



# DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

## APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

## BRIEF DESCRIPTION OF REQUEST

Final two structures (Buildings G and H) and the garden plaza area as indicated in the approved site plan are resolved, financed and ready for submission.

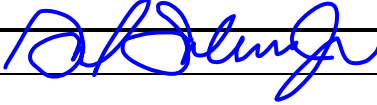
## SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

## LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

## CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:		Date:
Printed Name:		<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

## FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS****\_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Archaeological Compliance Form with property information section completed
- \_\_\_ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**\_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ ACCELERATED EXPIRATION OF SITE PLAN**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 6) Site Plan to be Expired

**\_ ALTERNATIVE SIGNAGE PLAN**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

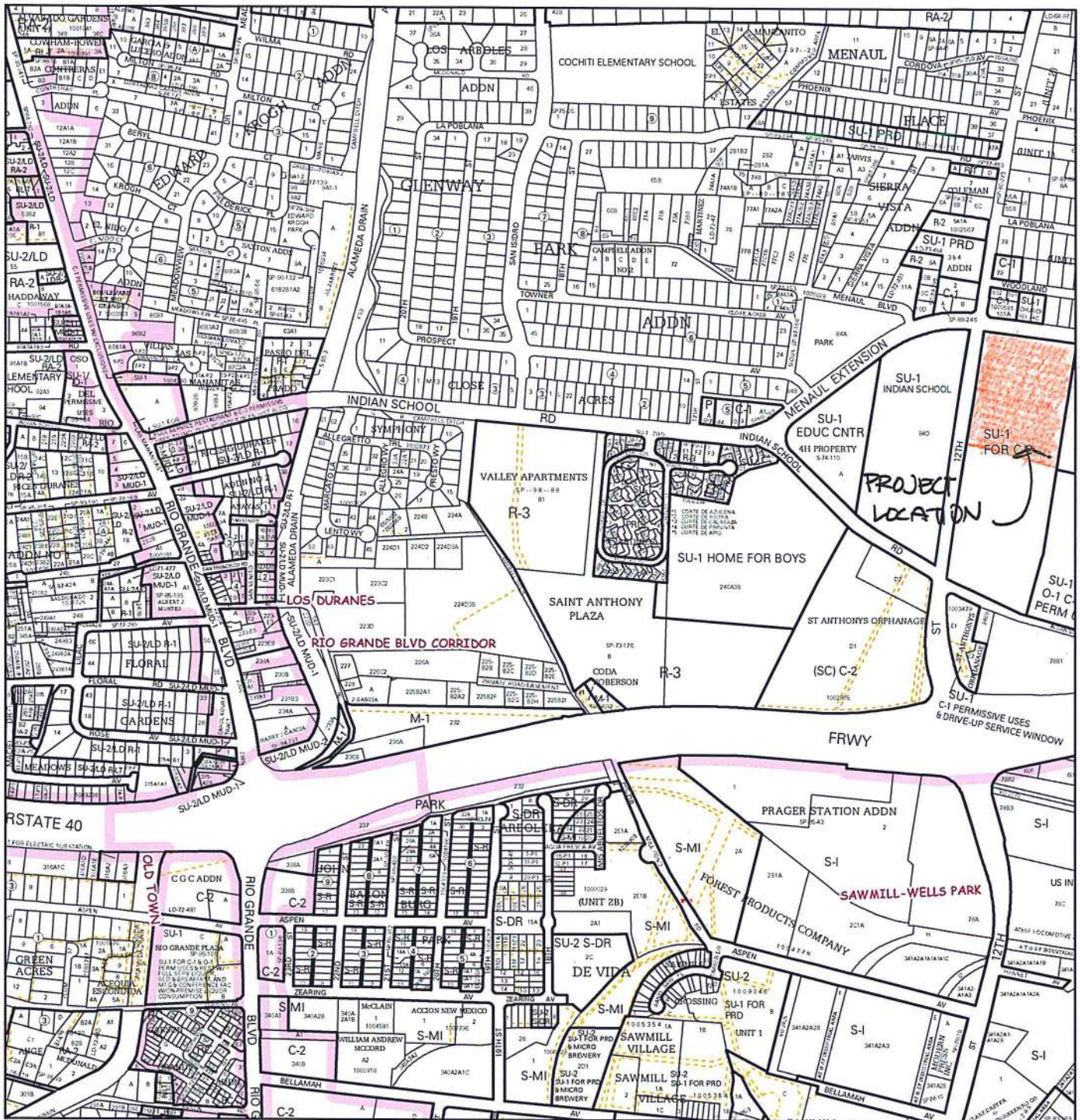
- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- \_\_\_ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 7) Sign Posting Agreement
- \_\_\_ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
  - \_\_\_ Office of Neighborhood Coordination notice inquiry response
  - \_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
  - \_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

**\_ ALTERNATIVE LANDSCAPING PLAN**

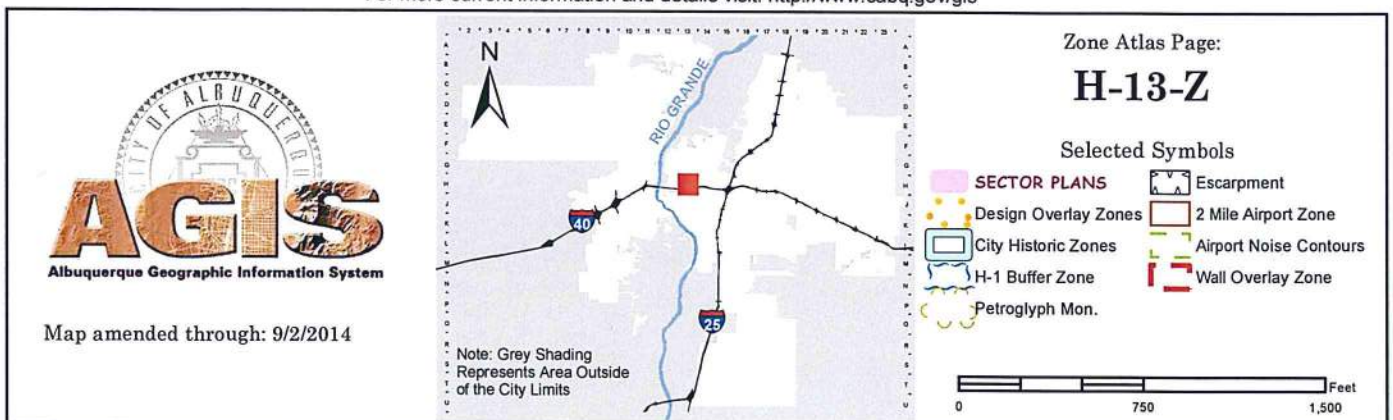
A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- \_\_\_ 6) Landscape Plan





For more current information and details visit: <http://www.cabq.gov/gis>







# INDIAN PUEBLOS MARKETING, INC.

Acoma

Cochiti

Isleta

Jemez

Laguna

Nambe

Ohkay  
Owingeh

Picuris

Pojoaque

Sandia

San  
Felipe

San  
Ildefonso

Santa  
Ana

Santa  
Clara

Santo  
Domingo

Taos

Tesuque

Zia

Zuni

August 15, 2018

RE: IPMI 6, LLC  
2401 12<sup>th</sup> Street NW  
Albuquerque, NM 87104

To Whom It May Concern:

IPMI 6, LLC authorizes Danny Solares, of Studio Southwest Architects, to act as an authorized agent for the development project to be constructed at 2500 12<sup>th</sup> Street NW, Albuquerque, New Mexico. Mr. Solares shall be authorized to act on all matters regarding this property.

IPMI 6, LLC

Mark Thompson, Property Development Director

July 7, 2023

Jolene Wolfley, Planning Department  
Robert Webb, Planning Department  
Development Facilitation Team  
600 Second Street, NW  
Albuquerque, NM 87102

**Development Review Board – City of Albuquerque**

Re: Request for a Minor – Administrative Amendment for a post-IDO approval  
for the development located at 2500 12<sup>th</sup> Street

Dear Mrs. Wolfley and Mr. Webb:

This letter is intended clarify the Minor - Administrative Amendment (AA) submitted on June 6, 2023 as requested and provide the previously submitted and approved Administrative Amendments and Design Review Board submittals (DRB Cases PR2018-001470 SI-2019-00421 for the development at 2500 12<sup>th</sup> street.

