CONSIST IN THE DEMOLITION OF MOST OF THE EXISTING SOUTH PARKING LOT AND THE CONSTRUCTION OF A FAST FOOD RESTAURANT (2,999 SF) WITH A DRIVE-THRU, PARKING AREA, AND DESIGNATED LANDSCAPE.

### PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

(SPECIAL ORDER 19 ~ "S0-19")

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
2. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE 95%.
7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
9. FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

### EXISTING LEGEND:

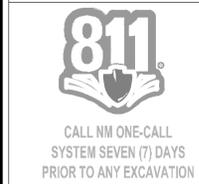
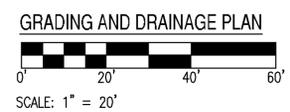
---XXXX---	EX. MAJOR CONTOURS	EX. S	SEWER LINE	---	STORM DRAIN LINE	+	SIGN
---XXXX---	EX. MINOR CONTOURS	EX. W	WATER LINE	CB	STORM CATCH BASIN	+	STREET LIGHT
TC:XX.XX GE:XX.XX	EX. SPOT ELEVATION	WV	WATER VALVE	○	STORM MANHOLE	+	TREE
---	EASEMENT LINE AS NOTED	+	FIRE HYDRANT	---	GAS LINE	---	ROAD CENTERLINE

### PROPOSED GRADING LEGEND:

G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	---	PROPERTY LINE	---	LIMIT OF ONSITE CONSTRUCTION	SD	STORM MANHOLE	---	CONCRETE PAVEMENT
P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER	---	FLOW ARROW	WM	WATER METER	---	HEAVY DUTY PAVEMENT
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB	---	CATCH BASIN	+	GATE VALVE	---	STORM INLET
		RL	RIDGELINE	---	STORM PIPE	+	FIRE HYDRANT		

MONUMENT "10\_C18"  
STANDARD C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,524,123.885 US SURVEY FEET  
E=1,542,565.263 US SURVEY FEET  
PLUBLISHED EL=5222.09 US SURVEY FEET  
(NAVD 1988)  
GROUND TO GRID FACTOR=0.999665042  
DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9\_C18"  
STANDARD C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,521,497.624 US SURVEY FEET  
E=1,542,501.428 US SURVEY FEET  
PLUBLISHED EL=5232.47 US SURVEY FEET  
(NAVD 1988)  
GROUND TO GRID FACTOR=0.999664563  
DELTA ALPHA ANGLE=-0°11'19.69"



PROJECT	WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	LOCATION	6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN	GA	01/27/2022	
DESIGNED	LF	01/27/2022	
QC	SC	06/14/2022	
FINAL QC			
PROJ. MGR.	AF	06/22/2022	
DATE:	06/22/2022		
ISSUED FOR:	DRB		
	PR-2018-001346		
	SI-2022-00184		

REVISION NO.:	DATE:
JOB NO.:	210907
SHEET TITLE:	

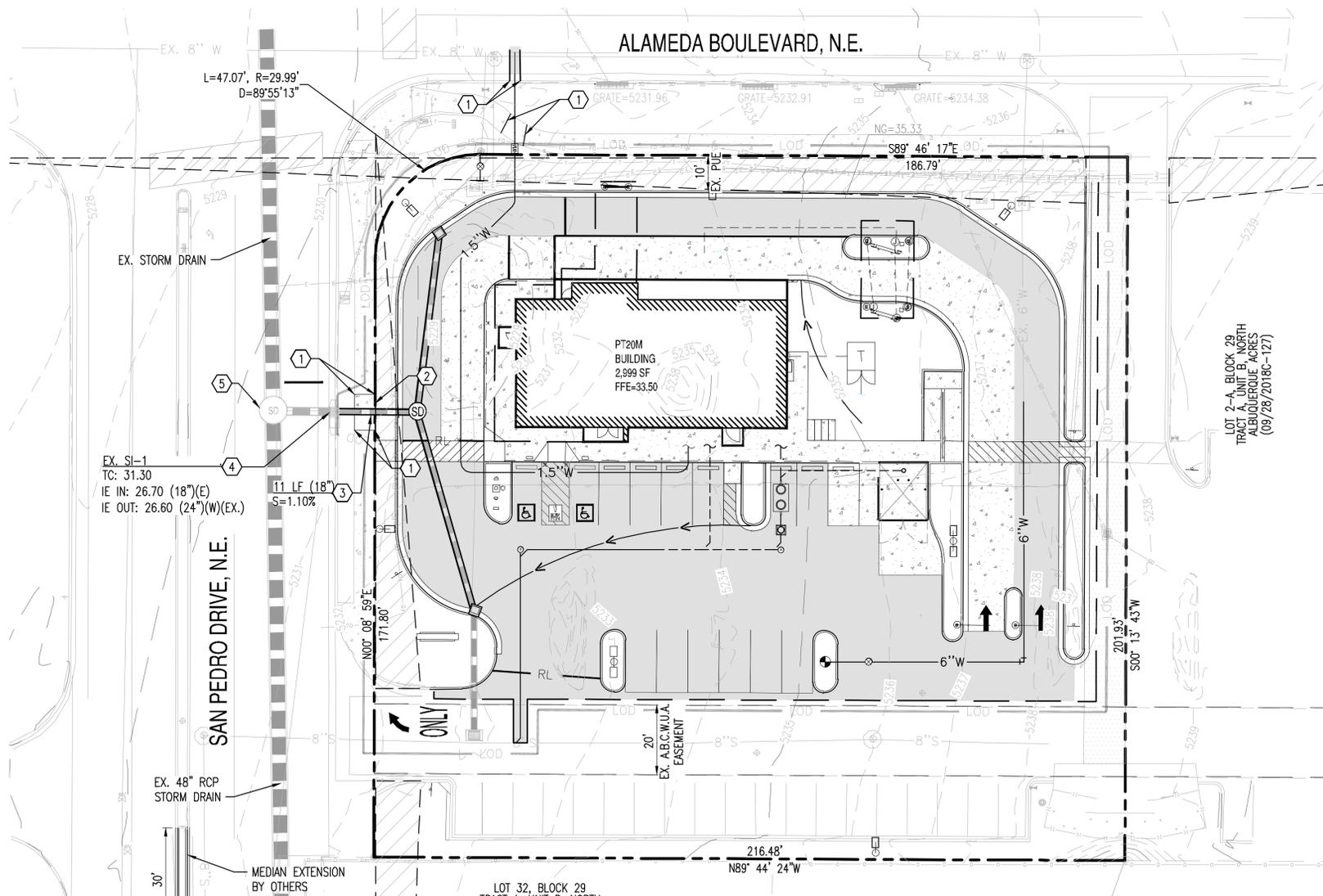
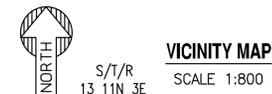
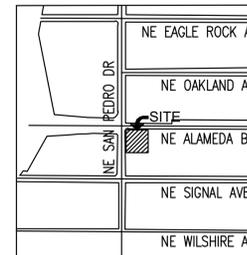
### GRADING AND DRAINAGE PLAN

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# WHATABURGER

## OFF-SITE GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM  
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST  
 BERNALILLO COUNTY, NEW MEXICO.



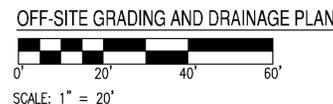
### GRADING CONSTRUCTION KEY NOTES

- ① MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- ② REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED FOR UTILITY CONSTRUCTION. REMOVE TO NEAREST JOINT.
- ③ FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
- ④ CONNECT PIPE TO EXISTING PUBLIC STORM INLET.
- ⑤ EXISTING PUBLIC 8" DIA MANHOLE

NOTE:  
 INVERT ELEVATIONS TO BE VERIFIED IN FIELD.

MONUMENT "10\_C18"  
 STANDARD C.O.A. ALUMINUM DISC  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
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 PUBLISHED EL=5222.09 US SURVEY FEET  
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 GROUND TO GRID FACTOR=0.999665042  
 DELTA ALPHA ANGLE=-0°11'19.42"

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 DELTA ALPHA ANGLE=-0°11'19.69"



### EXISTING LEGEND:

---XXXX---	EX. MAJOR CONTOURS	EX. S	SEWER LINE	---CB---	STORM DRAIN LINE	+	SIGN
---XXXX---	EX. MINOR CONTOURS	⊙	SEWER MANHOLE	CB	STORM CATCH BASIN	+	STREET LIGHT
TC:XX.XX GE:XX.XX	EX. SPOT ELEVATION	EX. W	WATER LINE	⊙	STORM MANHOLE	+	TREE
---	EASEMENT LINE AS NOTED	WV	WATER VALVE	⊙	GAS LINE	+	ROAD CENTERLINE
		+	FIRE HYDRANT	---	FENCE		

### PROPOSED GRADING LEGEND:

G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	---	PROPERTY LINE	LOC	LIMIT OF ONSITE CONSTRUCTION	⊙	STORM MANHOLE	---	CONCRETE PAVEMENT
P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER	→	FLOW ARROW	⊙	WATER METER	---	HEAVY DUTY PAVEMENT
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB	⊙	CATCH BASIN	⊙	GATE VALVE	---	STORM INLET
		---	RIDGELINE	---	STORM PIPE	+	FIRE HYDRANT		

