

WHATABURGER

SITE PLAN

6100 ALAMEDA NE BLVD, ALBUQUERQUE, NM
LOT 1-A, BLOCK 29, TRACT A, UNIT B OF NORTH
BERNALILLO COUNTY, NEW MEXICO.

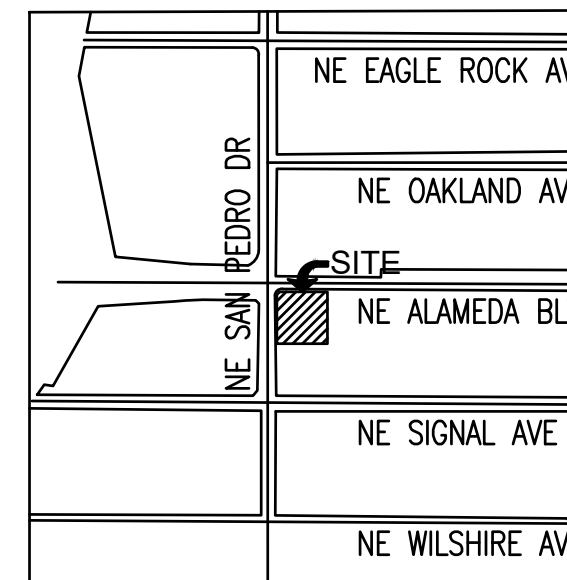
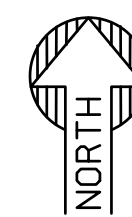
SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB PER GRADING PLANS.
1B 6" CURB AND GUTTER PER GRADING PLANS.
1C TURNDOWN SIDEWALK PER GRADING PLANS.
2 ACCESSIBLE RAMP PER DET. 8/C2.11.
2A ACCESSIBLE RAMP PER DET. 9/C2.11.
2B ACCESSIBLE RAMP PER DET. 10/C2.11.
2C LOADING ZONE PER GRADING PLANS.
3 CONCRETE SIDEWALK, PER C.O.A. STD. DET. DWG. 2430 WIDTH PER PLAN.
4 EXISTING SIDEWALK TO REMAIN.
5 EXISTING TRASH ENCLOSURE.
6 PROVIDE PAINTED ADA SYMBOL PER DET. 1/C2.10.
7 PROVIDE 4" WIDE WHITE PAINTED STRIPING, TYP.
8 PROVIDE 6' WIDE PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C PER DET. 13/C2.11.
8A PROVIDE 8' WIDE PEDESTRIAN PATHWAY AT ACCESSIBLE PARKING WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
9 INSTALL 6" STEEL BOLLARDS PER DET. 3/C2.10.
10A PROVIDE HEAVY DUTY ASPHALT PAVEMENT PER CIVIL PLANS.
10B CONCRETE PAVEMENT PER GRADING PLANS.
10C EXISTING ASPHALT.
11 INSTALL ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
12 INSTALL DRIVE-THRU CLEARANCE BAR PER ARCHITECTURAL PLANS.
13 INSTALL DRIVE-THRU MENU BOARD. PER STRUCTURAL PLANS DET. D1/SS.1.
14 PROVIDE RESTAURANT CANOPY PER ARCHITECTURAL PLANS.
15 RELOCATED FIRE HYDRANT LOCATION.
16 INSTALL 28' HIGH FLAG POLE BY G.C.
17 INSTALL FREE STANDING MAILBOX BY G.C.
18 INSTALL BIKE RACK (4 SPACES). PER DET. 5/C2.10.
19 REMOVE AND REPLACE SIDEWALK. WIDTH PER PLAN.
21 FURNISH AND INSTALL WHEEL STOP PER DET. 4/C2.10.
22 PROPOSED "TRASH ENCLOSURE" WITH 6-CUBIC YARD VIP COMPACTOR, DRAIN TO GREASE INTERCEPTOR PER APPROVED SOLID WASTE PLANS.
23 INSTALL LIGHT POLE PER ELECTRICAL PLAN.
24 MOTORCYCLE PARKING (2 SPACES).
25 ELECTRIC VEHICLE PARKING (2 SPACES).
26 GREASE INTERCEPTOR PER UTILITY PLANS.
27 PROPOSED MONUMENT SIGN LOCATION.
28 INSTALL MENU BOARD CANOPY PER ARCHITECTURAL PLAN A6.8.
29 PROPOSED "PEDESTRIAN WARNING + 15MPH SPEED" SIGN PER C.O.A. STD. DET. 2600-401 & 2600-404
30 SIGHT LINE TRIANGLE.
31 ELECTRICAL CABINET.
32 MOTORCYCLE PARKING ONLY SIGN.
33 FUTURE CHARGING STATION LOCATION.
34 CURB TRANSITION FROM 6" TO 0" PER CIVIL PLANS.
35 PROPOSED 30" STOP SIGN AT DRIVEWAY. PER C.O.A. STD. DWG. 2600-601
36 PROVIDE PAINTED ADA ACCESS AISLE SYMBOL PER DET. 7/C2.11.
37 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 11/C2.11.
38 PROPOSED "ONE WAY" SIGN, PER C.O.A. STD. DET. 2600-603.