This Minor Amendment requests the approval of the proposed elevations and site amenities of Buildings G and H. (LS-01, A-201 G, A-205 H, A-206 H, AS-105 and AS-111) in adherence to the 2016 Albuquerque Indian School Development Regulations and the Integrated Development Ordinance.

Included is a history of the project and the submissions starting from 2018 through 2023. In addition, the phasing plan for the Avanyu retail project is included. This document was previously approved and has been observed through the past few years of development.

No changes have been requested to the approved AA Site plan. (See attached AA Stamped Final SI-2023-00362 dated 3/14/23. No change in the building footprints, square footage, site amenities or parking count.

Building G (8000 sf) elevations (Sheet A-101G) are almost a complete mirror of the existing previously approved Building F. (PR-2018-001470\_SI-2019-00421). Buildings F and G sit adjacent to each other with a pedestrian entry Arch between. The north end of G is slightly modified than F to accommodate the pedestrian pathway at 45-degree angle between Buildings H and G leading to the garden plaza. This is reflected in the approved site plan (SI-2023-00362). Building G exterior materials and colors are to match the existing buildings D, E and F. The Roof parapet and building height will match the previous construction there is no change.

Building H elevations (sheets A-205 H and A-206 H) are submitted for approval depicting an 18000 GSF single story proposed grocery store which includes a covered patio to the west and a delivery yard to the East (see approved site plan). Building materials and colors will match the existing Buildings D, E, F and the future Building G. The entry to the future grocery store will face the parking lot with adjacent ADA parking and pedestrian access as identified in the previously approved Site plan. This submission requests no change in square footage, parking, delivery, or solid waste amenities.

As discussed, the landscaping plan (LS-01) will encompass the plantings adjacent to the buildings and the garden plaza. Materials and plantings will remain consistent with the previously approved landscape submittals for this project. Trash enclosures, site amenities and parking spaces will remain unchanged per the Administrative Amendment approved in March of this year. I have included my previous submittal letters for clarity and brevity. There is no change in intent or look to the project. This submission should be the final link in the last phase of the Avanyu Retail development.

#### History of Avanyu Retail DRB submissions and Amendments:

2016 Albuquerque Indian School Development Regulations  
O-16-22 | Enactment Number O-2016-019

PR-2018-001470\_SI-2018-00111 9/12/18  
Plaza Site plan - Approved

PR-2018-001470\_SI-2019-00421 2/5/20  
Site plan Approved and Buildings D, E and F – Approved

PR-2018-001470\_SI-2021-01425 3/14/22  
ATM added to parking lot, ADA parking relocated, Elevation modifications  
(doors) – Approved.

PR-2018-001470\_SI-2023-00362 dated 3/14/23.  
Site plan - Approved

Thank you for your time and consideration.

Daniel Solares Jr.  
Senior Designer & Project Manager SSWA  
(505) 843-9639



June 5, 2023

Jolene Wolfley, Planning Department  
Development Facilitation Team  
600 Second Street, NW  
Albuquerque, NM 87102

**Development Review Board – City of Albuquerque**

Re: Request for a Minor – Administrative Amendment for a post-IDO approval for the development located at 2500 12<sup>th</sup> Street

Dear Mrs. Wolfley:

As the authorized submitting agent for the property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects requests your consideration for the approval of a Minor - Administrative Amendment for a post IDO approval located at 2500 12th Street in Albuquerque.

This Minor Amendment includes the elevations and landscape plan for Buildings G and H that were not included in the Minor AA that was approved on March 14, 2023. The approved Site plan (DRB Cases No. 1000643 & PR2018-001470 (1000643) and AA is included with the drawings in this submittal. No changes have been made to the approved AA Site plan. Elevations of Building G and Building H as well as the landscape plan are the focus of this submittal and approval.

Unfortunately, the omission of the elevations and landscape plan were not brought to my attention until Mrs. Trujillo from CABQ zoning reviewed our building submittal and was disapproved with comments. The elevations and the landscape plan need to be approved by the DRB and the approved drawings included with the permit submittal.

This submission aims to remedy the situation by presenting to you the excluded drawings for the project at the Avanyu Retail Development. Building G (8000 sf) is almost a complete mirror of the existing previously approved Building F. The north end of G is modified to accommodate the pedestrian pathway at 45 degree angle between Buildings H and G. Building H elevations are included depicting an 18000 GSF single story proposed grocery store which includes a patio to the west and a delivery yard to the East.





As discussed, the landscaping plan will encompass the plantings adjacent to the buildings and the garden plaza and will remain consistent with the previously approved project. Trash enclosures, site amenities and parking spaces will remain unchanged per the Administrative Amendment approved in March of this year.

I have included my previous submittal letter for clarity and brevity. There is no change in intent or look to the project. This submission should be the final link in the last phase of the Avanyu retail development.

Thank you for your time and consideration.

A handwritten signature in black ink, appearing to read "Daniel Solares Jr.", with a stylized flourish at the end.

Daniel Solares Jr.  
Senior Designer & Project Manager SSWA  
(505) 843-9639



February 14, 2023

Jolene Wolfley, Planning Department  
Development Facilitation Team  
600 Second Street, NW  
Albuquerque, NM 87102

**Development Review Board – City of Albuquerque**

Re: Request for a Minor – Administrative Amendment for a post-IDO approval for the development located at 2500 12<sup>th</sup> Street

Dear Mrs. Wolfley:

As the authorized submitting agent for the property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects requests your consideration for the approval of a Minor - Administrative Amendment for a post IDO approval located at 2500 12th Street in Albuquerque.

This submission is the final step in the development at the Avanyu Retail Development. It refines and resolves the development and function of Buildings G & H and will complete the approved developments DRB Cases No. 1000643 & PR2018-001470 (1000643) constructed from 2015 through 2022. The property is on Tract 84 E, zoning map H-13-Z. The project is located on the property previously known as the Indian School and belongs to the 19 Pueblos of New Mexico.

This minor amendment clarifies the proposed structures (identified as Buildings G and H) that will be constructed as identified on the approved site plan. Located on the north and northwest edges of the proposed area of development, roughly identified as 12th Street NW, Menaul Blvd NW, & Eagle Way. The planned structures G and H are proposed to be retail (8000 sf) and a market (18,000 sf) for a total of 26,000 sf. The area east of the market includes an enclosed delivery area for trucks and delivery vehicles as well as a utility yard. The garden plaza will be located west of Building H and north of Building G at the corner of 12<sup>th</sup> Street NW and Menaul Blvd NW. Included in the submittal is an approved clarification letter and area plan, stamped on 11/14/2018, describing the three phases.



The primary modification to the original approved site plan is a decrease in the total square footage of building H. The structure has been reduced by 2000 GSF from 20,000 GSF to 18,000 GSF per the request of the new tenant. The change is less than 10% in square footage and has been determined the reduction doesn't exceed the threshold for a Minor AA.

The proposed 26,000 square feet of restaurant/retail and market space will be owned and developed by the Indian Pueblo Cultural Center who have just signed a lease with a locally owned Market (La Montañita Co-op Food Market) and additional retailers as tenants.

Our client's desire is to create a distinct design that does not mimic the adjacent buildings. The design and fenestration of Building G & H are designed to be an extension of the existing structures design known as Buildings A, B, C, D, E, and F (previously approved project DRB Case No. 1000649).

Landscaping will primarily focus on providing the necessary tree and planting coverage and adherence per the required guideline requirements (per ordinance 0-2016-019).

The initial submission included 197 parking spaces as defined in the approved site plan. There will be no change to the site amenities or to the approved parking requirement.

In addition, SSWA and the Indian Pueblo Cultural Center have been in constant contact with the Near North Valley Neighborhood Association from the inception. SSWA have consistently contacted, discussed, displayed, and incorporated neighborhood feedback regarding the development including this Minor - Administrative Amendment. Please see the attached letter of approval from the NNVNA.

