

Transmittal Letter

Sustainability Engineering Group

5240 N 16th St.
Suite 105
Phoenix, AZ 85016
Phone: 480.588.7226
www.azSEG.com



May 19, 2023

To: City of Albuquerque

Project #: 210907

Project Name: Whataburger Albuquerque, NM SWC
Alameda Blvd & San Pedro Ave

Submittal Type: Administrative Amendment

Project Manager: Jenifer Tedrick

We are sending you:			
Item #	Quantity	Date	Description
00	1	5/19/2023	Transmittal Letter
1	1	5/19/2023	Development Review Application
2	1	5/17/2023	Form P3
3	1	10/19/2021	Zoning Atlas Map (C-18-Z)
4	1	11/18/2021	Letter of Authorization
5	1	5/17/2023	Justification Letter - Minor Amendment
6	1	5/17/2023	Approved Site Plan
7	1	5/7/2022	PR-2018-001346_May_4_2022 - Notice of Decision
8	1	5/17/2023	Proposed Site Plan & Elevations

These are transmitted as checked below:	
Purpose: For Approval <input type="checkbox"/>	Resubmittal <input type="checkbox"/> As Requested
Method: Walk-In <input type="checkbox"/>	Courier <input type="checkbox"/> Online <input checked="" type="checkbox"/> Site Folio Upload <input type="checkbox"/>
Comments:	
Prepared By: RC	Project Manager: JT
Reviewed By:	



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Minor amendment site plan for an approved Whataburger restaurant located at 6100 Alameda NE Blvd. This request is necessary to update the building footprint/prototype from 2,999 SF (PT20S) to 2,816 SF (PT22S).

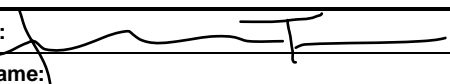
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

Ownership Authorization Letter

October 20, 2021

To: City of Albuquerque Planning Department
Plaza del Sol Building
600 Second NW
Albuquerque, NM 87102

Property Owner: Green Jeans West, LLC
2929 Monte Vista Blvd NE
Albuquerque, NM 87106

RE: Ownership Authorization for Development Review Board Application, Final Civil and Architectural Permit applications to the City of Albuquerque and other relevant agencies for a proposed Whataburger Drive-Through Restaurant

I, Roy Solomon, the Property Owner/Legal Representative of the property located at the SEC of Alameda Blvd. NE and San Pedro Dr. NE (UPC: 101806428134810229), grant authorization to Whataburger Real Estate Brands, and their selected consultant, Sustainability Engineering Group, LLC, to file, process, and secure all necessary applications and approvals for Development Review Board, Site Plan Review, and Final Civil and Architectural Permit submittals related to development of the proposed drive-through restaurant project.

Sincerely,

Roy Solomon
Property Owner/Representative Name


Property Owner/Representative Signature

11.18.21
Date



WHATABURGER NM

NEC ALAMEDA AND SAN PEDRO

JUSTIFICATION LETTER



(Example Rendering)

Request:

Administrative Minor Amendment to approved site plan for
a proposed fast-food restaurant,
located at the SEC of Alameda and San Pedro

Pre-Application Submittal: Jun 2, 2021

DRB Approval: August 22, 2022

Administrative Amendment Submittal: May 17, 2023



DEVELOPMENT TEAM

Owner

Green Jeans West, LLC
2929 Monte Vista Blvd NE
Albuquerque, NM 87106

Developer

Whatabrands Real Estate
Contact: Talal Medlej
300 Concord Plaza Drive
San Antonio, TX 78216
Phone: (210) 209-3908
Email: tmedlej@wbhq.com

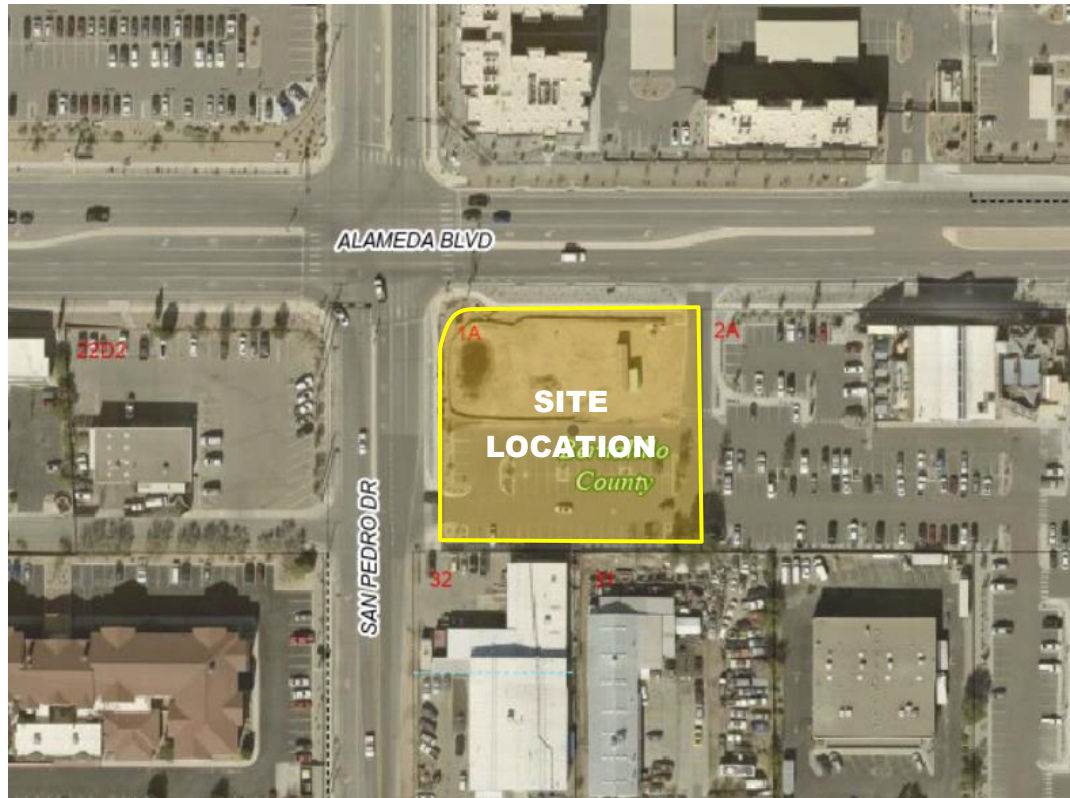
Civil Engineer & Planning

Sustainability Engineering Group (SEG)
Contact: Jenifer Tedrick
5240 N. 16th Street, Ste. 105
Phoenix, AZ 85016
Phone: (480) 588-7226
Email: jenifer@azseg.com

I. INTRODUCTION

Sustainability Engineering Group (“SEG”) is filing an Administrative Amendment application for a proposed fast-food facility (the “Project”) located at the southeast corner of Alameda Blvd NE and San Pedro Rd NE (Assessor’s Parcel # 101806428134810229). The Project proposes the development of an existing 1-acre parcel of land for a Whataburger Restaurant with a 2-lane drive-through. An aerial map has been provided (see **Figure 1 – Aerial Map**) to show location of the subject property and contextual reference.

Figure 1 – Aerial Map



The site received Design Review Board approval for the construction of a 2,999 SF Whataburger restaurant with a 2-lane drive-through on August 22, 2022. Now the developer is in the process of obtaining building and civil permits for construction of the site. However, modifications were made to the building prototype which requires approval of a minor amendment to the approved plans.

II. SITE PLAN MODIFICATIONS

The overall site plan will remain unchanged from the approved version. The building and drive-through placement will remain on the north half of the lot while utilizing extra space on the south half for parking, access and vehicle circulation. The total square footage of the building was decreased to 2,816 SF with a parking count of thirty-three (33) spaces and two (2) motorcycle spaces, as required per IDO Parking Standards. Two (2) of the vehicle spaces will be electronic vehicle parking.

With the reduction of the building size and modification to building footprint, the drive-through was shifted south providing an additional 5 feet between Alameda Blvd and the drive-through pavement. However, the location of the sidewalk between the building and parking will remain unchanged.

The layout of the proposed development will maintain an adequate circulation pattern that will satisfy customer vehicles while updating the landscape and parking needs of the overall site. The development

will utilize the existing parking spaces along the southern property boundary, while modifying some of the existing vehicle parking to make room for the proposed drive-through restaurant.

As the site is partially developed, the new drive-through will utilize the existing trash enclosure location and maintain pedestrian connection to the east lot. The pedestrian connection will remain, which connects the drive-through restaurant building to the public sidewalk off San Pedro Drive.

To view the overall circulation, setback and building orientation, please refer to the submitted *Site Plan*.

III. ARCHITECTURE MODIFICATIONS

The building and architectural design of the building is proposed to remain generally consistent with the approved building elevations. Although the building prototype is updated, creating a change in the overall building footprint, this modification will be very consistent with the approved plans.

The proposed architecture will be the same material palette consisting of at least three (3) primary materials along each building façade, including:

- Brick Veneer
- Lead-Cote Metal Paneling
- Clear Anodized Aluminum Glazing

Each building facades contains diverse materials and colors that will create dimension and undulation for each building façade. The building also provides undulation along each building wall to help break apart any monotony in texture, plane, or material. In addition to the undulation and material changes throughout each facade, the building will also host varying color changes that will further diversity the plane of each façade

IV. JUSTIFICATION

As required by City of Albuquerque IDO, after the City issues an approval for a development, the approval may be amended as described in Subsection 14-16-6-4(Y). The following are response to the criteria for a minor amendment.

6-4(Y)(2)(a)1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

The building prototype updates were not known at the time the site was approved but are necessary to provide an updated and efficient building.

6-4(Y)(2)(a)2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

The new building prototype (PT22S) is 183 SF smaller than the previous building (PT20S). Therefore, this decrease in building size is less than 10% of the standard as outlined in Table 6-4-4. Due to the smaller building footprint, the drive-through lanes are shifting 5 feet south (along Alameda Blvd), increasing the landscape area between the property line and drive-through lane. These changes do not impact development standards required by City of Albuquerque.

6-4(Y)(2)(a)3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

This amendment does not decrease the total amount of open space in the development. As mentioned above, an additional 5 feet landscape area is being provided between the property line and proposed drive-through.

6-4(Y)(2)(a)4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

The property is not adjacent to development containing residential uses. Additionally, the amendment does not reduce any required building setback for this development.

6-4(Y)(2)(a)5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

This development does not propose residential dwelling units.

6-4(Y)(2)(a)6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

The proposed amendment to the building does not adjust the building design standards. The updated building amendment will be of similar quality and architectural design as the approved design.

6-4(Y)(2)(a)7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

The proposed amendments do not impact the landscape or any required screening or buffering. Additional landscape area will be added between the drive-through and Alameda Boulevard.

6-4(Y)(2)(a)8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

The proposed amendment does not increase the traffic to the site as the building size is being decreased and the drive-through configuration will remain the same as approved. Connection to streets, sidewalks, trails will not change.

6-4(Y)(2)(a)9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

The proposed amendment does not require changes to public infrastructure, as the demands will be the same. Additionally, the access and circulation patterns will also remain the same. The site changes are minimal, which will not create additional demands.

6-4(Y)(2)(a)10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

This amendment will not change any conditions attached to the approval from the Design Review Board.

6-4(Y)(2)(a)11. The amendment does not affect a property in an Overlay zone as regulated pursuant to Part 14-16-3, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

The property is not located within an Overlay zone. Therefore, this amendment does not require approval from a separate governing body.

6-4(Y)(2)(a)12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

This amendment does not modify the proposed land use. The land use will remain a full service restaurant with a 2-lane drive-through, as originally approved.

6-4(Y)(2)(a)13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

The proposed amendment will not create or expand nonconformity as changes will comply with all City of Albuquerque development and design standards.

WHATABURGER

SITE PLAN

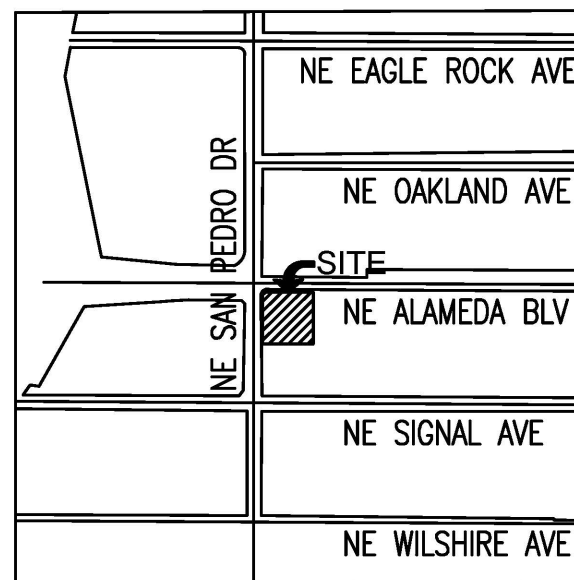
6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM
LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH
BERNALILLO COUNTY, NEW MEXICO.

SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SIDEWALK PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C LOADING ZONE PER GRADING PLANS.
- 3 CONCRETE SIDEWALK, PER C.O.A. STD. DET. DWG. 2430 WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PROVIDE PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 PROVIDE 6' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C PER DET. 13/C2.11.
- 8A PROVIDE 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 9A INSTALL 6" LIT STEEL BOLLARDS PER STRUCTURAL PLANS DET. D4/SS.1.
- 10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B CONCRETE PAVEMENT PER GRADING PLANS.
- 10C EXISTING ASPHALT.
- 11 INSTALL ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 INSTALL DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 INSTALL DRIVE-THRU MENU BOARD. PER STRUCTURAL PLANS DET. D1/SS.1.
- 14 PROVIDE RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 INSTALL 28' HIGH FLAG POLE BY G.C.
- 17 INSTALL FREE STANDING MAILBOX BY G.C.
- 18 INSTALL BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 21 FURNISH AND INSTALL WHEEL STOP PER DET. 4/C2.10.
- 22 PROPOSED "TRASH ENCLOSURE" WITH 6-CUBIC YARD VIP COMPACTOR, DRAIN TO GREASE INTERCEPTOR
- 23 INSTALL LIGHT POLE PER ELECTRICAL PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 INSTALL MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET. 2600-401 & 2600-404
- 30 SIGHT LINE TRIANGLE.
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM 6" TO 0" PER CIVIL PLANS.
- 35 PROPOSED 30" STOP SIGN AT DRIVEWAY. PER C.O.A. STD. DWG. 2600-601
- 36 PROVIDE PAINTED ADA ACCESS AISLE SYMBOL PER DET. 7/C2.11.
- 37 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 11/C2.11.
- 38 PROPOSED "ONE WAY" SIGN, PER C.O.A. STD. DET. 2600-603.

S/T/R
13 11N 3E

VICINITY MAP
SCALE 1:800



SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
7. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
8. ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
9. A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
10. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

SIGHT DISTANCE NOTE

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

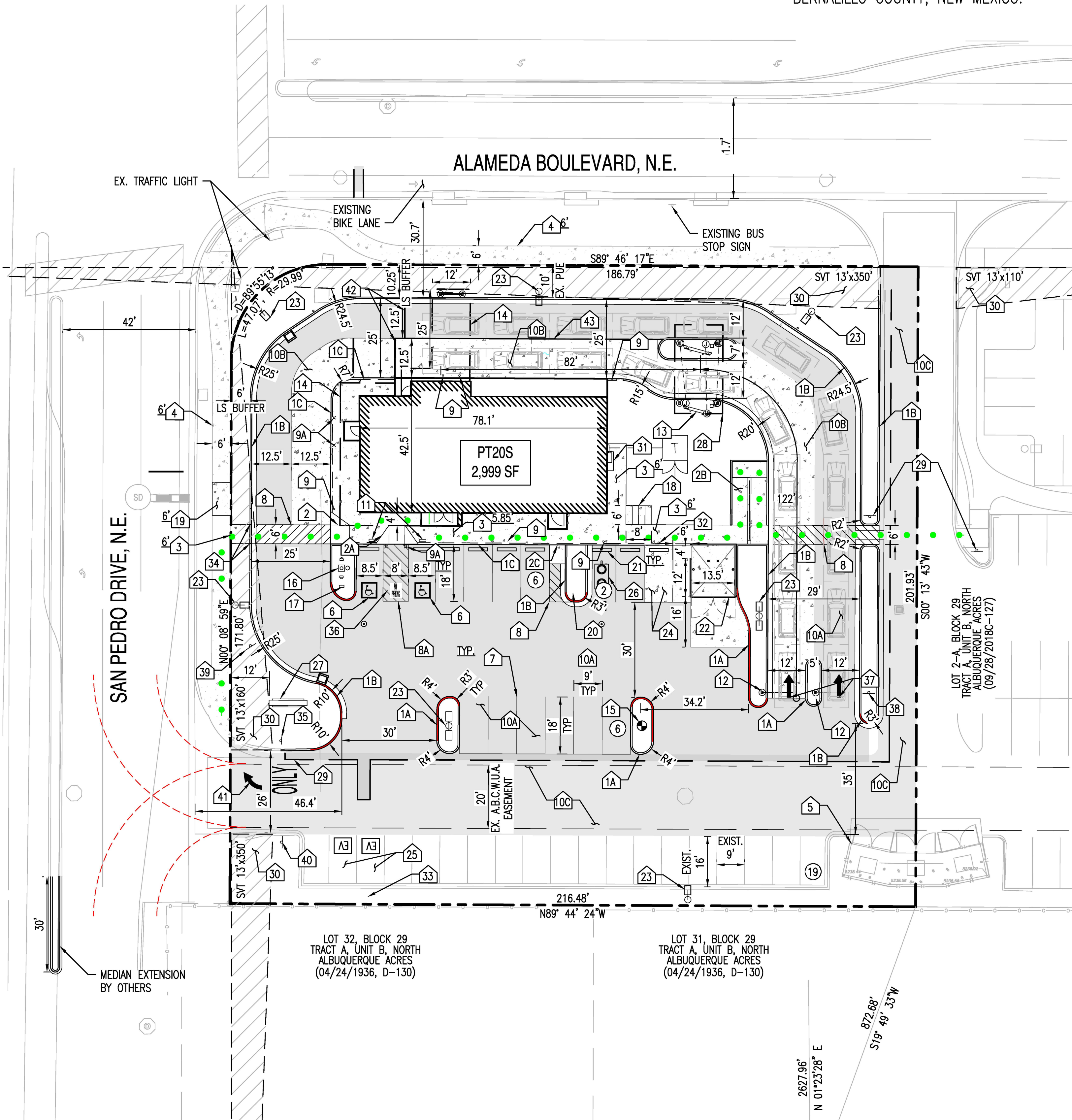
DEVELOPMENT SUMMARY TABLE:

PROJECT ADDRESS:	6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM		
PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU		
UPC:	101806 428134 810229		
ZONING:	NR-BP		
LOT SIZE:	43,565 SF	1.00 AC	
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH		
BUILDING AREA:	2,999 SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED	
RESTAURANT BUILDING:	50 FT.	22 FT.	
LOT STANDARDS	REQUIRED	PROPOSED	
MIN LOT WIDTH:	100 FT.	± 186 FT.	
PARKING REQUIREMENT	REQUIRED	PROPOSED	
VEHICLE (2,965 SF/1,000 SF x 8):	24		
ADA SPACES:	2	33	INCL. 2 EV SPACES
EV SPACES:	2		2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2	
BICYCLE SPACES:	3	4	
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.	
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.	
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.	
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED	
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.	
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.	WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.	

- 39 PROPOSED "DO NOT ENTER" SIGN, PER C.O.A. STD. DET. 2600-603.
- 40 PROPOSED "NO LEFT EXIT" SIGN PER C.O.A. STD. DET. 2600-701.
- 41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
- 42 PROVIDE STOP LINE WITH 12" WIDE WHITE PAINT.
- 43 PROVIDE DIVIDING LINE WITH 4" WIDE YELLOW PAINT.

PROPOSED LEGEND:

	VERTICAL CURB		CONCRETE PAVEMENT/SIDEWALK
	CURB AND GUTTER		HEAVY DUTY PAVEMENT
	PARKING COUNT		EXISTING PAVEMENT
	PAVEMENT STRIPING		ACCESSIBLE PEDESTRIAN PATH
	FIRE HYDRANT		
	TRANSFORMER		28'/48' FIRE ACCESS TURN RADIUS
	RED PAINTED FIRE CURB		RE: DET. 6/C2.10



DRB SITE DEVELOPMENT PLAN APPROVAL:

Ernest Armijo

Traffic Engineering, Transportation Division
Blaine Carter
Blaine Carter (Aug 3, 2022 14:03 MDT)
ABCWUA

Christina Sandoval
Christina Sandoval (Aug 3, 2022 17:22 MDT)
Parks and Recreation Department

Shahab Bazar
City Engineer/Hydrology

Aug 5, 2022

Date
Aug 9, 2022
Date
Aug 5, 2022
Date
Aug 4, 2022
Date

Jeff Palko

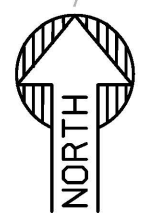
Jeff Palko (Aug 3, 2022 16:26 MDT)
Code Enforcement
SEE NEXT SHEET

Solid Waste Management
Jay Rodenbeck

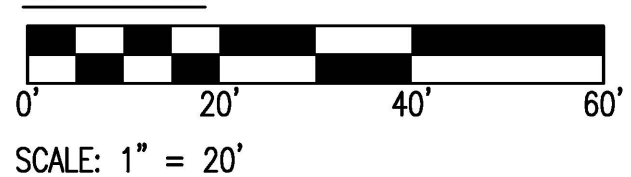
DRB Chairperson, Planning Department

Aug 5, 2022

Date
Aug 22, 2022
Date



SITE PLAN



SUSTAINABILITY
ENGINEERING
GROUP

SEG



CALL NM ONE-CALL SYSTEM SEVEN
(7) DAYS PRIOR TO ANY EXCAVATION

PROJECT
WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

LOCATION
6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DRAWN
DESIGNED
SC
FINAL QC
PROJ. MGR.

GA
LP
SC
AF

DATE:

06/22/2022

ISSUED FOR:

DRB

REVISION NO.:

DATE:

JOB NO.:

210907

SHEET TITLE:

PRELIMINARY SITE PLAN

PAGE NO.:

SHEET NO.:

1 OF 3

C2.00

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WHATABURGER

SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM
LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH
BERNALILLO COUNTY, NEW MEXICO.

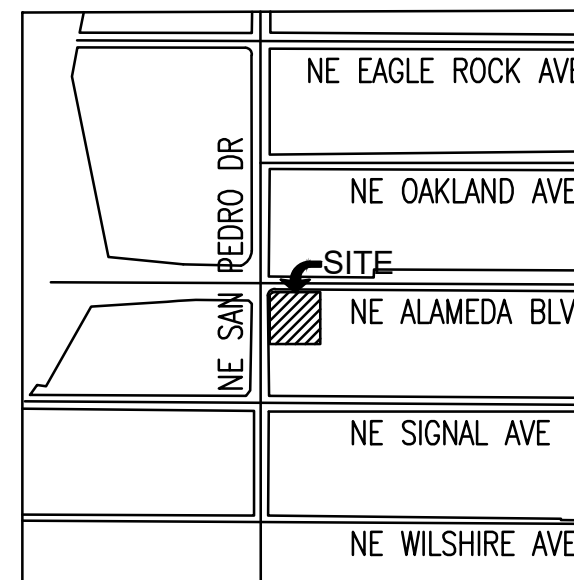
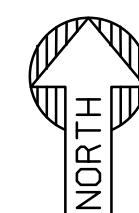
SITE PLAN KEYNOTES:

- 1A CONSTRUCT 6" VERTICAL CURB PER GRADING PLANS.
- 1B CONSTRUCT 6" CURB AND GUTTER PER GRADING PLANS.
- 1C CONSTRUCT TURNDOWN SIDEWALK PER GRADING PLANS.
- 2 CONSTRUCT ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A CONSTRUCT ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B CONSTRUCT ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C CONSTRUCT LOADING ZONE PER GRADING PLANS.
- 3 CONSTRUCT CONCRETE SIDEWALK, WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PROVIDE PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 PROVIDE 6' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45° 2 FEET O.C PER DET. 13/C2.11.
- 8A PROVIDE 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45° 2 FEET O.C.
- 9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 9A INSTALL 6" LIT STEEL BOLLARDS PER DET. 3/C2.10.
- 10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B CONCRETE PAVEMENT PER GRADING PLANS.
- 10C EXISTING ASPHALT.
- 11 INSTALL ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 INSTALL DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 INSTALL DRIVE-THRU MENU BOARD. PER DET. 6/C2.10.
- 14 PROVIDE RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 INSTALL 28" HIGH FLAG POLE.
- 17 INSTALL FREE STANDING MAILBOX BY G.C.
- 18 INSTALL BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 20 CONSTRUCT CONCRETE ISLANDS NOSE, TYPICAL AT ISLANDS.
- 21 WHEEL STOP PER DET. 4/C2.10.
- 22 PROVIDE GRANITE STRIPS. REFER TO LANDSCAPE PLANS FOR DETAIL.
- 23 INSTALL LIGHT POLE PER PHOTOMETRIC PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 INSTALL GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 INSTALL MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 PROVIDE SAWCUT PER CIVIL PLANS.
- 30 SVT 11'x11'.
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM TO 0" PER CIVIL PLANS.
- 35 PROPOSED STOP SIGN AT DRIVEWAY.
- 36 PROVIDE PAINTED ADA ACCESS AISLE SYMBOL PER DET. 7/C2.11.
- 37 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 11/C2.11.
- 38 PROPOSED "ONE WAY" SIGN, PER C.O.A. STD. DET. 2600-603.
- 39 PROPOSED "DO NOT ENTER" SIGN, PER C.O.A. STD. DET. 2600-603.

S/T/R
13 11N 3E

VICINITY MAP

SCALE 1:800



SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
7. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
8. ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
9. A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
10. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

SIGHT DISTANCE NOTE

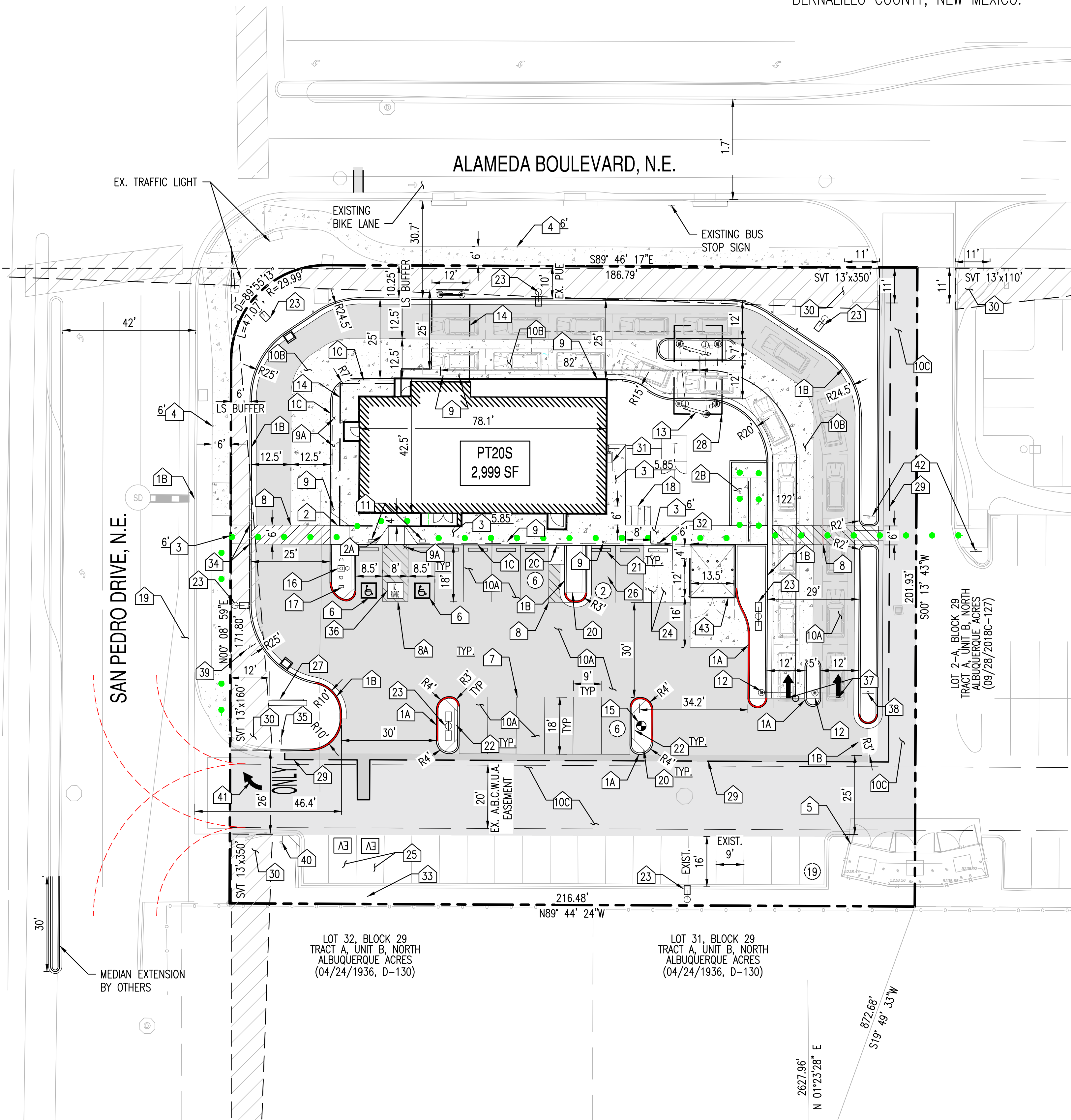
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

DEVELOPMENT SUMMARY TABLE:				
PROJECT ADDRESS:	6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM			
PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU			
UPC:	101806 428134 810229			
ZONING:	NR-BP			
LOT SIZE:	43,565	SF	1.00	AC
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH			
BUILDING AREA:	2,999	SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED		
RESTAURANT BUILDING:	50 FT.	22 FT.		
LOT STANDARDS	REQUIRED	PROPOSED		
MIN LOT WIDTH:	100 FT.	± 186 FT.		
PARKING REQUIREMENT	REQUIRED	PROPOSED		
VEHICLE (2,965 SF/1,000 SF x 8):	24			
ADA SPACES:	2	33	INCL.	2 EV SPACES
EV SPACES:	2			2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2		
BICYCLE SPACES:	3	4		
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED		
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.		
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.		
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.		
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED		
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.		
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.		WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.		