S/T/R
13 11N 3E

VICINITY MAP

SCALE 1:800



SITE PLAN NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
- A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
- OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

SIGHT DISTANCE NOTE

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

DEVELOPMENT SUMMARY TABLE:

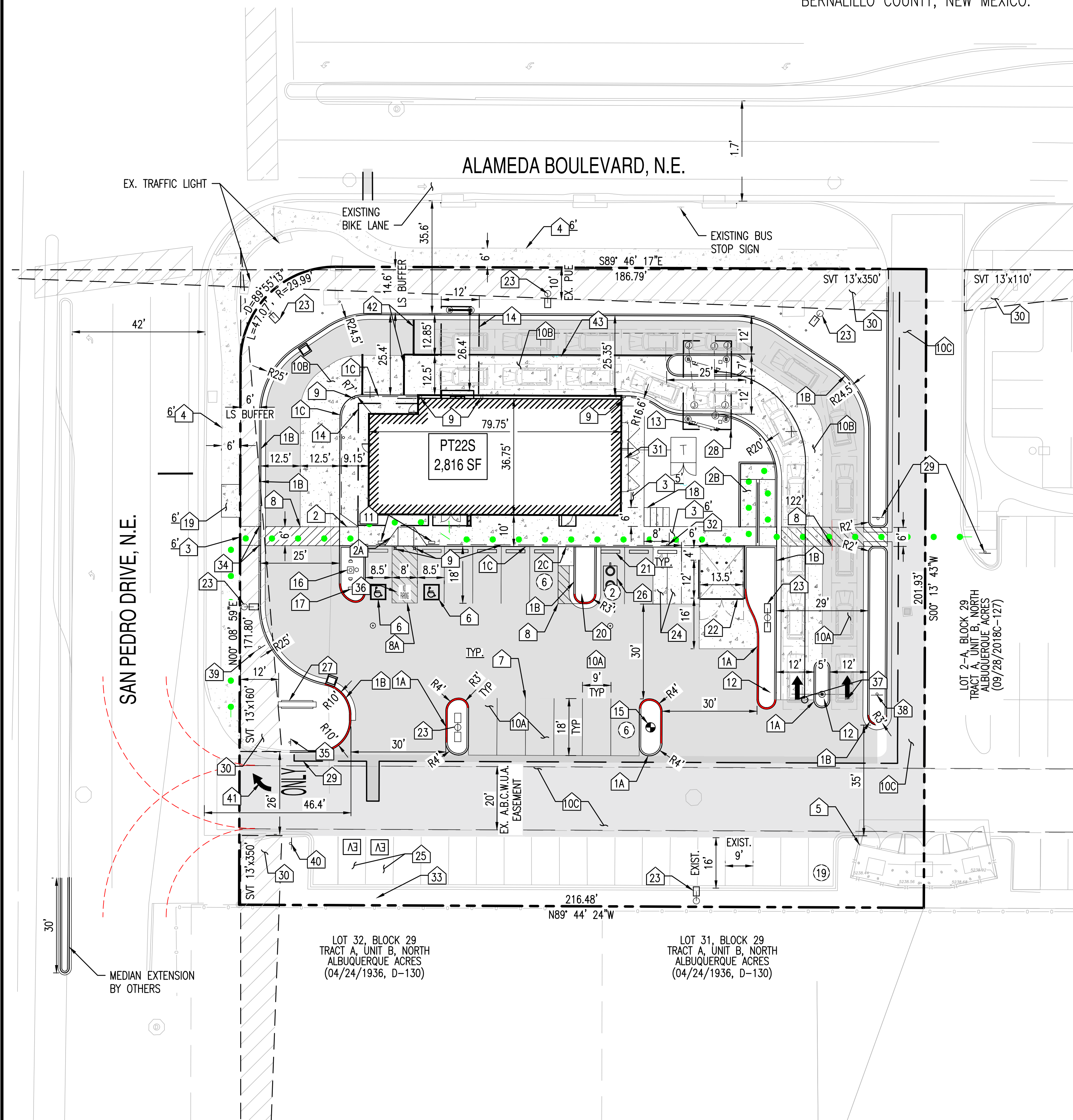
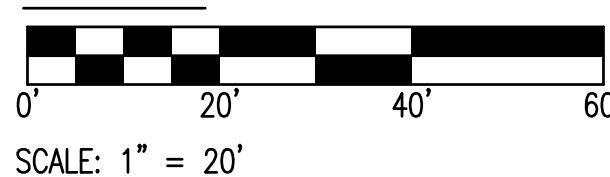
PROJECT ADDRESS:	6100 ALAMEDA BLVD NE, ALBUQUERQUE, NM			
PROJECT DESCRIPTION:	PROPOSED WHATABURGER W/ DRIVE THRU			
UPC:	101806 428134 810229			
ZONING:	NR-BP			
LOT SIZE:	43,565	SF	1.00	AC
PROPOSED USE:	RESTAURANT W/ DRIVE THROUGH			
BUILDING AREA:	2,816	SF		
MAX BUILDING HEIGHT:	ALLOWED	PROPOSED		
RESTAURANT BUILDING:	50 FT.	22 FT.		
LOT STANDARDS	REQUIRED	PROPOSED		
MIN LOT WIDTH:	100 FT.	± 186 FT.		
PARKING REQUIREMENT	REQUIRED	PROPOSED		
VEHICLE (2,965 SF/1,000 SF x 8):	23			
ADA SPACES:	2	33	INCL.	2 EV SPACES
EV SPACES:	2			2 ADA SPACES
MOTORCYCLE (1 PER 25 SPACES):	2	2		
BICYCLE SPACES:	3	4		
MINIMUM BUILDING SETBACKS	REQUIRED	PROPOSED		
FRONT (ALAMEDA BLVD NE):	10 FT.	± 36 FT.		
SIDE (SAN PEDRO ROAD NE):	10 FT.	± 31 FT.		
REAR (SOUTH SIDE):	10 FT.	± 119.5 FT.		
MINIMUM LANDSCAPE BUFFER	REQUIRED	PROPOSED		
FRONT (ALAMEDA BLVD NE):	10 FT.	± 10 FT.		
SIDE (SAN PEDRO ROAD NE):	6 FT.	± 22 FT.		WHERE PARKING LOTS ADJACENT TO LOT EDGE
REAR (SOUTH SIDE):	6 FT.	± 6 FT.		