The following is a break down on how this submission meets the requirements for the request for approval for a minor administrative amendment. Each of the criteria was reviewed and is replied to with a response in blue.

#### **6-4(Y)(2) Minor Amendments**

##### **6-4(Y)(2)(a) A minor amendment must meet all of the following criteria.**



1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

*As presented in the Site plan the complete realization of the project can now be fulfilled.*

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to [Table 6-4-4](#) (cumulative of any earlier deviations or amendments).

*No requested variance, changes or modifications to dimensions or setbacks.*

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

*What was approved has been constructed. There is no residential aspect to this project nor residential lots abutting the project site.*

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

*No requested variance, changes or modifications to dimensions or setbacks.*

*There is no residential aspect to this project nor residential lots abutting the project site.*

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

*No requested variance, changes or modifications to dimensions or setbacks.*

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.



*No requested variance, changes, or modifications to the building design.*

*No changes to the building's aesthetics and/or design.*

*The new construction will mirror and complement the previously built structures.*

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

*No changes to the previously approved and constructed landscape design.*

*All new landscaping adjacent to the new construction will match the original plantings and intent.*

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

*No changes or modifications to the originally approved site plan drives or driveways.*

*What was approved was constructed.*

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

*No requested variance, changes or modifications to the major infrastructure is proposed nor any changes to traffic, circulation or pedestrian access.*

10. The amendment does not change a specific condition attached by a decision-making body listed in [Table 6-1-1](#) to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

*There have been no changes to the original approved submittal.*



**11. The amendment does not affect a property in an Overlay zone as regulated pursuant to [Part 14-16-3](#), in which case amendments may be granted per the original approval process for the Site Plan governing the site.**

***The amendment will not affect a property in an Overlay Zone.***

**12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.**

***No changes to the land use in this project.***

**13. The amendment does not expand a nonconformity as regulated per [Section 14-16-6-8](#) (Nonconformities).**

***This amendment will not add or expand an existing nonconformity.***

Thank you for your time and consideration.

Daniel Solares Jr.  
Senior Designer & Project Manager SSWA  
(505) 843-9639



November 2, 2018

APPROVED

The Approval of these plans shall not  
be construed to be a permit for any  
violations of any code or ordinance  
of this city.Cecilia Trujillo  
2500 12<sup>th</sup> Street NW  
Albuquerque, NM 87102

PERMIT #: BP-2018-39327

2500 12<sup>th</sup> Street Avanyu Plaza,  
DATE: 11/14/18Studio Southwest  
Architects Inc.A printed copy of these plans shall be on the job site for all  
requested inspections.

Dear Mrs. Trujillo,

As the authorized submitting agent for property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects is presenting you with a description of the phases of development for the Avanyu plaza retail project to be included in this submittal for the future 30,000 sf plaza. Located directly east of the existing Indian Pueblo Cultural Center. The projects address is 2500 12<sup>th</sup> Street, Avanyu Plaza, Albuquerque. The property is on Tract 84 E, zoning map H-13-Z.

The first phase of this development is for a 30,000 sf plaza located on the south side of the 4.5-acre pad. The pad is on the southeast corner of Menaul & 12<sup>th</sup> Street and Turquoise Road & Eagle Way. The Site Plan for building permit was approved by the DRB on September 9, 2018. All development on this pad is submitted and approved by the DRB as stated in the 2016 Albuquerque Indian School development Regulations also known as Enactment number O-2016-019. The approximate time for construction is late 2018. The estimated costs for the plaza which includes walkways, landscaping and amenities is \$590,000.

The second phase of this project is approximately 2-4 months away from submitting the proposed design to the DRB. It will include three retail buildings for a total square footage of 20,000 GSF, along with the development/construction of majority of the site including 160+ parking spaces, landscaping along the buildings and the development of the parking lot. The approximate area of work encompasses 3.3 acres. The estimated time for the start of construction is middle 2019 through 2020.

The third and final phase of this north pad project at the Avanyu Plaza is the remainder of the retail buildings and the development of the landscaping at the corner of Menaul and 12<sup>th</sup> street. The approximate coverage is 1.8 acres. The final design remains undefined and will encompass the final pillar to the retail development. The approximate time for construction is 2021-2022.

Please see the attached image for an outline of the breakdown of the three phases of this development.

Thank you very much for your consideration



Daniel Solares Jr.  
Project Manager  
(505) 843-9639

Albuquerque  
2101 Mountain Road NW  
Albuquerque, NM 87104  
T 505.843.9639  
F 505.843.9683  
mail@studioswarch.com

Santa Fe  
P.O. Box 9308  
Santa Fe, NM 87504  
T 505.982.7191  
F 505.992.0585  
mail@studioswarch.com

www.studioswarch.com



CITY OF ALBUQUERQUE  
PLANNING

These plans have been reviewed  
for code compliance and are:

**APPROVED**

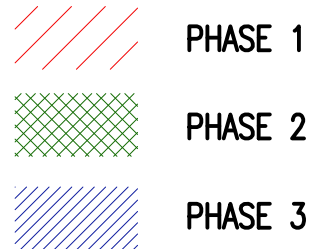
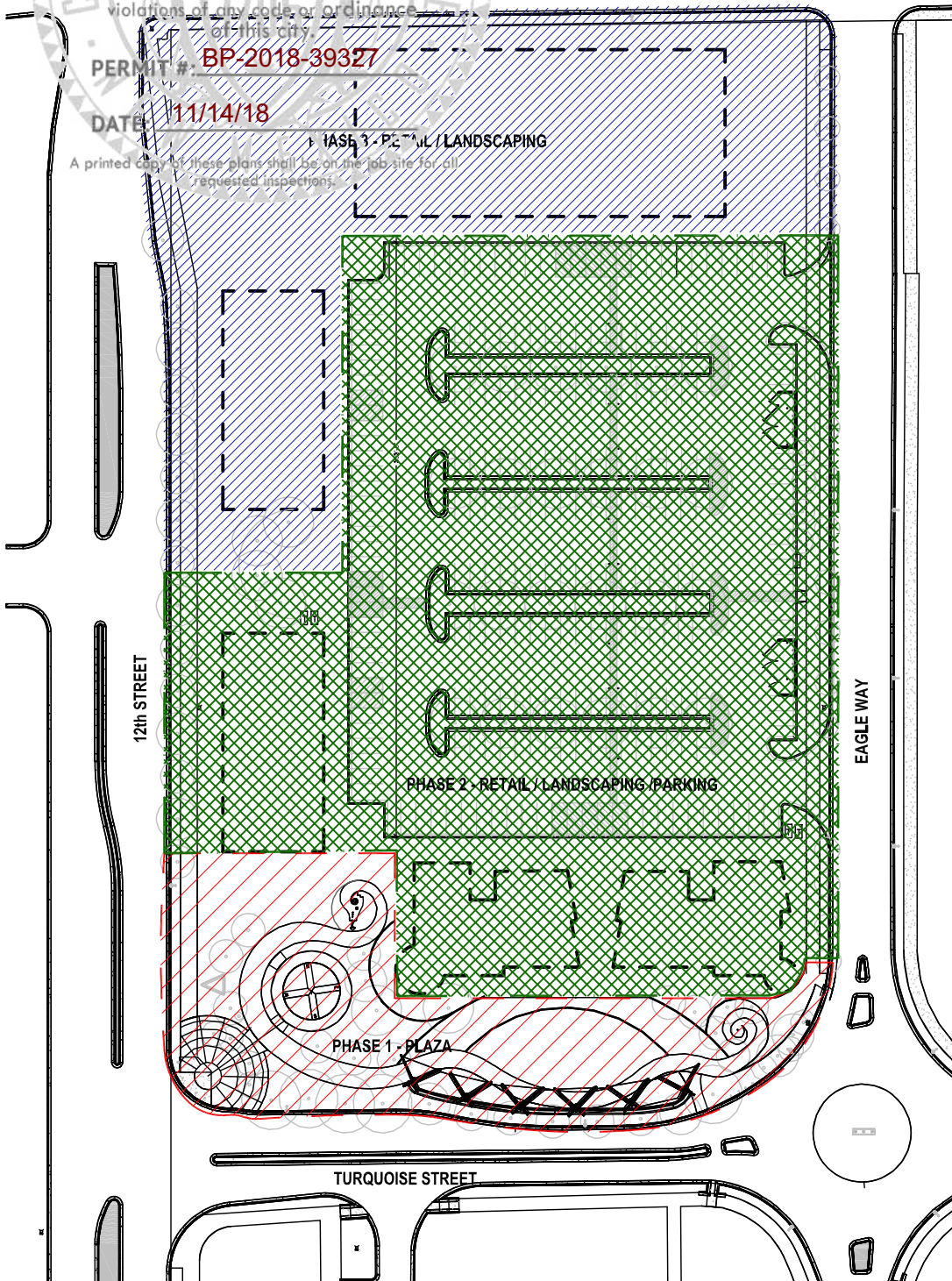
The Approval of these plans shall not  
be construed to be a permit for any  
violations of any code or ordinance  
of this city.