- 40 PROPOSED "NO LEFT EXIT" SIGN PER C.O.A. STD. DET. 2600-701.
- 41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
- 42 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET.
- 43 PROPOSED "TRASH ENCLOSURE" WITH 6-CUBIC YARD VIP COMPACTOR, DRAIN TO GREASE INTERCEPTOR

PROPOSED LEGEND:

	VERTICAL CURB		CONCRETE PAVEMENT/SIDEWALK
	CURB AND GUTTER		HEAVY DUTY PAVEMENT
	PARKING COUNT		EXISTING PAVEMENT
	PAVEMENT STRIPING		ACCESSIBLE PEDESTRIAN PATH
	FIRE HYDRANT		
	TRANSFORMER		28'/48' FIRE ACCESS TURN RADIUS
			RED PAINTED FIRE CURB RE: DET. 6/C2.10



DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

Date

Code Enforcement

Date

ABCWUA

Date

Herman Gallegos
Solid Waste Management

05-03-22
Date

Parks and Recreation Department

Date

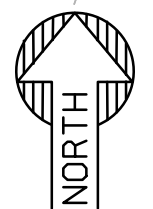
DRB Chairperson, Planning Department

Date

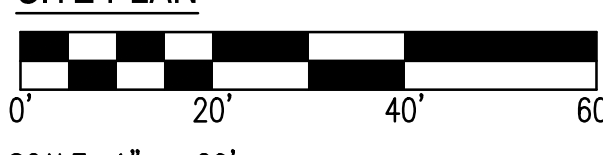
City Engineer/Hydrology

Date

Approved for access by the Solid Waste Department for 1 VIP Compactor and the recycle will be disposed of in the existing recycle dumpster
Herman Gallegos 05-03-22 *Herman Gallegos*



SITE PLAN



SCALE: 1" = 20'

SUSTAINABILITY
ENGINEERING
GROUP

SEG



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROJECT
WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

DRAWN

DESIGNED

QC

FINAL QC

PROJ. MGR.

DATE:

ISSUED FOR:

PERMITS

PR-2018-001346

REVISION NO.:

DATE:

JOB NO.:

210907

SHEET TITLE:

SITE PLAN

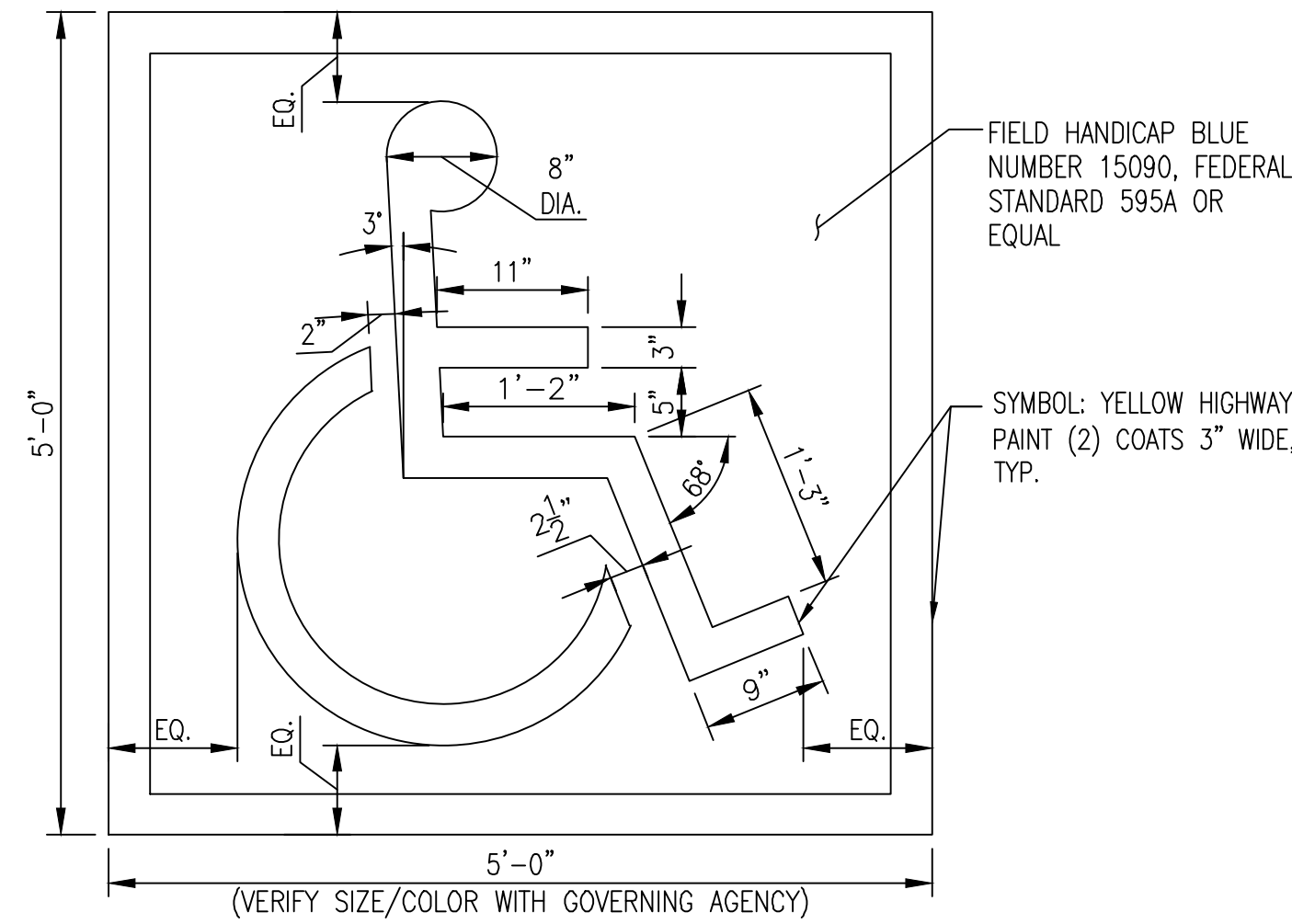
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SHEET NO.:

C2.00

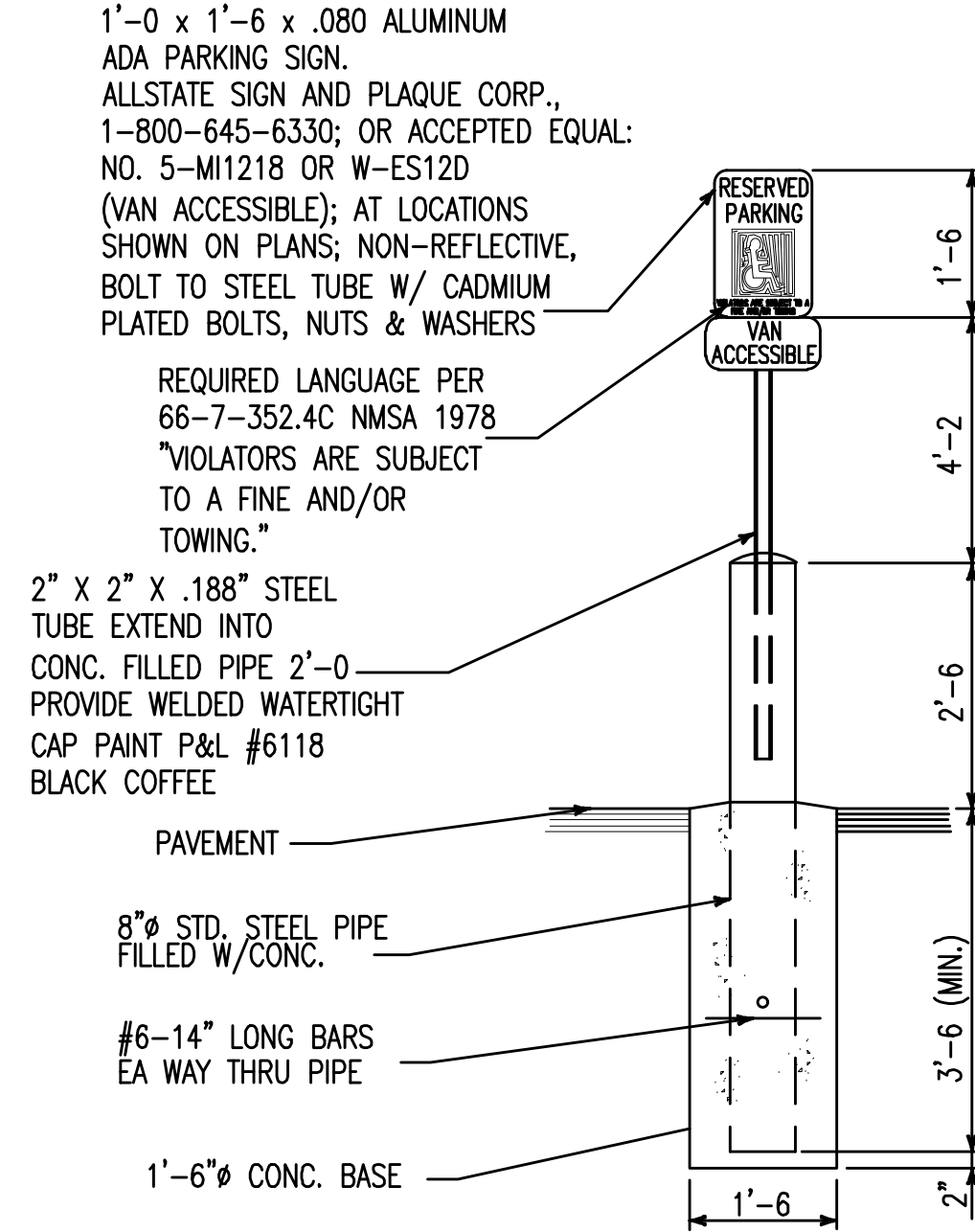
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SYMBOL OF ACCESSIBILITY



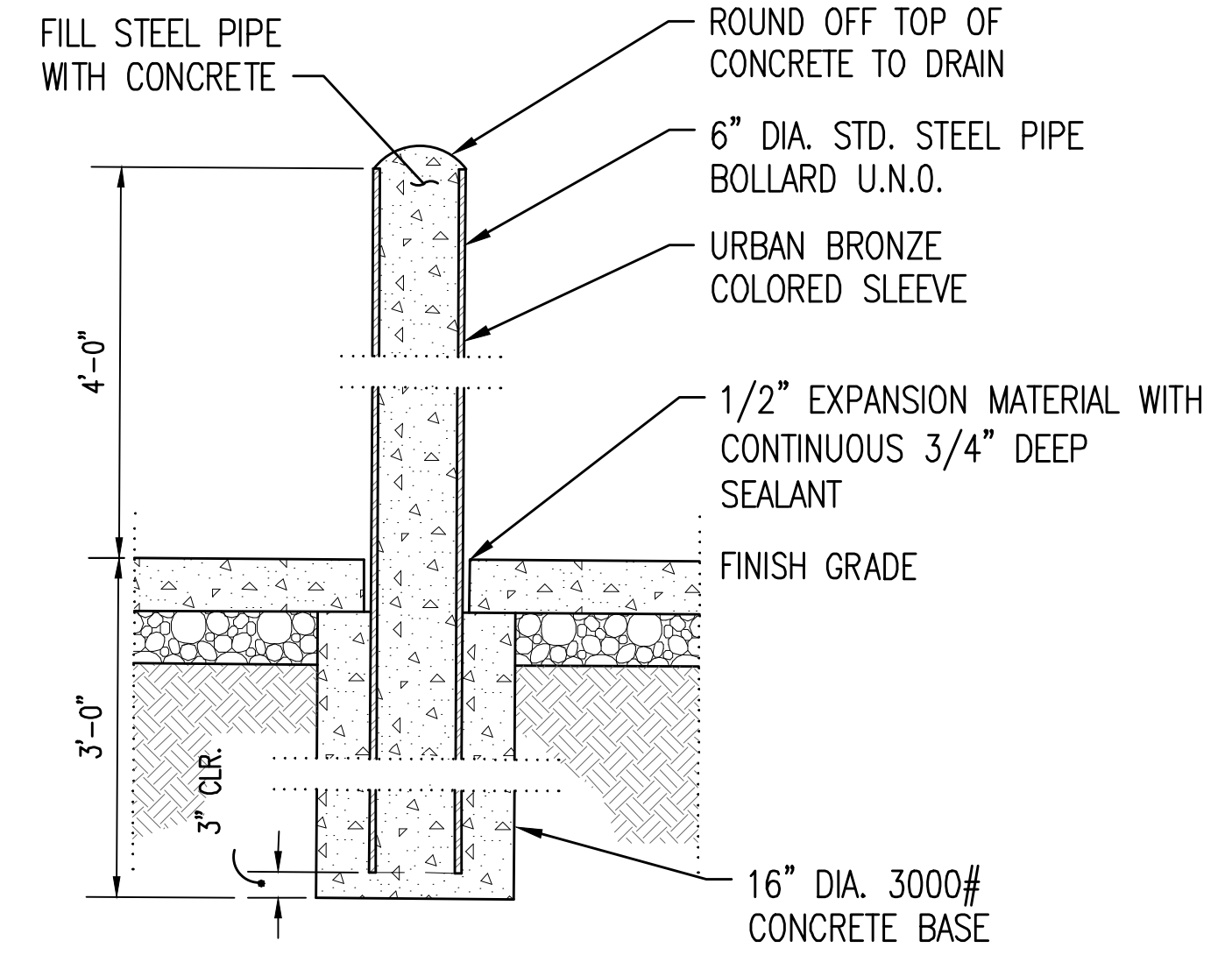
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ACCESSIBLE PARKING SIGN



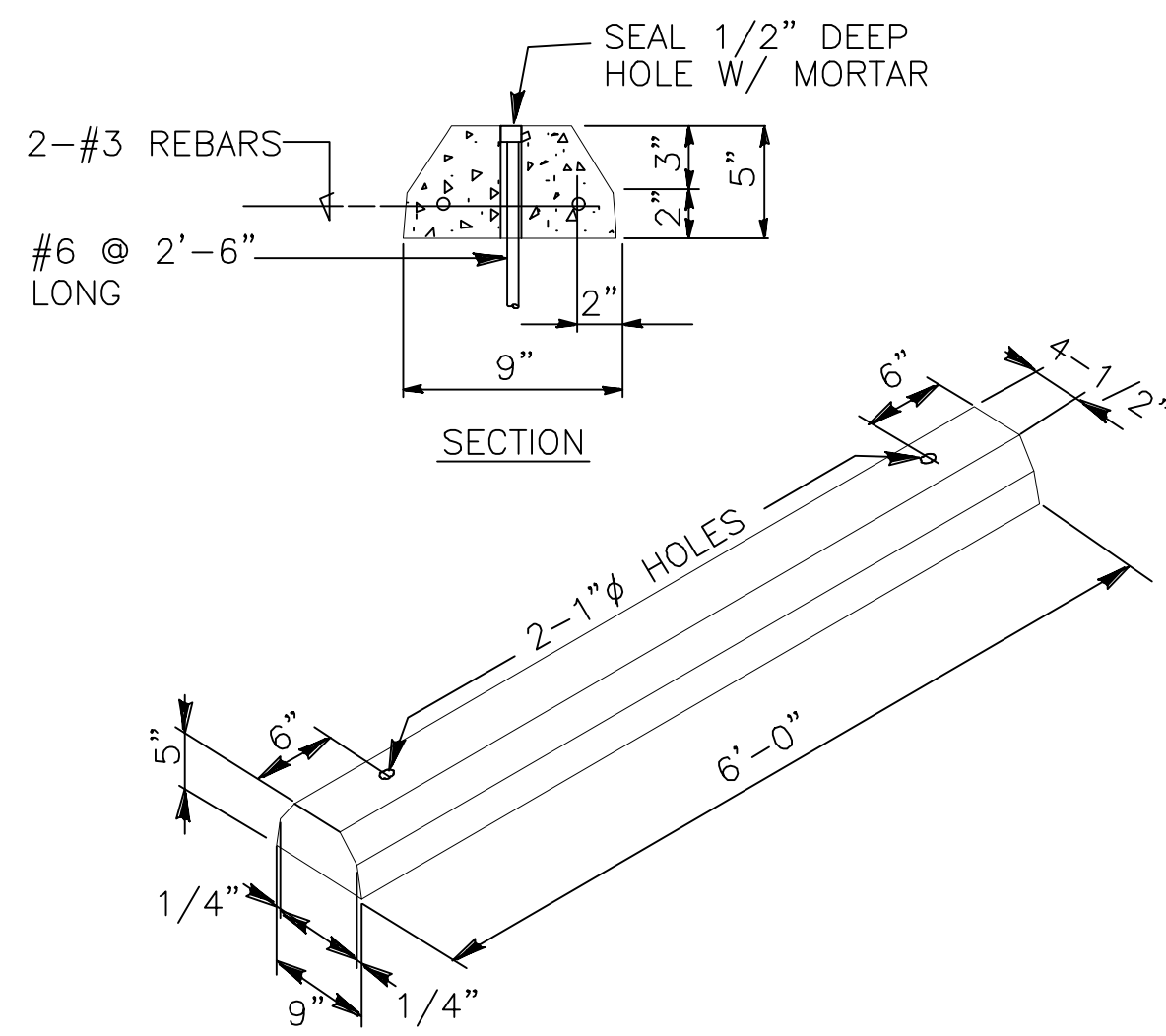
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STEEL PIPE BOLLARD IN CONCRETE
N.T.S.



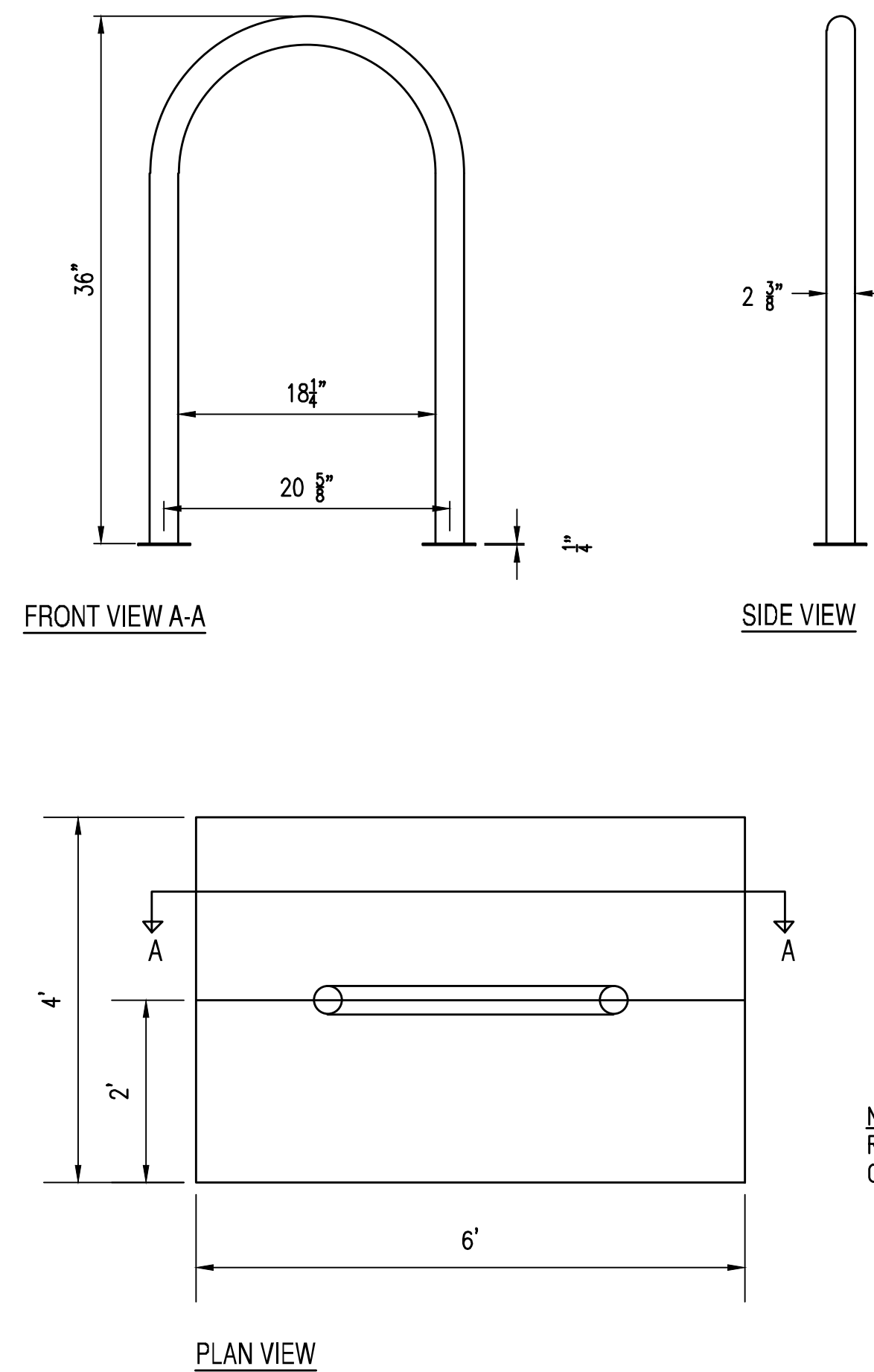
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PRECAST CONCRETE WHEEL STOP
N.T.S.



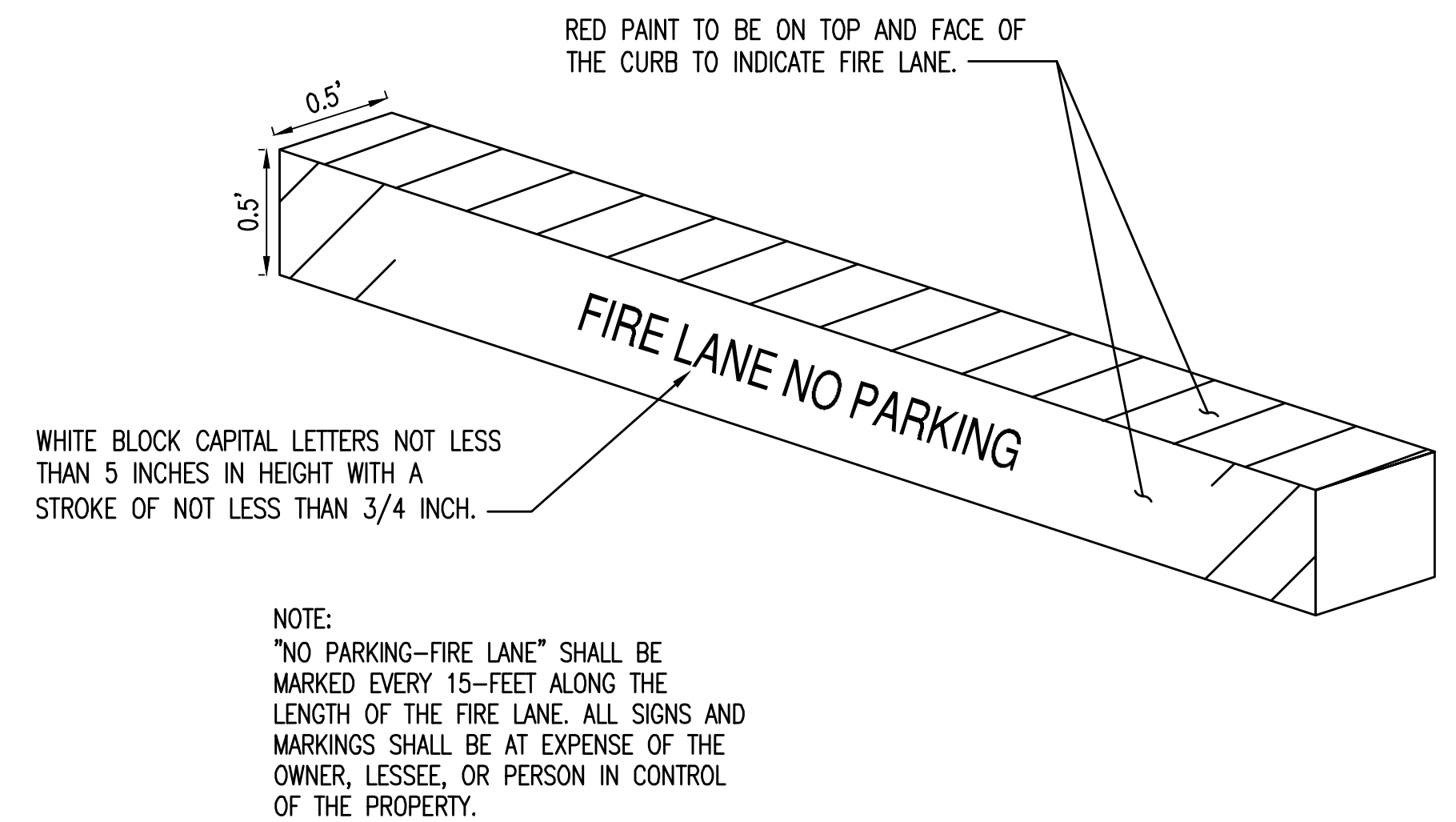
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BICYCLE RACK



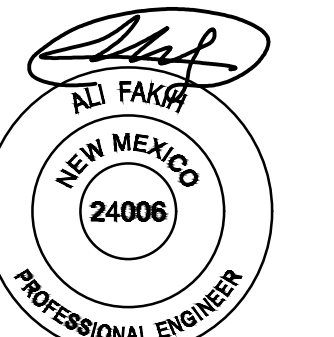
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RED PAINTED FIRE CURB



6



SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY
ENGINEERING
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.559.3534



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROJECT
WHATABURGER NM
SEC ALAMEDA, BLVD NE
& SAN PEDRO AVE NE

LOCATION
6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DRAWN: GA 01/27/2022
DESIGNED: LP 01/27/2022
QC: SC 06/14/2022
PROJ. MGR: AF 06/22/2022

DATE: 06/22/2022
ISSUED FOR: DRB
PR-2018-001346
SI-2022-00184

REVISION NO.: DATE:
1.
2.
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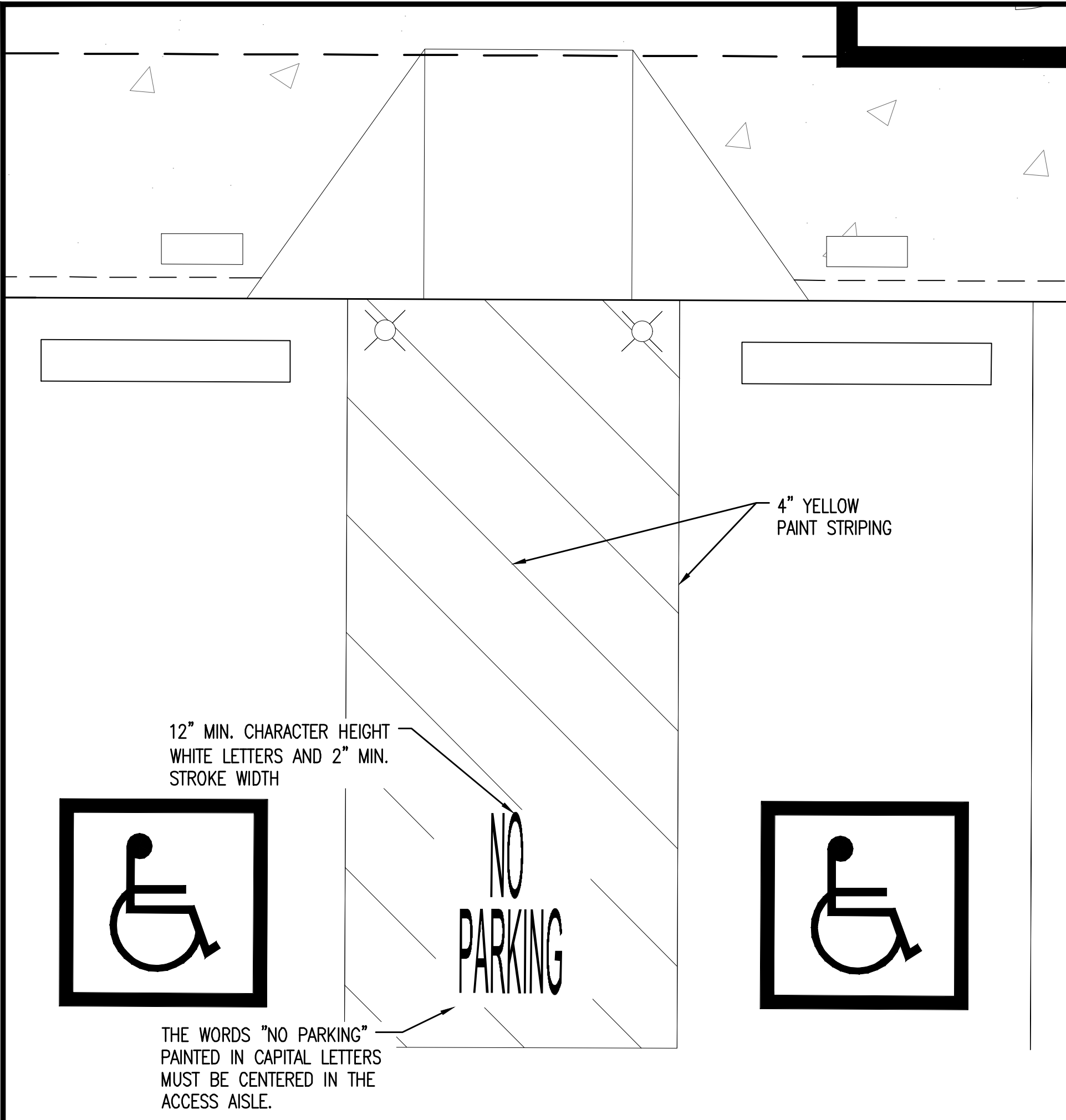
JOB NO.: 210907