CONSULTANTS

8290 E. CEDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
 WWW.AZSEG.COM TEL: 480.588.7226 FAX: 480.259.3534

BENCH MARKS

SEAL

SIGNATURE: DATE: 06-22-2022  
 EXPIRATION: DATE: 12-31-2022

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION	
		CONTRACTOR	
		INSPECTOR'S ACCEPTANCE BY:	
		FIELD VERIFICATION BY:	
		DRAWINGS CORRECTED BY:	

DESIGNED BY: SO  
 DRAWN BY: ER  
 CHECKED BY: SC  
 DATE: 06/2022

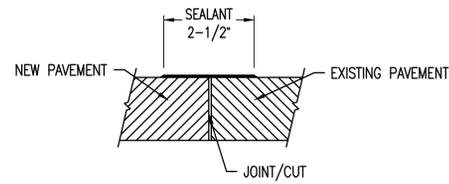
CITY OF ALBUQUERQUE  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 ENGINEERING DIVISION

OFF-SITE GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL ZONE MAP NO. Z-99  
 CITY PROJECT NO. PR-2018-001346  
 SHEET NO. C3.01

LOCATION: Z:\SHARED\PROJECTS\WHATABURGER\ALBUQUERQUE, NM - SWC ALAMEDA BLVD & SAN PEDRO AVE - 210907\11 CAD (SEG)\11.4 CD\S\CD\210907-03.00-C3.01.DWG  
 SAVED BY: ESAUL REYES DATE: 6/22/2022

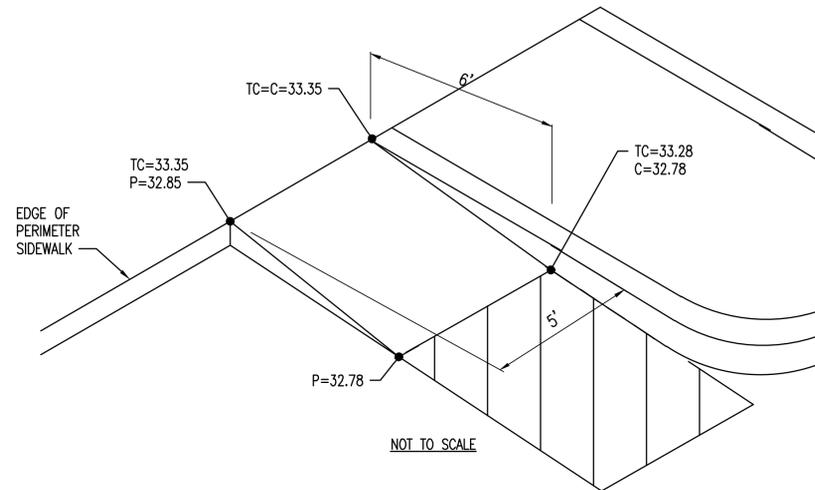
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TRANSITION TO EXISTING PAVEMENT



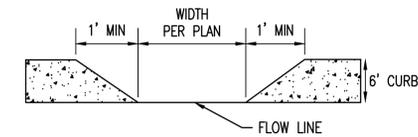
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DELIVERY RAMP



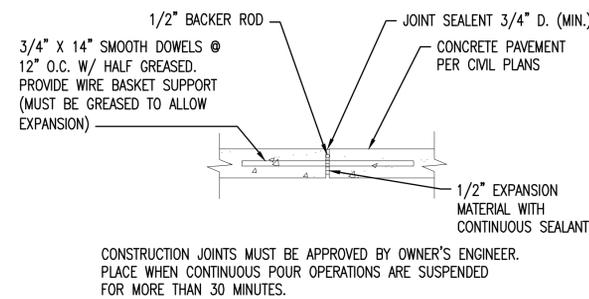
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CURB OPENING



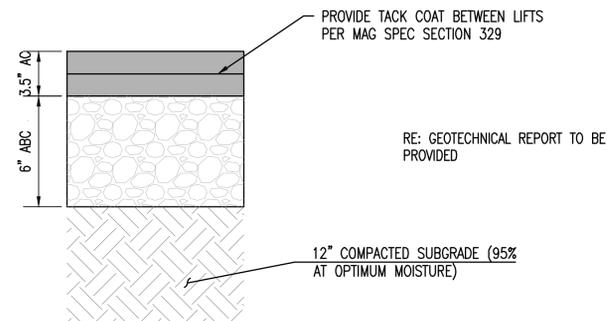
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CONSTRUCTION JOINT



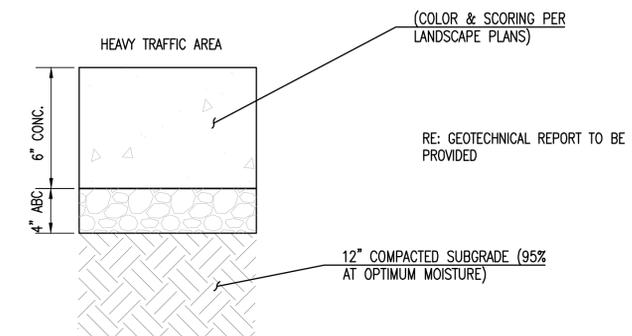
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ASPHALT PAVEMENT SECTION



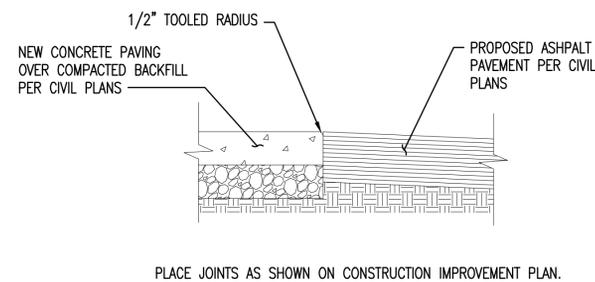
5



CONCRETE PAVEMENT SECTION



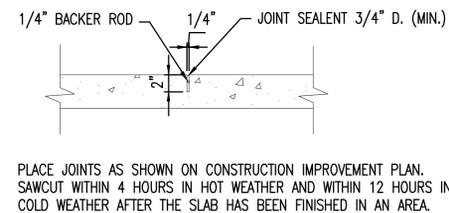
6



PAVING TRANSITION



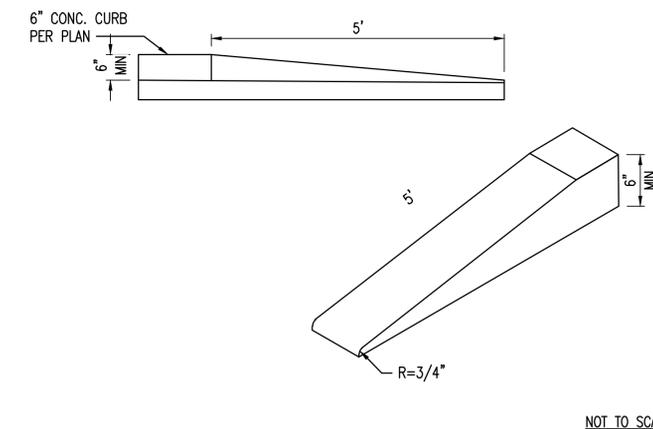
7



CONTROL JOINT



8



5' CURB TRANSITION 6" TO 0"



9



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY  
ENGINEERING  
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL: 480.988.7226 FAX: 480.259.3534