PERMIT # **BP-2018-39327**

DATE **11/14/18**

PHASE 3 - PAVEMENT / LANDSCAPING

A printed copy of these plans shall be on the job site for all  
requested inspections.





**NNVNA**  
**PO Box 6953**  
**ALBUQUERQUE, NM**  
**87197**

**HEATHER NORFLEET**  
**VICE PRESIDENT,**  
**505-620-4368**

**JOE SABATINI**  
**SECRETARY,**  
**505-344-9212**

**NEARNORTHVALLEYNA**  
**@GMAIL.COM**  
**WWW.NNVNA.ORG**

Copy:

Danny Solares,  
Studio Southwest

Mike Canfield, Indian  
Pueblos Marketing, Inc.

## **NEAR NORTH VALLEY NEIGHBORHOOD ASSOCIATION**

**VOLUNTEERS WORKING INCLUSIVELY TO PROTECT,  
PRESERVE, AND ENHANCE THE COMMUNITY**

January 10, 2023

Jolene Wolfley  
Chair, Development Review Board  
600 2nd Street NW  
Albuquerque, New Mexico 87102

Sent via email to [jwolfley@cabq.gov](mailto:jwolfley@cabq.gov)

Re: Site plan for Phase 3 of Avanyu Plaza at the NW corner 12th Street and  
Menaul Blvd. NW

Dear Ms. Wolfley,

On December 14<sup>th</sup>, the Board of the Near North Valley Neighborhood Association heard a presentation by representatives of Indian Pueblos Marketing Inc., Studio Southwest Architects and La Montanita Co-op on their site plan for the third phase of Avanyu Plaza on the former Albuquerque Indian School campus. We noted that 34 individuals attended our Zoom meeting. The presenters showed us site diagrams and elevations and responded to questions from Board members and attendees. The Board did not take any formal action on the request, but comments were favorable about many aspects of the new project.

The presenters requested that we verify that they had met the requirement for meeting with the relevant neighborhood association prior to their submission of their building plan.

Thank you for your consideration.

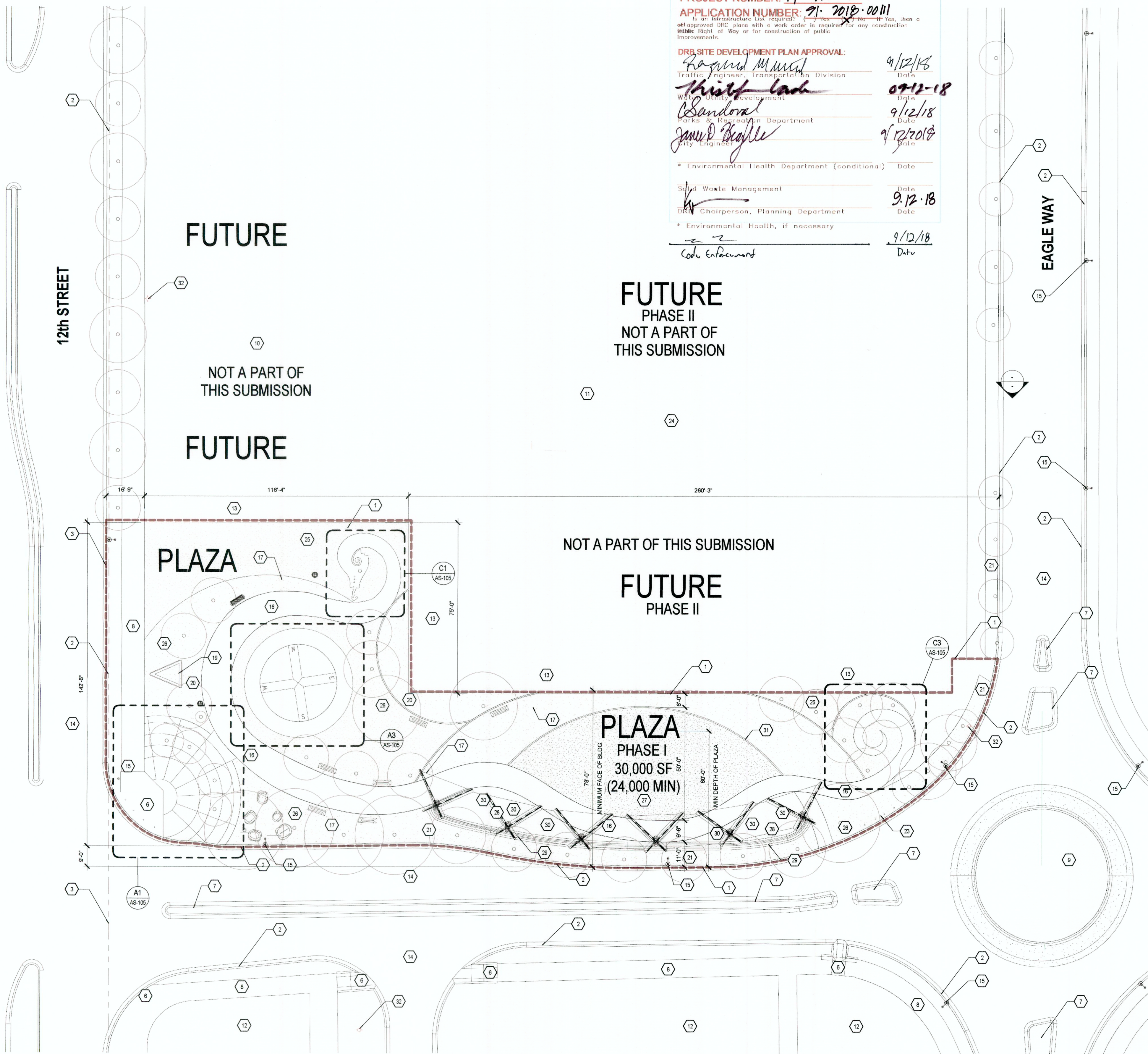
Respectfully submitted,

Heather Norfleet  
Vice President



9/12/2018 9:28:45 AM

P:\1727 Avanyu North\10-Drawings\BIM\1727 Avanyu Plaza R16-Overall.rvt



A1 SITE PLAN - PROJECT NORTH  
1" = 20'-0"

0 10' 20' 40'  
Plan North True North

PROJECT NUMBER: PP-2118-001470  
APPLICATION NUMBER: 21-2018-0011

DRB SITE DEVELOPMENT PLAN APPROVAL:

Rapriel Munoz	9/12/18
Traci Engineer, Transportation Division	Date
Theresa Ladd	09-12-18
Water Utility Development	Date
Sandora	9/12/18
Parks & Recreation Department	Date
Janet Hoyle	9/12/2018
Planning	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Chairperson, Planning Department	9.12.18
Environmental Health, if necessary	Date
Code Enforcement	9/12/18
	Date

## PROJECT DATA

ADDRESS: 2500 12TH STREET

USE: CENTRAL PLAZA ON THE CORNER OF 12TH AND TURQUOISE STREET ACROSS FROM THE INDIAN PUEBLO CULTURAL CENTER. THE PLAZA WILL INCLUDE PERFORMANCE SPACES, AVANYU - WALKING PATH, DEDICATED LANDSCAPING AREAS, TREE LINED & PLANTINGS AT CARRIAGE STRIP, GRASS BERMS, SHADE STRUCTURES - STEEL STRUCTURES WITH FABRIC SHADE AWNINGS, AND MEMORIALS.