- 39 PROPOSED "DO NOT ENTER" SIGN, PER C.O.A. STD. DET. 2600-603.
40 PROPOSED "NO LEFT EXIT" SIGN PER C.O.A. STD. DET. 2600-701.
41 PROVIDE "RIGHT TURN ONLY" PAVEMENT MARKING PER C.O.A. STD. DET. 2600-105.
42 PROVIDE STOP LINE WITH 12" WIDE WHITE PAINT.
43 PROVIDE DIVIDING LINE WITH 4" WIDE YELLOW PAINT.

PROPOSED LEGEND:

	VERTICAL CURB		CONCRETE PAVEMENT/SIDEWALK
	CURB AND GUTTER		HEAVY DUTY PAVEMENT
	PARKING COUNT		EXISTING PAVEMENT
	PAVEMENT STRIPING		ACCESSIBLE PEDESTRIAN PATH
	FIRE HYDRANT		
	TRANSFORMER		28'/48' FIRE ACCESS TURN RADIUS
			RED PAINTED FIRE CURB RE: DET. 6/C2.10

SITE PLAN



SUSTAINABILITY
ENGINEERING
GROUP



PROJECT
WHATABURGER NM
SEC ALAMEDA BLVD NE
& SAN PEDRO AVE NE

DRAWN: GA 05/09/2023
DESIGNED: LP 05/09/2023
QC:
FINAL QC:
PROJ. MGR.: AF 05/09/2023

DATE: 05/09/2023

ISSUED FOR:

ADMINISTRATIVE
AMENDMENT

REVISION NO.:

DATE:

210907

JOB NO.:

210907

SHEET TITLE:

SITE PLAN

PAGE NO.:

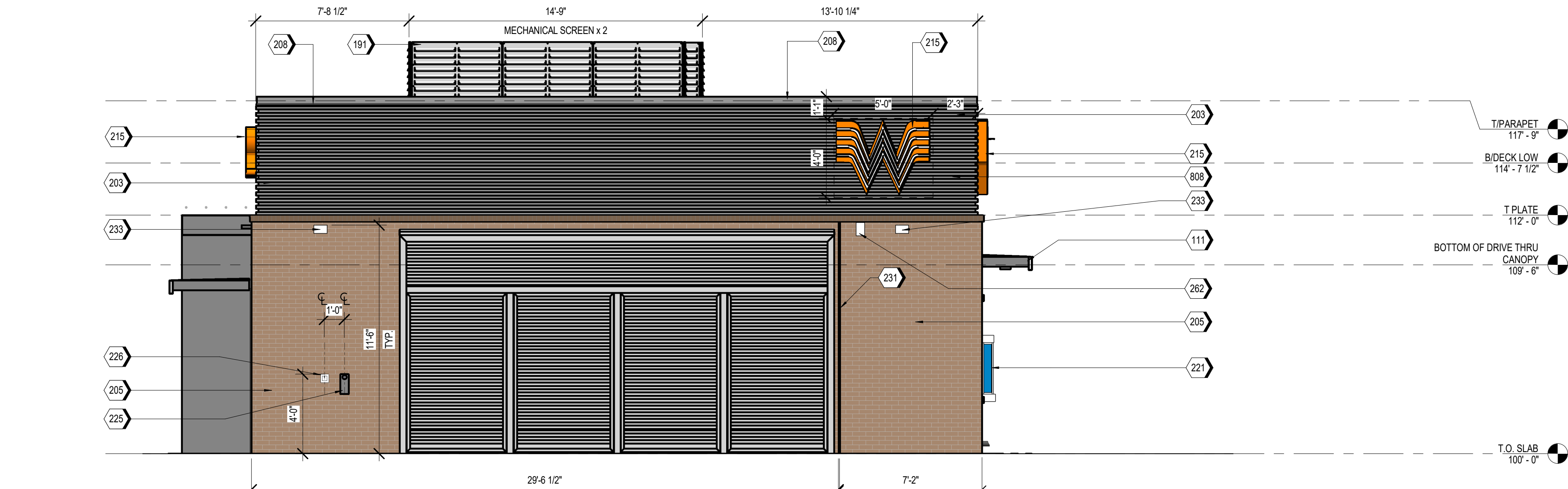
5 OF 14

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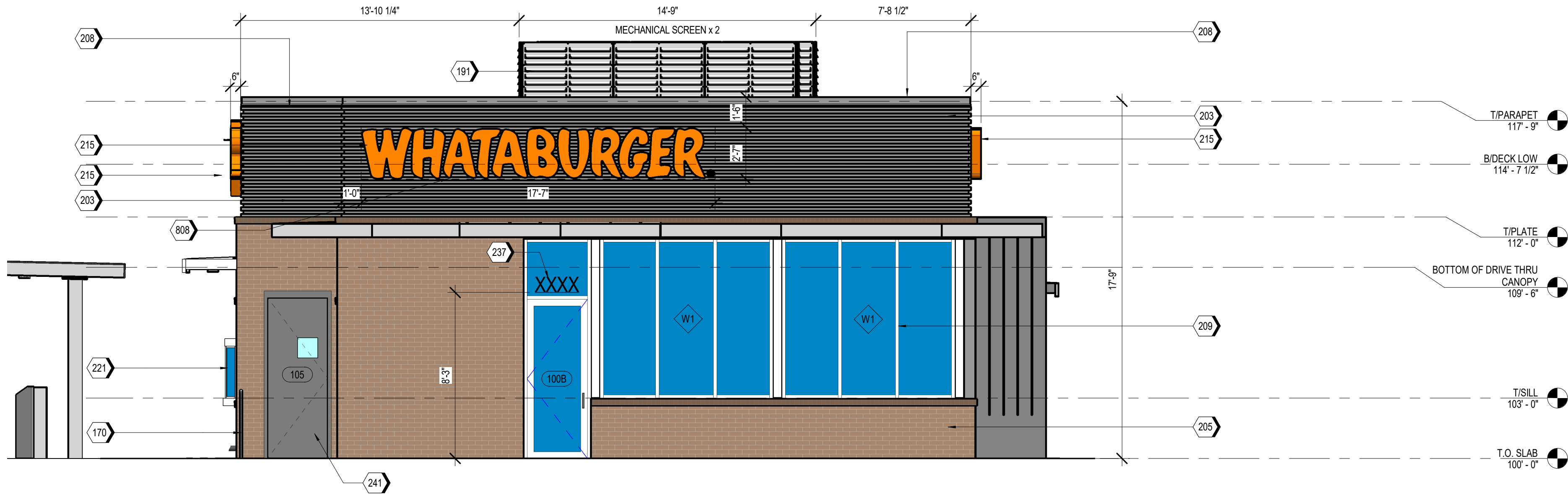
C2.00