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

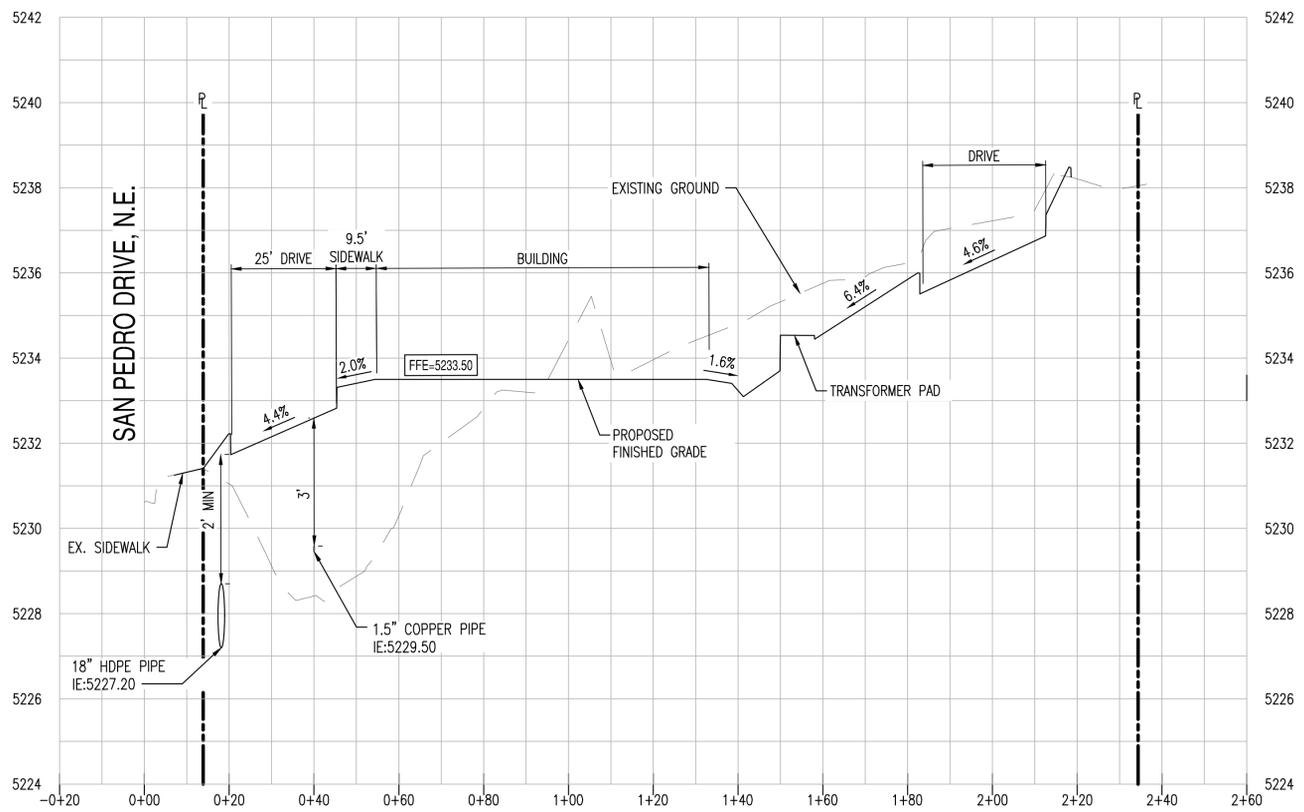
PROJECT WHATABURGER NM SEC ALAMEDA, BLVD NE & SAN PEDRO AVE NE	LOCATION 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM
DRAWN: GA	01/27/2022
DESIGNED: LP	01/27/2022
QC: SC	06/14/2022
FINAL QC:	
PROJ. MGR: AF	06/22/2022
DATE:	06/22/2022
ISSUED FOR:	DRB
	PR-2018-001346
	SI-2022-00184

REVISION NO.:	DATE:
JOB NO.:	210907
SHEET TITLE:	

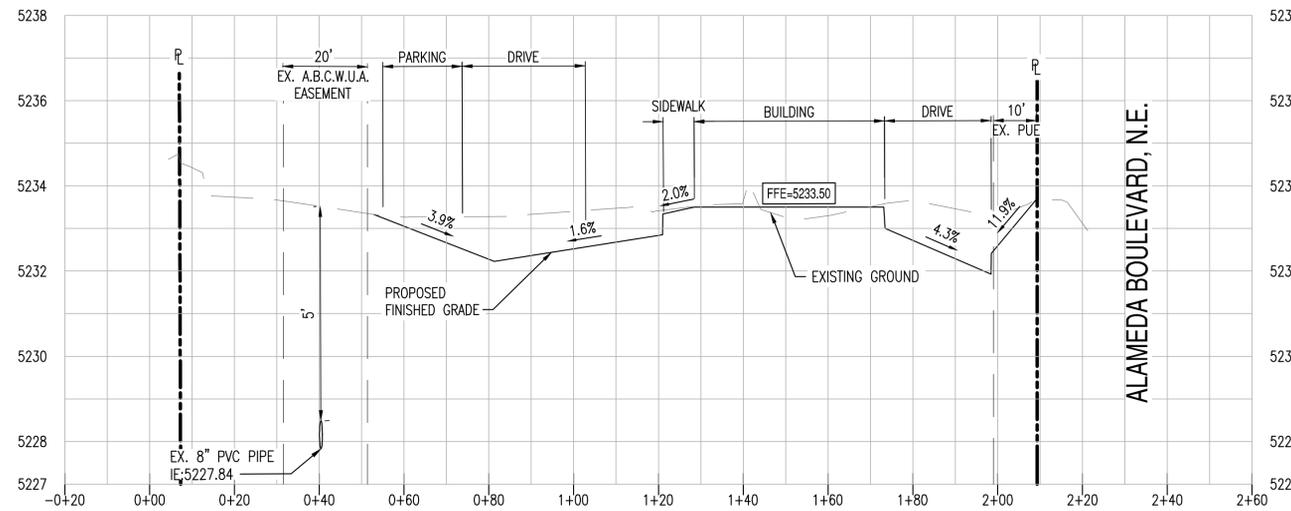
GRADING AND  
DRAINAGE DETAILS

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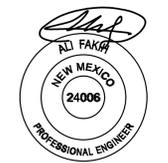




SECTION A-A C3.00  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



SECTION B-B C3.00  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



SIGNATURE DATE: 06-22-2022  
 EXPIRATION DATE: 12-31-2022

SUSTAINABILITY  
 ENGINEERING  
 GROUP

SEG



CALL NM ONE-CALL  
 SYSTEM SEVEN (7) DAYS  
 PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE  
 LOCATION: 6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN: GA 01/27/2022  
 DESIGNED: LP 01/27/2022  
 QC: SC 06/14/2022  
 FINAL QC:  
 PROJ. MGR: AF 06/22/2022

DATE: 06/22/2022  
 ISSUED FOR: DRB  
 PR-2018-001346  
 SH-2022-00184

REVISION NO.:	DATE:

JOB NO.: 210907

SHEET TITLE: SITE CROSS SECTIONS

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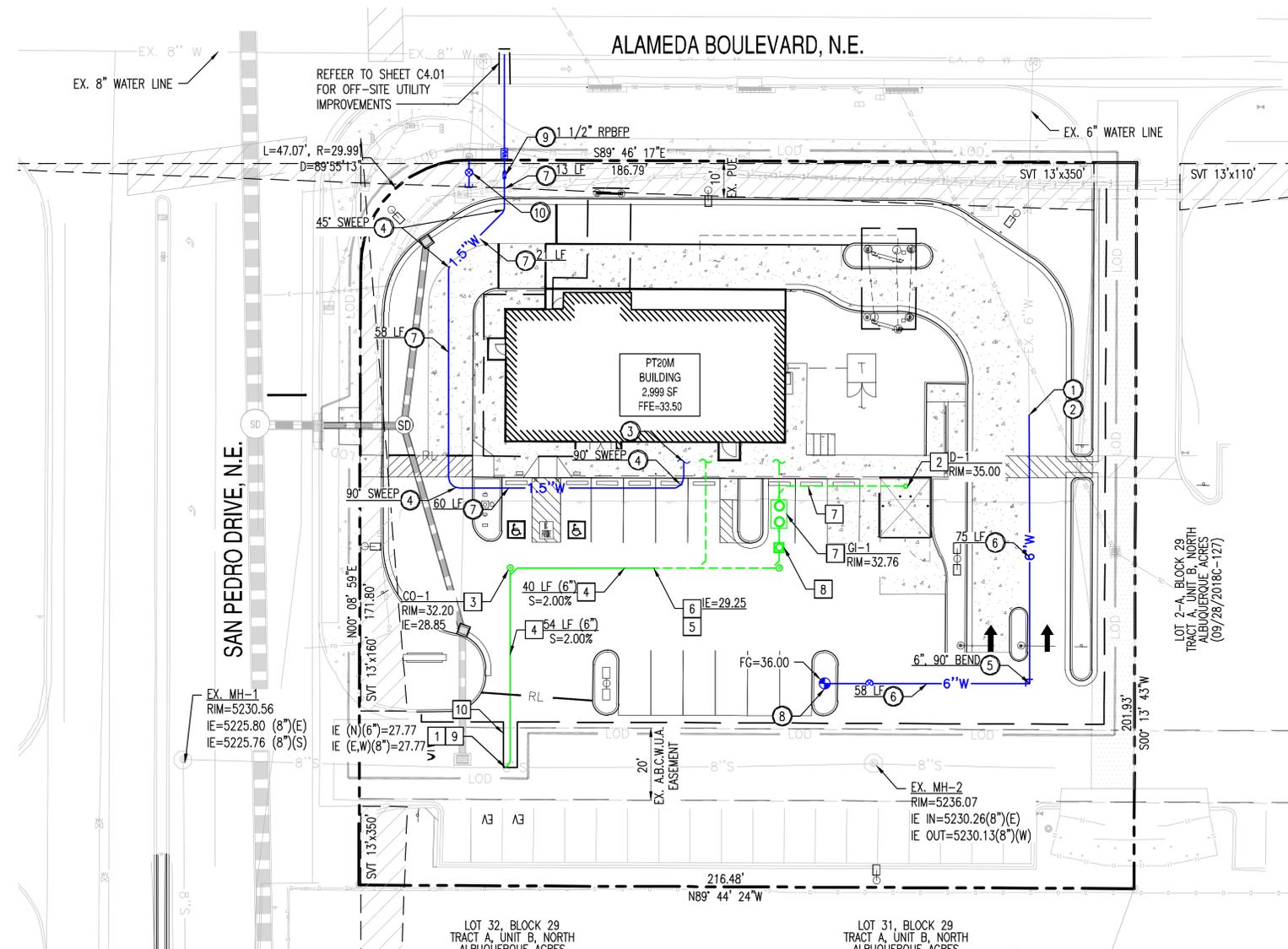
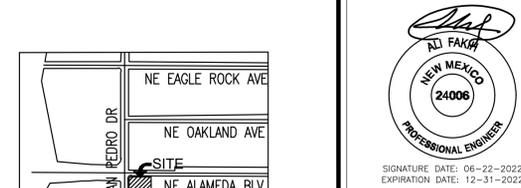
**PLUMBING**  
 FAISAL ELHALIS  
 35080 W LAREDO ST WAY  
 CHANDLER, AZ 85226  
 PHONE: 602-492-7944  
 CONTACT: FAISAL ELHALIS  
 EMAIL: ELHALISF@GMAIL.COM  
 LATEST PLAN COORDINATION: 05/12/22