SHEET TITLE:

PRELIMINARY SITE
PLAN DETAILS

PAGE NO.: 2 OF 3
SHEET NO.: C2.10

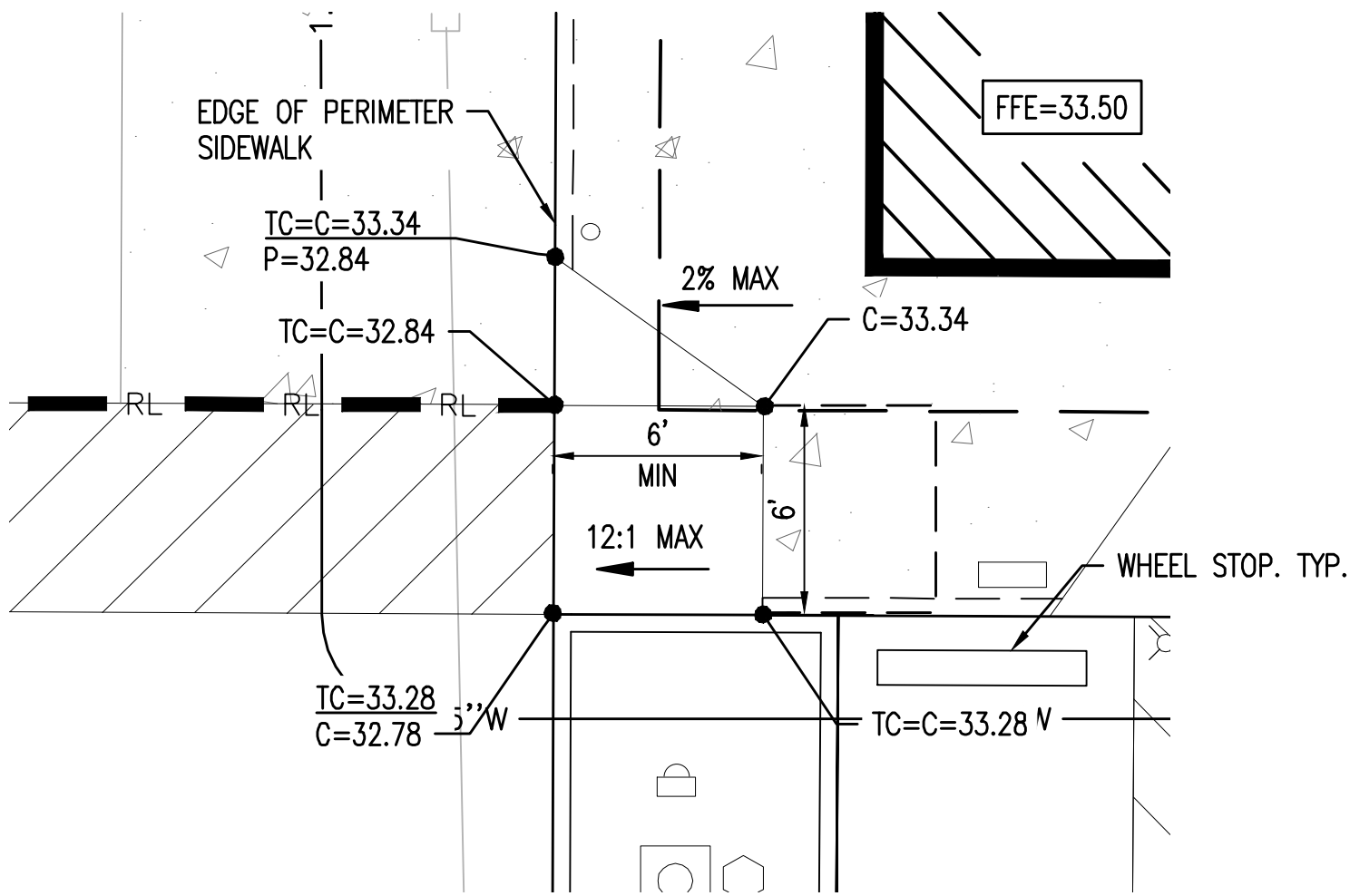
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ADA ACCESS AISLE



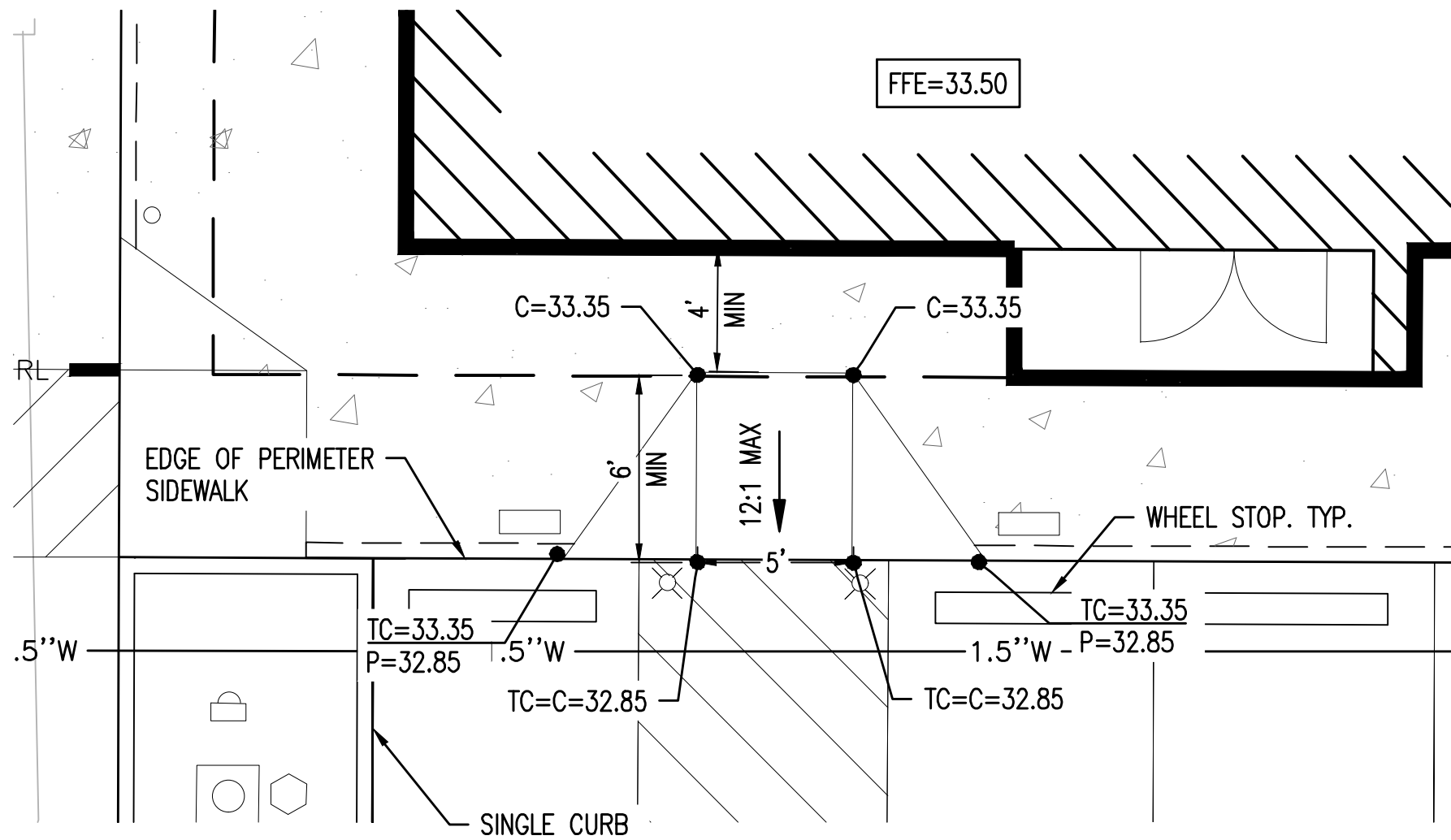
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ADA ACCESSIBLE RAMP



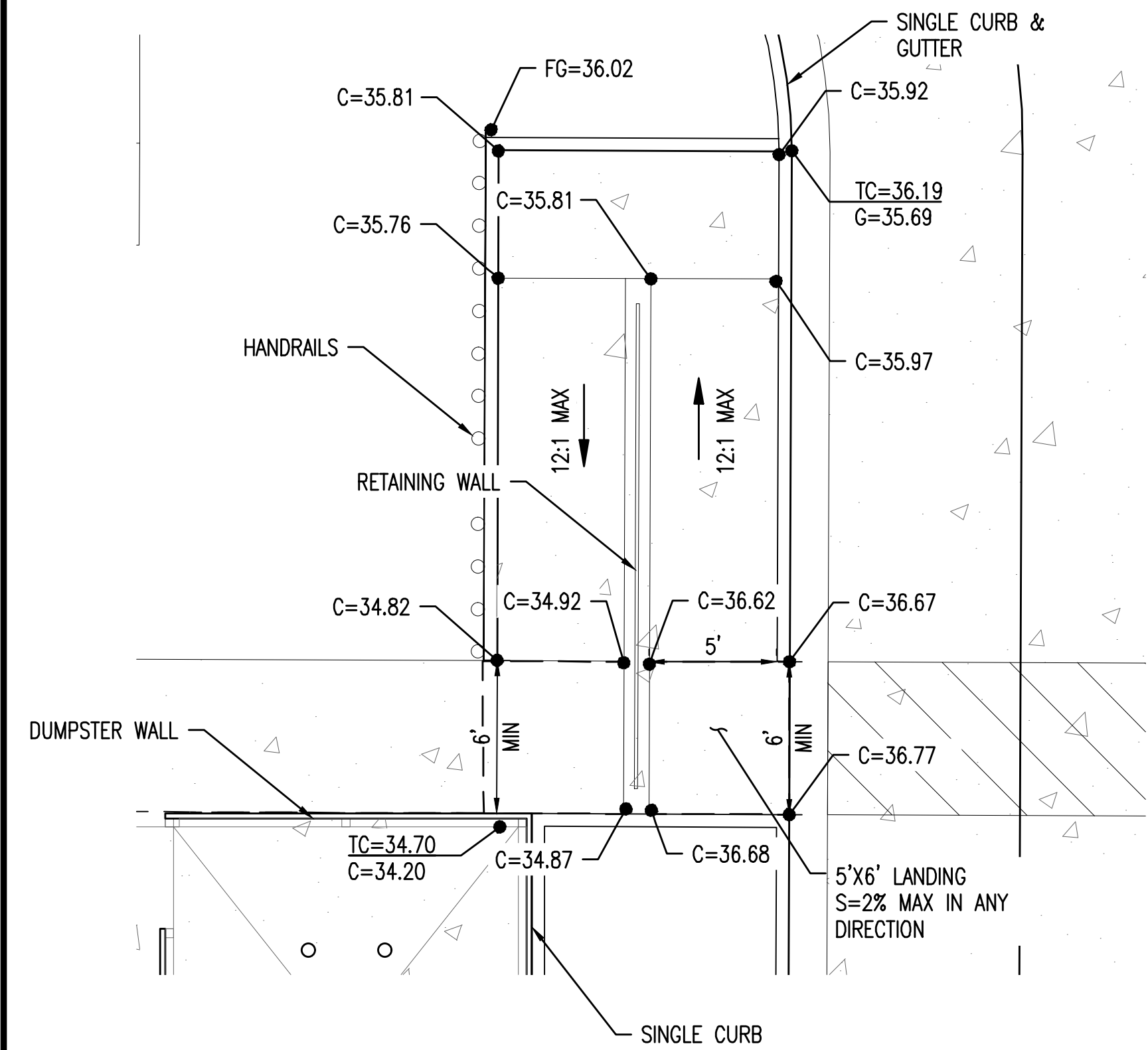
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ADA ACCESSIBLE RAMP



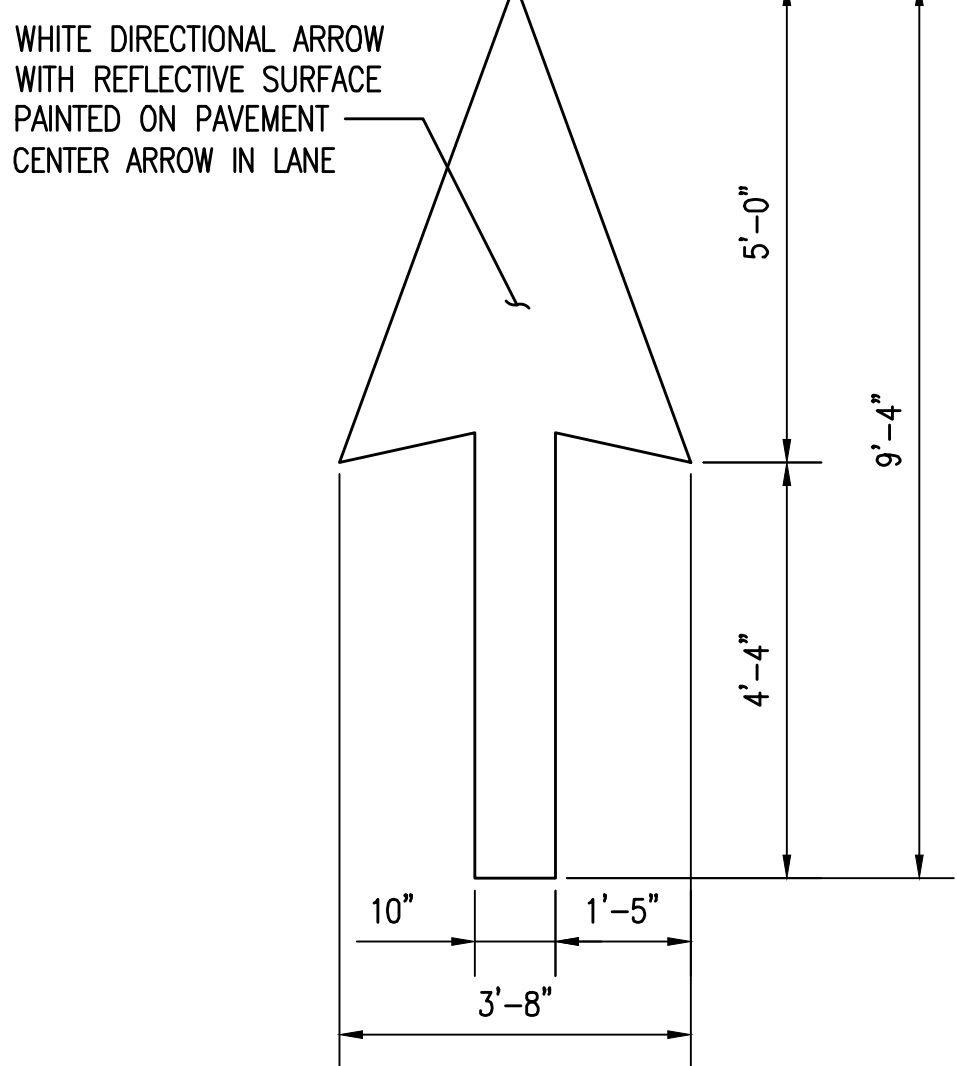
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ADA ACCESSIBLE RAMP



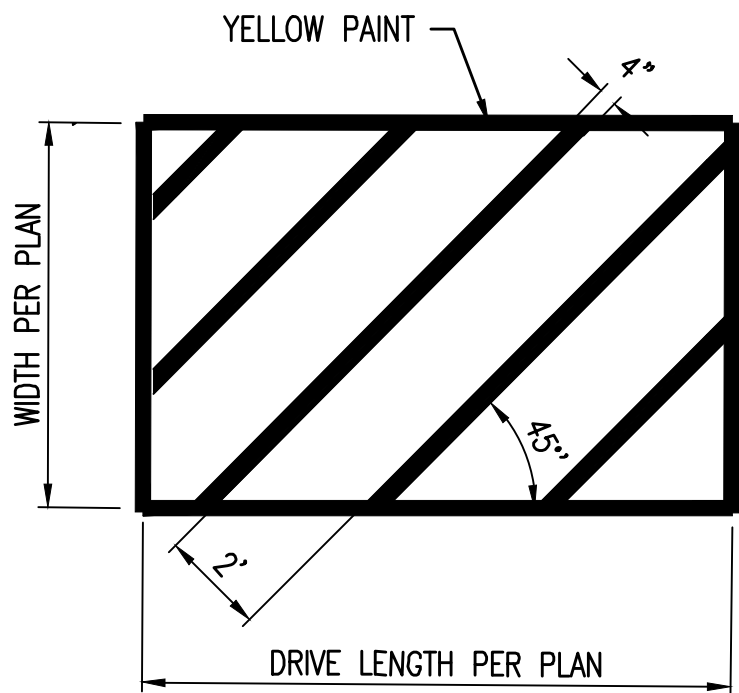
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DIRECTIONAL ARROW



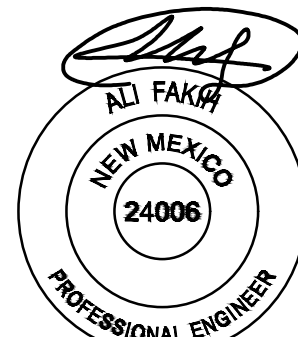
11



CROSSWALK STRIPING DETAIL
N.T.S.



12



SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY
ENGINEERING
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL 480.588.7226 FAX 480.559.3534



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PROJECT
WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

LOCATION
6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DRAWN: GA 01/27/2022
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REVISION NO.	DATE
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JOB NO.: 210907

SHEET TITLE:

PRELIMINARY SITE
PLAN DETAILS

PAGE NO.:
3 OF 3

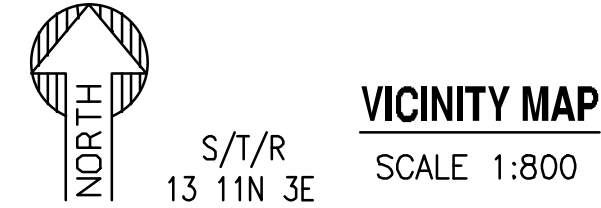
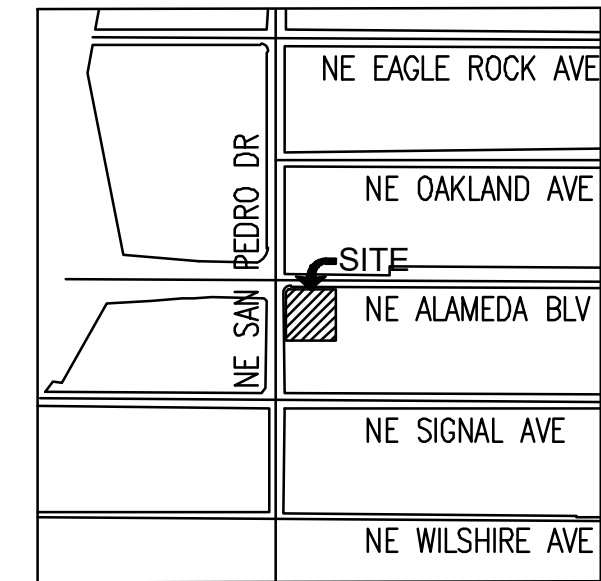
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WHATABURGER

GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST
BERNALILLO COUNTY, NEW MEXICO.



GRADING CONSTRUCTION KEY NOTES

- 1 MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 CONSTRUCT 6" HEADER CURB PER C.O.A. STD. DWG. 2415C
- 2A CONSTRUCT 6" CURB AND GUTTER PER C.O.A. STD DWG 2415A.
- 3 CONSTRUCT ADA RAMP. PER SITE PLANS.
- 3B CONSTRUCT DELIVERY RAMP PER DET. 2/C3.10.
- 4 FURNISH AND INSTALL NYLOPLAST DRAIN BASIN WITH 30" RISER AND 2'X2' STEEL GRATE PER DET. 13/C3.11 & 14/C3.11.
- 5 FURNISH AND INSTALL HDPE DOUBLE WALL PIPE, CLASS 100; LENGTH, SIZE AND SLOPE PER PLAN.
- 6 FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
- 7 CONSTRUCT HEAVY DUTY PAVEMENT PER DETAIL 5/C3.10.
- 8 FURNISH AND INSTALL 4' MANHOLE PER C.O.A. 2208.
- 9 CONSTRUCT CONCRETE SIDEWALK PER C.O.A. STD DWG 2430. WIDTH PER PLAN.
- 10 CONSTRUCT PAVEMENT WITH 2% MAXIMUM SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING STALLS AND 2% MAXIMUM CROSS SLOPE AT ADA ACCESSIBLE ROUTE.
- 11 CONSTRUCT CONCRETE PAVEMENT PER DETAIL 6/C3.10.
- 12 CAUTION! PROTECT EXISTING GAS AND POWER UTILITIES.
- 13 PAVING TRANSITION PER DET. 7/C3.10.
- 14 TRANSITION TO EXISTING PAVEMENT PER DET. 1/C3.10.
- 15 SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.
- 16 CONSTRUCT 3' CURB OPENING PER DET. 3/C3.10.
- 17 TURN DOWN SIDEWALK. PER STRUCTURAL PLANS DET. A2/S3.1.
- 18 TURN DOWN SLAB. PER STRUCTURAL PLANS DET. C2/S3.1.
- 19 5' CURB TRANSITION FROM 6" TO 0" REVEAL. PER DET. 9/C3.10.
- 20 CONSTRUCT TRASH ENCLOSURE WITH SANITARY SEWER DRAIN. REFER TO ARCHITECTURAL PLANS.
- 21

EXISTING CONDITIONS AND PROPOSED DEVELOPMENT:

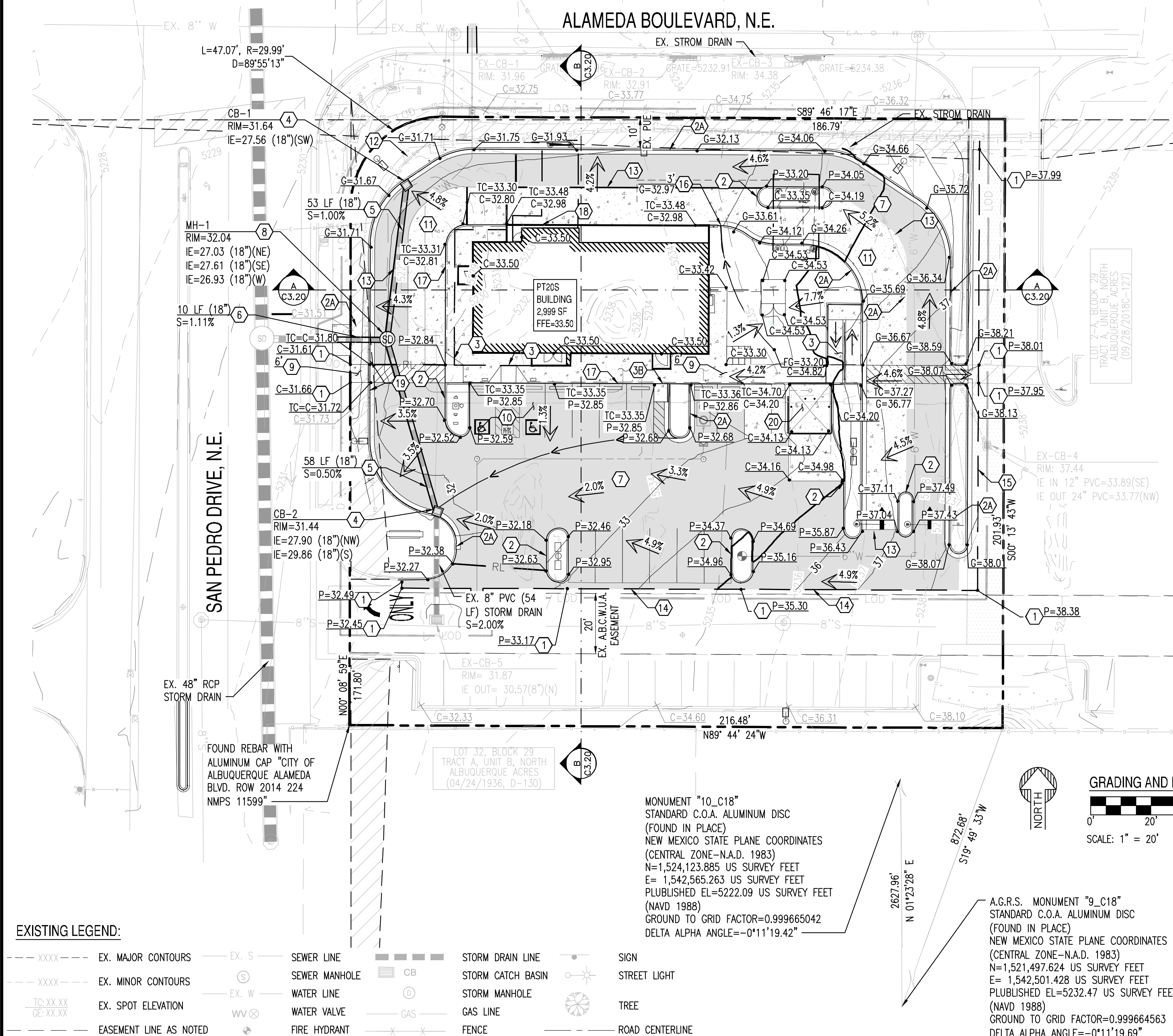
THE EXISTING SITE IS PARTIALLY DEVELOPED. THE SOUTHERN PORTION OF THE PROPERTY INCLUDES A PARKING LOT WITH LANDSCAPE ISLANDS WHILE THE NORTH AREA REMAINS UNDEVELOPED WITH AN EXISTING DRAINAGE POND, DIRT PILES AND STORAGE CONTAINER. DRAINAGE STRUCTURES, SEWER AND WATER LINES, AND DRY UTILITIES SUCH AS POWER, GAS AND ELECTRICITY EXIST WITHIN THE SITE. LOT ELEVATION DROP FROM 1,238' AT THE EAST PROPERTY LINE TO ABOUT 1,232' AT THE WEST PROPERTY LINE.

THE PROJECT WILL CONSIST IN THE DEMOLITION OF MOST OF THE EXISTING SOUTH PARKING LOT AND THE CONSTRUCTION OF A FAST FOOD RESTAURANT (2,999 SF) WITH A DRIVE-THRU, PARKING AREA, AND DESIGNATED LANDSCAPE.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

(SPECIAL ORDER 19 ~ "S0-19")

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
2. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE 95%.
7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
9. FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.



EXISTING LEGEND:

--- XXXX ---	EX. MAJOR CONTOURS	EX. S	SEWER LINE	--- ---	STORM DRAIN LINE	---	SIGN
--- XXXX ---	EX. MINOR CONTOURS	EX. W	SEWER MANHOLE	CB	STORM CATCH BASIN	---	STREET LIGHT
TC=XX.XX GE=XX.XX	EX. SPOT ELEVATION	WV	WATER LINE	---	STORM MANHOLE	---	TREE
---	EASEMENT LINE AS NOTED	---	WATER VALVE	---	GAS LINE	---	ROAD CENTERLINE
		---	FIRE HYDRANT	---	FENCE	---	

PROPOSED GRADING LEGEND:

G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	---	PROPERTY LINE	---	LOC	---	LIMIT OF ONSITE CONSTRUCTION	SD	STORM MANHOLE	---	CONCRETE PAVEMENT
P=XX.XX	PAVEMENT ELEVATION	---	CURB AND GUTTER	---	---	---	FLOW ARROW	---	WATER METER	---	HEAVY DUTY PAVEMENT
C=XX.XX	CONCRETE ELEVATION	---	VERTICAL CURB	---	---	---	CATCH BASIN	---	GATE VALVE	---	STORM INLET
		---	RL	---	---	---	STORM PIPE	---	FIRE HYDRANT	---	

NOTE:
INVERT ELEVATIONS TO BE VERIFIED IN FIELD.



SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY
ENGINEERING
GROUP

SEG



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROJECT
WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

LOCATION
6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DATE: 06/22/2022
DRAWN: GA 01/27/2022
DESIGNED: LP 01/27/2022
QC: SC 06/14/2022
FINAL QC: AF 06/22/2022
PROJ. MGR: AF 06/22/2022

ISSUED FOR: DRB
PR-2018-001346
SI-2022-00184

REVISION NO.: DATE:

1	
2	
3	
4	

JOB NO.: 210907

SHEET TITLE:

GRADING AND
DRAINAGE PLAN

PAGE NO.: 1 OF 5
SHEET NO.: C3.00

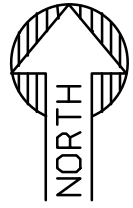
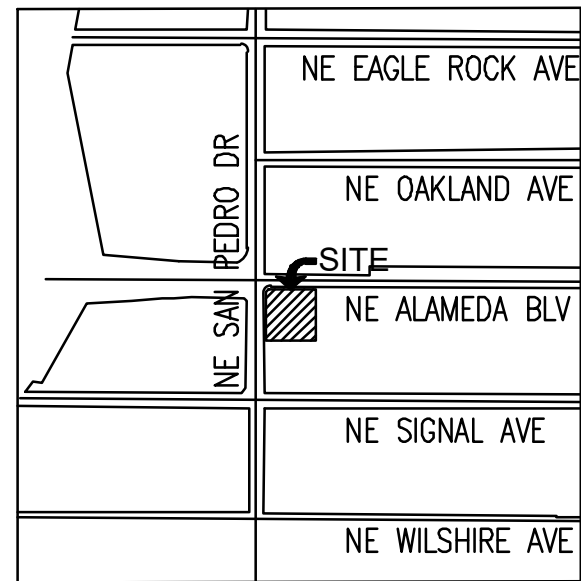
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LOCATION: Z:\SHARED\PROJECTS\WHATABURGER\ALBUQUERQUE, NM - SVC ALAMEDA BLVD & SAN PEDRO AVE - 21090\11 CAD (SEG)\1.4 CD\SD\0210907-C3.00-C3.01.DWG SAVED BY: ESAUL REYES DATE: 6/22/2022

WHATABURGER

OFF-SITE GRADING AND DRAINAGE PLAN

6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST
BERNALILLO COUNTY, NEW MEXICO.



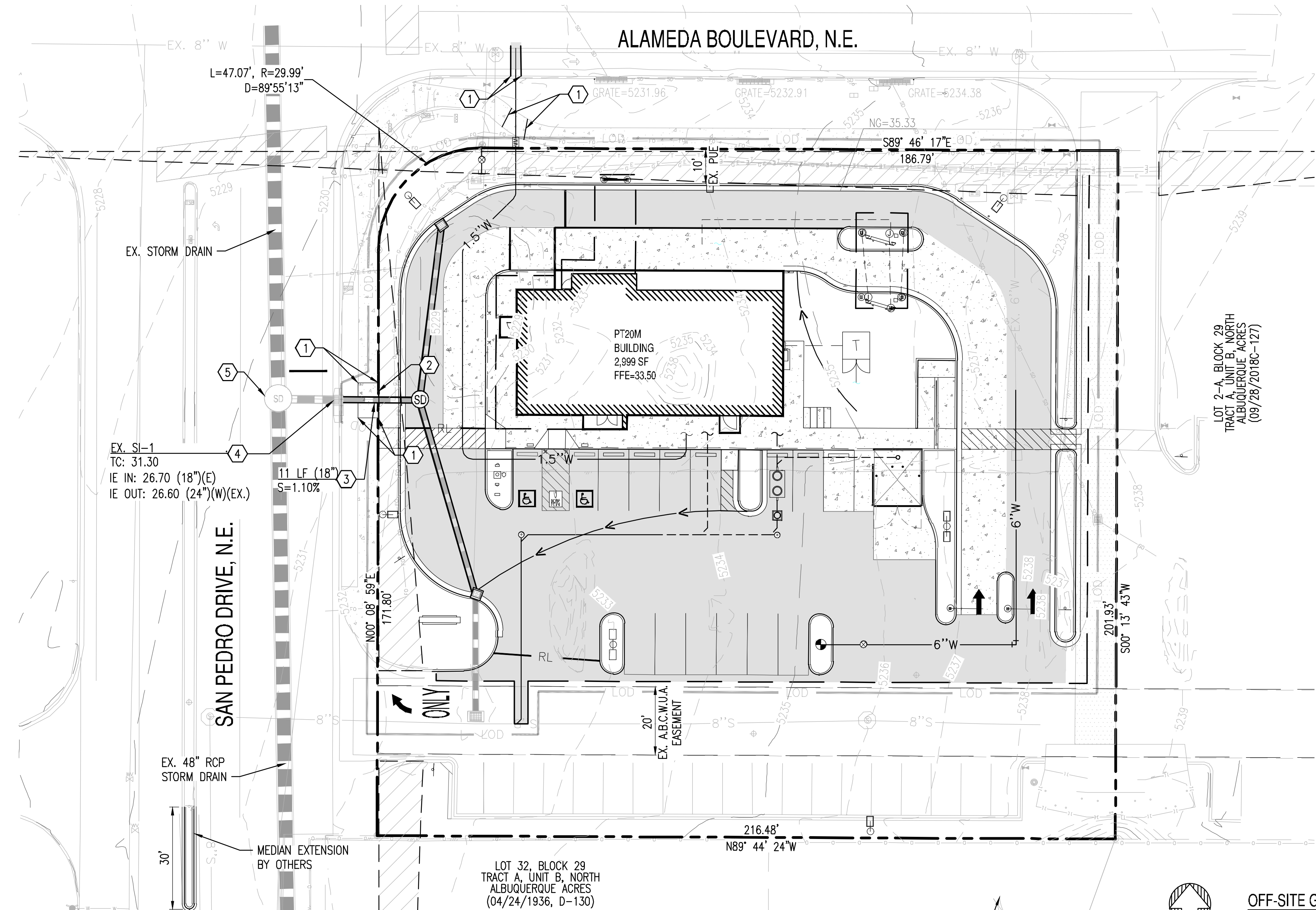
S/T/R
13 11N 3E

VICINITY MAP
SCALE 1:800

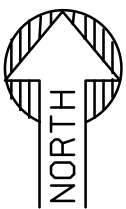
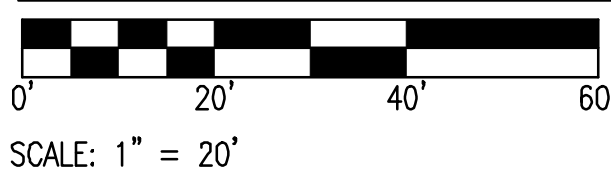
GRADING CONSTRUCTION KEY NOTES

- 1 MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED FOR UTILITY CONSTRUCTION. REMOVE TO NEAREST JOINT.
- 3 FURNISH AND INSTALL REINFORCED CLASS III CONCRETE PIPE, LENGTH, SIZE AND SLOPE PER PLAN.
- 4 CONNECT PIPE TO EXISTING PUBLIC STORM INLET.
- 5 EXISTING PUBLIC 8' DIA MANHOLE

NOTE:
INVERT ELEVATIONS TO BE VERIFIED IN FIELD.



OFF-SITE GRADING AND DRAINAGE PLAN



MONUMENT "10_C18"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,524,123.885 US SURVEY FEET
E= 1,542,565.263 US SURVEY FEET
PLUBLISHED EL=5222.09 US SURVEY FEET
(NAVD 1988)
GROUND TO GRID FACTOR=0.999665042
DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9_C18"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,521,497.624 US SURVEY FEET
E= 1,542,501.428 US SURVEY FEET
PLUBLISHED EL=5232.47 US SURVEY FEET
(NAVD 1988)
GROUND TO GRID FACTOR=0.999664563
DELTA ALPHA ANGLE=-0°11'19.69"

EXISTING LEGEND:

--- XXXX ---	EX. MAJOR CONTOURS	--- EX. S ---	SEWER LINE	--- CB ---	STORM DRAIN LINE	--- SIGN ---	SIGN
--- XXXX ---	EX. MINOR CONTOURS	--- EX. W ---	WATER LINE	--- CB ---	STORM CATCH BASIN	--- STREET LIGHT ---	STREET LIGHT
TC: XX.XX GE: XX.XX	EX. SPOT ELEVATION	--- VV ---	WATER VALVE	--- GAS ---	STORM MANHOLE	--- TREE ---	TREE
---	EASEMENT LINE AS NOTED	--- F ---	FIRE HYDRANT	---	GAS LINE	---	ROAD CENTERLINE

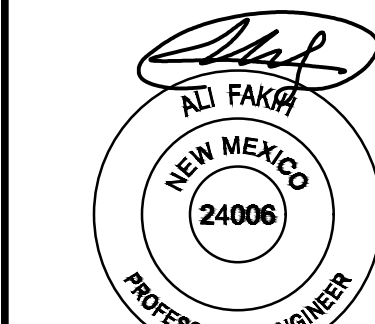
PROPOSED GRADING LEGEND:

G=XX.XX	GUTTER ELEVATION, TC = G+0.5'	--- LOC ---	LIMIT OF ONSITE CONSTRUCTION	--- SD ---	STORM MANHOLE	--- CONCRETE PAVEMENT ---	CONCRETE PAVEMENT
P=XX.XX	PAVEMENT ELEVATION	--- CURB AND GUTTER ---	CURB AND GUTTER	--- WM ---	WATER METER	--- HEAVY DUTY PAVEMENT ---	HEAVY DUTY PAVEMENT
C=XX.XX	CONCRETE ELEVATION	--- RL ---	RIDGELINE	---	GATE VALVE	---	STORM INLET
		---	STORM PIPE	---	FIRE HYDRANT		



CONSULTANTS

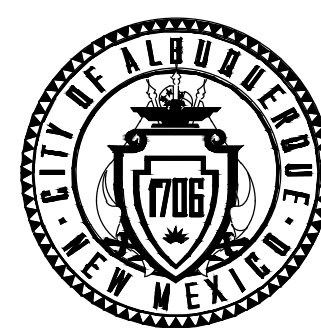
BENCH MARKS



SEAL
SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

NO.	DATE	DESCRIPTION	BY
		CONTRACTOR	
		AS-BUILT INFORMATION	
		WORK STAKED BY:	
		INSPECTOR'S ACCEPTANCE BY:	
		FIELD VERIFICATION BY:	
		DRAWINGS CORRECTED BY:	

DESIGNED BY: SO
DRAWN BY: ER
CHECKED BY: SC
DATE: 06/2022



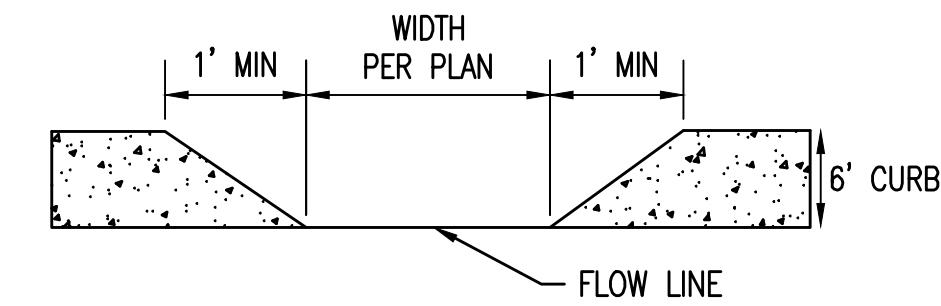
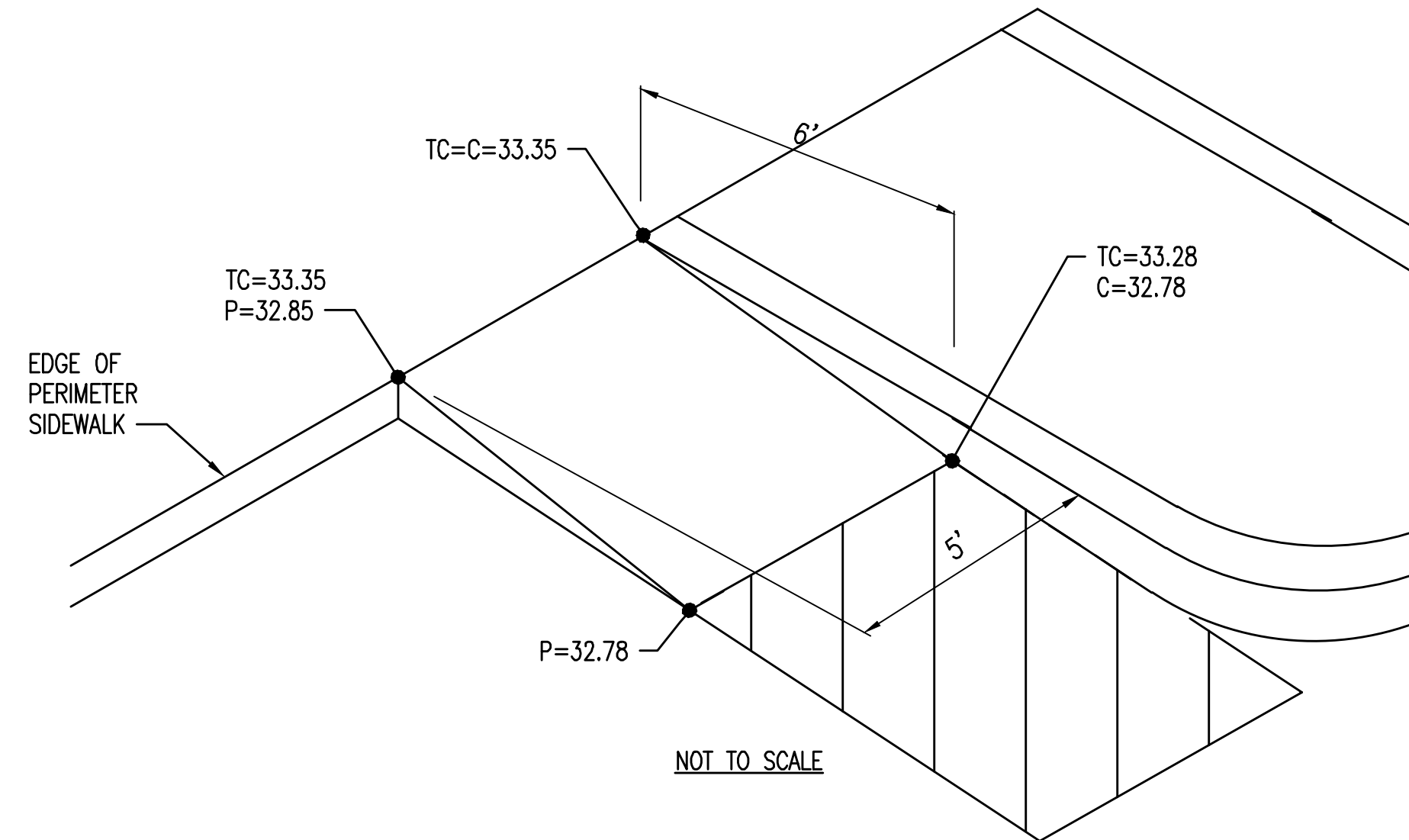
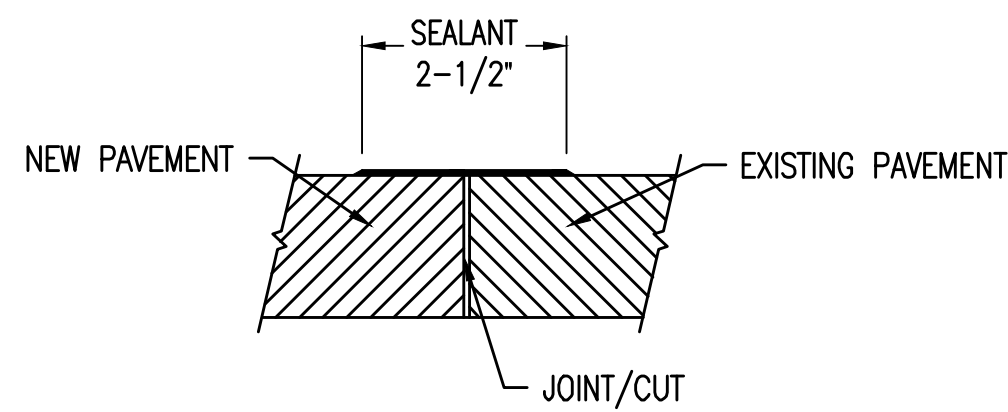
CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

OFF-SITE GRADING & DRAINAGE
PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. Z-99
		CITY PROJECT NO. PR-2018-001346
		SHEET NO. C3.01

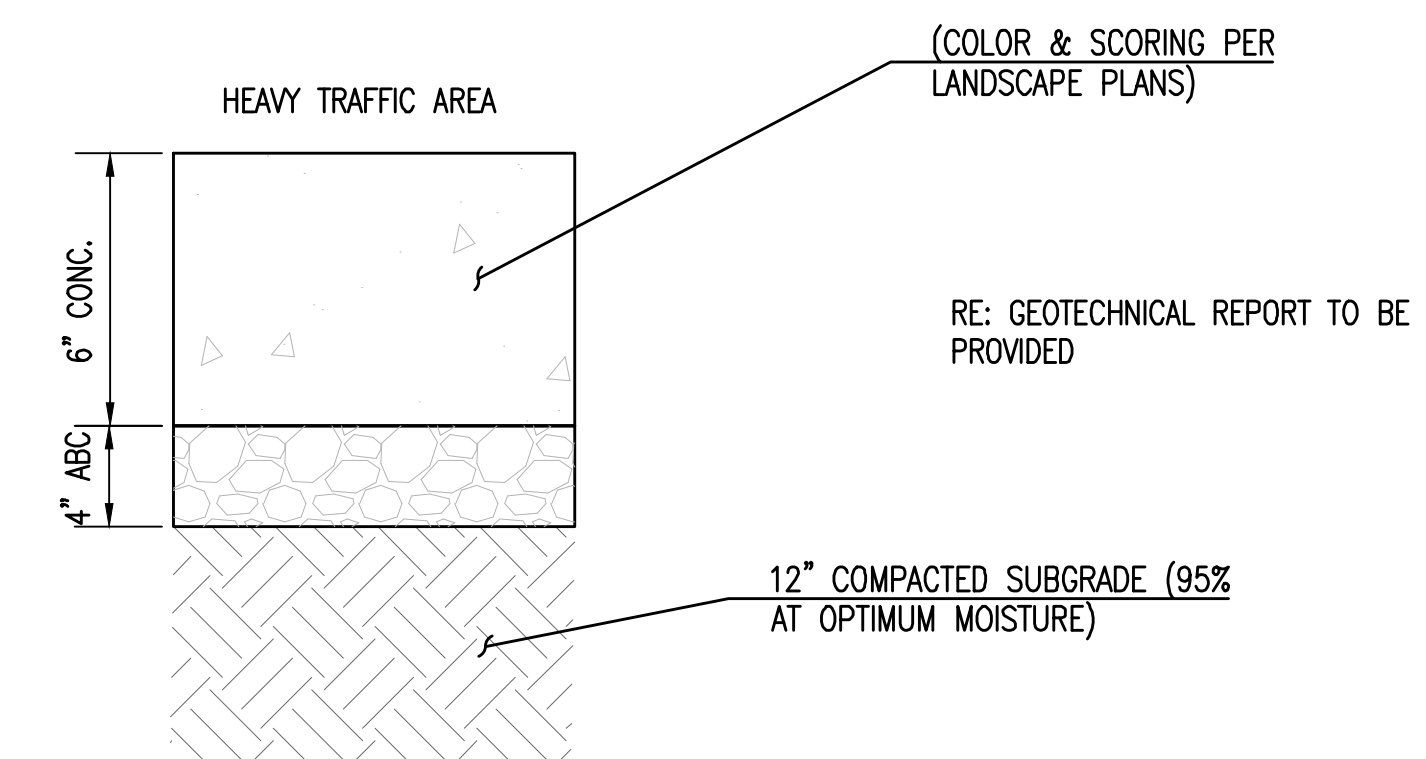
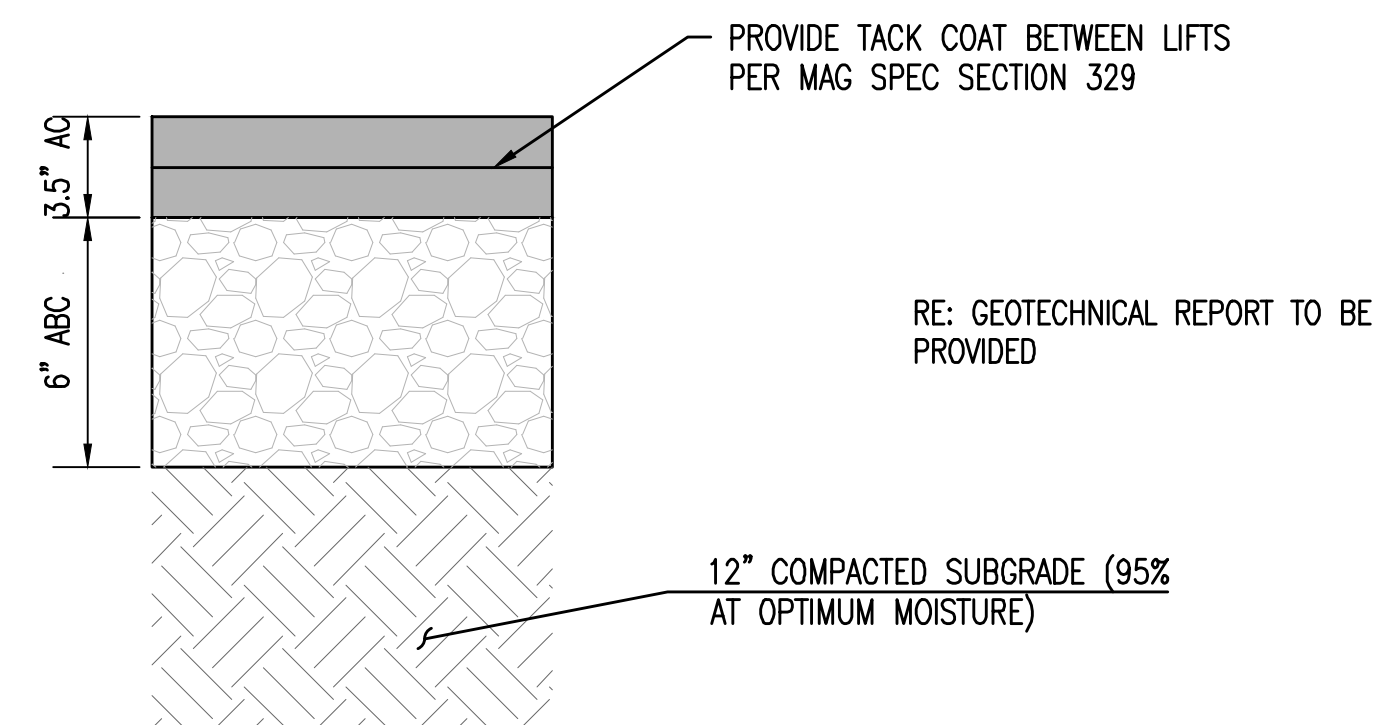
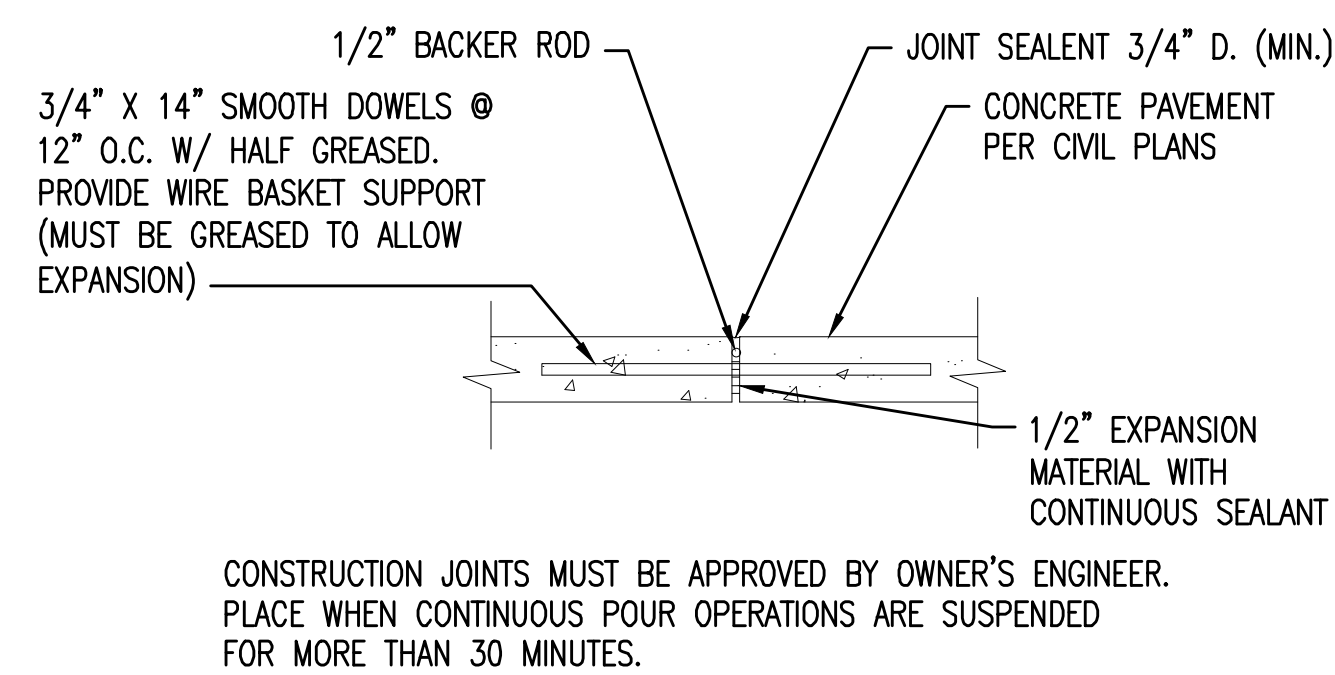
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TRANSITION TO EXISTING PAVEMENT