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NOTES
1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



1 EAST ELEVATION 1
1/4" = 1'-0"
SIGN : 20 SF
FACADE: 658 SF
RATIO : 3%



2 WEST ELEVATION 1
1/4" = 1'-0"
SIGN : 45 SF
FACADE: 658 SF
RATIO : 7%

KEYNOTES

111	ENTERA PRE-MANUFACTURED CANOPY, BY OTHERS
170	ENTERA PRE-MANUFACTURED GUARDRAIL, BY OTHERS. RE:B4/A0.1
191	ENTERA PRE-MANUFACTURED ROOF SCREEN, BY OTHERS
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01: BRICK VENEER
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
221	DRIVE-THRU WINDOW
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
226	STAINLESS STEEL SHIELD W/ 1/2" HOLE THROUGH WALL FOR CO2 PORT
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL, RE: A1.3 FOR DIMENSIONS
237	BUILDING ADDRESS 6" HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10' A.F.G.
241	PAINT (PT-5) EXTERIOR DOORS.
262	WIRELESS ACCESS POINT
808	PROVIDE BLOCKING FOR SIGNAGE AS REQUIRED

MATERIAL TEXTURES

BR-01



BRICK VENEER
ACME, PARK AVENUE
HERITAGE TEXTURE
BLEND: DTP114

SS-01



STOREFRONT SYSTEM
OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

MP-01



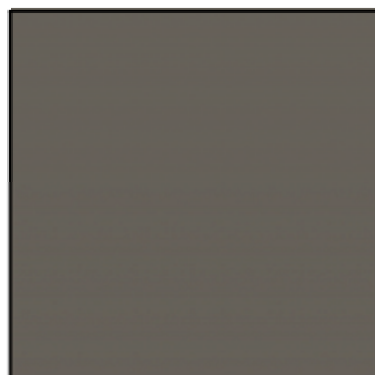
METAL PANELS
BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

PT-5



PAINT
MANUFACTURER:
SHERWIN WILLIAMS
COLOR: SW 6277 SPECIAL
GRAY

PT-6



PAINT
MANUFACTURER: SHERWIN
WILLIAMS
COLOR: SW 7048 URBAN
BRONZE

EXTERIOR MATERIALS

BR01 EXTERIOR BRICK

SPECIFICATION SECTION: 04 26 13
MANUFACTURER: ACME
TYPE: MODULAR
COLOR: PARK AVENUE
SIZE: 3-5/8" X 2-1/4" X 7-5/8"

BR02 EXTERIOR BRICK

SPECIFICATION SECTION: 04 26 13
MANUFACTURER: ACME
TYPE: MODULAR
COLOR: DOESKIN
SIZE: 3-5/8" X 2-1/4" X 7-5/8"

EM01 EXTERIOR MORTAR

SPECIFICATION SECTION: 04 26 13
MANUFACTURER: AHI
COLOR: VANILLA-N

GLAZING

GL01 GLAZING

SPECIFICATION SECTION: 08 80 00
ITEM: IGU VISION GLASS
MANUFACTURER: VITRO
PRODUCT NAME: SOLARBAN Z75/70 (2) OPTIBLUE +
CLEAR IGU
SIZE: VARIES
LOCATION: EXTERIOR WALL
NOTES: VLT 46% U-VALUE .28 SHGC .23 LSG 2.00

GL03 GLAZING

SPECIFICATION SECTION: 08 80 00
ITEM: IGU OPAQUE SPANDREL GLASS
MANUFACTURER: VITRO
PRODUCT NAME: OPACI-COAT-300
FINISH: #3-5323 OLD EAGLE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

SS01 STOREFRONT SYSTEM

SPECIFICATION SECTION: 08 41 13
MANUFACTURER: OLDCASTLE
PRODUCT NAME: FG-3000 THERMAL
FINISH: CLEAR ANODIZED
SIZE: VARIES
LOCATION: SEE ELEVATIONS