**LANDSCAPE**  
 HARRINGTON PLANNING AND DESIGN  
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 SCOTTSDALE, AZ 85251  
 PHONE: 480-250-0116  
 CONTACT: JASON HARRINGTON  
 EMAIL: JASON@HARRINGTONPLANNINGDESIGN.COM  
 LATEST PLAN COORDINATION: 05/04/22

**ELECTRICAL**  
 Omid ARDEBILI  
 7328 E STETSON DR  
 SCOTTSDALE, AZ 85251  
 PHONE: 480-626-7072  
 CONTACT: Omid ARDEBILI P.E.  
 EMAIL: Omid@ARDEBILIENG.COM  
 LATEST PLAN COORDINATION: 05/11/22

# WHATABURGER UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM  
 A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3  
 EAST, BERNALILLO COUNTY, NEW MEXICO.



### WATER CONSTRUCTION KEY NOTES

- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
- CONNECT TO EXISTING SERVICE MAIN.
- DOMESTIC CONNECTION TO BUILDING, REFER TO MEP PLAN FOR CONTINUATION.
- FURNISH AND INSTALL TYPE "K" COPPER SWEEP, SIZE TO MATCH WATER LINE. ANGLE PER PLAN.
- FURNISH AND INSTALL FITTING, SIZE & ANGLE PER PLAN. WITH RESTRAINED JOINTS PER AWWA C110.
- FURNISH AND INSTALL 6" DUCTILE IRON PIPE, CLASS 350, CEMENT MORTAR LINED, MAINTAIN 3' MINIMUM COVER. PROVIDE POLY WRAP. LENGTH PER PLAN.
- FURNISH AND INSTALL TYPE "K" 1 1/2" COPPER PIPE, LENGTH PER PLAN.
- INSTALL RELOCATED FIRE HYDRANT, PER C.O.A. STD. DWG. 2340.
- FURNISH AND INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.A. STD. DWG. 2385, SIZE PER PLAN.
- FURNISH AND INSTALL 1" PRESSURE VACUUM BREAKER PER C.O.A. STD. DWG. 2388.

### SEWER CONSTRUCTION KEY NOTES

- CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SANITARY SEWER LINE BEFORE PROCEEDING WITH TRENCHING. CONTRACTOR SHALL CONTACT ENGINEER IF EXISTING SEWER ELEVATION IS HIGHER THAN PROPOSED TIE-IN INVERT PRIOR TO ANY CONSTRUCTION ACTIVITY.
- TRASH ENCLOSURE SANITARY DRAIN BY BUILDING CONTRACTOR.
- FURNISH AND INSTALL SEWER CLEAN-OUT
- FURNISH AND INSTALL PVC SCH-40 SEWER LINE. S= 2.00% MINIMUM. SIZE, LENGTH AND SLOPE PER PLAN. MAINTAIN 4' MINIMUM COVER.
- REFER TO MEP PLANS FOR CONTINUATION.
- PROVIDE PLUG AND MARKER FOR SEWER STUB
- GREASE INTERCEPTOR BY BUILDING CONTRACTOR.
- FURNISH AND INSTALL WYE. MATCH SIZE WITH PLAN.
- SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.

**SUSTAINABILITY  
 ENGINEERING  
 GROUP**  
**SEG**



**PROJECT**  
 WHATABURGER NM  
 SEC ALAMEDA BLVD NE  
 & SAN PEDRO AVE NE

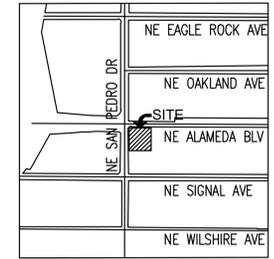
**LOCATION**  
 6100 ALAMEDA BLVD NE  
 ALBUQUERQUE, NM

DRAWN	GA	01/27/2022
DESIGNED	LF	01/27/2022
QC	SC	06/14/2022
FINAL QC		
PROJ. MGR.	AF	06/22/2022
DATE:	06/22/2022	
ISSUED FOR:	DRB	
	PR-2018-001346	
	SI-2022-00184	
REVISION NO.:		DATE:
JOB NO.:	210907	
SHEET TITLE:		

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# WHATABURGER OFF-SITE UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM  
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3  
EAST, BERNALILLO COUNTY, NEW MEXICO.



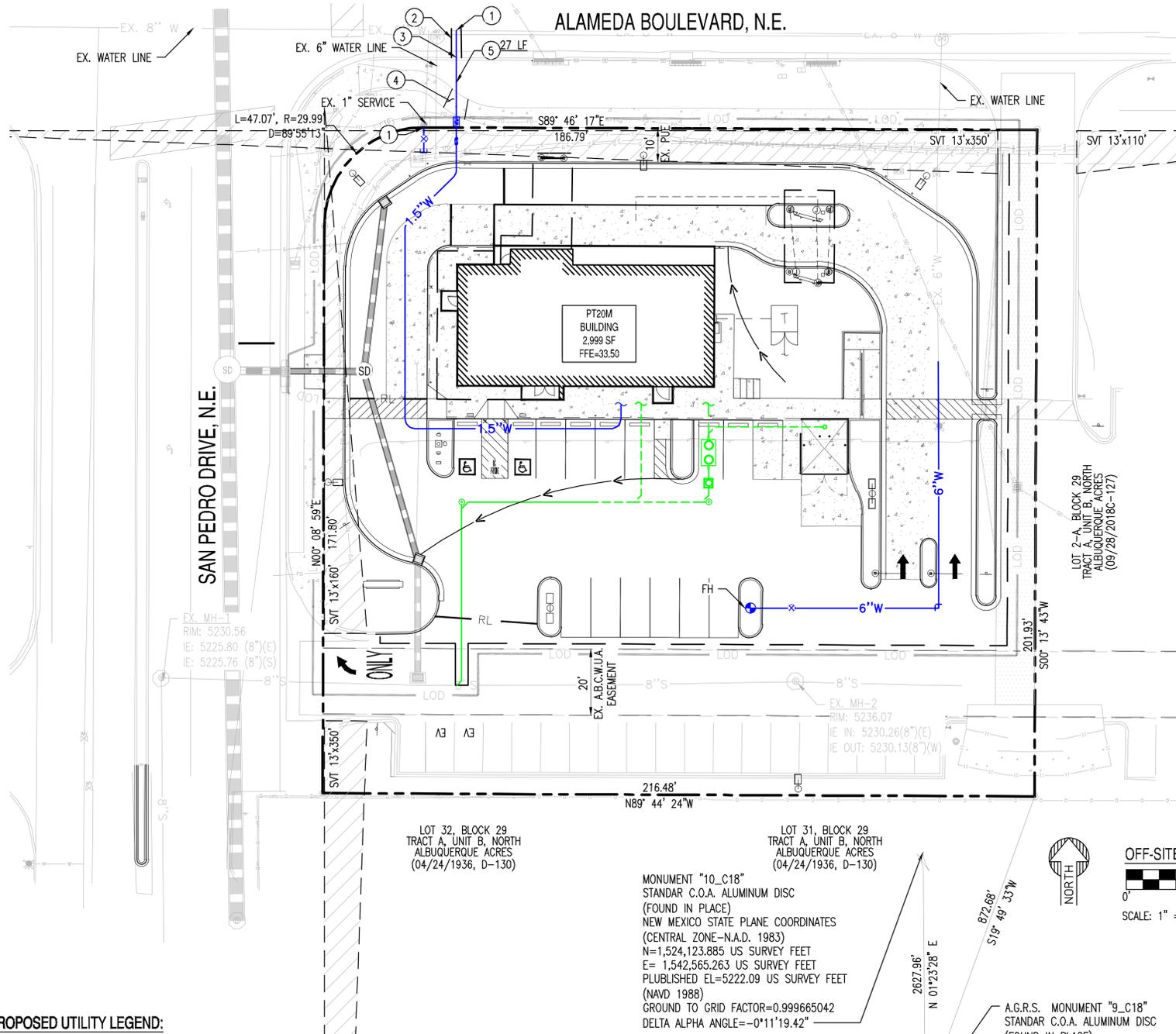
S/T/R  
13 11N 3E

VICINITY MAP  
SCALE 1:800



CONSULTANTS

8290 E. CEDILING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL: 480.588.7226 FAX: 480.259.3534



### WATER CONSTRUCTION KEY NOTES

- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
- SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT, FOR UTILITY TRENCHING PER C.O.A. STD. DWG. 2465.
- REMOVE AND REPLACE EXISTING VERTICAL CURB AND GUTTER, TO NEAREST JOINT AS REQUIRED FOR UTILITY INSTALLATION.
- REMOVE AND REPLACE EXISTING SIDEWALK, TO NEAREST JOINT AS REQUIRED FOR UTILITY INSTALLATION.
- FURNISH AND INSTALL TYPE "K" 1 1/2" COPPER DOMESTIC SERVICE CONNECTION AND METER BOX, PER C.O.A. STD. DWG. 2363, LENGTH PER PLAN.