ZONING: XXXXXX

SHADE REQUIREMENTS: 25% - 50% 7,500 - 15,000 SF

LOT SIZE: 258,272 SF

PARKING: NOT A PART OF THIS PHASE

PAD II: 5.9 ACRES

BICYCLE SPACES: REQUIRED: 1 PER 20 PARKING SPACES PROVIDED: 8 SPACES

PLAZA PHASE: 30,000 SF

HEIGHT: 44'-0" 3 STORY

OPEN SPACE PLAZA: 30,000 SF

REQUIRED: 30,000 SF

PROPOSED: NOT A PART OF THIS PHASE

### KEYED NOTES

- EXTENT OF PHASE ONE
- EDGE OF EXISTING CONCRETE CURB
- PROPERTY LINE
- EDGE OF FUTURE CONCRETE CURB
- NEW CURB CUT DRIVEWAY LOCATION
- EXISTING CURB RAMP, BOLLARDS & TRAFFIC SIGNAL
- EXISTING CONCRETE MEDIAN
- EXISTING CONCRETE CURB
- EXISTING TRAFFIC CIRCLE PHASE II
- FUTURE CONSTRUCTION
- FUTURE CONSTRUCTION ASPHALT PARKING
- EXISTING LANDSCAPE NO CONSTRUCTION
- FUTURE CAFE SPACE
- EXISTING ASPHALT ROADWAY
- EXISTING LIGHT FIXTURE
- AVANYU PATHWAY - COLORED CONCRETE W/ PATTERN. SEE DETAILS
- CONCRETE BENCH NON SLEEP FRIENDLY
- LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 15' TALL MONUMENT SIGN W/ PROJECTOR & SPEAKER
- LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- CARRIAGE STRIP
- NEW CONCRETE CURB RAMP
- NEW VEHICULAR ACCESS W/ REMOVABLE PAINTED STEEL BOLLARDS
- FUTURE COLORED CONCRETE PATHWAY AT PARKING LOT
- NEW BIKE RACK TYPICAL
- NEW TREE - PER LANDSCAPE DRAWINGS
- COMPACTED DIRT - ENTERTAINMENT AREA
- GRASS BERM - SEE DETAILS
- RETAINING WALL W/ POTTERY CHARD ON THE STREET SIDE
- OPTIONAL PAINTED STEEL SHADE STRUCTURE W/ FABRIC SHADE
- 4" CONCRETE CURB BOUNDARY FLUSH W/ FINISHED GRADE
- EXISTING FIRE HYDRANT

### LEGEND

----- OUTLINE OF WORK (PHASE ONE)

### DESIGN DATA

SHADE STRUCTURE - 2600 GSF - 25'-0" TALL  
TYPE 2B CONSTRUCTION  
NON-SPRINKLERED - OPEN ON ALL SIDES  
STEEL STRUCTURAL SUPPORT WITH TENSILE FABRIC AS SHADE COMPONENT.

ALL STRUCTURES ARE SHOWN DASHED INDICATING THE CONSTRUCTION IS PART OF THE FUTURE PHASES OF THIS PROJECT.

SITE:  
PLAZA: 30,000 SQ FT (25,000 MIN REQUIRED) (0.69 ACRES)  
NORTH PAD: 5.9 ACRES  
PARKING: 2.1 ACRES (20 - 245 PARKING SPACES)

FUTURE STRUCTURES (TYPE 2B CONSTRUCTION)

BUILDING D: 6000 SF  
BUILDING E: 8000 SF  
BUILDING F: 8000 SF  
BUILDING G: 8000 SF  
BUILDING H: 20000 SF

ALL BUILDINGS ARE TO BE FULLY SPRINKLERED.  
ALL BUILDINGS ARE TO BE LESS THAN 30'-0".

NOTE: NO DRAINAGE  
ALLOWED ON 12TH ST.  
AND TURQUOISE ST. ON  
SITE BONDING IS REQUIRED.

PROJECT LOCATION



STUDIO

SW  
ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.  
2101 Mountain Rd. NW, Albuquerque, NM 87104  
505.843.9639 Fax 505.843.9683  
Web Site: www.studioswarch.com  
Email: mail@studioswarch.com

© 2014, Studio Southwest Architects, Inc.  
Duplication or reproduction by any means without the express written  
consent of Studio Southwest Architects, Inc. is a violation of federal  
and international law. The information contained in this document is the  
intellectual property of Studio Southwest, Inc. and all rights thereto are  
Reserved. For exceptions refer to the Owner-Architect Agreement

CONSULTANTS

Architect Engineer

DRB  
SUBMITTAL



AVANYU PLAZA  
2500 12th STREET  
ALBUQUERQUE NM 87104

Key Plan

NTS

No Date Description

Revision Schedule

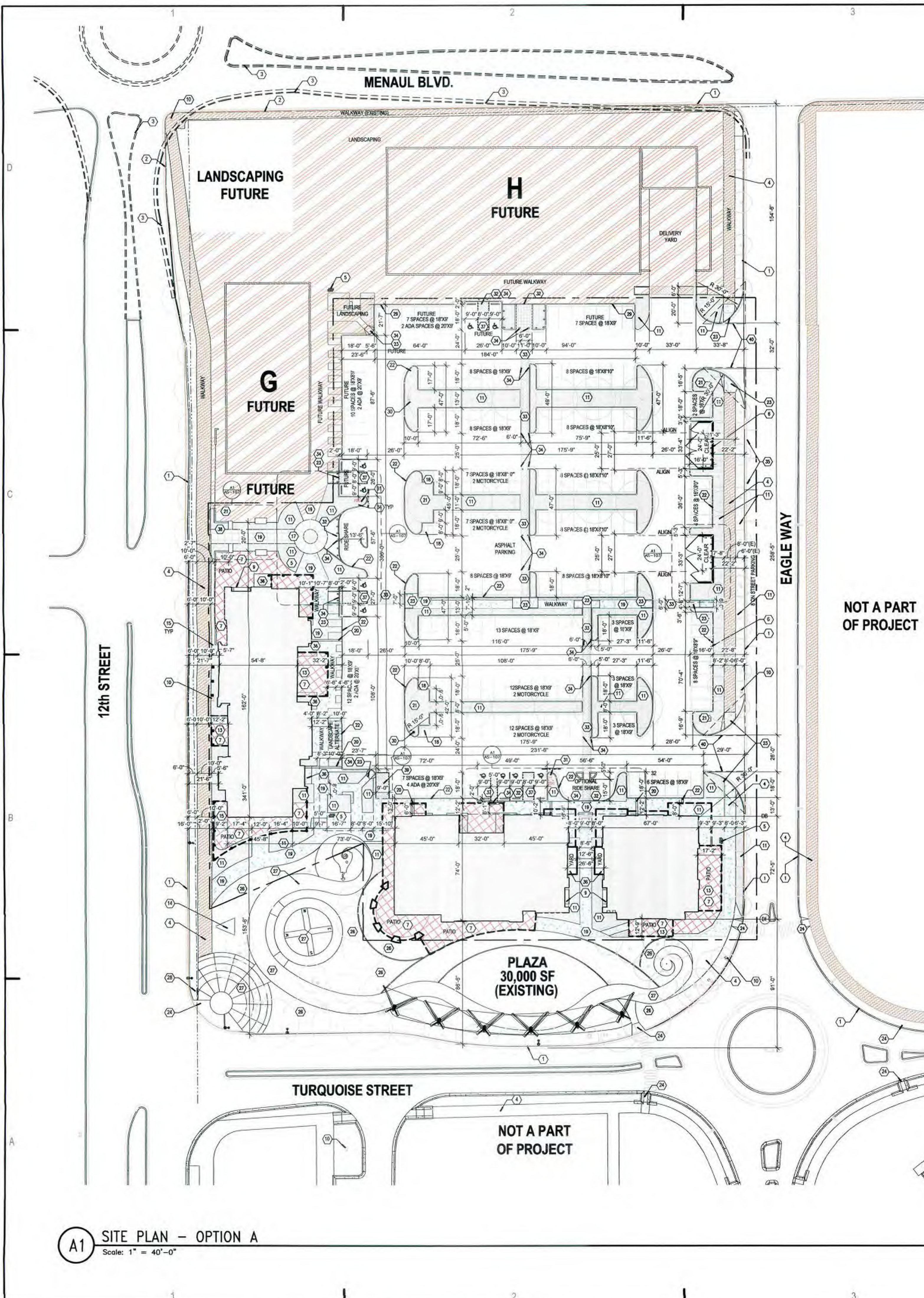
ISSUE: DES DEV  
PROJECT NUMBER: 1727  
FILE: SSWA\_Inc\_2018\_Template.rvt  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: JUNE 30, 2018