DELIVERY RAMP

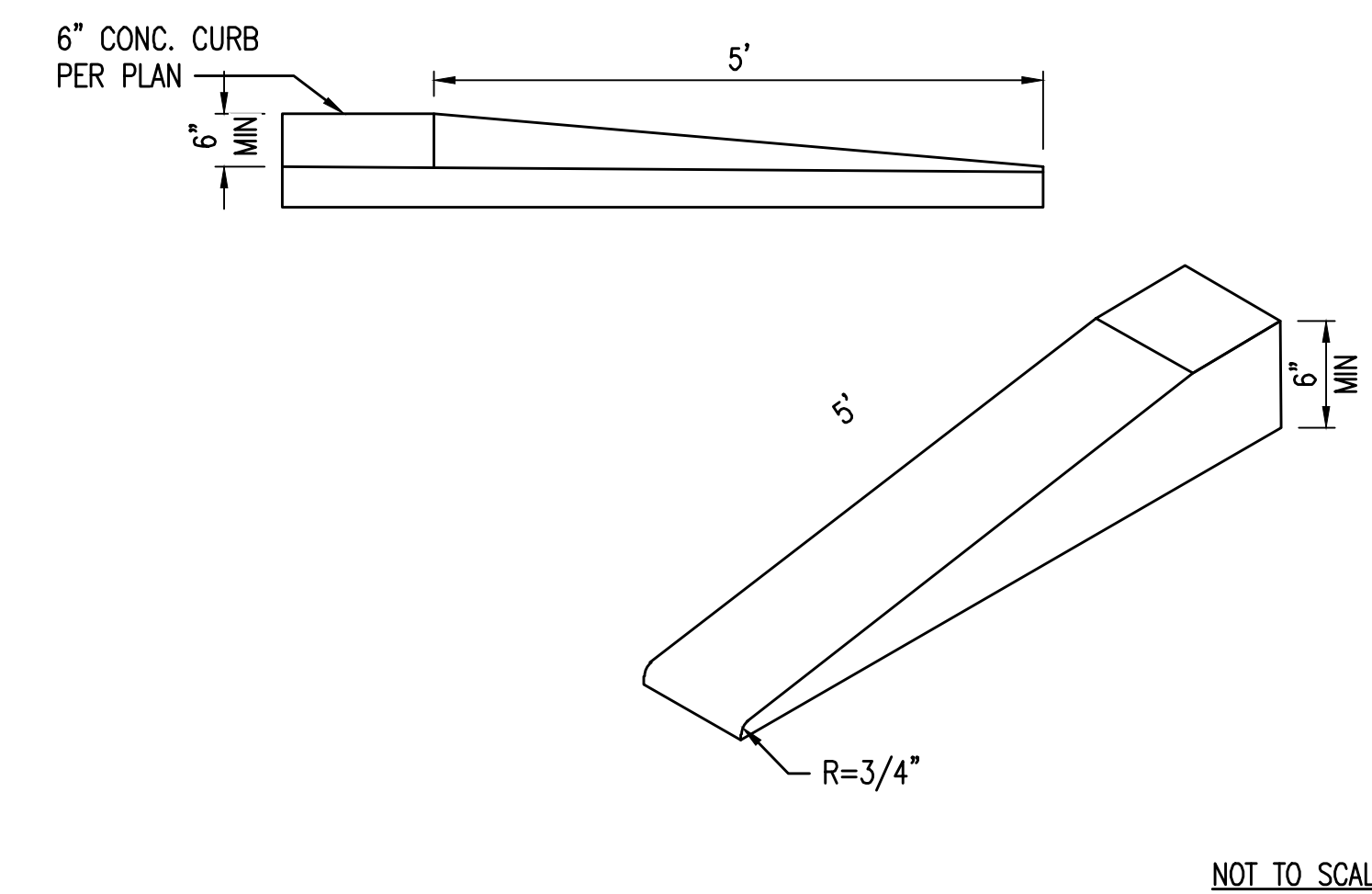
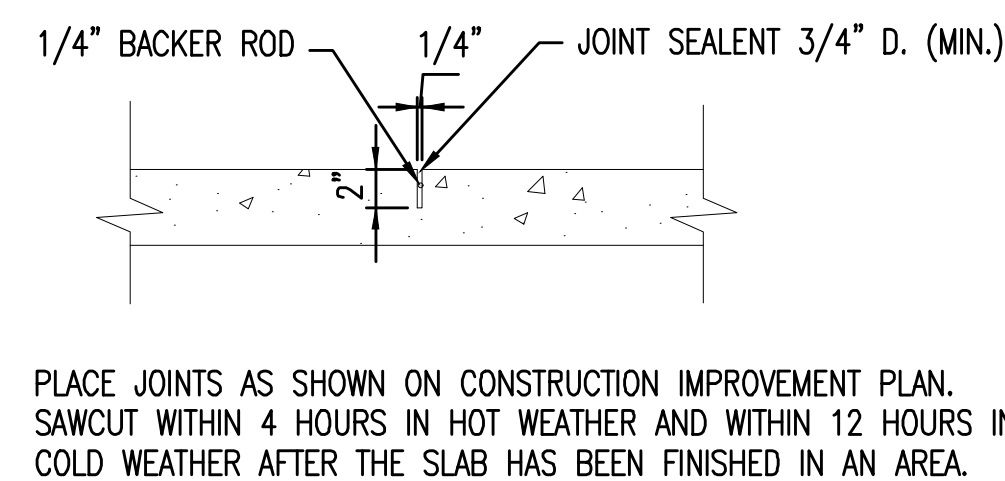
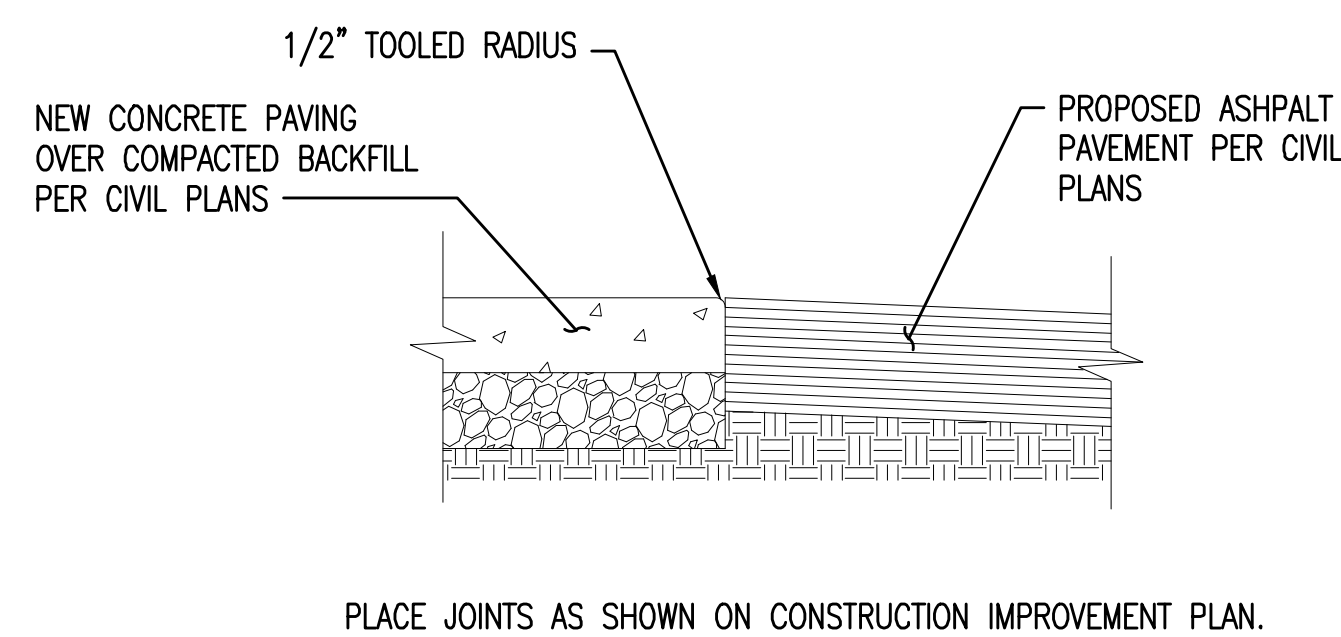
CURB OPENING



CONSTRUCTION JOINT

ASPHALT PAVEMENT SECTION

CONCRETE PAVEMENT SECTION



PAVING TRANSITION

CONTROL JOINT

5' CURB TRANSITION 6" TO 0"



SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY
ENGINEERING
GROUP



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROJECT
WHATABURGER NM
SEC ALAMEDA, BLVD NE
& SAN PEDRO AVE NE

LOCATION
6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DRAWN: GA 01/27/2022
DESIGNED: LP 01/27/2022
QC: SC 06/14/2022
PROJ. MGR: AF 06/22/2022

DATE: 06/22/2022
ISSUED FOR: DRB
PR-2018-001346
SI-2022-00184

REVISION NO.: DATE:
1
2
3

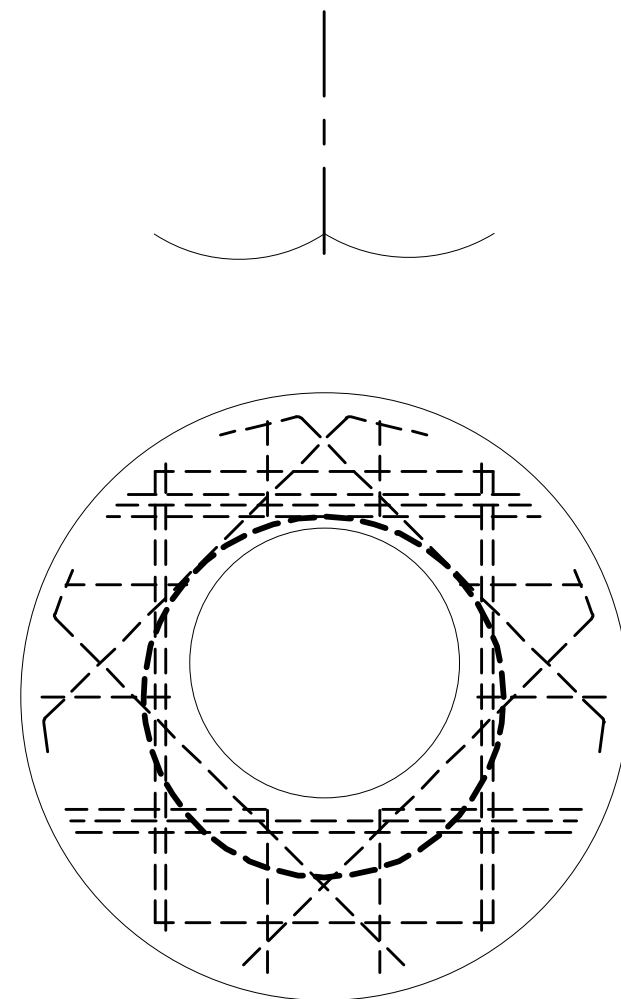
JOB NO.: 210907

SHEET TITLE:

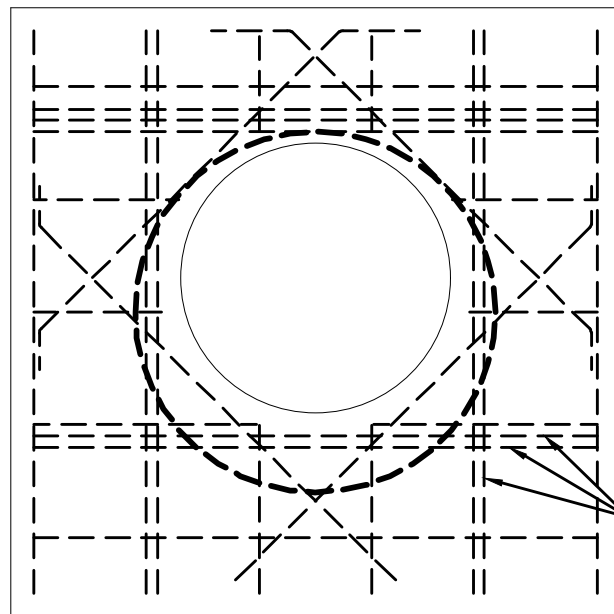
GRADING AND
DRAINAGE DETAILS

PAGE NO.: 3 OF 5
SHEET NO.: C3.10

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REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4x4'	26"	#5 @ 10" OCEW #5 @ 10" OCEW	2,540 1,900
30"	Ø 4'-6" 4'-6" x 4'-6"	32"	#5 @ 10" OCEW #5 @ 9" OCEW	2,260 1,670
36"	Ø 5' 5' x 5'	38"	#5 @ 9" OCEW #5 @ 8" OCEW	2,060 1,500
42"	Ø 5'-6" 5'-6" x 5'-6"	44"	#5 @ 8" OCEW #5 @ 8" OCEW	1,490 1,370
48"	Ø 6' 6' x 6'	50"	#5 @ 7" OCEW #5 @ 7" OCEW	1,210 1,270

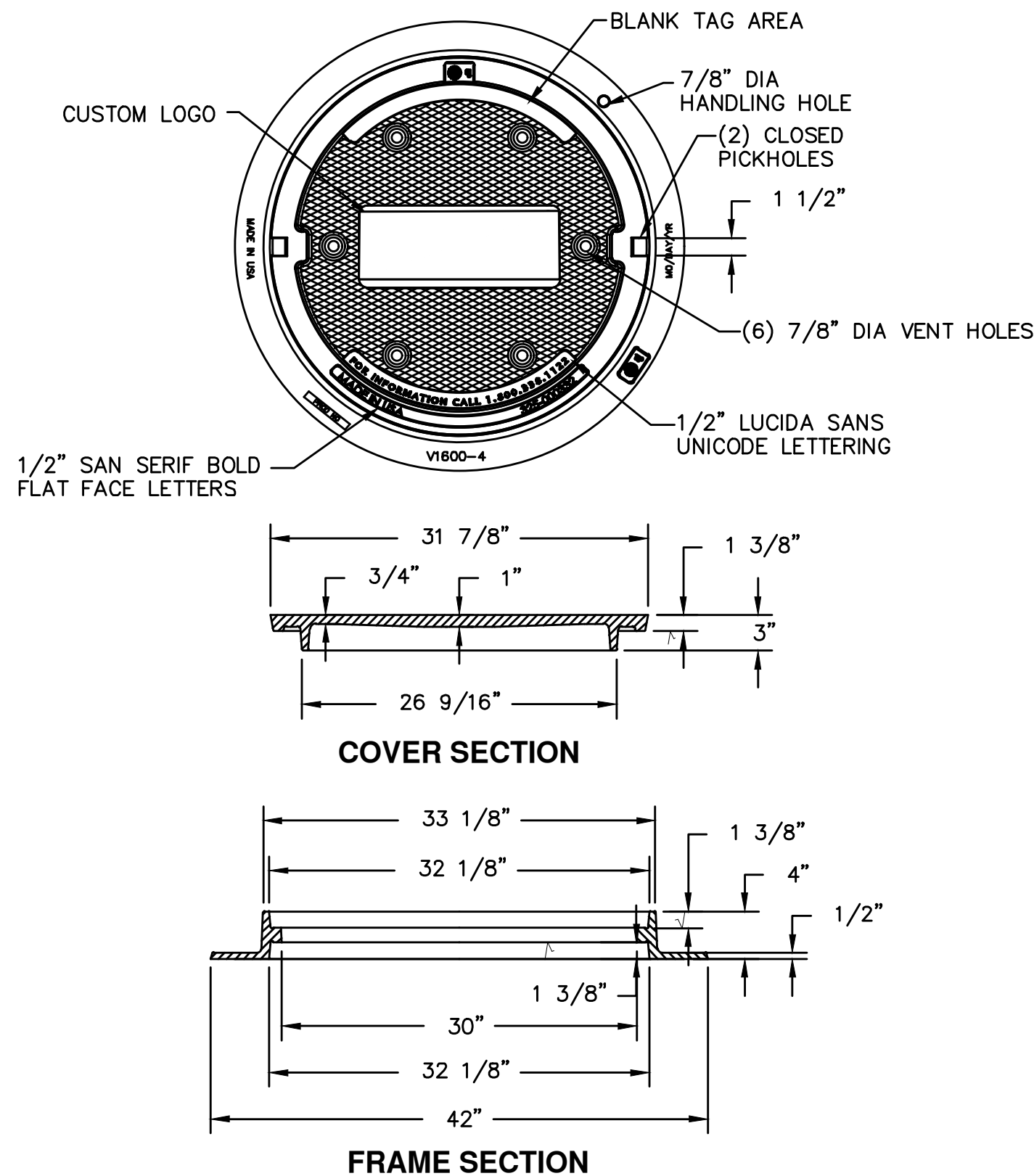


INTERRUPTED BAR REPLACEMENT, SEE NOTE 6.

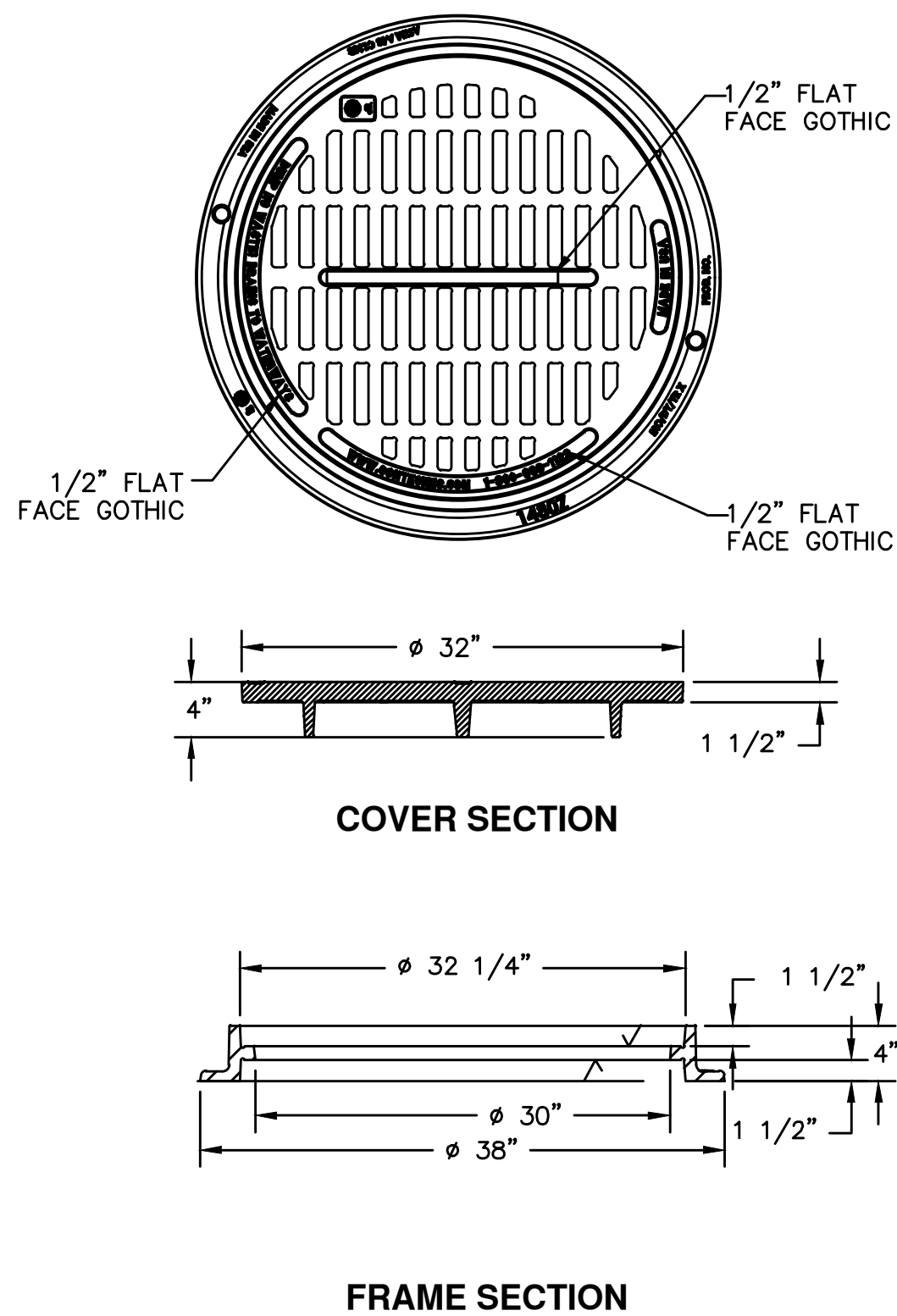
NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION AND ACI 350.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 4,000 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERS, ARCHITECTS AND LAND SURVEYORS, ENDWELL, NY.

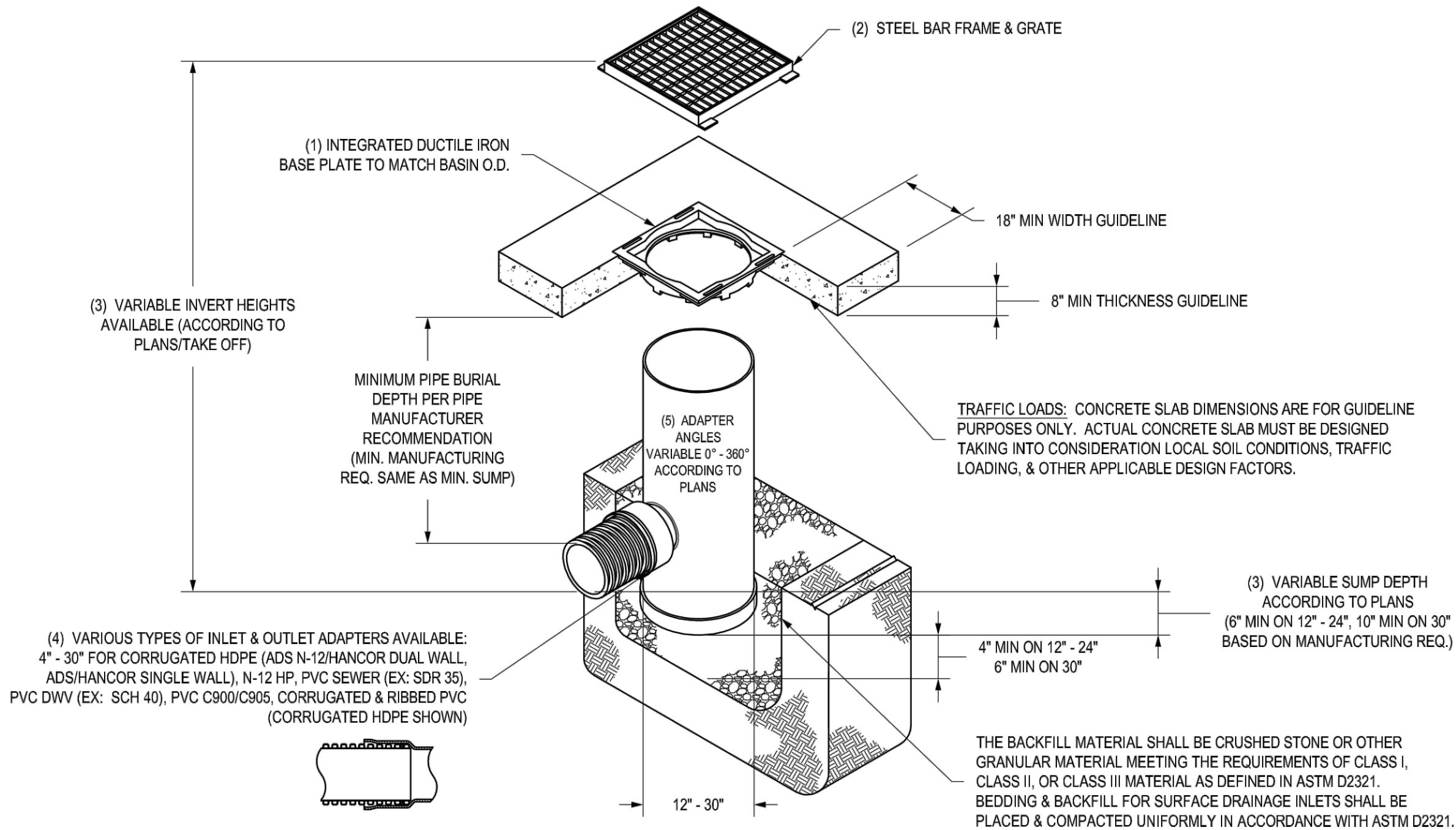
30"x4" REVERSIBLE FRAME & SOLID COVER



30"x4" REVERSIBLE FRAME & GRATE



NYLOPLAST DRAIN BASIN WITH 2 FT X 2FT STEEL BAR GRATE



- 12" - 30" BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- FRAME & GRATE SHALL BE STEEL PER ASTM A36.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- STEEL BAR GRATE SHALL MEET H-20 LOAD RATING.

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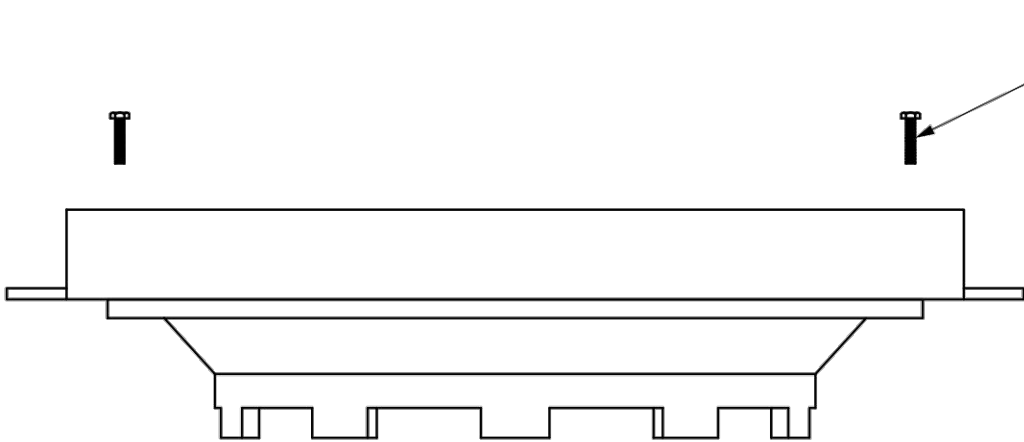
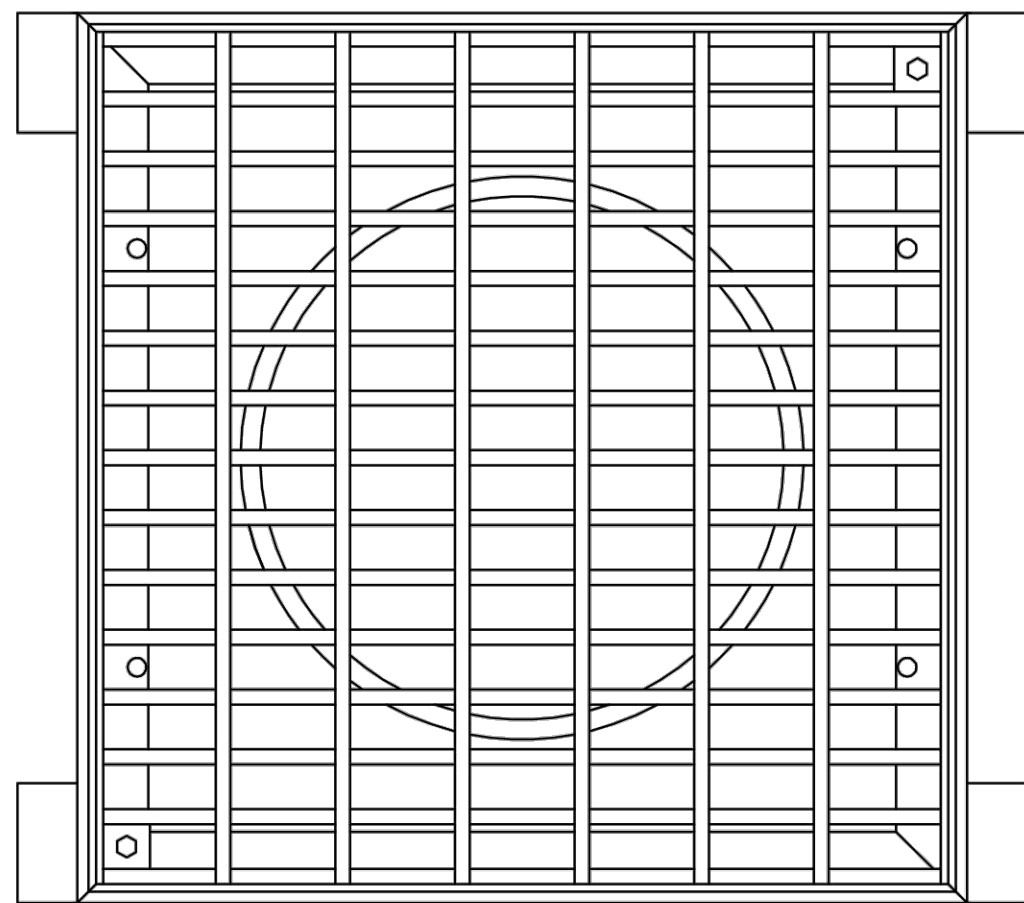
DRAWN BY	EBC	MATERIAL	
DATE	03-22-10		
REVISY BY	NMH	PROJECT NO./NAME	
DATE	03-16-16		
DWG SIZE	A	SCALE	1:40
SHEET	1 OF 1		
DWG NO.	7001-110-394	REV	D



NYLOPLAST DRAIN BASIN



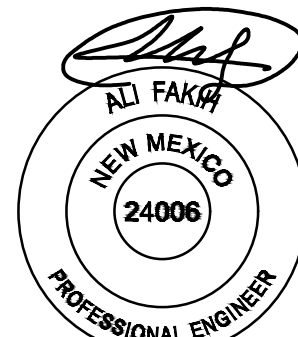
3299CGSQSBL



NOTE: LOCATION OF LOCKING DEVICE MAY VARY

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DRAWN BY	EBC	MATERIAL	
DATE	03-02-06		
REVISY BY	CCA	PROJECT NO./NAME	
DATE	09-03-13		
DWG SIZE	A	SCALE	1:8
SHEET	1 OF 1		
DWG NO.	7001-110-236	REV	D



SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY
ENGINEERING
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.559.3534



PROJECT: WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE
LOCATION: 6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DRAWN: GA 01/27/2022
DESIGNED: LP 01/27/2022
QC: SC 06/14/2022
PROJ. MGR: AF 06/22/2022

DATE: 06/22/2022
ISSUED FOR: DRB
PR-2018-001346
SI-2022-00184

REVISION NO.: DATE:

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2	
3	
4	

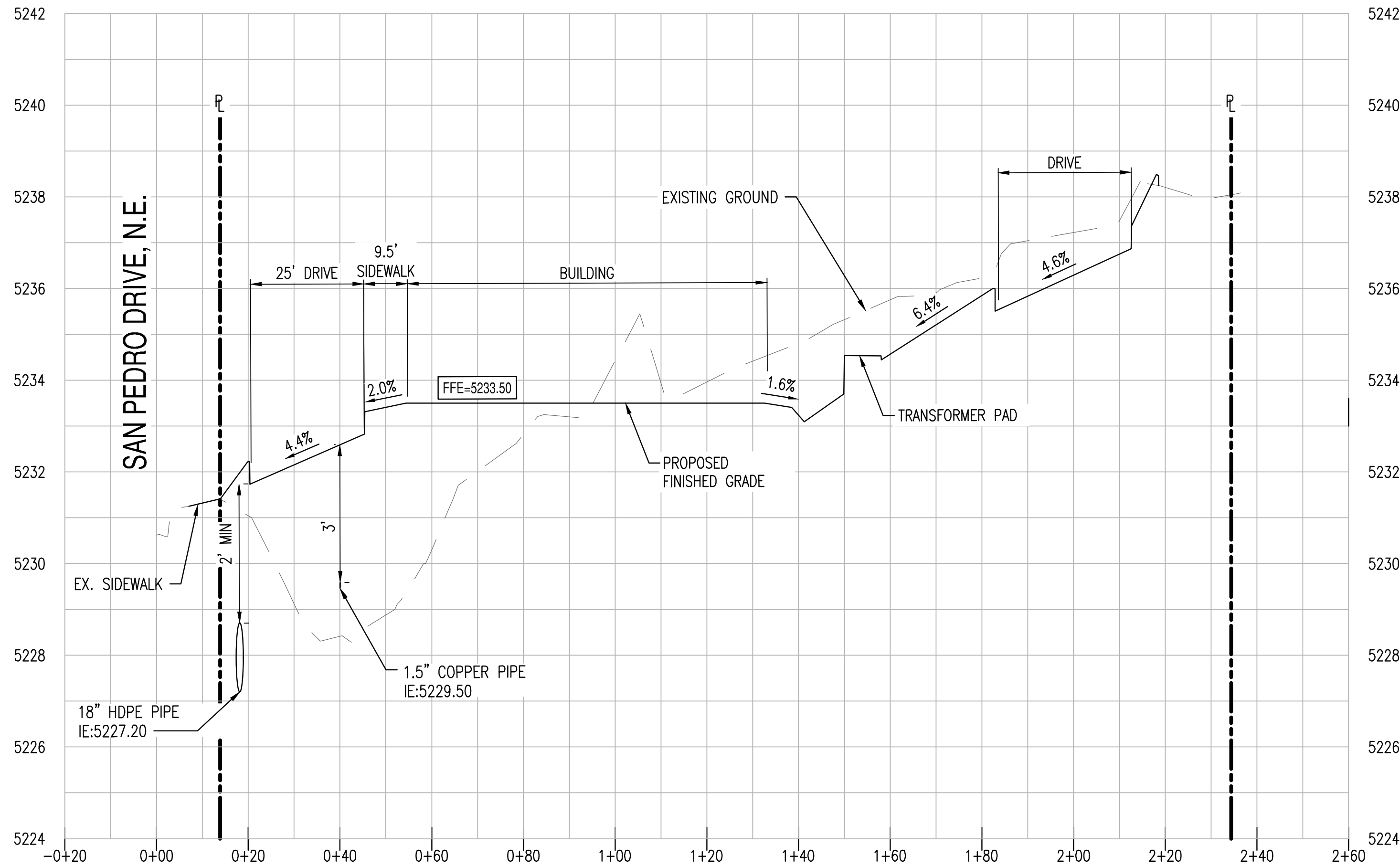
JOB NO.: 210907

SHEET TITLE:

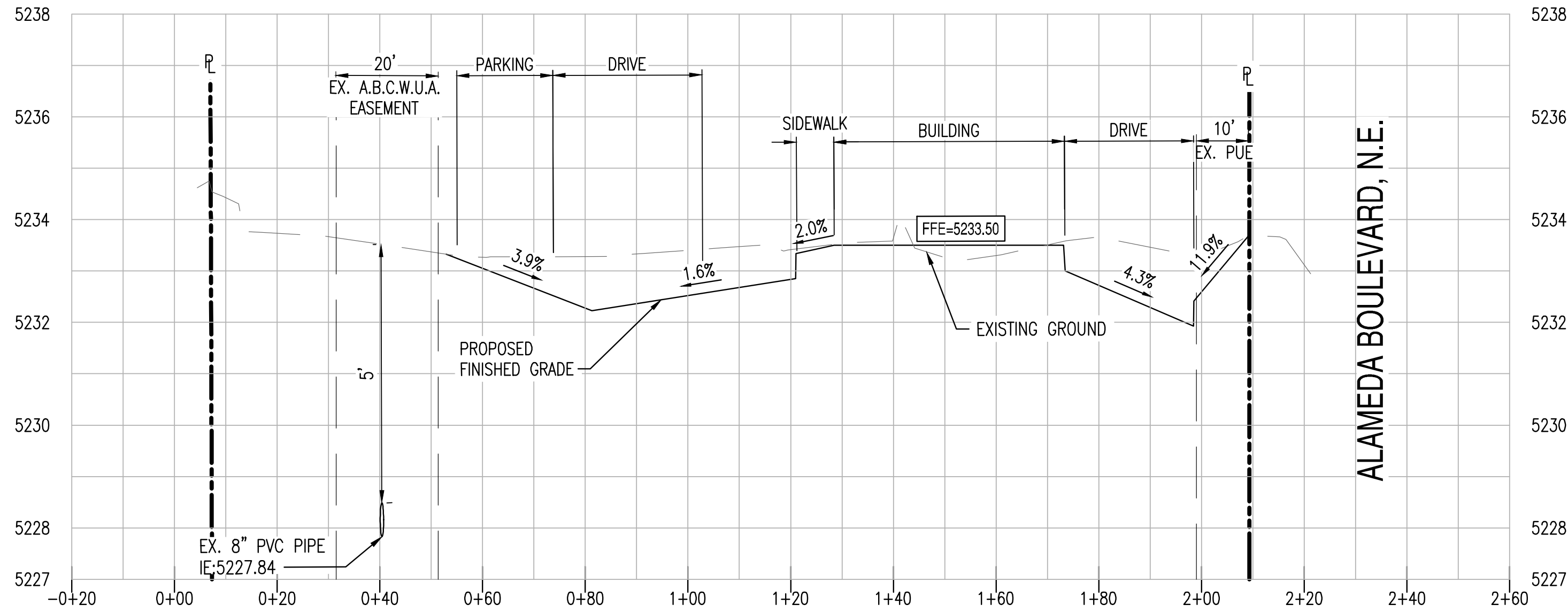
GRADING AND
DRAINAGE DETAILS

PAGE NO.:
4 OF 5

SHEET NO.:
C3.11



SECTION A-A C3.00
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



SECTION B-B C3.00
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



SIGNATURE: [Signature] DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY
ENGINEERING
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX. 480.259.3534



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROJECT
WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

LOCATION
6100 ALAMEDA BLVD NE
ALBUQUERQUE, NM

DRAWN: GA 01/27/2022
DESIGNED: LP 01/27/2022
QC: SC 06/14/2022
FINAL QC:
PROJ. MGR: AF 06/22/2022

DATE: 06/22/2022
ISSUED FOR: DRB
PR-2018-001346
SI-2022-00184

REVISION NO.:	DATE:
1	
2	
3	
4	

JOB NO.: 210907

SHEET TITLE:

SITE CROSS SECTIONS

PAGE NO.: 5 OF 5

SHEET NO.: C3.20

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PLUMBING
FAISAL ELHALIS
35080 W LAREDO ST WAY
CHANDLER, AZ 85226
PHONE: 602-492-7944
CONTACT: FAISAL ELHALIS
EMAIL: ELHALISF@GMAIL.COM
LATEST PLAN COORDINATION: 05/12/22

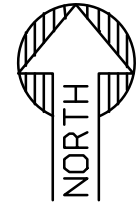
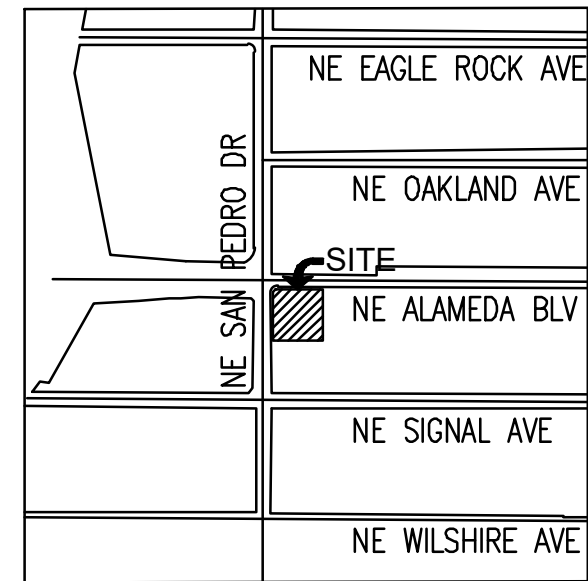
LANDSCAPE
HARRINGTON PLANNING AND DESIGN
1921 S. ALMA SCHOOL RD, STE. 204
SCOTTSDALE, AZ 85251
PHONE: 480-250-0116
CONTACT: JASON HARRINGTON
EMAIL: JASON@HARRINGTONPLANNINGDESIGN.COM
LATEST PLAN COORDINATION: 05/04/22

ELECTRICAL
OMID ARDEBILI
7328 E STETSON DR
SCOTTSDALE, AZ 85251
PHONE: 480-626-7072
CONTACT: OMID ARDEBILI P.E.
EMAIL: OMID@ARDEBILIENG.COM
LATEST PLAN COORDINATION: 05/11/22

WHATABURGER

UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3
EAST, BERNALILLO COUNTY, NEW MEXICO.



S/T/R
13 11N 3E

VICINITY MAP
SCALE 1:800

WATER CONSTRUCTION KEY NOTES

- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
- CONNECT TO EXISTING SERVICE MAIN.
- DOMESTIC CONNECTION TO BUILDING, REFER TO MEP PLAN FOR CONTINUATION.
- FURNISH AND INSTALL TYPE "K" COPPER SWEEP, SIZE TO MATCH WATER LINE. ANGLE PER PLAN.
- FURNISH AND INSTALL FITTING, SIZE & ANGLE PER PLAN. WITH RESTRAINED JOINTS PER AWWA C110.
- FURNISH AND INSTALL 6" DUCTILE IRON PIPE, CLASS 350, CEMENT MORTAR LINED, MAINTAIN 3' MINIMUM COVER. PROVIDE POLY WRAP. LENGTH PER PLAN.
- FURNISH AND INSTALL TYPE "K" 1 1/2" COPPER PIPE, LENGTH PER PLAN.
- INSTALL RELOCATED FIRE HYDRANT, PER C.O.A. STD. DWG. 2340.
- FURNISH AND INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY PER C.O.A. STD. DWG. 2385, SIZE PER PLAN.
- FURNISH AND INSTALL 1" PRESSURE VACUUM BREAKER PER C.O.A. STD. DWG. 2388.

SEWER CONSTRUCTION KEY NOTES

- CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SANITARY SEWER LINE BEFORE PROCEEDING WITH TRENCHING. CONTRACTOR SHALL CONTACT ENGINEER IF EXISTING SEWER ELEVATION IS HIGHER THAN PROPOSED TIE-IN INVERT PRIOR TO ANY CONSTRUCTION ACTIVITY.
- TRASH ENCLOSURE SANITARY DRAIN BY BUILDING CONTRACTOR.
- FURNISH AND INSTALL SEWER CLEAN-OUT
- FURNISH AND INSTALL PVC SCH-40 SEWER LINE. S= 2.00% MINIMUM. SIZE, LENGTH AND SLOPE PER PLAN. MAINTAIN 4' MINIMUM COVER.
- REFER TO MEP PLANS FOR CONTINUATION.
- PROVIDE PLUG AND MARKER FOR SEWER STUB
- GREASE INTERCEPTOR BY BUILDING CONTRACTOR.
- SAMPLE WELL BY BUILDING CONTRACTOR.
- FURNISH AND INSTALL WYE. MATCH SIZE WITH PLAN.
- SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT.



SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

SUSTAINABILITY
ENGINEERING
GROUP

SEG



8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL. 480.588.7226 FAX 480.559.3534



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROJECT	LOCATION
WHATABURGER NM SEC ALAMEDA BLVD NE & SAN PEDRO AVE NE	6100 ALAMEDA BLVD NE ALBUQUERQUE, NM

DRAWN	GA	01/27/2022
DESIGNED	LF	01/27/2022
QC	SC	06/14/2022
FINAL QC		
PROJ. MGR.	AF	06/22/2022

DATE:	06/22/2022
ISSUED FOR:	DRB
	PR-2018-001346
	SI-2022-00184

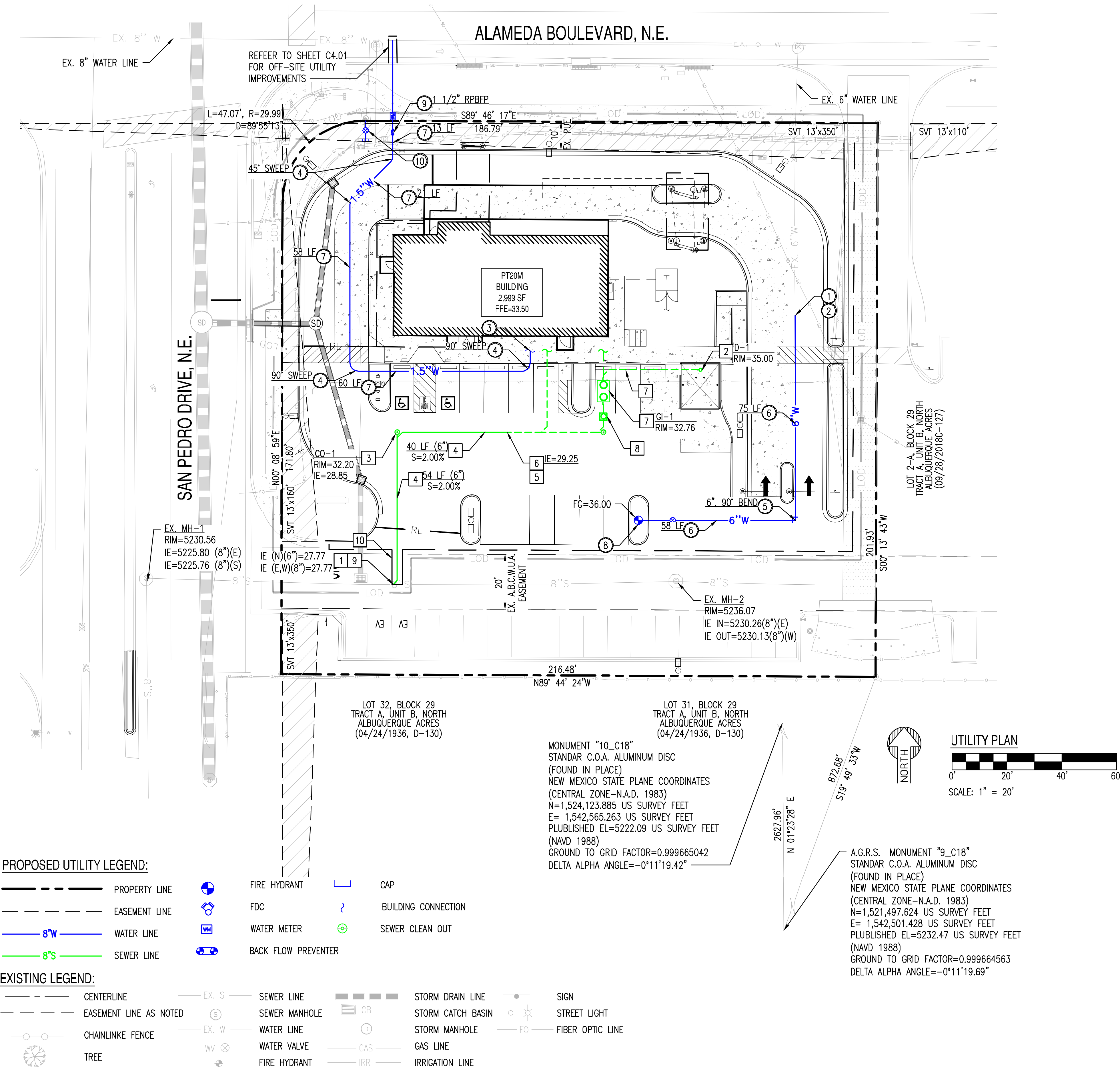
REVISION NO.	DATE:
1	
2	
3	
4	

JOB NO.: 210907

SHEET TITLE:

UTILITY PLAN

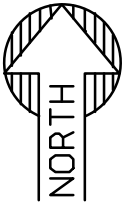
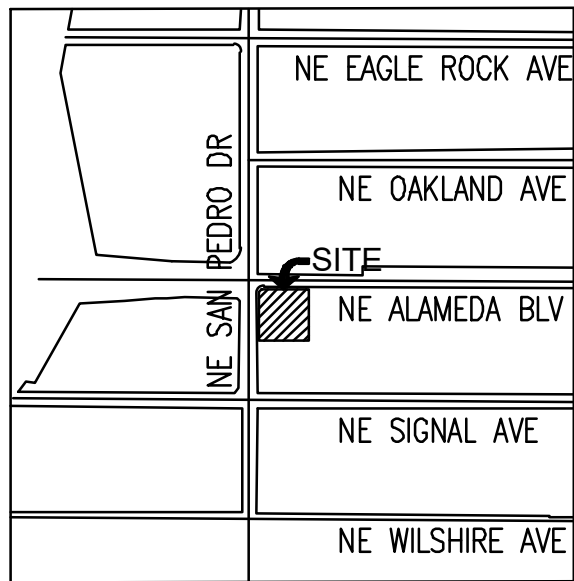
PAGE NO.: 1 OF 2
SHEET NO.: C4.00



LOCATION: Z:\SHARED\PROJECTS\WHATABURGER\ALBUQUERQUE, NM - SVC ALAMEDA BLVD & SAN PEDRO AVE - 21090\11 CAD (SEG)\1.4 CD\10907-C4.00-C4-01.DWG SAVED BY: ESAIL REYES DATE: 6/22/2022

WHATABURGER OFF-SITE UTILITY PLAN

6100 NE ALAMEDA BLVD, ALBUQUERQUE, NM
A PORTION OF SECTION 13, TOWNSHIP 11 NORTH, RANGE 3
EAST, BERNALILLO COUNTY, NEW MEXICO.



S/T/R
13 11N 3E

VICINITY MAP
SCALE 1:800



CONSULTANTS

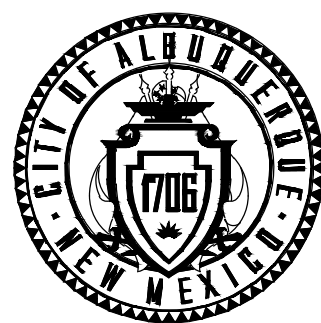
BENCH MARKS



SIGNATURE DATE: 06-22-2022
EXPIRATION DATE: 12-31-2022

NO.	DATE	DESCRIPTION	BY
AS-BUILT INFORMATION			
CONTRACTOR:			
WORK STAKED BY:			
INSPECTOR'S ACCEPTANCE BY:			
FIELD VERIFICATION BY:			
DRAWINGS CORRECTED BY:			
		DATE:	
		DATE:	
		DATE:	
		DATE:	

DESIGNED BY: SO
DRAWN BY: ER
CHECKED BY: SC
DATE: 06/2022

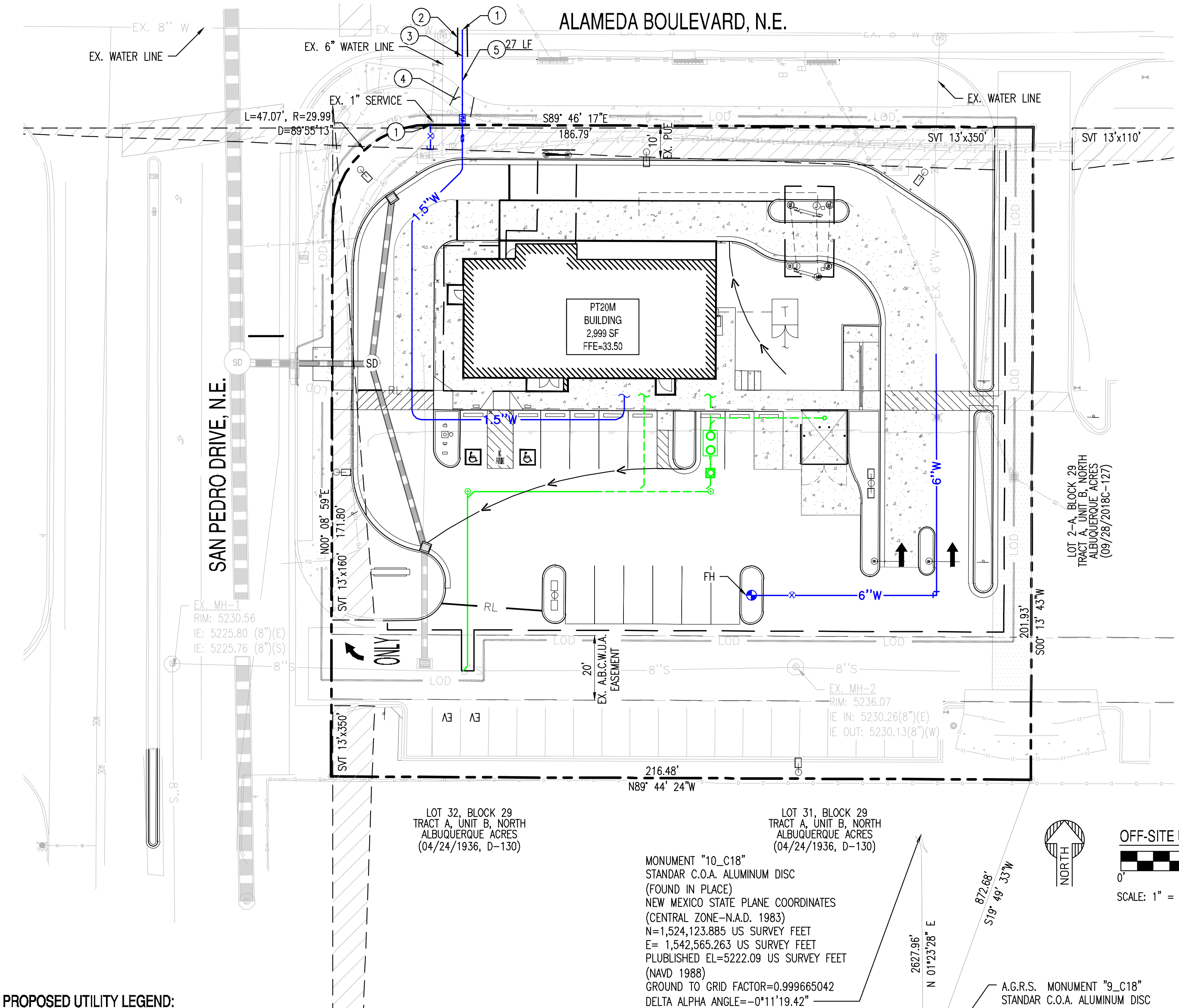


CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

OFF-SITE UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. Z-99
		CITY PROJECT NO. PR-2018-001346
		SHEET NO. C4.01



PROPOSED UTILITY LEGEND:

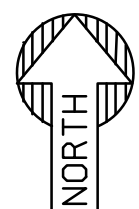
---	PROPERTY LINE	WM	WATER METER
---	EASEMENT LINE	BP	BACK FLOW PREVENTER
8"W	WATER LINE		
8"S	SEWER LINE		

EXISTING LEGEND:

---	CENTERLINE	EX. S	SEWER LINE	---	STORM DRAIN LINE	FO	FIBER OPTIC LINE
---	EASEMENT LINE AS NOTED	S	SEWER MANHOLE	CB	STORM CATCH BASIN	SL	STREET LIGHT
---	CHAINLINK FENCE	EX. W	WATER LINE	---	STORM MANHOLE		
---	TREE	WV	WATER VALVE	---	GAS LINE		
			FIRE HYDRANT	---	IRRIGATION LINE		

WATER CONSTRUCTION KEY NOTES

- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
- SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT, FOR UTILITY TRENCHING PER C.O.A. STD. DWG. 2465.
- REMOVE AND REPLACE EXISTING VERTICAL CURB AND GUTTER, TO NEAREST JOINT AS REQUIRED FOR UTILITY INSTALLATION.
- REMOVE AND REPLACE EXISTING SIDEWALK, TO NEAREST JOINT AS REQUIRED FOR UTILITY INSTALLATION.
- FURNISH AND INSTALL TYPE "K" 1 1/2" COPPER DOMESTIC SERVICE CONNECTION AND METER BOX, PER C.O.A. STD. DWG. 2363, LENGTH PER PLAN.



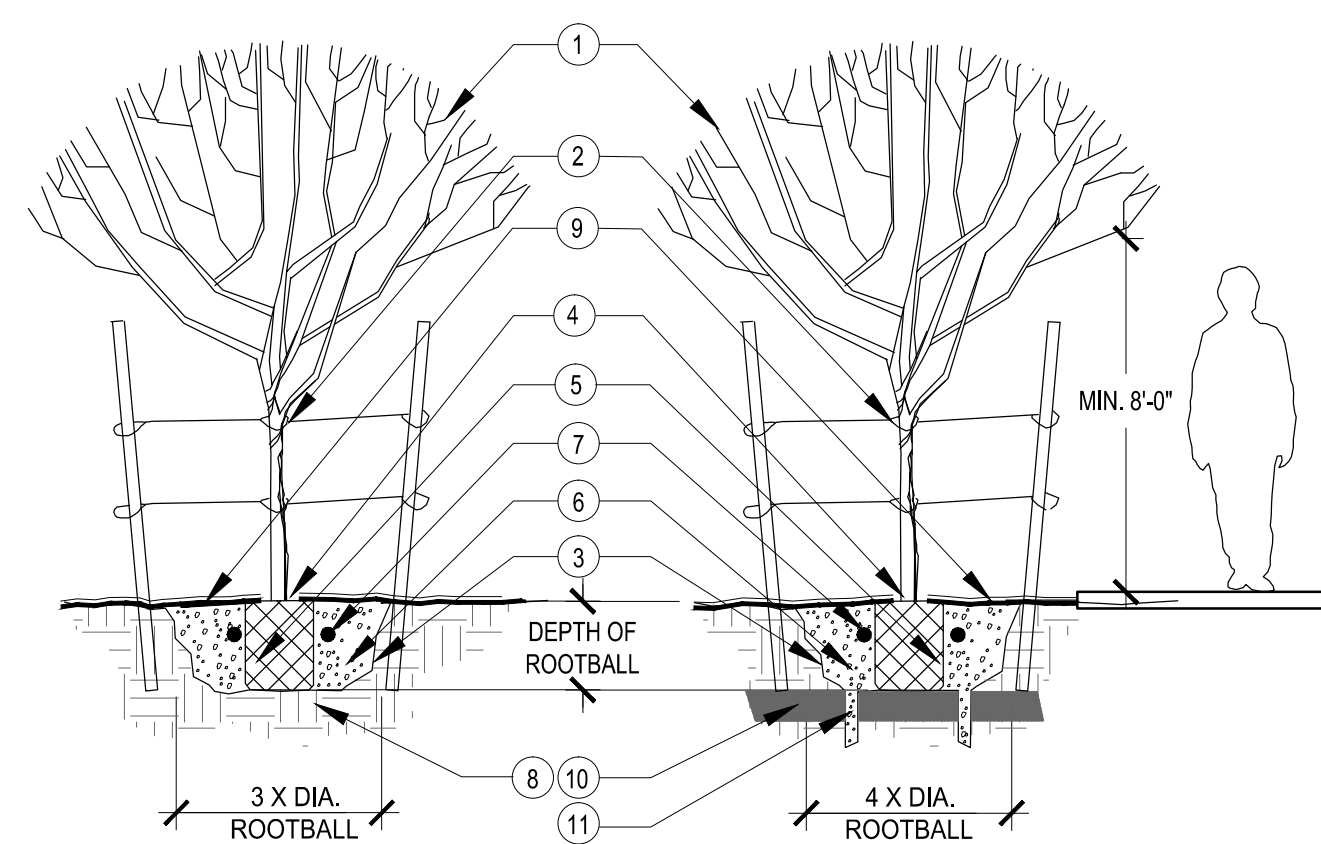
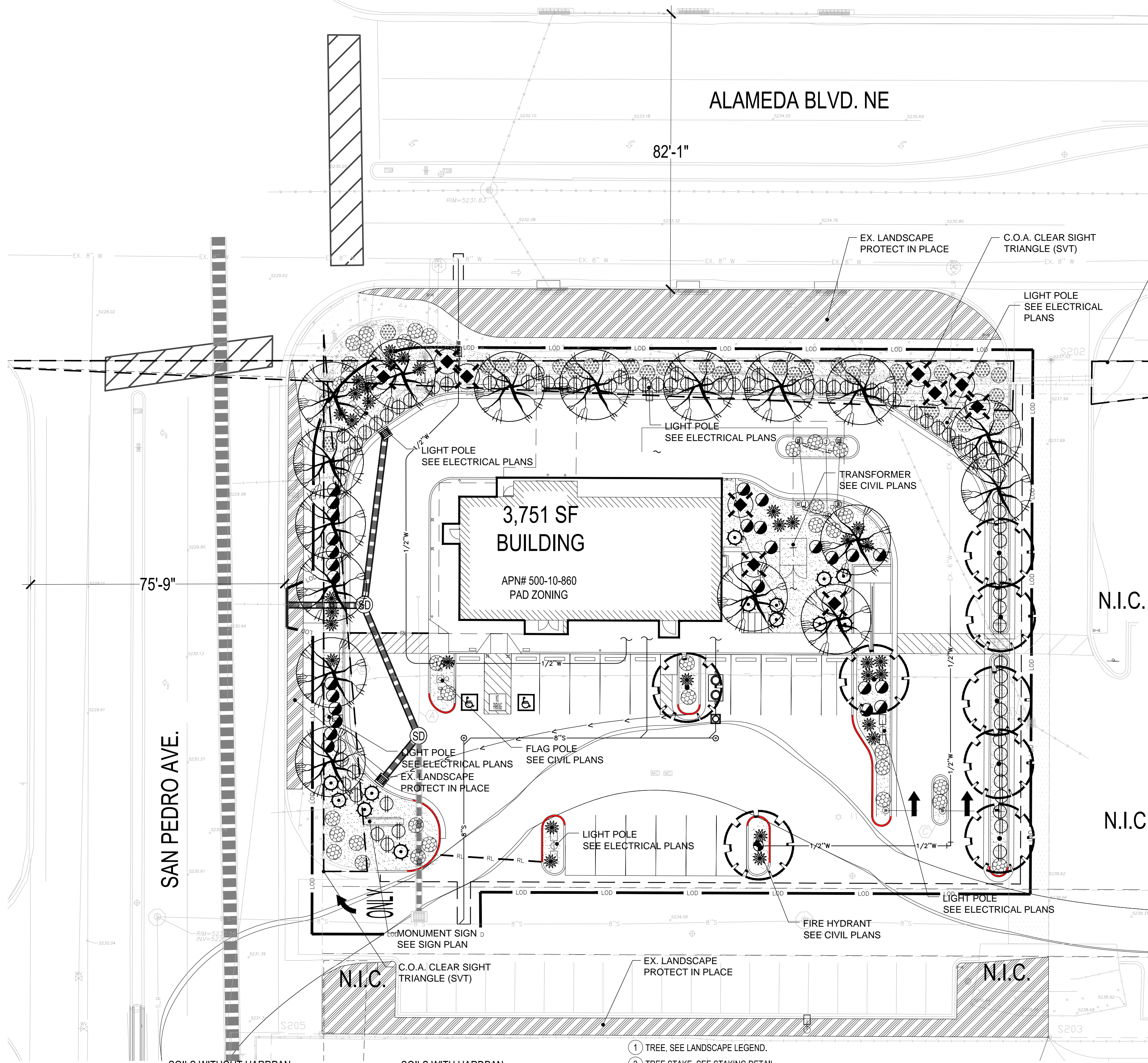
OFF-SITE UTILITY PLAN

0' 20' 40' 60'
SCALE: 1" = 20'

MONUMENT "10_C18"
STANDAR C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,524,123.885 US SURVEY FEET
E= 1,542,565.263 US SURVEY FEET
PUBLISHED EL=5222.09 US SURVEY FEET
(NAVD 1988)
GROUND TO GRID FACTOR=0.999665042
DELTA ALPHA ANGLE=-0°11'19.42"

A.G.R.S. MONUMENT "9_C18"
STANDAR C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,521,497.624 US SURVEY FEET
E= 1,542,501.428 US SURVEY FEET
PUBLISHED EL=5232.47 US SURVEY FEET
(NAVD 1988)
GROUND TO GRID FACTOR=0.999664563
DELTA ALPHA ANGLE=-0°11'19.69"

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.