SIGNATURE DATE: 06-22-2022  
EXPIRATION DATE: 12-31-2022

NO.	DATE	BY	DESCRIPTION
			CONTRACTOR
			INSPECTOR'S ACCEPTANCE BY:
			DATE:

DESIGNED BY: SO  
DRAWN BY: ER  
CHECKED BY: SC  
DATE: 06/2022



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION

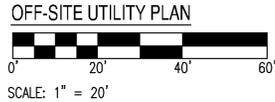
	CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION	
	OFF-SITE UTILITY PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. <b>Z-99</b>
		CITY PROJECT NO. <b>PR-2018-001346</b>
		SHEET NO. <b>C4.01</b>

### PROPOSED UTILITY LEGEND:

- PROPERTY LINE
- EASEMENT LINE
- 8"W WATER LINE
- 8"S SEWER LINE
- WATER METER
- BACK FLOW PREVENTER

### EXISTING LEGEND:

- CENTERLINE
- EASEMENT LINE AS NOTED
- CHAINLINK FENCE
- TREE
- EX. S SEWER LINE
- SEWER MANHOLE
- EX. W WATER LINE
- WATER VALVE
- FIRE HYDRANT
- STORM DRAIN LINE
- CB STORM CATCH BASIN
- SM STORM MANHOLE
- GAS GAS LINE
- IRR IRRIGATION LINE
- SIGN
- STREET LIGHT
- FO FIBER OPTIC LINE



SCALE: 1" = 20'



### OFF-SITE UTILITY PLAN

MONUMENT "10\_C18"  
STANDAR C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,524,123.885 US SURVEY FEET  
E= 1,542,565.263 US SURVEY FEET  
PUBLISHED EL=5222.09 US SURVEY FEET  
(NAVD 1988)  
GROUND TO GRID FACTOR=0.999665042  
DELTA ALPHA ANGLE=-0°11'19.42"

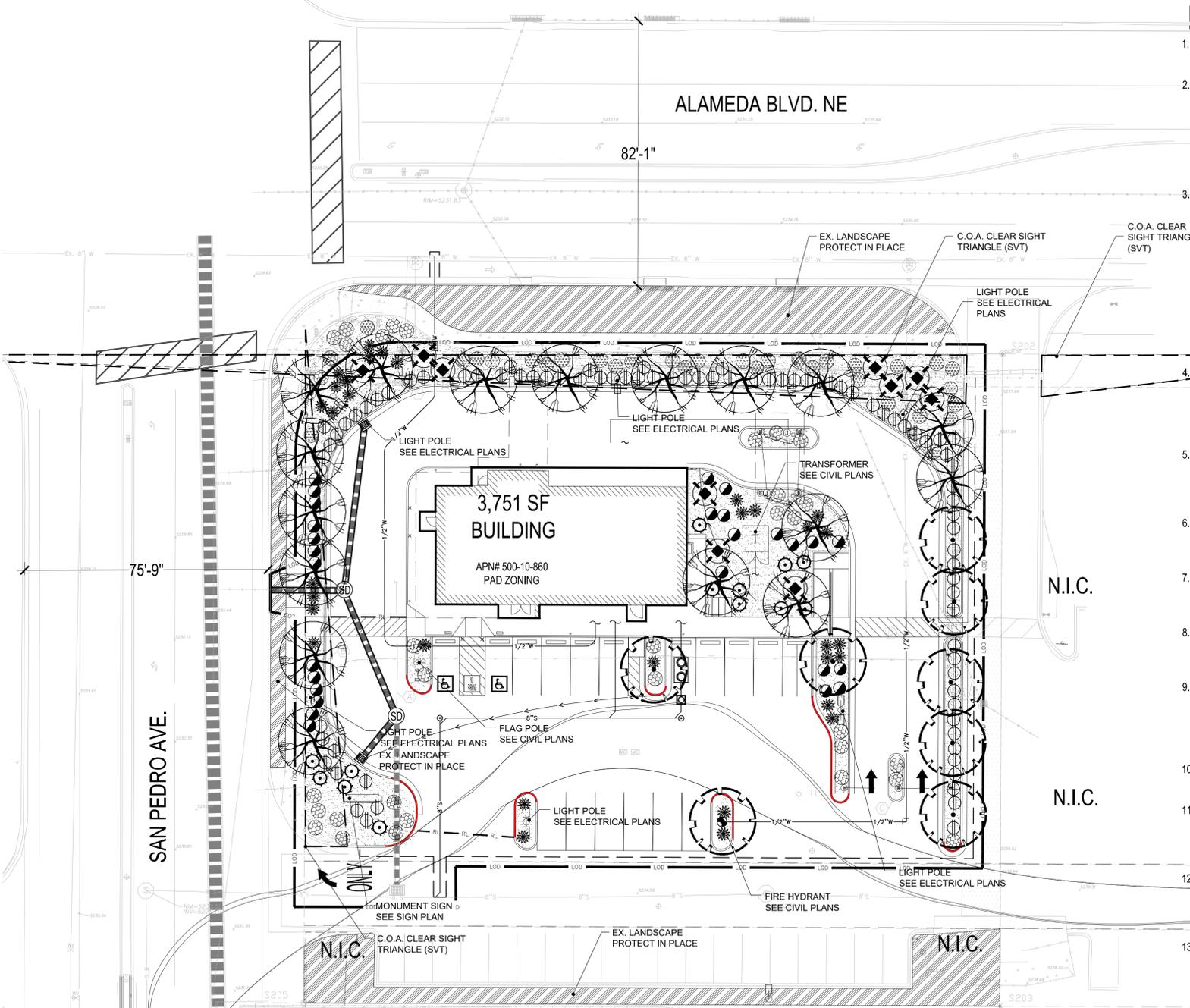
A.G.R.S. MONUMENT "9\_C18"  
STANDAR C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,521,497.624 US SURVEY FEET  
E= 1,542,501.428 US SURVEY FEET  
PUBLISHED EL=5232.47 US SURVEY FEET  
(NAVD 1988)  
GROUND TO GRID FACTOR=0.999664563  
DELTA ALPHA ANGLE=-0°11'19.69"

LOCATION: Z:\SHARED\PROJECTS\WHATABURGER\ALBUQUERQUE, NM - SWC ALAMEDA BLVD & SAN PEDRO AVE - 21090\11 CAD (SEG)\11.4 CD\S\CD210907-C4.00-C4-01.DWG SAVED BY: ESAUL REYES DATE: 6/22/2022

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### LANDSCAPE GENERAL NOTES

- PERFORM WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS.
- CAREFULLY INSPECT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
- HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING SAFETY TO ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY; REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
- UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- UNDERGROUND SERVICE ALERT - NOTIFY BLUE STAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT. EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. VERIFY THE LOCATION AND CONDITION OF UTILITIES PRIOR TO CONSTRUCTION.
- INSPECTIONS - NOTIFY OWNER REPRESENTATIVE AND APPROPRIATE AGENCY REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO REQUIRED GOVERNING AGENCY INSPECTION.
- QUANTITIES INDICATED IN DRAWINGS ARE PROVIDED AS A COURTESY ONLY. VERIFY QUANTITIES SHOWN BY CONDUCTING AN INDEPENDENT QUANTITY TAKE OFF.
- OWNER AND LANDSCAPE ARCHITECT WILL DECIDE QUESTIONS RELATING TO INTERPRETATION OF DRAWINGS AND ACCEPTABLE FULFILLMENT OF THE WORK SHOWN IN CONTRACT DOCUMENTS.
- MAINTAIN PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. DISPOSE OF RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.
- APPLY PRE-EMERGENT AFTER COMPLETION OF EARTHWORK, LEACHING, BED PREPARATION AND FINE GRADING PRIOR TO TOP DRESS.
- ALL EXISTING LANDSCAPE AREAS OUTSIDE THE PROJECT AREA THAT ARE DISTURBED BY ANY ACTIVITY UNDER THIS CONTRACT SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AND TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE FLAGGED AND/OR STAKED LAYOUT OF ALL PLANTING LOCATIONS FOR REVIEW AND ADJUSTMENT, IF NECESSARY, BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING IRRIGATION OR PLANT PIT EXCAVATIONS.
- ANY AND ALL PLANTS OR TREES, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES OF THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

### DEVELOPER CONTACT

WHATABRANDS REAL ESTATE  
 300 CONCORD PLAZA DRIVE  
 SAN ANTONIO, TEXAS 78216  
 CLINT SAAVADRA  
 210-476-6181

HARRINGTON PLANNING + DESIGN (HP+D)  
 1921 S. ALMA SCHOOL RD. SUITE 204  
 MESA, AZ 85210  
 JASON HARRINGTON, RLA, ASLA, ASIC, APWA  
 (480) 250-0116  
 JASON@HARRINGTONPLANNINGDESIGN.COM

### CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP  
 8280 E GELDING DR #101,  
 SCOTTSDALE, AZ 85260  
 ALI FAKIH, PE, LEED AP  
 (480) 588-7226  
 ALI@AZSEG.COM

### PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Quercus fusiformis Escarpment Live Oak Caliper Size: 2.0"	36" Box		17
Vitex agnus-castus Chaste Tree Caliper Size: 2.0"	36" Box		8
GROUNDCOVERS			QTY
Euonymus fortunei 'Coloratus' Purple Wintercreeper	5 Gallon can full		34
Cotoneaster horizontalis Trailing Rock Cotoneaster	5 Gallon can full		31
SHRUBS / ACCENTS			QTY
Hesperaloe parviflora Red Yucca	5 Gallon can full		32
Potentilla fruticosa Shrubby Cinquefoil	5 Gallon can full		27
Caesalpinia gillesii Yellow Bird of Paradise	5 Gallon can full		10
Leucophyllum langmaniae 'Lynn's Legacy' Texas Sage	5 Gallon can full		84
Euphorbia antisyphilitica Candelilla	5 Gallon can full		13
LANDSCAPE MATERIALS			QTY
Wood Fiber Bark organic mulch, 1/2" to 2" size mix 2" deep in planting areas per plan.			7,820 s.f.