MP01 METAL PANEL

SPECIFICATION SECTION: 07 42 13.13
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: BERRIDGE BR-12 PANEL IS B.O.D.
MATERIAL: 0.040 ALUM.
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

MP02 METAL PANEL

SPECIFICATION SECTION: 07 42 13.13
ITEM: FLASHING
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: SHEET METAL FLASHING
MATERIAL: 0.040 ALUM.
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE DETAILS
NOTES: MATCH MP01

MP03 METAL PANEL AT ELECTRICAL ENCLOSURE

SPECIFICATION SECTION: 07 42 13.13
ITEM: FLASHING
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: BERRIDGE BR-12 PANEL IS B.O.D.
MATERIAL: 0.040 ALUM.
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS
NOTES: MP01

MC01 METAL PANEL

SPECIFICATION SECTION: 07 71 00
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: METAL COPING SYSTEM
MATERIAL: COPING
COLOR: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

MS01 METAL SOFFIT

SPECIFICATION SECTION: 07 42 93
MANUFACTURER: ENTERA BRANDING
PRODUCT NAME: ACM
FINISH: SW7655 STAMPED CONCRETE
SIZE: VARIES
LOCATION: SEE ELEVATIONS

PT-5 EXTERIOR PAINTING

SPECIFICATION SECTION: 09 91 13
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT NUMBER: SW7655
COLOR: STAMPED CONCRETE
LOCATION: RE: ELEVATIONS
NOTES: FLAT FINISH. INTERIOR SIDE OF
DOORS/FRAMES EGGSHELL FINISH.



Gensler

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United States

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5900 Venture Crossing Blvd, Panama City, FL 32409

Date	Description
1 03.24.2023	ISSUE FOR PERMIT REVISIONS

Seal / Signature

Project Name ABQ ALAMEDA_PT22S

SWC ALAMEDA & SAN PEDRO DR.,
ALBUQUERQUE, NM

Project Number

122.0088.430

Description

EXTERIOR COLOR ELEVATIONS

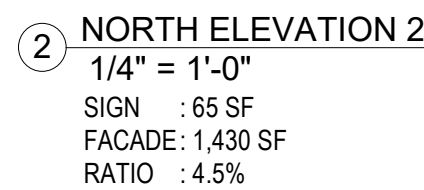
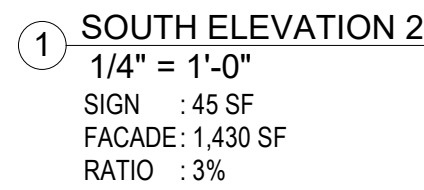
Scale

1/4" = 1'-0"

SK002

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1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



170	ENTERA PRE-MANUFACTURED GUARDRAIL, BY OTHERS, RE B4(A)0.1
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205	BR-01: BRICK VENEER
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL, RE: A1.3 FOR DIMENSIONS
250	DOWNSPOUT NOZZLE 6 INCHES ABOVE INTERIOR FINISH FLOOR
261	SECURITY CAMERA
262	WIRELESS ACCESS POINT
808	PROVIDE BLOCKING FOR SIGNAGE AS REQUIRED

BRICK VENEER
ACME, PARK AVENUE
HERITAGE TEXTURE
BLEND: DTP114

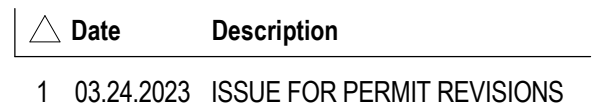
STOREFRONT SYSTEM
OLDCASTLE
STYLE: FG-3000
FINISH: CLEAR ANODIZED

METAL PANELS
BERRIDGE
STYLE: BR-12 PANEL
0.040 ALUMINUM
COLOR: LEAD-COTE

PAINT
MANUFACTURER:
SHERWIN WILLIAMS
COLOR: SW 6277 SPECIAL
GRAY

PAINT
MANUFACTURER: SHERWIN
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COLOR: SW 7048 URBAN
BRONZE

SPECIFICATION SECTION: 09 91 13
MANUFACTURER: SHERWIN WILLIAMS
PRODUCT NUMBER: SW7655
COLOR: STAMPED CONCRETE
LOCATION: RE: ELEVATIONS
NOTES: FLAT FINISH. INTERIOR SIDE OF
DOORS/FRAMES EGGSHELL FINISH.



Project Name ABQ ALAMEDA_PT22S

Project Number

122.0088.430

Description

EXTERIOR COLOR ELEVATIONS

Scale

$$1/4'' = 1'-0''$$

SK003