NOTES:

1. TRIM AND MAINTAIN TO PROVIDE A MINIMUM 8'-0" CLEARANCE FROM ADJACENT PATH OR PAVEMENT TO TREE CANOPY.
2. PER IDO 5-6(C)(5)(e) ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A 5-FOOT RADIUS AROUND THE TREE TRUNK, BUT NO DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED.

TREE PLANTING

SCALE: N.T.S.

- 1 TREE. SEE LANDSCAPE LEGEND.
- 2 TREE STAKE. SEE STAKING DETAIL.
- 3 WALLS OF UNDISTURBED SOIL SHOULD BE SLOPED WITH ROUGH EDGES. PLANTING PIT TO BE AS DEEP AS ROOTS.
- 4 TOP OF ROOTBALL FLUSH OR SLIGHTLY ABOVE FINISH GRADE.
- 5 FREE OR CUT CIRCLING ROOTS (UNLESS PLANTS ARE KNOWN TO HAVE SENSITIVE ROOTS HANDLED WITH MINIMAL DISTURBANCE).
- 6 BACKFILL:
PER SPECIFIED SOIL AMENDMENT MIX. OR NATIVE SOIL IF NONE DESCRIBED. REMOVE ALL ROCK 1" OR GREATER FROM BACKFILL.
- 7 FERTILIZER TABLET. SEE FERTILIZER TABLET SCHEDULE.
- 8 NATIVE UNDISTURBED SOIL OR COMPACT FILL TO 85% STANDARD PROCTOR DENSITY.
- 9 INERT ORGANIC MULCH. SEE LANDSCAPE LEGEND.
- 10 UNDISTURBED HARDPAN.
- 11 IN AREAS WHERE CALICHE OR HARDPAN OCCURS, A MIN. OF 3 DRAINAGE CHIMNEY HOLES BESIDE ROOT BALL AND THROUGH HARDPAN. FILL WITH SAME BACKFILL SOIL. NOT GRAVEL. CHIMNEY TO BE MIN. 8" DIA. AND 12" DEEP.

FERTILIZER TABLET SCHEDULE

AGRIFORM FERTILIZER TABLETS OR EQUAL.
PLACE TABLETS DOWN ALONG PLANT ROOTBALL SIDE
1 PER 1 GAL.,
2 PER 5 GAL.,
3 PER 15 GAL.,
4 PER 24"BOX OR LARGER

LANDSCAPE GENERAL NOTES

1. PERFORM WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS.
2. CAREFULLY INSPECT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
3. HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
4. UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
5. UNDERGROUND SERVICE ALERT - NOTIFY BLUE STAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT. EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. VERIFY THE LOCATION AND CONDITION OF UTILITIES PRIOR TO CONSTRUCTION.
6. INSPECTIONS - NOTIFY OWNER REPRESENTATIVE AND APPROPRIATE AGENCY REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO REQUIRED GOVERNING AGENCY INSPECTION.
7. QUANTITIES INDICATED IN DRAWINGS ARE PROVIDED AS A COURTESY ONLY. VERIFY QUANTITIES SHOWN BY CONDUCTING AN INDEPENDENT QUANTITY TAKE OFF.
8. OWNER AND LANDSCAPE ARCHITECT WILL DECIDE QUESTIONS RELATING TO INTERPRETATION OF DRAWINGS AND ACCEPTABLE FULFILLMENT OF THE WORK SHOWN IN CONTRACT DOCUMENTS.
9. MAINTAIN PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. DISPOSE OF RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.
10. APPLY PRE-EMERGENT AFTER COMPLETION OF EARTHWORK, LEACHING, BED PREPARATION AND FINE GRADING PRIOR TO TOP DRESS.
11. ALL EXISTING LANDSCAPE AREAS OUTSIDE THE PROJECT AREA THAT ARE DISTURBED BY ANY ACTIVITY UNDER THIS CONTRACT SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AND TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
12. THE CONTRACTOR SHALL PROVIDE FLAGGED AND/OR STAKED LAYOUT OF ALL PLANTING LOCATIONS FOR REVIEW AND ADJUSTMENT, IF NECESSARY, BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING IRRIGATION OR PLANT PIT EXCAVATIONS.
13. ANY AND ALL PLANTS OR TREES, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES OF THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

CITY OF ALBUQUERQUE LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
PARKING AREAS: PER 14-16-5 DEVELOPMENT STDS. PER 5-6(F)	1 TREE PER 10 PARKING STALLS 10% LOT AREA	17 STALLS ON SITE 1.7 TREES REQUIRED / 3 TREES PROVIDED 817 SF PARKING LOT (82SF REQ.) / 27.5% LANDSCAPE (225 SF PROVIDED)
NET LANDSCAPE AREA: PER 5-6(C)	15% MINIMUM	NET AREA = 30,000 SF 15% NET = 4,500 SF PROVIDED AREA = 8,380 SF 27.93% PROVIDED
SHADE COVERAGE AREA	75% OF LS AREA	75% COVERAGE
GROUND LEVEL COVERAGE AREA	30% OF LS AREA	60% COVERAGE
LANDSCAPE DIVERSITY	5 SPECIES MIN.	9 PROVIDED 2 TREE SPECIES 7 UNDERSTORY SPECIES
MINIMUM TREE SIZE:	2" CALIPER	2" CALIPER
STREET FRONTAGE L/S AREA: PER 5-6(D) WITHIN 20 FT OF CURB	1 TREE / 3 SHRUBS PER 25FT.	EXISTING TREES TO REMAIN N-SIDE. NEW TREES BEHIND 20 FT DISTANCE. W-SIDE = 153' (6.12 TREES - 6 PROVIDED)
EDGE BUFFER L/S AREA: PER 5-6(E)(2)(a)	1 TREE (6 FT MIN) / 3 SHRUBS PER 25FT.	W EDGE = STREET FRONTAGE N EDGE = STREET FRONTAGE E EDGE = 153' (6.12 TREES - 7 PROVIDED) S EDGE = EXISTING L/S BUFFER PROTECT

DEVELOPER CONTACT

WHATABRANDS REAL ESTATE
300 CONCORD PLAZA DRIVE
SAN ANTONIO, TEXAS 78216
CLINT SAAVADRA
210-476-6181

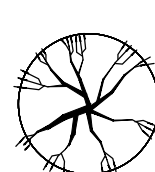
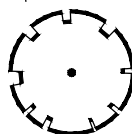







LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL RD. SUITE 204
MESA, AZ 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

CIVIL ENGINEER

SUSTAINABILITY ENGINEERING GROUP
8280 E GELDING DR #101,
SCOTTSDALE, AZ 85260
ALI FAKIH, PE, LEED AP
(480) 588-7226
ALI@AZSEG.COM

PLANTING MATERIAL LEGEND

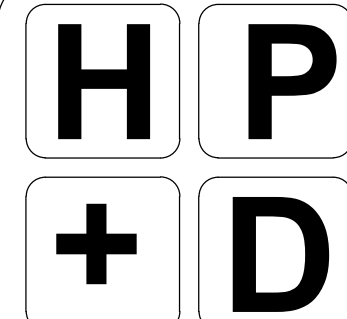
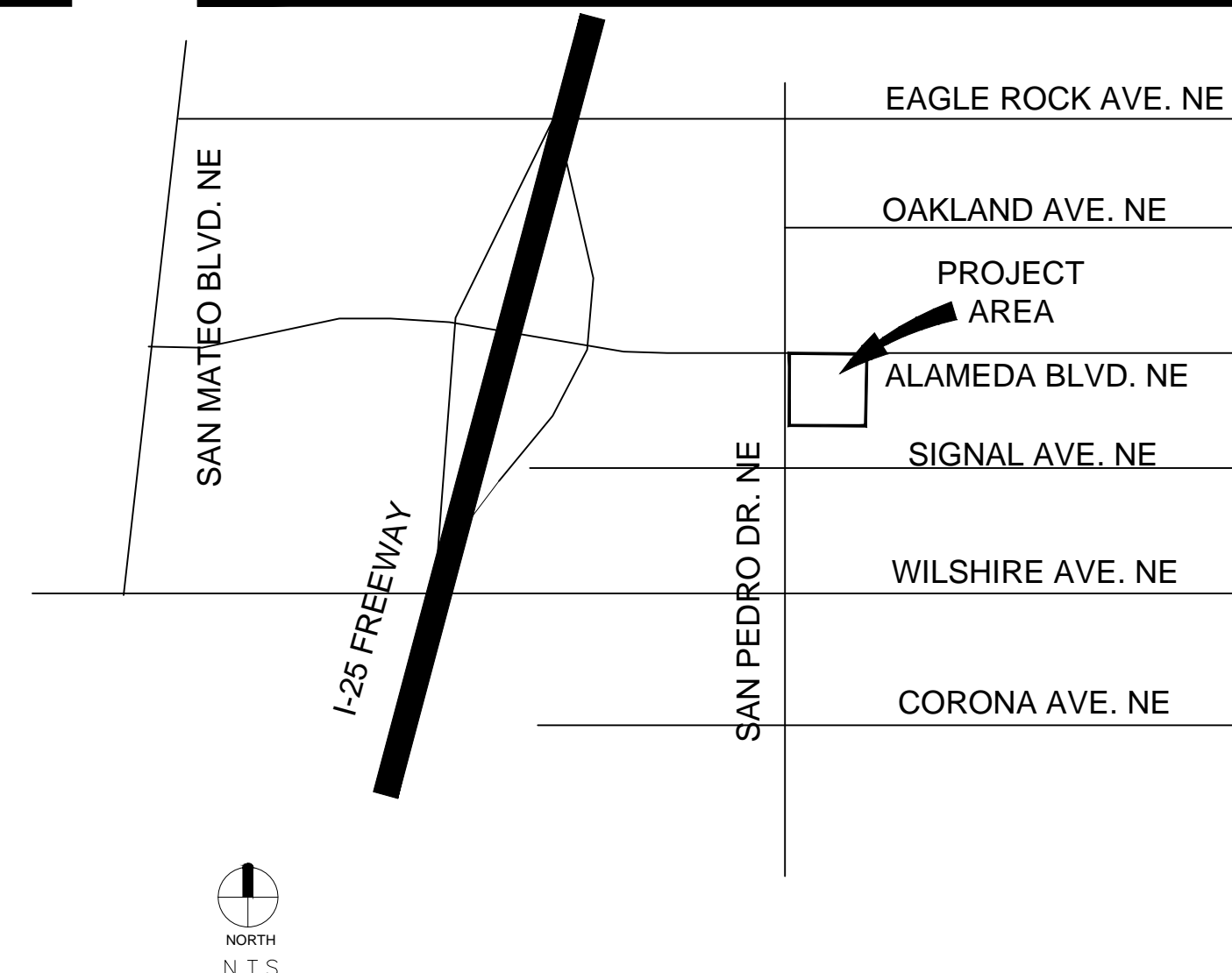
	TREES	SIZE	NOTES	QTY
	Quercus fusiformis Escarpment Live Oak Caliper Size: 2.0"	36" Box		17
	Vitex agnus-castus Chaste Tree Caliper Size: 2.0"	36" Box		8
	GROUNDCOVERS			QTY
	Euonymus fortunei 'Coloratus' Purple Wintercreeper	5 Gallon can full		34
	Cotoneaster horizontalis Trailing Rock Cotoneaster	5 Gallon can full		31
	SHRUBS / ACCENTS			QTY
	Hesperaloe parviflora Red Yucca	5 Gallon can full		32
	Potentilla fruticosa Shrubby Cinquefoil	5 Gallon can full		27
	Caesalpinia gillesii Yellow Bird of Paradise	5 Gallon can full		10
	Leucophyllum langmaniae 'Lynn's Legacy' Texas Sage	5 Gallon can full		84
	Euphorbia antisyphilitica Candleilla	5 Gallon can full		13

LANDSCAPE MATERIALS

	Wood Fiber Bark organic mulch, 1/2" to 2" size mix 2" deep in planting areas per plan.	7,820 s.f.
---	---	------------

NOTE:
PER 5-6(C)(4) OF THE IDO, ALL TREES AND SHRUBS DEPICTED ON
THESE PLANS MUST BE SELECTED FROM THE OFFICIAL
ALBUQUERQUE PLANT PALETTE.

VICINITY MAP



**HARRINGTON
PLANNING + DESIGN**
1921 S Alma School Rd, Suite 2
Mesa, Arizona 85210
Tel: 480-250-0116
www.HarringtonPlanningDesign.com



WHATABURGER
RESTAURANT

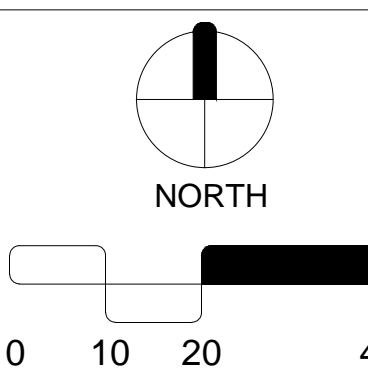
SEC Alameda & San Pedro
Albuquerque NM 87113[illegible]

Permit CD Submittal	04.27.22
Preliminary Re-Submittal	01.21.22
Preliminary Submittal	10.08.21
ISSUE	DATE

PR-2018-001346
LANDSCAPE PACKAGE

APRIL 27, 2022

DRAWN BY:	TKW
CHECK BY:	JEH
PROJ. NO.:	2021-056
CASE NO.:	TBD

LANDSCAPE
PLAN

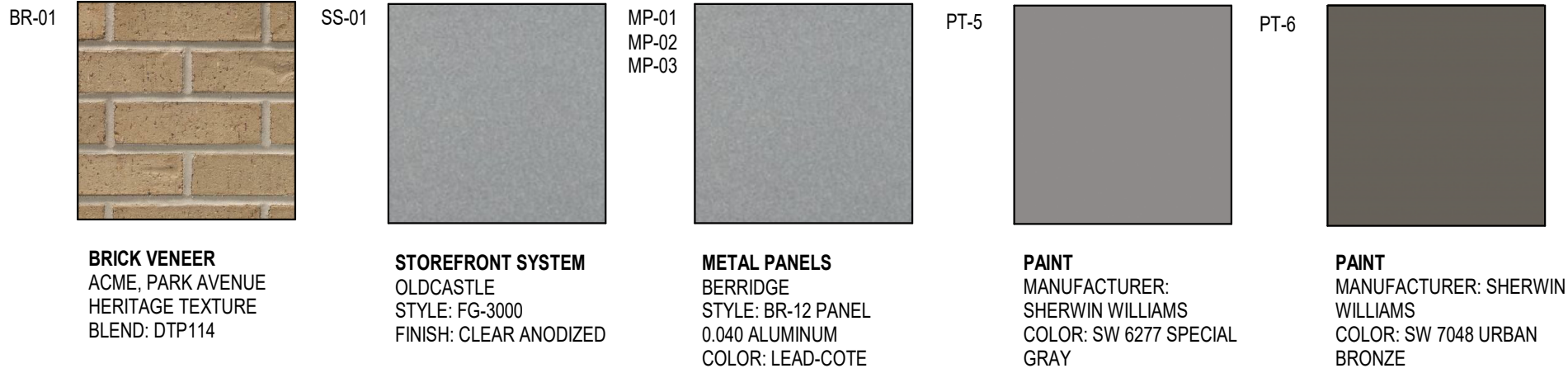
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2 of 6

PR-2018-0013646

CASE NO: PB-2018-0013646

MATERIAL TEXTURES



NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED
UNDER A SEPARATE SIGN PERMIT SET.

KEYNOTES

163	TPO MEMBRANE ROOFING SYSTEM; RE: A1/A5.3.
188	PRE-FINISHED METAL TRIM
203	MP-01; PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01; BRICK VENEER
208	MC-01; PRE-FINISHED METAL COPING
209	SS-01; ALUMINUM STOREFRONT SYSTEM
210	PRE-FINISHED DRIVE-THRU CANOPY
212	DRIVE-THRU DOOR CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE.
218	PREFINISHED CONDUCTOR HEAD AND DOWNSPOUT, COLOR TO MATCH PAINT PT-5. COORDINATE SIZE WITH REGIONAL RAINFALL DATA, RE:B3/A5.4.
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
229	MP-03; ROOF SCREEN WALL, RE: STRUCTURAL
237	BUILDING ADDRESS 6'HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10' A.F.G.
239	EMERGENCY STEP LIGHT, RE: ELECTRICAL
241	PAINT (PT-5) EXTERIOR DOORS.

EXTERIOR MATERIAL SCHEDULE

GL-01 VISION GLASS
BASIS OF DESIGN: VIRACON VUE1-30
SHADING COEFFICIENT (SC): .20
EXTERIOR REFLECTION: 19%
SOLAR HEAT GAIN COEFFICIENT (SHGC): .18
U-FACTOR: .26

GL-02 NOT USED

GL-03 OPAQUE GLASS
BASIS OF DESIGN: VIRACON V048

GL-04 SIMULATED ACID ETCHED VIRACON V1085

SS-01 STOREFRONT SYSTEM
BASIS OF DESIGN: OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

MP-01 METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

MP-02 PREFINISHED METAL
FLASHING 0.050" THICK
COLOR: LEAD-COTE
TO MATCH MP-01

MP-03 METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

BR-01 BRICK
MANUFACTURER: ACME
STYLE: UTILITY
SIZE: 4" x 4" x 12"
COLOR: PARK AVENUE

MO-01 MORTAR
MANUFACTURER: AHI
COLOR: VANILLA -N

MC-01 METAL COPING
MANUFACTURER: BERRIDGE
STYLE: SHADOWLINE COPING
REVEAL COPING
COLOR: LEADCOTE

PT-5 PAINT
BASIS OF DESIGN:
MANUFACTURER: SHERWIN WILLIAMS
STYLE: SW 6277 SPECIAL GRAY
SHEEN: FLAT

MS-01 METAL SOFFIT
MANUFACTURER: BERRIDGE
STYLE: HS-8
FINISH: PRE-FINISHED TO MATCH PT-5

PROJECT: 210907
WHATABURGER PT20S
SWC ALAMEDA BLVD & SAN PEDRO
ALAMEDA BLVD.
ALBUQUERQUE, NM.



8280 E. GELDING DR #101,
SCOTTSDALE, AZ 85280
WWW.AZSEG.COM
TEL. 480.588.7228

WHATABURGER

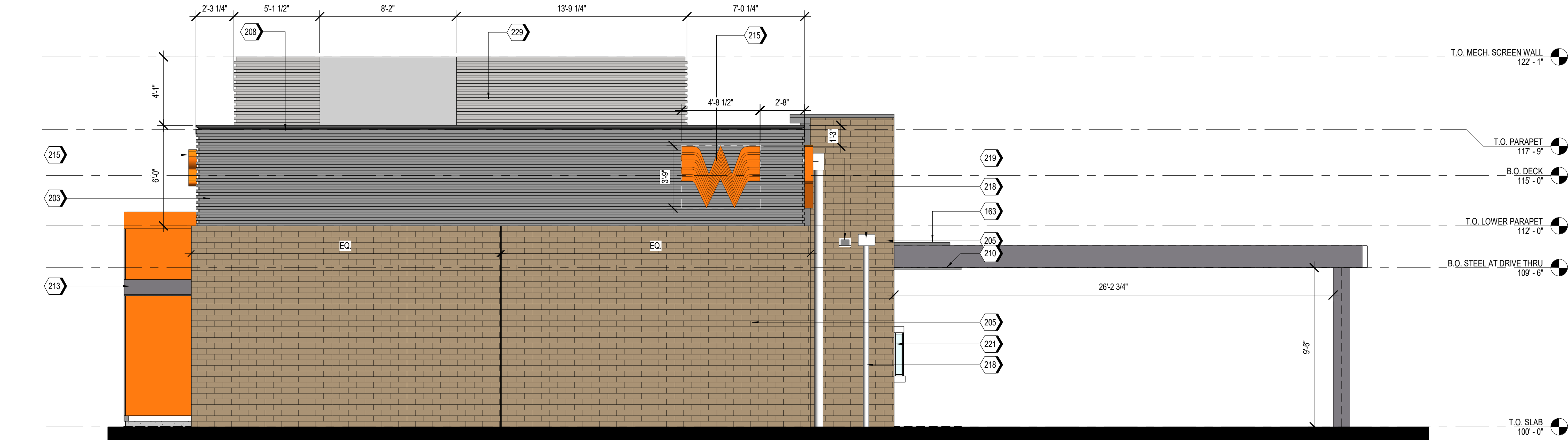
300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS.
210-476-6000 ZIP 78216.

THIS DRAWING IS THE PROPERTY OF
WHATABURGER, SAN ANTONIO,
TEXAS AND MAY NOT BE USED OR
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WITHOUT THE EXPRESSED WRITTEN
CONSENT OF WHATABURGER

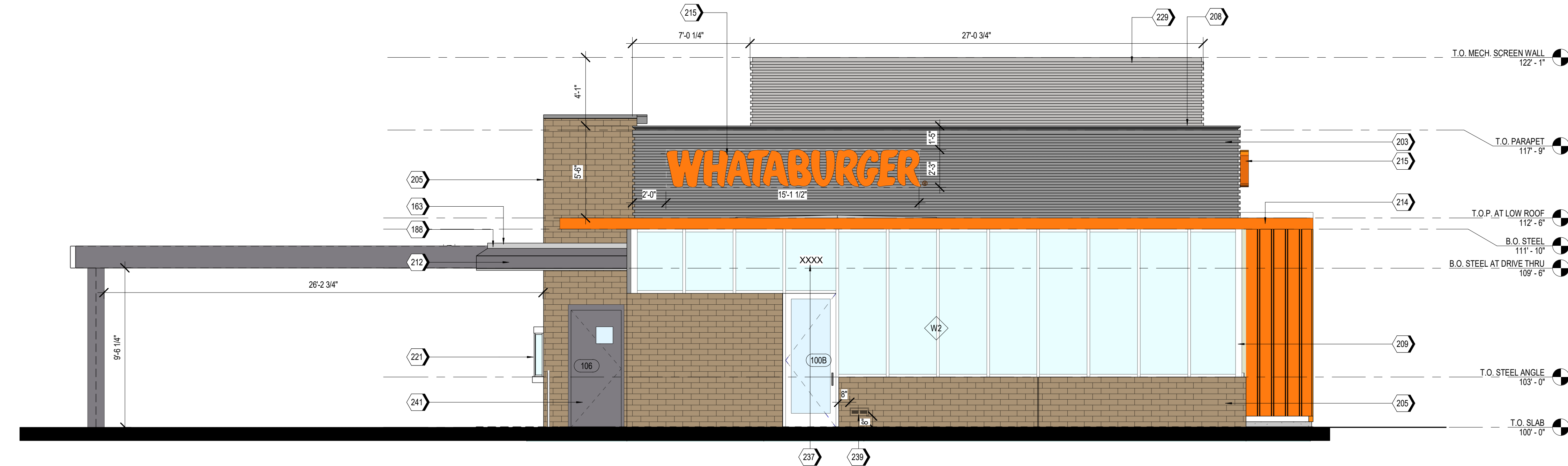
SHEET TITLE:
EXTERIOR
ELEVATIONS -
COLORED
ISSUED FOR:
DRB
PR-2018-001346

UNIT NO.
DATE: 03/18/2022
SCALE: As indicated
DRAWN BY: EG
CHECKED BY: BH

SHEET NO:
A2.3




A2 EAST ELEVATION - COLORED
SCALE 1/4" = 1'-0"
SIGN: 17 SF
FACADE: 867 SF
RATIO: 2%



A1 WEST ELEVATION - COLORED
SCALE 1/4" = 1'-0"
SIGN: 34 SF
FACADE: 871 SF
RATIO: 4%

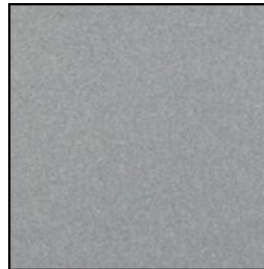
MATERIAL TEXTURES

BR-01




BRICK VENEER
ACME, PARK AVENUE
HERITAGE TEXTURE
BLEND: DTP114

SS-01




STOREFRONT SYSTEM
OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

MP-01
MP-02
MP-03




METAL PANELS
BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

PT-5



PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW 6277 SPECIAL GRAY

PT-6



PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW 7048 URBAN BRONZE

NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

KEYNOTES

170	GUARDRAIL RED/6A6.8
203	MP-01; PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01; BRICK VENEER
208	MC-01; PRE-FINISHED METAL COPING
209	SS-01; ALUMINUM STOREFRONT SYSTEM
212	DRIVE-THRU DOOR CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE.
218	PRE-FINISHED CONDUCTOR HEAD AND DOWNSPOUT, COLOR TO MATCH PAINT PT-5. COORDINATE SIZE WITH REGIONAL RAINFALL DATA, RE:B3/A5.4.
219	OVERFLOW SCUPPER
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
229	MP-03; ROOF SCREEN WALL, RE: STRUCTURAL
231	MASONRY EXPANSION JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
239	EMERGENCY STEP LIGHT, RE: ELECTRICAL
241	PAINT (PT-5) EXTERIOR DOORS.

EXTERIOR MATERIAL SCHEDULE

GL-01	VISION GLASS BASIS OF DESIGN: VIRACON VUE1-30 SHADING COEFFICIENT (SC): .20 EXTERIOR REFLECTION: 19% SOLAR HEAT GAIN COEFFICIENT (SHGC): .18 U-FACTOR: .26
GL-02	NOT USED
GL-03	OPAQUE GLASS BASIS OF DESIGN: VIRACON V948
GL-04	SIMULATED ACID ETCHED VIRACON V1085
SS-01	STOREFRONT SYSTEM BASIS OF DESIGN: OLDCASTLE STYLE: FG-3000 FINISH: CLEAR ANODIZED
MP-01	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
MP-02	PRE-FINISHED METAL FLASHING 0.050" THICK COLOR: LEAD-COTE TO MATCH MP-01
MP-03	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
BR-01	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 4" x 12" COLOR: PARK AVENUE
MO-01	MORTAR MANUFACTURER: AHI COLOR: VANILLA-N
MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING REVEAL COPING COLOR: LEADCOTE
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: HS-8 FINISH: PRE-FINISHED TO MATCH PT-5

PROJECT: 210907
WHATABURGER PT20S
SWC ALAMEDA BLVD & SAN PEDRO
ALAMEDA BLVD.
ALBUQUERQUE, NM.