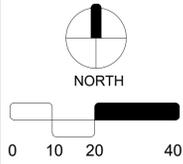
NOTE:  
 PER 5-6(C)(4) OF THE IDO, ALL TREES AND SHRUBS DEPICTED ON THESE PLANS MUST BE SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE.



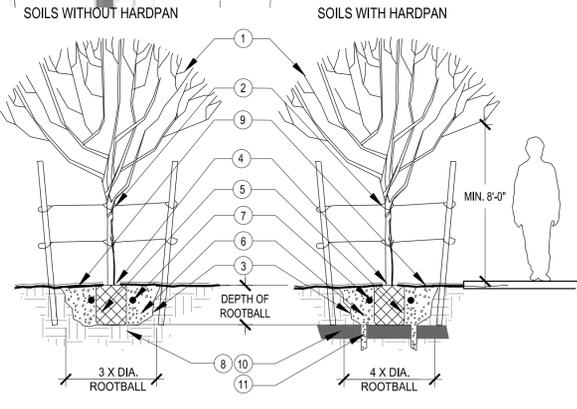
**WHATABURGER RESTAURANT**  
 SEC Alameda & San Pedro  
 Albuquerque, NM 87113

REV.	COMMENT	DATE

PR-2018-001346  
 LANDSCAPE PACKAGE  
 APRIL 27, 2022  
 DRAWN BY: TKW  
 CHECK BY: JEH  
 PROJ. NO.: 2021-056  
 CASE NO.: TBD



LANDSCAPE PLAN  
**L1.0**  
 2 of 6



- TREE, SEE LANDSCAPE LEGEND.
- TREE STAKE, SEE STAKING DETAIL.
- WALLS OF UNDISTURBED SOIL SHOULD BE SLOPED WITH ROUGH EDGES. PLANTING PIT TO BE AS DEEP AS ROOTS.
- TOP OF ROOTBALL FLUSH OR SLIGHTLY ABOVE FINISH GRADE.
- FREE OR CUT CIRCLING ROOTS (UNLESS PLANTS ARE KNOWN TO HAVE SENSITIVE ROOTS HANDLED WITH MINIMAL DISTURBANCE).
- BACKFILL: PER SPECIFIED SOIL AMENDMENT MIX, OR NATIVE SOIL IF NONE DESCRIBED. REMOVE ALL ROCK 1" OR GREATER FROM BACKFILL.
- FERTILIZER TABLET. SEE FERTILIZER TABLET SCHEDULE.
- NATIVE UNDISTURBED SOIL OR COMPACT FILL TO 85% STANDARD PROCTOR DENSITY.
- INERT ORGANIC MULCH. SEE LANDSCAPE LEGEND.
- UNDISTURBED HARDPAN.
- IN AREAS WHERE CALICHE OR HARDPAN OCCURS DIG A MIN. OF 3 DRAINAGE CHIMNEY HOLES BESIDE ROOT BALL AND THROUGH HARDPAN. FILL WITH SAME BACKFILL SOIL. NOT GRAVEL. CHIMNEY TO BE MIN. 8" DIA. AND 12" DEEP.

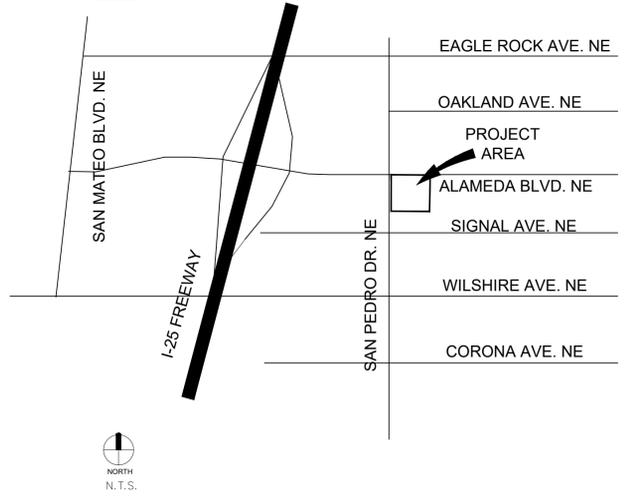
**FERTILIZER TABLET SCHEDULE**  
 AGRIFORM FERTILIZER TABLETS OR EQUAL.  
 PLACE TABLETS DOWN ALONG PLANT ROOTBALL SIDE

1 PER 1 GAL.
2 PER 5 GAL.
3 PER 15 GAL.
4 PER 24" BOX OR LARGER

### CITY OF ALBUQUERQUE LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
<b>PARKING AREAS:</b> PER 14-16-5 DEVELOPMENT STDS. PER 5-6(F)	1 TREE PER 10 PARKING STALLS	17 STALLS ON SITE 1.7 TREES REQUIRED / 3 TREES PROVIDED
<b>NET LANDSCAPE AREA:</b> PER 5-6(C)	10% LOT AREA 15% MINIMUM	817 SF PARKING LOT (82SF REQ.) / 27.5% LANDSCAPE (225 SF PROVIDED) NET AREA = 30,000 SF 15% NET = 4,500 SF PROVIDED AREA = 8,380 SF 27.93% PROVIDED
<b>SHADE COVERAGE AREA</b>	75% OF LS AREA	75% COVERAGE
<b>GROUND LEVEL COVERAGE AREA</b>	30% OF LS AREA	60% COVERAGE
<b>LANDSCAPE DIVERSITY</b>	5 SPECIES MIN.	9 PROVIDED 2 TREE SPECIES 7 UNDERSTORY SPECIES
<b>MINIMUM TREE SIZE:</b>	2" CALIPER	2" CALIPER
<b>STREET FRONTAGE L/S AREA:</b> PER 5-6(D) WITHIN 20 FT OF CURB	1 TREE / 3 SHRUBS PER 25FT.	EXISTING TREES TO REMAIN N-SIDE. NEW TREES BEYOND 20 FT DISTANCE. W-SIDE = 153' (6.12 TREES - 6 PROVIDED)
<b>EDGE BUFFER L/S AREA:</b> PER 5-6(E)(2)(a)	1 TREE (6 FT MIN) / 3 SHRUBS PER 25FT.	W EDGE = STREET FRONTAGE N EDGE = STREET FRONTAGE E EDGE = 153' (6.12 TREES - 7 PROVIDED) S EDGE = EXISTING L/S BUFFER PROTECT

### VICINITY MAP



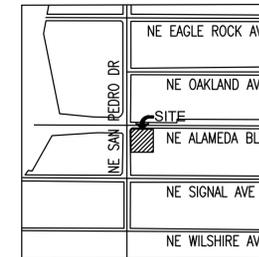
PR-2018-0013646

# WHATABURGER

## SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM  
LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH  
BERNALILLO COUNTY, NEW MEXICO.

S/T/R  
13 11N 3E  
**VICINITY MAP**  
SCALE 1:800



### SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SIDEWALK PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C LOADING ZONE PER GRADING PLANS.
- 3 CONCRETE SIDEWALK, PER C.O.A. STD. DET. DWG. 2430 WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PROVIDE PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 PROVIDE 6' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C PER DET. 13/C2.11.
- 8A PROVIDE 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B CONCRETE PAVEMENT PER GRADING PLANS.
- 10C EXISTING ASPHALT.
- 11 INSTALL ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 INSTALL DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 INSTALL DRIVE-THRU MENU BOARD. PER STRUCTURAL PLANS DET. D1/SS.1.
- 14 PROVIDE RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 INSTALL 28' HIGH FLAG POLE BY G.C.
- 17 INSTALL FREE STANDING MAILBOX BY G.C.
- 18 INSTALL BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 21 FURNISH AND INSTALL WHEEL STOP PER DET. 4/C2.10.
- 22 PROPOSED "TRASH ENCLOSURE" WITH 6-CUBIC YARD VIP COMPACTOR, DRAIN TO GREASE INTERCEPTOR PER APPROVED SOLID WASTE PLANS.
- 23 INSTALL LIGHT POLE PER ELECTRICAL PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 INSTALL MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET. 2600-401 & 2600-404
- 30 SIGHT LINE TRIANGLE.
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM 6" TO 0" PER CIVIL PLANS.
- 35 PROPOSED 30" STOP SIGN AT DRIVEWAY. PER C.O.A. STD. DWG. 2600-601
- 36 PROVIDE PAINTED ADA ACCESS AISLE SYMBOL PER DET. 7/C2.11.
- 37 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 11/C2.11.
- 38 PROPOSED "ONE WAY" SIGN, PER C.O.A. STD. DET. 2600-603.

### SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
7. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
8. ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
9. A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
10. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

### SIGHT DISTANCE NOTE

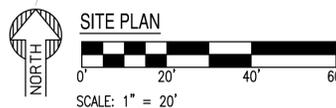
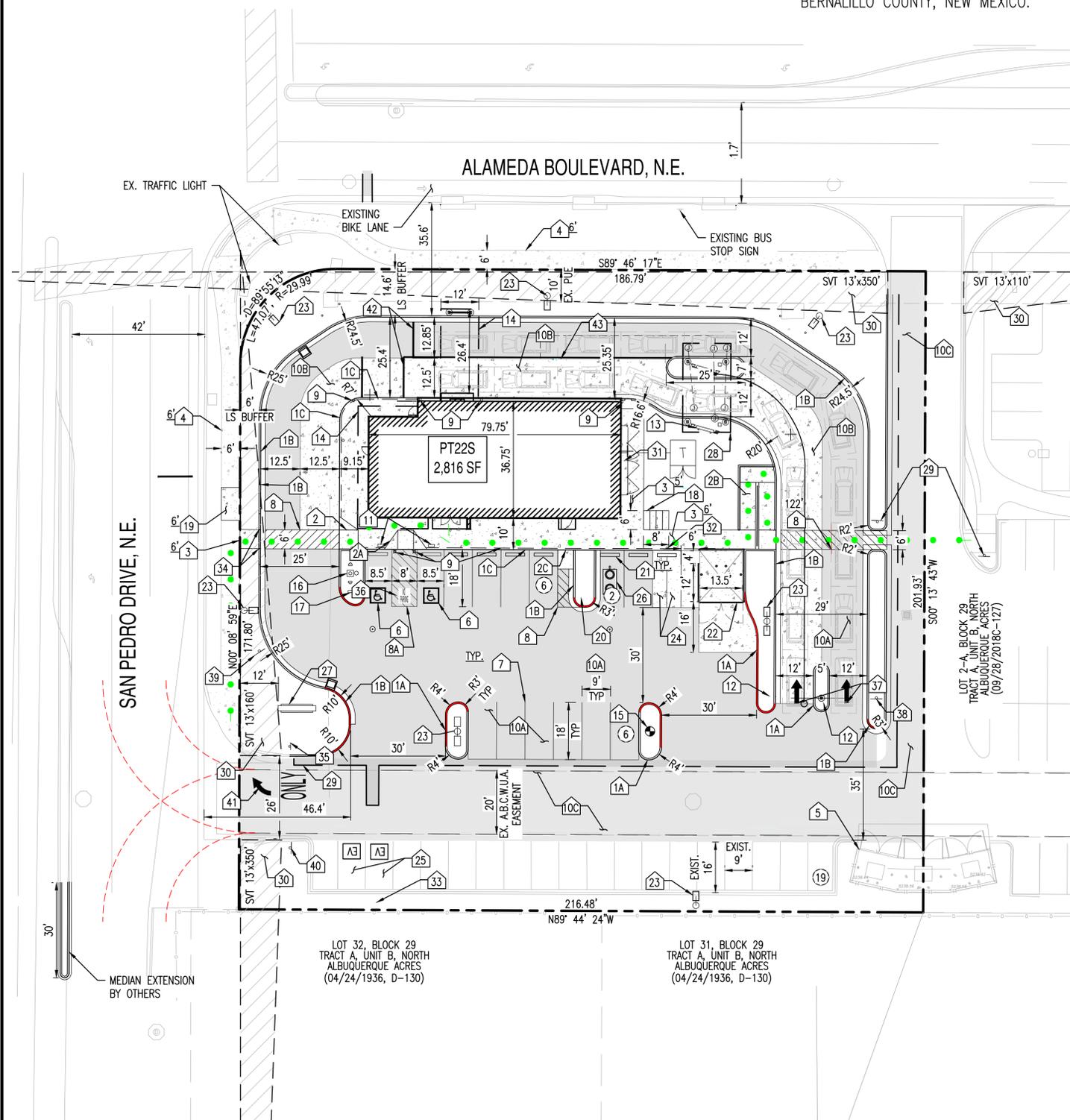
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

DEVELOPMENT SUMMARY TABLE:			
PROJECT ADDRESS:	6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM		
PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU		
UPC:	101806 428134 810229		
ZONING:	NR-BP		
LOT SIZE:	43,565 SF	1.00 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
BUILDING AREA:	2,816 SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED	
RESTAURANT BUILDING:	50 FT.	22 FT.	
LOT STANDARDS	REQUIRED	PROPOSED	
MIN LOT WIDTH:	100 FT.	± 186 FT.	
PARKING REQUIREMENT	REQUIRED	PROPOSED	
VEHICLE (2,965 SF/1,000 SF x 8):	23		
ADA SPACES:	2	33	INCL. 2 EV SPACES
EV SPACES:	2		2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2	
BICYCLE SPACES:	3	4	
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.	
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.	
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.	
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.	
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.	WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.	

- 39 PROPOSED "DO NOT ENTER" SIGN, PER C.O.A. STD. DET. 2600-603.
- 40 PROPOSED "NO LEFT EXIT" SIGN PER C.O.A. STD. DET. 2600-701.
- 41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
- 42 PROVIDE STOP LINE WITH 12" WIDE WHITE PAINT.
- 43 PROVIDE DIVIDING LINE WITH 4" WIDE YELLOW PAINT.

### PROPOSED LEGEND:

	VERTICAL CURB		CONCRETE PAVEMENT/SIDEWALK
	CURB AND GUTTER		HEAVY DUTY PAVEMENT
	PARKING COUNT		EXISTING PAVEMENT
	PAVEMENT STRIPING		ACCESSIBLE PEDESTRIAN PATH
	FIRE HYDRANT		28'/48' FIRE ACCESS TURN RADIUS
	TRANSFORMER		RED PAINTED FIRE CURB RE: DET. 6/C2.10



SITE PLAN

SCALE: 1" = 20'

SUSTAINABILITY  
ENGINEERING  
GROUP



CALL NM ONE-CALL SYSTEM SEVEN  
(7) DAYS PRIOR TO ANY EXCAVATION

PROJECT: WHATABURGER NM  
SEC ALAMEDA BLVD NE  
& SAN PEDRO AVE NE

LOCATION: 6100 ALAMEDA BLVD NE  
ALBUQUERQUE, NM

ISSUED FOR: ADMINISTRATIVE  
AMENDMENT

REVISION NO.:	DATE:
1	05/09/2023
2	05/09/2023
3	05/09/2023
4	05/09/2023

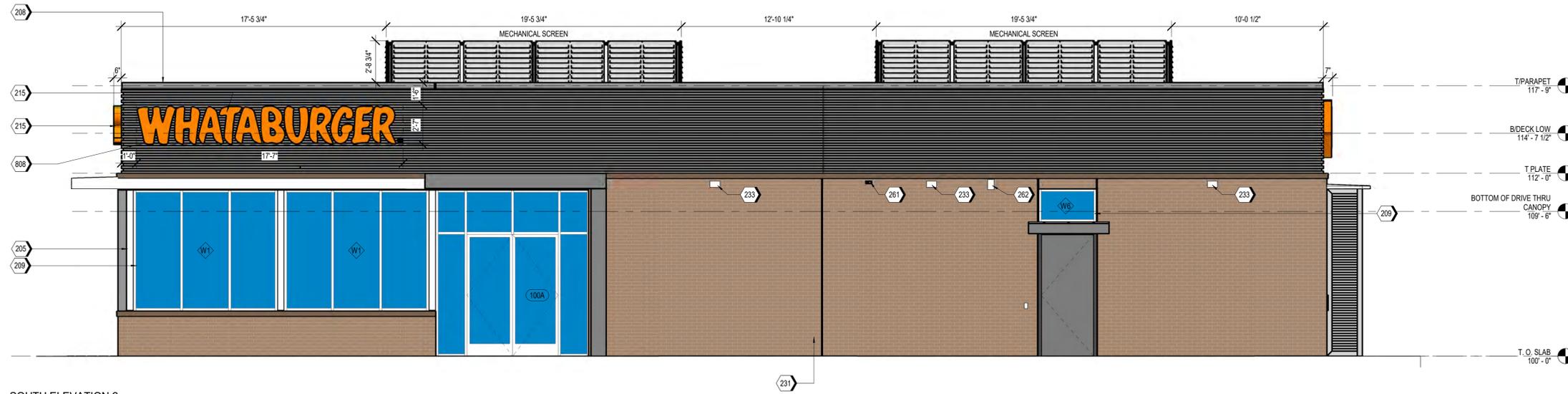
JOB NO.: 210907  
SHEET TITLE: **SITE PLAN**  
PAGE NO.: 5 OF 14  
SHEET NO.: **C2.00**