SHEET TITLE

SITE PLAN - OVERALL

AS-101





PROJECT NUMBER: PR-2018-001470  
APPLICATION NUMBER: \_\_\_\_\_  
Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
DRB SITE DEVELOPMENT PLAN APPROVAL:  
Traffic Engineer, Transportation Division Date 1/27/20  
Water Utility Development Date Jul 16, 2020  
Parks & Recreation Department Date 1-29-20  
City Engineer Date 1-29-20  
N/A Date 7/6/2020  
\* Environmental Health Department (conditional) Date  
See attached sheet  
Solid Waste Management Date Jul 14, 2020  
DRB Chairperson, Planning Department Date  
\* Environmental Health, if necessary

PARKING SPACE TABULATIONS

10	ACCESSIBLE SPACES AT 20' X 9'-0"
119	SPACES AT 18' X 9'-0"
54	SPACES AT 18' X 8'-0"
14	SPACES AT 16' X 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES

8	ON STREET PARKING
205	TOTAL PARKING SPACES

ACCESSIBLE SPACES  
6 SPACES REQ. UNDER 200  
(151-200) IBC TABLE 1106.1  
150 REQUIRED SPACES  
REQUIRED: 6 SPACES  
ACTUAL: 10 SPACES

MOTORCYCLE  
5 SPACES REQ. (151-300) IDO 5-5-D  
REQUIRED: 5 SPACES  
ACTUAL: 8 SPACES

BICYCLE SPACES  
12TH & MENAUL ORDINANCE:  
1 SPACE PER 20 SPACES  
REQUIRED: 10 SPACES  
ACTUAL: 16 SPACES

IDO REQUIRED PARKING

BUILDING D - 4,500SF  
E - 8,000SF  
F - 8,500SF  
PROPOSED SF: 21,000 SF (BLDG D, E, F)

FUTURE H - 8,000SF  
FUTURE G - 20,000SF  
PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:  
RETAIL: 4 SPACES/1000SF  
RESTAURANT: 8 SPACES/1000SF  
PHASE 2 (PROPOSED)  
10,000 GSF: 40 SPACES  
11,000 GSF: 80 SPACES

RETAIL: 4 SPACES/1000SF  
RESTAURANT: 8 SPACES/1000SF  
PHASE 3 (FUTURE)  
24,000 GSF: 96 SPACES  
4,000 GSF: 32 SPACES

ORDINANCE 0-16-22: (PARKING REDUCTION)

0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)  
REDUCTION - 64 SPACES  
REQUIRED: 192 TOTAL  
ACTUAL: 197 PARKING SPACES (OFF STREET)

SITE TABULATIONS:

TOTAL ACREAGE OF PAD: 5.9 ACRES  
EXISTING PLAZA: .7 ACRES  
FUTURE STAGE OF WORK: 2.4 ACRES

TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

LEGEND

- FUTURE BUILDING PAD
- NEW CONCRETE WALKWAY
- NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
- NEW LANDSCAPE
- EXISTING CONCRETE WALKWAY
- EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS

GENERAL NOTES

- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

SHEET KEYED NOTES

- EXISTING EDGE OF CURB.
- EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
- FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MANUAL BLVD STREET IMPROVEMENT DRAWINGS.
- EXISTING CONCRETE WALKWAY.
- FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
- TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
- COLOR PATTERNED CONCRETE.
- PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
- PROPOSED BUILDING UTILITY LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- NEW LANDSCAPING.
- FUTURE 6" CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
- WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
- PROPOSED ENTRY MONUMENT @ 12TH STREET.
- 5'-6" MINIMUM CAFE SPACE.
- NEW PATIO CONCRETE PAD.
- PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
- NEW CONCRETE WALKWAY.
- NEW ROOF DRAIN CULVER. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
- NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- NEW CONCRETE CURB.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- EXISTING BIKE RACK LOCATION.
- EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
- EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
- EXISTING TRAFFIC SIGNAL.
- TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
- PROPOSED FIRE HYDRANT LOCATION.
- REMOTE FDC LOCATION.
- FLUSH CURB FOR PEDESTRIAN ACCESS.
- ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
- BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
- ON STREET PARKING.
- OPTIONAL EMPLOYEE YARD T.B.D.
- ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
- ENTRY ARCH
- LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
- CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



**STUDIO SW**  
ARCHITECTS  
2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

CONSULTANTS

**DRB SUBMITTAL**

Architect: \_\_\_\_\_  
Engineer: \_\_\_\_\_  
STATE OF NEW MEXICO  
DEL LEROY DIXON  
Digitally signed by Del L. Dixon  
Date: 2020.06.30 15:08:27 -0600  
REGISTERED ARCHITECT

**AVANYU RETAIL**  
2400 12TH STREET  
ALBUQUERQUE, NM 87104

Key Plan

No	Date	Description
Revision Schedule		
ISSUE:	DRB	
PROJECT NUMBER:	1836	
FILE:	1836 SP01.DWG	
DRAWN BY:	DS	
CHECKED BY:	RH	
DATE:	Project Issue Date	

SHEET TITLE

**AS-101**



12/5/2019 2:17:13 PM

C:\Users\jpinol\Documents\1836 Avanyu - Central\_jpinol8ETK3.rvt

B

A



## DRAWING INDEX

### SHEETS - GENERAL

G-001 COVER SHEET, PROJECT DIRECTORY

### SHEETS - FIRE

### SHEETS - SURVEY

### SHEETS - CIVIL

C-001 CIVIL GENERAL NOTES  
CG-101 GRADING & DRAINING PLAN  
CG-102 GRADING & DRAINING PLAN  
CG-501 GRADING & DRAINING DETAILS & CALCULATIONS  
CU-101 UTILITY PLAN & DEMOLITION & EASEMENT VACATION PLAN

### SHEETS - LANDSCAPE

L-101 LANDSCAPE PLAN

### SHEETS - STRUCTURAL

### SHEETS - ARCHITECTURAL SITE

AS-101 SITE PLAN  
AS-105 SITE DETAILS  
AS-106 SITE DETAILS

### SHEETS - ARCHITECTURAL

A-101D FLOOR PLAN - OVERALL  
A-201D EXTERIOR BUILDING ELEVATIONS  
A-202D EXTERIOR BUILDING ELEVATIONS  
A-101E FLOOR PLAN - OVERALL  
A-201E EXTERIOR BUILDING ELEVATIONS  
A-202E EXTERIOR BUILDING ELEVATIONS  
A-101F FLOOR PLAN - OVERALL  
A-201F EXTERIOR BUILDING ELEVATIONS  
A-202F EXTERIOR BUILDING ELEVATIONS

### SHEETS - PLUMBING

### SHEETS - ELECTRICAL

E-XXX PHOTOMETRIC STUDY

### SHEETS - MECHANICAL

#### SCOPE:

THIS SUBMITTAL IS THE SECOND STAGE OF A 3 STAGE COMERCIAL RETAIL PROJECT. THE FIRST STAGE HAS BEEN COMPLETED WHICH INCLUDED THE PLAZA, HARDSCAPE AND LANDSCAPING AT THE SOUTH END OF THE 5 ACRE PROJECT LOCATION. THE SECOND STAGE IS FOR THREE PROPOSED STRUCTRES AND THE MAJORITY OF THE SITE AS DEFINEND IN THE PROPOSED SITE PLAN. THE PROPOSED STRUCTURES INCLUDE BUILDING D (4500SF), BUILDING E (8000) AND BUILDING F (8500). IN ADDITION THE SECOND STAGE INCLUDES PATIOS, PEDESTRIAN WALKS, ASPHALT PARKING, LANDSCAPING AND SITE AMENITIES. THE FINAL THIRD STAGE HAS BEEN OUTLINED IN THE SITE PLAN AND IS NOT A PART OF THIS SUBMITTAL.