8280 E. GELDING DR #101,
SCOTTSDALE, AZ 85280
WWW.AZSEG.COM
TEL. 480.588.7228

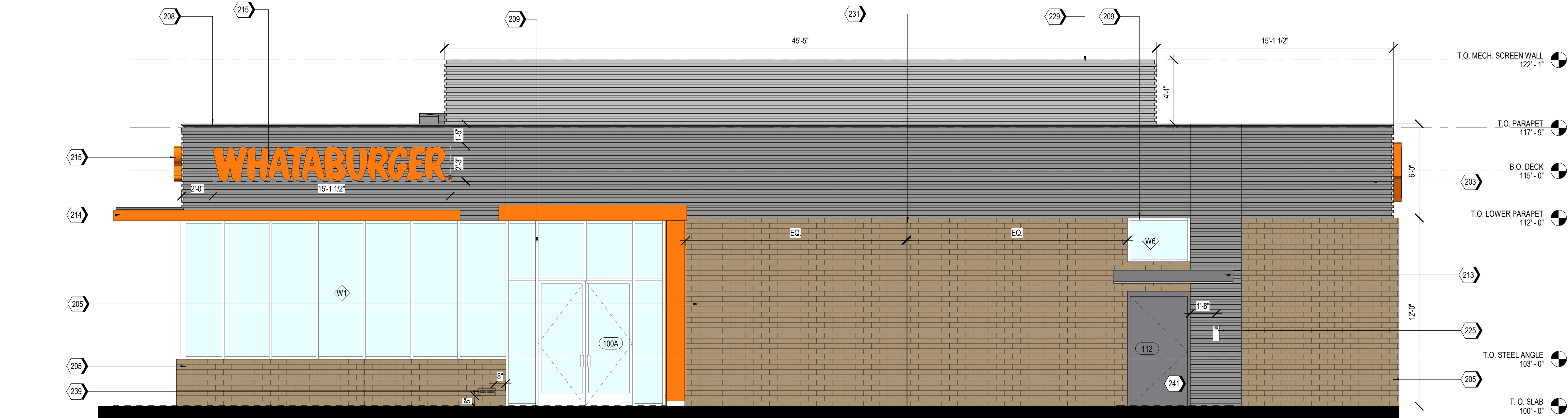
WHATABURGER
300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS.
210-476-6000 ZIP 78216.

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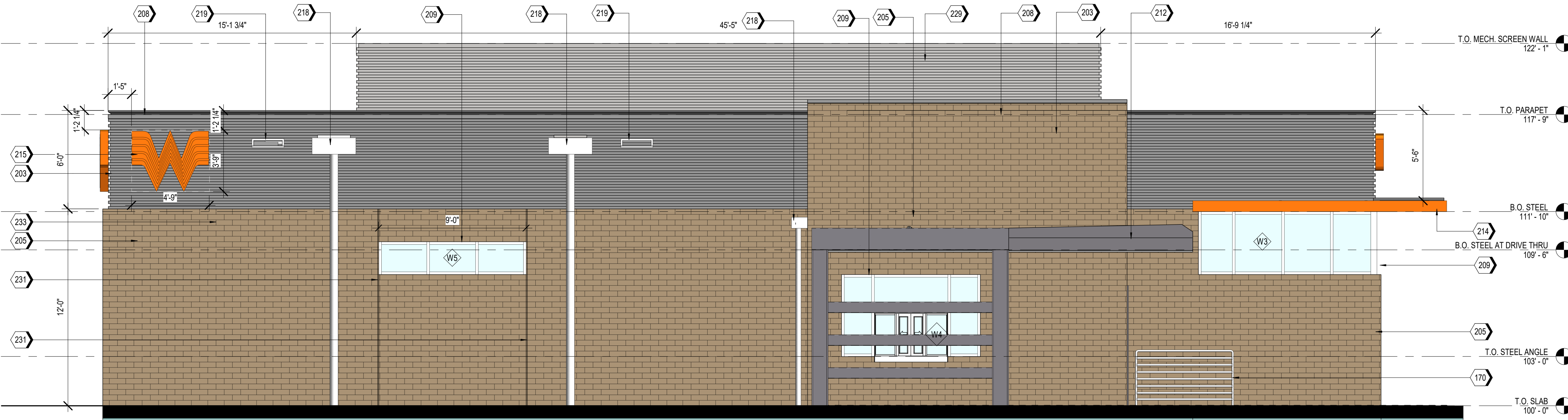
SHEET TITLE:
EXTERIOR
ELEVATIONS -
COLORED
ISSUED FOR:
DRB
PR-2018-001346

UNIT NO.
DATE: 03/18/2022
SCALE: As indicated
DRAWN BY: EG
CHECKED BY: BH

SHEET NO:
A2.4



A2 SOUTH ELEVATION - COLORED
SCALE 1/4" = 1'-0"
SIGN: 34 SF
FACADE: 1,589 SF
RATIO: 2%



A1 NORTH ELEVATION - COLORED
SCALE 1/4" = 1'-0"
SIGN: 17 SF
FACADE: 1,592 SF
RATIO: 1%

PR-2018-001346_SI-2022-00184_Site_Plan_Amendment_Approved_5-4-22_Sheet_1

Interim Agreement Report









2022-08-22


Created:	2022-08-04
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Out for Signature
Transaction ID:	CBJCHBCAABAAZkITOU76TZ0qa4TymJCZCzSDuMJqK3M8

Agreement History


Agreement history is the list of the events that have impacted the status of the agreement prior to the final signature. A final audit report will be generated when the agreement is complete.

"PR-2018-001346_SI-2022-00184_Site_Plan_Amendment_Approved_5-4-22_Sheet_1" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2022-08-04 - 10:44:56 PM GMT- IP address: 143.120.132.106
-  Document emailed to jwolfley@cabq.gov for signature
2022-08-04 - 10:48:23 PM GMT
-  Document emailed to Ernest Armijo (eamijo@cabq.gov) for signature
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to Christina Sandoval (cmsandoval@cabq.gov) for signature
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to Shahab Biazar (sbiazar@cabq.gov) for signature
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to bcarter@abcwua.org for signature
2022-08-04 - 10:48:24 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature
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-  Email viewed by Shahab Biazar (sbiazar@cabq.gov)
2022-08-04 - 10:50:56 PM GMT- IP address: 73.26.131.118


 Document e-signed by Shahab Biazar (sbiazar@cabq.gov)
Signature Date: 2022-08-04 - 10:51:47 PM GMT - Time Source: server- IP address: 73.26.131.118


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 Document e-signed by Ernest Armijo (earmijo@cabq.gov)
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2022-08-05 - 4:00:18 PM GMT- IP address: 142.202.67.2

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2022-08-05 - 11:21:57 PM GMT- IP address: 143.120.170.158

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Signature Date: 2022-08-05 - 11:22:08 PM GMT - Time Source: server- IP address: 143.120.170.158

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2022-08-09 - 7:06:12 PM GMT- IP address: 142.202.67.2

 Signer bcarter@abcwua.org entered name at signing as Blaine Carter
2022-08-09 - 8:03:56 PM GMT- IP address: 142.202.67.2

 Document e-signed by Blaine Carter (bcarter@abcwua.org)
Signature Date: 2022-08-09 - 8:03:58 PM GMT - Time Source: server- IP address: 142.202.67.2

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Sustainability Engineering Group, LLC
8280 E. Gelding Dr., Suite 101
Scottsdale, AZ 85260

Project# PR-2018-001346
Application#
SI-2022-00184 SITE PLAN AMENDMENT

LEGAL DESCRIPTION:

All or a portion of: **1-A, BLOCK 29, UNIT B, NORTH ALBUQUERQUE ACRES** zoned **NR-BP**, located on **SOUTHEAST CORNER of ALAMEDA BLVD and SAN PEDRO** containing approximately **1.001** acre(s). **(C-18)**

On May 4, 2022, the Development Review Board (DRB) held a public meeting concerning the above referenced applications and approved the requests, with delegation to Transportation and Planning, based on the following Findings:

1. The original project consisted of 44,524 GFA square feet of commercial facilities (restaurant, container development, climbing gym, and pad site) in four buildings on a 4.4-acre site. This is a request to construct a 2,999 restaurant with a drive-thru on 1.001 acres of the 4.4-acre site in the location formally occupied by a 3,000 GFA square foot restaurant (Building 1) on the original Site Plan approval which was not constructed.
 1. Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(I)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The dimensional standards, parking, landscaping, and façade design comply with the applicable provisions of the IDO: the restaurant is proposed to be constructed 36 feet from the boundary along Alameda, 31 feet from the boundary along San Pedro, and 119.5 feet from the boundary to the south, meeting the 20-foot front yard setback requirement and the 10-foot side and rear yard setback requirements; the 186-foot width of the lot meets the 100-foot minimum lot width

requirement; the maximum height of the proposed building is 22-feet in height where a maximum height of 65-feet is permitted; 33 parking spaces are proposed where a total of 24 parking spaces are required (including 2 EV spaces); 8,380 square feet of landscaping is proposed where 4,500 square feet is required; and the building/facade design requirements of 5-11(E) of the IDO are met.

- b. 6-6(l)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A Traffic Impact Study (TIS) was required, and the items required per the TIS were placed on an Infrastructure List which was approved by the DRB with the Site Plan Amendment.

- c. 6-6(l)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The subject property is not located within an approved Master Development Plan, therefore this criterion does not apply.

2. An Infrastructure List was approved with the Site Plan Amendment. A Financial Guaranty/Infrastructure Improvements Agreement (IIA) must be approved and recorded.
3. The applicant provided the required notice as outlined in the IDO Table 6-1-1.
4. The proposed use is allowed within the NR-BP zone district, and is subject to the requirements of the underlying zone district.

Conditions:

1. This Site Plan is valid 7 years from DRB approval (5/4/2021). An extension may be requested prior to the expiration date.
2. Final sign-off is delegated to Transportation for the turn-over calculation for the restaurant and to ensure there's a 4-foot ADA pathway around the back of the perpendicular ramp on the site.
3. Final sign-off is delegated to Planning for project and application numbers to be added to the Amended Site Plan, the recorded IIA, and the payment of pro rata.

4. The applicant will obtain final sign-off from Transportation and Planning by August 3, 2022 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **MAY 19, 2022**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). Files larger than 9MB can be sent to PLNDRS@CABQ.GOV using <https://wettransfer.com>. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,



Jolene Wolfley
DRB Chair

JW/jr

WHATABURGER

SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM
LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH
BERNALILLO COUNTY, NEW MEXICO.

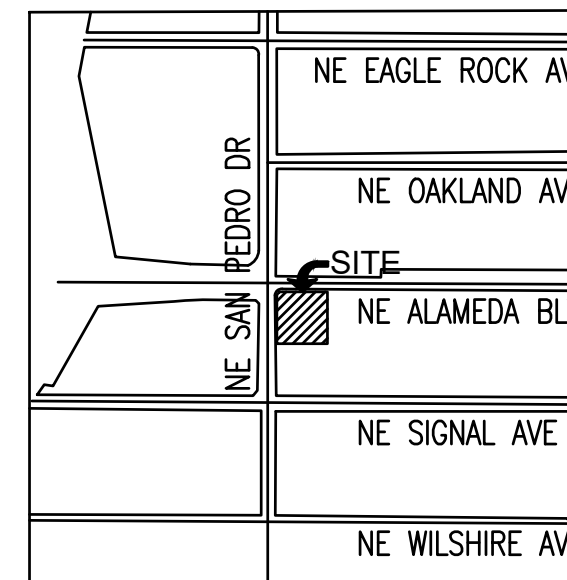
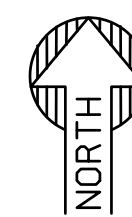
SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
- 1B 6" CURB AND GUTTER PER GRADING PLANS.
- 1C TURNDOWN SIDEWALK PER GRADING PLANS.
- 2 ACCESSIBLE RAMP PER DET. 8/C2.11.
- 2A ACCESSIBLE RAMP PER DET. 9/C2.11.
- 2B ACCESSIBLE RAMP PER DET. 10/C2.11.
- 2C LOADING ZONE PER GRADING PLANS.
- 3 CONCRETE SIDEWALK, PER C.O.A. STD. DET. DWG. 2430 WIDTH PER PLAN.
- 4 EXISTING SIDEWALK TO REMAIN.
- 5 EXISTING TRASH ENCLOSURE.
- 6 PROVIDE PAINTED ADA SYMBOL PER DET. 1/C2.10.
- 7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
- 8 PROVIDE 6' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C PER DET. 13/C2.11.
- 8A PROVIDE 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
- 10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
- 10B CONCRETE PAVEMENT PER GRADING PLANS.
- 10C EXISTING ASPHALT.
- 11 INSTALL ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 12 INSTALL DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
- 13 INSTALL DRIVE-THRU MENU BOARD. PER STRUCTURAL PLANS DET. D1/SS.1.
- 14 PROVIDE RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
- 15 RELOCATED FIRE HYDRANT LOCATION.
- 16 INSTALL 28' HIGH FLAG POLE BY G.C.
- 17 INSTALL FREE STANDING MAILBOX BY G.C.
- 18 INSTALL BIKE RACK (4 SPACES). PER DET. 5/C2.10.
- 19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
- 21 FURNISH AND INSTALL WHEEL STOP PER DET. 4/C2.10.
- 22 PROPOSED "TRASH ENCLOSURE" WITH 6-CUBIC YARD VIP COMPACTOR, DRAIN TO GREASE INTERCEPTOR PER APPROVED SOLID WASTE PLANS.
- 23 INSTALL LIGHT POLE PER ELECTRICAL PLAN.
- 24 MOTORCYCLE PARKING (2 SPACES).
- 25 ELECTRIC VEHICLE PARKING (2 SPACES).
- 26 GREASE INTERCEPTOR PER UTILITY PLANS.
- 27 PROPOSED MONUMENT SIGN LOCATION.
- 28 INSTALL MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
- 29 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET. 2600-401 & 2600-404
- 30 SIGHT LINE TRIANGLE.
- 31 ELECTRICAL CABINET.
- 32 MOTORCYCLE PARKING ONLY SIGN.
- 33 FUTURE CHARGING STATION LOCATION.
- 34 CURB TRANSITION FROM 6" TO 0" PER CIVIL PLANS.
- 35 PROPOSED 30" STOP SIGN AT DRIVEWAY. PER C.O.A. STD. DWG. 2600-601
- 36 PROVIDE PAINTED ADA ACCESS AISLE SYMBOL PER DET. 7/C2.11.
- 37 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 11/C2.11.
- 38 PROPOSED "ONE WAY" SIGN, PER C.O.A. STD. DET. 2600-603.

S/T/R
13 11N 3E

VICINITY MAP

SCALE 1:800



SITE PLAN NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
5. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
6. IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
7. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
8. ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
9. A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
10. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

SIGHT DISTANCE NOTE

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

DEVELOPMENT SUMMARY TABLE:

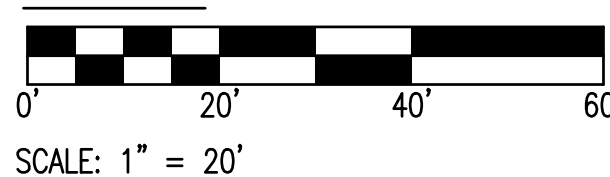
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PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU			
UPC:	101806 428134 810229			
ZONING:	NR-BP			
LOT SIZE:	43,565	SF	1.00	AC
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH			
BUILDING AREA:	2,816	SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED		
RESTAURANT BUILDING:	50 FT.	22 FT.		
LOT STANDARDS	REQUIRED	PROPOSED		
MIN LOT WIDTH:	100 FT.	± 186 FT.		
PARKING REQUIREMENT	REQUIRED	PROPOSED		
VEHICLE (2,965 SF/1,000 SF x 8):	23			
ADA SPACES:	2	33	INCL.	2 EV SPACES
EV SPACES:	2			2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2		
BICYCLE SPACES:	3	4		
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED		
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.		
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.		
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.		
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED		
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.		
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.		WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.		

- 39 PROPOSED "DO NOT ENTER" SIGN, PER C.O.A. STD. DET. 2600-603.
- 40 PROPOSED "NO LEFT EXIT" SIGN PER C.O.A. STD. DET. 2600-701.
- 41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
- 42 PROVIDE STOP LINE WITH 12" WIDE WHITE PAINT.
- 43 PROVIDE DIVIDING LINE WITH 4" WIDE YELLOW PAINT.

PROPOSED LEGEND:

	VERTICAL CURB		CONCRETE PAVEMENT/SIDEWALK
	CURB AND GUTTER		HEAVY DUTY PAVEMENT
	PARKING COUNT		EXISTING PAVEMENT
	PAVEMENT STRIPING		ACCESSIBLE PEDESTRIAN PATH
	FIRE HYDRANT		
	TRANSFORMER		28'/48' FIRE ACCESS TURN RADIUS
			RED PAINTED FIRE CURB RE: DET. 6/C2.10

SITE PLAN



ALAMEDA BOULEVARD, N.E.

SAN PEDRO DRIVE, N.E.

LOT 32, BLOCK 29
TRACT A, UNIT B, NORTH
ALBUQUERQUE ACRES
(04/24/1936, D-130)

LOT 31, BLOCK 29
TRACT A, UNIT B, NORTH
ALBUQUERQUE ACRES
(04/24/1936, D-130)

LOT 2-A, BLOCK 29
TRACT A, UNIT B, NORTH
ALBUQUERQUE ACRES
(09/28/2018C-127)

SUSTAINABILITY
ENGINEERING
GROUP



CALL NM ONE-CALL SYSTEM SEVEN
(7) DAYS PRIOR TO ANY EXCAVATION

PROJECT
WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

DRAWN: GA 05/09/2023
DESIGNED: LP 05/09/2023
QC:
FINAL QC:
PROJ. MGR.: AF 05/09/2023
DATE: 05/09/2023

ISSUED FOR:
ADMINISTRATIVE
AMENDMENT

REVISION NO.:	DATE:
JOB NO.:	210907

SHEET TITLE:

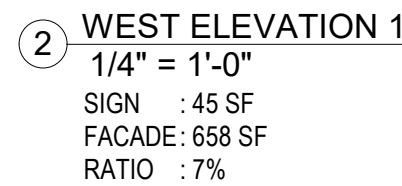
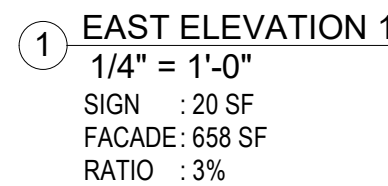
SITE PLAN

PAGE NO.:
5 OF 14

SHEET NO.:
C2.00

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1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



111	ENTERA PRE-MANUFACTURED CANOPY, BY OTHERS
170	ENTERA PRE-MANUFACTURED GUARDRAIL, BY OTHERS, RE:B4/A0_1
191	ENTERA PRE-MANUFACTURED ROOF SCREEN, BY OTHERS
203	MP-01; PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01; BRICK VENEER
208	MC-01; PRE-FINISHED METAL COPING
209	SS-01; ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
221	DRIVE-THRU WINDOW
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
226	STAINLESS STEEL SHIELD W/ 1/2" HOLE THROUGH WALL FOR CO2 PORT
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL, RE: A.1.3 FOR DIMENSIONS
237	PAINTING ADDRESS 6" HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10' A.F.G.
241	PAINT (PT-5) EXTERIOR DOORS.
262	WIRELESS ACCESS POINT
808	PROVIDE BLOCKING FOR SIGNAGE AS REQUIRED

BRICK VENEER
ACME, PARK AVENUE
HERITAGE TEXTURE
BLEND: DTP114

STOREFRONT SYSTEM
OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

METAL PANELS
BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

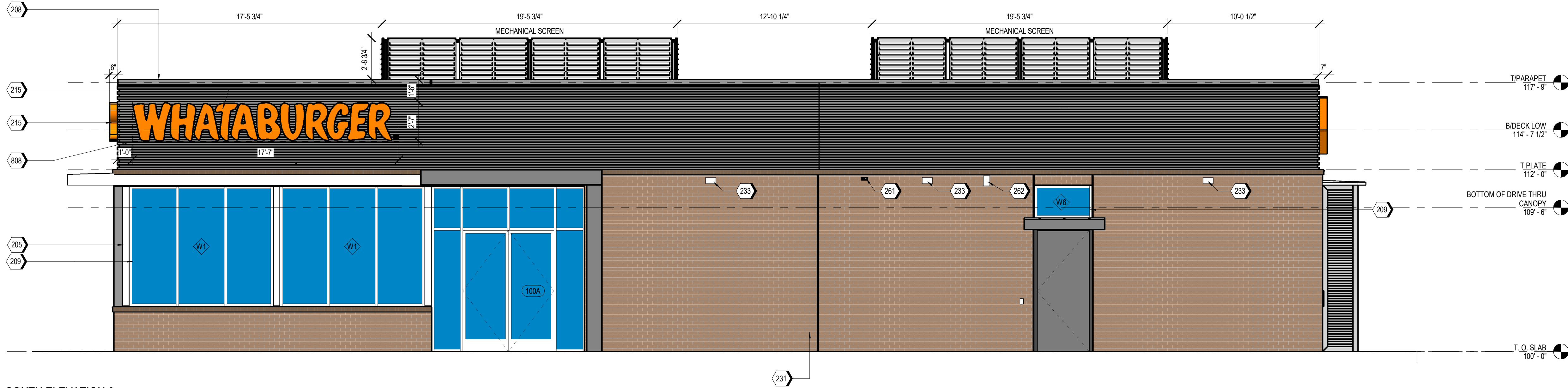
PAINT
MANUFACTURER:
SHERWIN WILLIAMS
COLOR: SW 6277 SPECIAL
GRAY

PAINT
MANUFACTURER: SHERWIN
WILLIAMS
COLOR: SW 7048 URBAN
BRONZE

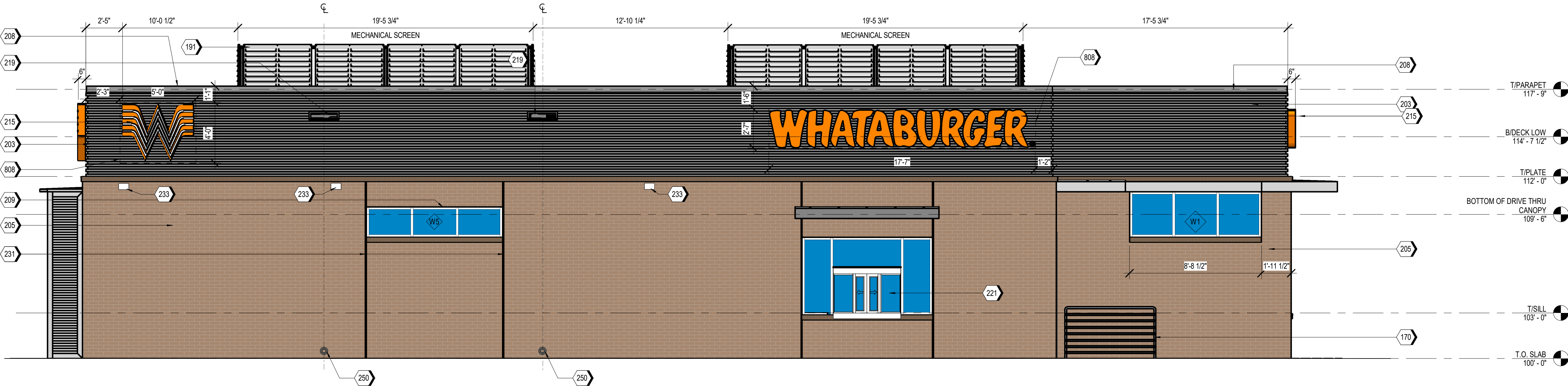
SPECIFICATION SECTION: 09 91 13
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT NUMBER: SW7655
COLOR: STAMPED CONCRETE
LOCATION: RE: ELEVATIONS
NOTES: FLAT FINISH. INTERIOR SIDE OF
DOORS/FRAMES EGGSHELL FINISH.



- NOTES
1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



- 1 SOUTH ELEVATION 2
- 1/4" = 1'-0"
- SIGN : 45 SF
- FACADE: 1,430 SF
- RATIO : 3%



- 2 NORTH ELEVATION 2
- 1/4" = 1'-0"
- SIGN : 65 SF
- FACADE: 1,430 SF
- RATIO : 4.5%

KEYNOTES

170	ENTERA PRE-MANUFACTURED GUARDRAIL, BY OTHERS, RE:BA/AB.1
191	ENTERA PRE-MANUFACTURED ROOF SCREEN, BY OTHERS
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01: BRICK VENEER
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL, RE: A1.3 FOR DIMENSIONS
250	DOWNSPOUT NOZZLE 6 INCHES ABOVE INTERIOR FINISH FLOOR
261	SECURITY CAMERA
262	WIRELESS ACCESS POINT
808	PROVIDE BLOCKING FOR SIGNAGE AS REQUIRED

MATERIAL TEXTURES

BR-01



BRICK VENEER
ACME, PARK AVENUE
HERITAGE TEXTURE
BLEND: DTP114

SS-01



STOREFRONT SYSTEM
OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

MP-01
MP-02
MP-03



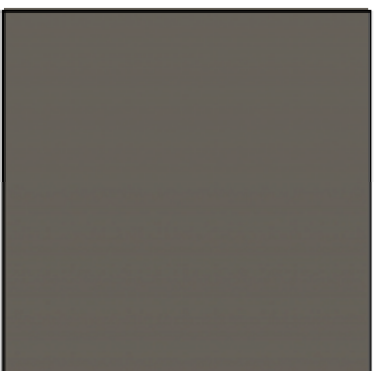
METAL PANELS
BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

PT-5



PAINT
MANUFACTURER:
SHERWIN WILLIAMS
COLOR: SW 6277 SPECIAL
GRAY

PT-6



PAINT
MANUFACTURER: SHERWIN
WILLIAMS
COLOR: SW 7048 URBAN
BRONZE

EXTERIOR MATERIALS

BR01 EXTERIOR BRICK

SPECIFICATION SECTION: 04 26 13
MANUFACTURER: ACME
TYPE: MODULAR
COLOR: PARK AVENUE
SIZE: 3-5/8" X 2-1/4" X 7-5/8"

BR02 EXTERIOR BRICK

SPECIFICATION SECTION: 04 26 13
MANUFACTURER: ACME
TYPE: MODULAR
COLOR: DOESKIN
SIZE: 3-5/8" X 2-1/4" X 7-5/8"

EM01 EXTERIOR MORTAR

SPECIFICATION SECTION: 04 26 13
MANUFACTURER: AHI
COLOR: VANILLA-N

GLAZING

GL01 GLAZING

SPECIFICATION SECTION: 08 80 00
ITEM: IGU VISION GLASS
MANUFACTURER: VITRO
PRODUCT NAME: SOLARBAN Z75/70 (2) OPTIBLUE +
CLEAR IGU
SIZE: VARIES
LOCATION: EXTERIOR WALL
NOTES: VLT 46% U-VALUE: 28 SHGC: 23 LSG 2.00

GL03 GLAZING

SPECIFICATION SECTION: 08 80 00
ITEM: IGU OPAQUE SPANDREL GLASS
MANUFACTURER: VITRO
PRODUCT NAME: OPACI-COAT-300
FINISH: #3-5323 OLD EAGLE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

SS01 STOREFRONT SYSTEM

SPECIFICATION SECTION: 08 41 13
MANUFACTURER: OLDCASTLE
PRODUCT NAME: FG-3000 THERMAL
FINISH: CLEAR ANODIZED
SIZE: VARIES
LOCATION: SEE ELEVATIONS

MP01 METAL PANEL

SPECIFICATION SECTION: 07 42 13.13
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: BERRIDGE BR-12 PANEL IS B.O.D.
MATERIAL: 0.040 ALUM.
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

MP02 METAL PANEL

SPECIFICATION SECTION: 07 42 13.13
ITEM: FLASHING
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: SHEET METAL FLASHING
MATERIAL: 0.040 ALUM.
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE DETAILS
NOTES: MATCH MP01

MP03 METAL PANEL AT ELECTRICAL ENCLOSURE

SPECIFICATION SECTION: 07 42 13.13
ITEM: FLASHING
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: BERRIDGE BR-12 PANEL IS B.O.D.
MATERIAL: 0.040 ALUM.
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS
NOTES: MP01

MC01 METAL PANEL

SPECIFICATION SECTION: 07 71 00
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: METAL COPING SYSTEM
MATERIAL: COPING
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

MS01 METAL SOFFIT

SPECIFICATION SECTION: 07 42 93
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: ACM
FINISH: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

PT-5 EXTERIOR PAINTING

SPECIFICATION SECTION: 09 91 13
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT NUMBER: SW7655
COLOR: STAMPED CONCRETE
LOCATION: RE: ELEVATIONS
NOTES: FLAT FINISH. INTERIOR SIDE OF
DOORS/FRAMES EGGSHELL FINISH.



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Date	Description
1 03.24.2023	ISSUE FOR PERMIT REVISIONS

Seal / Signature

Project Name ABQ ALAMEDA_PT22S

SWC ALAMEDA & SAN PEDRO DR.,
ALBUQUERQUE, NM

Project Number

122.0088.430

Description

EXTERIOR COLOR ELEVATIONS

Scale

1/4" = 1'-0"

SK003

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