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

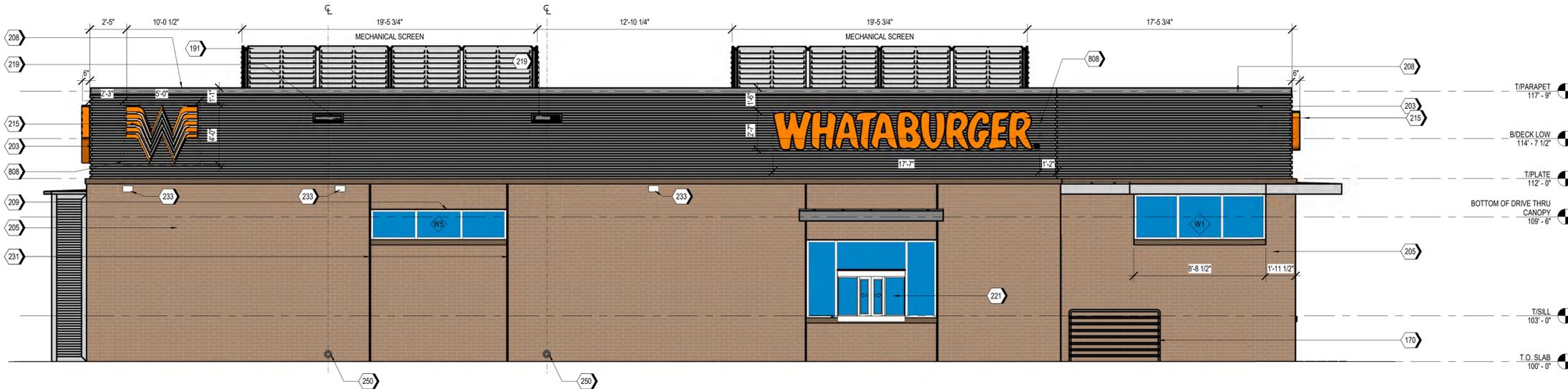


**NOTES**

- EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



**1 SOUTH ELEVATION 2**  
 1/4" = 1'-0"  
 SIGN : 45 SF  
 FACADE : 1,430 SF  
 RATIO : 3%



**2 NORTH ELEVATION 2**  
 1/4" = 1'-0"  
 SIGN : 65 SF  
 FACADE : 1,430 SF  
 RATIO : 4.5%

**KEYNOTES**

170	ENTERA PRE-MANUFACTURED GUARDRAIL, BY OTHERS, RE: B41A0.1
191	ENTERA PRE-MANUFACTURED ROOF SCREEN, BY OTHERS
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01: BRICK VENEER
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL, RE: A1.3 FOR DIMENSIONS
250	DOWNSPOUT NOZZLE 6 INCHES ABOVE INTERIOR FINISH FLOOR
261	SECURITY CAMERA
262	WIRELESS ACCESS POINT
808	PROVIDE BLOCKING FOR SIGNAGE AS REQUIRED

**MATERIAL TEXTURES**

<p>BR-01</p>  <p><b>BRICK VENEER</b>                  ACME, PARK AVENUE                  HERITAGE TEXTURE                  BLEND: DTP114</p>	<p>SS-01</p>  <p><b>STOREFRONT SYSTEM</b>                  OLDCASTLE                  STYLE: FG-3000                  FINISH: CLEAR ANODIZED</p>	<p>MP-01 MP-02 MP-03</p>  <p><b>METAL PANELS</b>                  BERRIDGE                  STYLE: BR-12 PANEL                  0.040 ALUMINUM                  COLOR: LEAD-COTE</p>	<p>PT-5</p>  <p><b>PAINT</b>                  MANUFACTURER:                  SHERWIN WILLIAMS                  COLOR: SW 6277 SPECIAL                  GRAY</p>	<p>PT-6</p>  <p><b>PAINT</b>                  MANUFACTURER: SHERWIN                  WILLIAMS                  COLOR: SW 7048 URBAN                  BRONZE</p>
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**EXTERIOR MATERIALS**

- BR01 EXTERIOR BRICK** (BR01)  
 SPECIFICATION SECTION: 04 26 13  
 MANUFACTURER: ACME  
 TYPE: MODULAR  
 COLOR: PARK AVENUE  
 SIZE: 3-5/8" X 2-1/4" X 7-5/8"
- BR02 EXTERIOR BRICK** (BR02)  
 SPECIFICATION SECTION: 04 26 13  
 MANUFACTURER: ACME  
 TYPE: MODULAR  
 COLOR: DOESKIN  
 SIZE: 3-5/8" X 2-1/4" X 7-5/8"
- EM01 EXTERIOR MORTAR** (EM01)  
 SPECIFICATION SECTION: 04 26 13  
 MANUFACTURER: AHI  
 COLOR: VANILLA-N
- GLAZING**
- GL01 GLAZING** (GL01)  
 SPECIFICATION SECTION: 08 80 00  
 ITEM: IGU VISION GLASS  
 MANUFACTURER: VITRO  
 PRODUCT NAME: SOLARBAN Z75/70 (2) OPTIBLUE + CLEAR IGU  
 SIZE: VARIES  
 LOCATION: EXTERIOR WALL  
 NOTES: VLT 46% U-VALUE .28 SHGC .23 LSG 2.00
- GL03 GLAZING** (GL03)  
 SPECIFICATION SECTION: 08 80 00  
 ITEM: IGU OPAQUE SPANDREL GLASS  
 MANUFACTURER: VITRO  
 PRODUCT NAME: OPACI-COAT-300  
 FINISH: #3-5323 OLD EAGLE  
 SIZE: VARIES  
 LOCATION: SEE ELEVATIONS
- SS01 STOREFRONT SYSTEM** (SS01)  
 SPECIFICATION SECTION: 08 41 13  
 MANUFACTURER: OLDCASTLE  
 PRODUCT NAME: FG-3000 THERMAL  
 FINISH: CLEAR ANODIZED  
 SIZE: VARIES  
 LOCATION: SEE ELEVATIONS
- MP01 METAL PANEL** (MP01)  
 SPECIFICATION SECTION: 07 42 13.13  
 MANUFACTURER: ENTERA BRANDING  
 PRODUCT NAME: BERRIDGE BR-12 PANEL IS B.O.D.  
 MATERIAL: 0.040 ALUM.  
 COLOR: SW7655 STAMPED CONCRETE  
 SIZE: VARIES  
 LOCATION: SEE ELEVATIONS
- MP02 METAL PANEL** (MP02)  
 SPECIFICATION SECTION: 07 42 13.13  
 ITEM: FLASHING  
 MANUFACTURER: ENTERA BRANDING  
 PRODUCT NAME: SHEET METAL FLASHING  
 MATERIAL: 0.040 ALUM.  
 COLOR: SW7655 STAMPED CONCRETE  
 SIZE: VARIES  
 LOCATION: SEE DETAILS  
 NOTES: MATCH MP01
- MP03 METAL PANEL AT ELECTRICAL ENCLOSURE** (MP03)  
 SPECIFICATION SECTION: 07 42 13.13  
 ITEM: FLASHING  
 MANUFACTURER: ENTERA BRANDING  
 PRODUCT NAME: BERRIDGE BR-12 PANEL IS B.O.D.  
 MATERIAL: 0.040 ALUM.  
 COLOR: SW7655 STAMPED CONCRETE  
 SIZE: VARIES  
 LOCATION: SEE ELEVATIONS  
 NOTES: MP01
- MC01 METAL PANEL** (MC01)  
 SPECIFICATION SECTION: 07 71 00  
 MANUFACTURER: ENTERA BRANDING  
 PRODUCT NAME: METAL COPING SYSTEM  
 MATERIAL: COPING  
 COLOR: SW7655 STAMPED CONCRETE  
 SIZE: VARIES  
 LOCATION: SEE ELEVATIONS
- MS01 METAL SOFFIT** (MS01)  
 SPECIFICATION SECTION: 07 42 93  
 MANUFACTURER: ENTERA BRANDING  
 PRODUCT NAME: ACM  
 FINISH: SW7655 STAMPED CONCRETE  
 SIZE: VARIES  
 LOCATION: SEE ELEVATIONS
- PT-5 EXTERIOR PAINTING** (PT-5)  
 SPECIFICATION SECTION: 09 91 13  
 MANUFACTURER: SHERWIN WILLIAMS  
 PRODUCT NUMBER: SW7655  
 COLOR: STAMPED CONCRETE  
 LOCATION: RE: ELEVATIONS  
 NOTES: FLAT FINISH, INTERIOR SIDE OF DOORS/FRAMES EGGSHELL FINISH.



**Gensler**

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 San Antonio, TX 78205  
 United States  
 Tel 210.222.8059



Date	Description
1 03.24.2023	ISSUE FOR PERMIT REVISIONS

Seal / Signature

Project Name ABQ ALAMEDA\_PT22S  
 SWC ALAMEDA & SAN PEDRO DR.,  
 ALBUQUERQUE, NM

Project Number  
 122.0088.430

Description  
 EXTERIOR COLOR ELEVATIONS

Scale  
 1/4" = 1'-0"

**SK003**