UPC: 101405901329320113

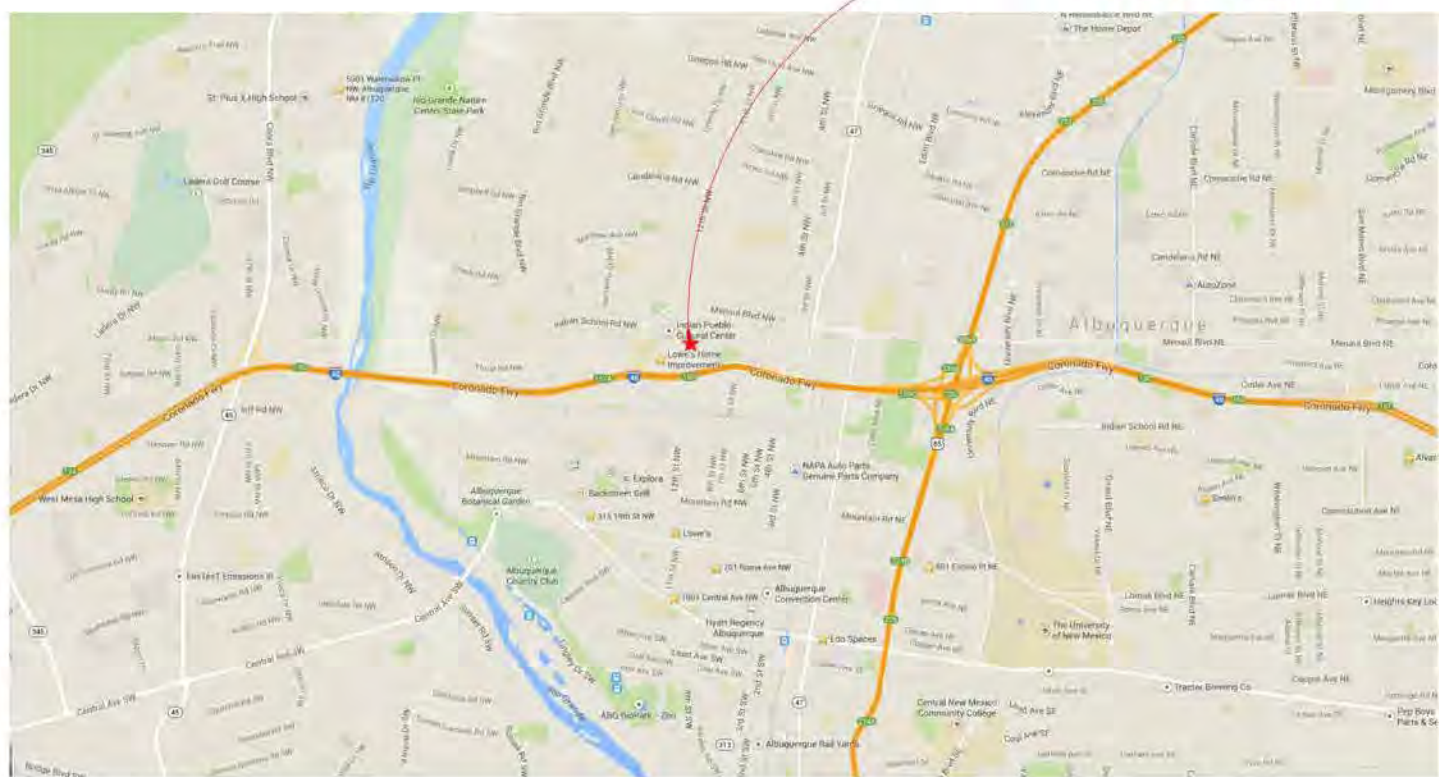
Owner: US INDIAN SERVICE AND BUREAU OF INDIAN AFFAIRS

Owner Address: 1001 INDIAN SCHOOL RD NW ALBUQUERQUE NM 87104

Situs Address: 1015 INDIAN SCHOOL RD NW ALBUQUERQUE NM 87102

Legal Description: TR 84E MRGCD MAP 35 & ADJ VAC PORT OF 9TH ST  
Acres: 47.29

#### PROJECT LOCATION



VICINITY MAP/LOCATION MAP  
NTS

#### PROJECT DIRECTORY

##### OWNER/CLIENT

IPMI 6, LLC  
2401 12TH STREET NW  
ALBUQUERQUE, NM 87104  
PHONE: (505) 724-3518  
FAX: (505) 842-6956  
CONTACT: Mike Canfield  
EMAIL: mcanfield@indianpuablo.com

##### ARCHITECT

STUDIO SOUTHWEST ARCHITECTS, INC.  
2101 MOUNTAIN ROAD NW  
ALBUQUERQUE, NM 87104  
PHONE: (505) 843-9639  
FAX: (505) 843-9683  
CONTACT: Danny Solares  
EMAIL: dsolares@studioswarch.com

##### CIVIL

ISAACSON & ARFMAN INC.  
128 MONROE ST NE  
ALBUQUERQUE, NM 87108  
PHONE: (505) 268-8828  
CONTACT: Fred Arfman  
EMAIL: freda@iacivil.com

##### LANDSCAPE

CONSENSUS PLANNING, INC.  
302 EIGHTH STREET NW  
ALBUQUERQUE, NM 87102  
PHONE: (505) 764-9801  
FAX: (505) 842-5495  
CONTACT: Scott Culler  
EMAIL: culler@consensusplanning.com

##### STRUCTURAL ENGINEER

CHAVEZ GREIVES  
4700 LINCOLN ROAD NE SUITE 102  
ALBUQUERQUE, NM 87109  
PHONE: (505) 344-4080  
FAX: (505) 343-8759  
CONTACT: George Bradley, P.E.  
EMAIL: gbradley@cg-engrs.com

##### MECHANICAL ENGINEER

ROCK GAP ENGINEERING  
6759 ACADEMY ROAD NE  
ALBUQUERQUE, NM 87109  
PHONE: (505) 344-2366  
CONTACT: Kyle Best  
EMAIL: kyleb@rockgap.com

##### PLUMBING ENGINEER

ROCK GAP ENGINEERING  
6759 ACADEMY ROAD NE  
ALBUQUERQUE, NM 87109  
PHONE: (505) 344-2366  
CONTACT: Kyle Best  
EMAIL: kyleb@rockgap.com

##### ELECTRICAL ENGINEER

ROCK GAP ENGINEERING  
6759 ACADEMY ROAD NE  
ALBUQUERQUE, NM 87109  
PHONE: (505) 344-2366  
CONTACT: Ross Krayner, PE  
EMAIL: rossk@rockgap.com



2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

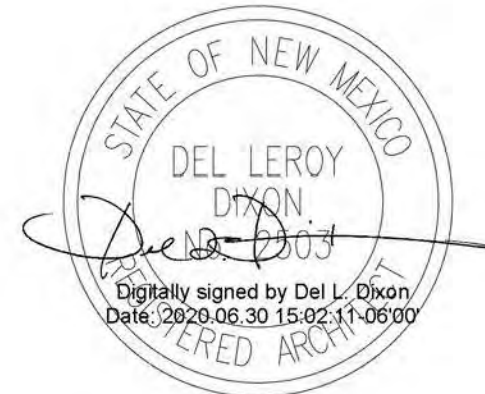
© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

CONSULTANTS

DRB SUBMITTAL

Architect

Engineer



AVANYU NORTH -  
BUILDINGS D, E & F



2500 12th Street  
ALBUQUERQUE, NM

Key Plan

NTS

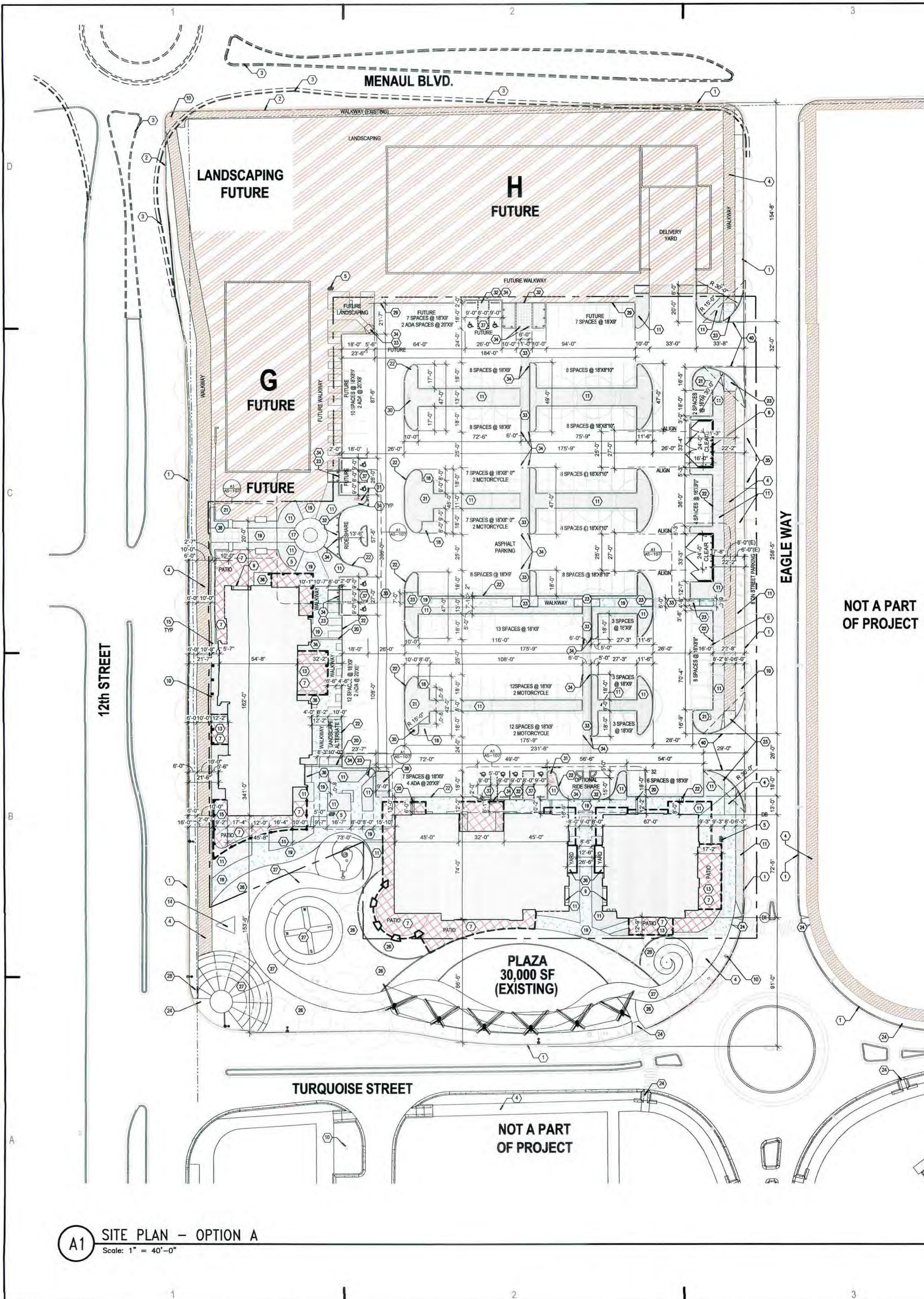
No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

SHEET TITLE

COVER SHEET,  
PROJECT DIRECTORY

G-001





PROJECT NUMBER: PR-2018-001470

APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	1/27/20
Date	Jul 16, 2020
Water Utility Development	Date
Parks & Recreation Department	1-29-20
Date	1-29-20
City Engineer	Date
N/A	7/6/2020
Environmental Health Department (conditional)	Date
See attached sheet	Date
Solid Waste Management	Jul 14, 2020
Date	
DRB Chairperson, Planning Department	

\* Environmental Health, if necessary

**PARKING SPACE TABULATIONS**

10	ACCESSIBLE SPACES AT 20' X 9'-0"
119	SPACES AT 18' X 9'-0"
54	SPACES AT 18' X 8'-0"
14	SPACES AT 16' X 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES

8	ON STREET PARKING	MOTORCYCLE
205	TOTAL PARKING SPACES	5 SPACES REQ. (151-300) IDO 5-5-D
		REQUIRED: 5 SPACES
		ACTUAL: 8 SPACES

ACCESSIBLE SPACES	BICYCLE SPACES
6 SPACES REQ. UNDER 200	12TH & MENAUL ORDINANCE:
(151-200) IBC TABLE 1106.1	1 SPACE PER 20 SPACES
150 REQUIRED SPACES	REQUIRED: 10 SPACES
REQUIRED: 6 SPACES	ACTUAL: 16 SPACES
ACTUAL: 10 SPACES	

**IDO REQUIRED PARKING**

BUILDING D - 4,500SF	PROPOSED SF: 21,000 SF (BLDG D, E, F)
E - 8,000SF	
F - 8,500SF	

FUTURE H - 8,000SF	
FUTURE G - 20,000SF	

PROPOSED + FUTURE SF:	49,000-50,000 SF (D,E,F,G,H)
-----------------------	------------------------------

PARKING CALCULATIONS:	PHASE 2 (PROPOSED)
RETAIL: 4 SPACES/1000SF	10,000 GSF: 40 SPACES
RESTAURANT: 8 SPACES/1000SF	11,000 GSF: 80 SPACES

RETAIL: 4 SPACES/1000SF	PHASE 3 (FUTURE)
RESTAURANT: 8 SPACES/1000SF	24,000 GSF: 96 SPACES
	4,000 GSF: 32 SPACES

**ORDINANCE 0-16-22: (PARKING REDUCTION)**

0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)  
REDUCTION - 64 SPACES

REQUIRED: 192 TOTAL  
ACTUAL: 197 PARKING SPACES (OFF STREET)

**SITE TABULATIONS:**

TOTAL ACREAGE OF PAD: 5.9 ACRES  
EXISTING PLAZA: .7 ACRES  
FUTURE STAGE OF WORK: 2.4 ACRES

TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

- LEGEND**
- FUTURE BUILDING PAD
  - NEW CONCRETE WALKWAY
  - NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
  - NEW LANDSCAPE
  - EXISTING CONCRETE WALKWAY
  - EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS

Code Enforcement

Jul 6, 2020

Date

**GENERAL NOTES**

- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

**SHEET KEYED NOTES**

- EXISTING EDGE OF CURB.
- EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
- FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MANUAL BLVD STREET IMPROVEMENT DRAWINGS.
- EXISTING CONCRETE WALKWAY.
- FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
- TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
- COLOR PATTERNED CONCRETE.
- PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
- PROPOSED BUILDING UTILITY LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- NEW LANDSCAPING.
- FUTURE 6" CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
- WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
- PROPOSED ENTRY MONUMENT @ 12TH STREET.
- 5'-6" MINIMUM CAFE SPACE.
- NEW PATIO CONCRETE PAD.
- PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
- NEW CONCRETE WALKWAY.
- NEW ROOF DRAIN CULVERT. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
- NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- NEW CONCRETE CURB.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- EXISTING BIKE RACK LOCATION.
- EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
- EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
- EXISTING TRAFFIC SIGNAL.
- TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
- PROPOSED FIRE HYDRANT LOCATION.
- REMOTE FDC LOCATION.
- FLUSH CURB FOR PEDESTRIAN ACCESS.
- ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
- BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
- ON STREET PARKING.
- OPTIONAL EMPLOYEE YARD T.B.D.
- ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
- ENTRY ARCH
- LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
- CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



**STUDIO SW ARCHITECTS**

2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

**CONSULTANTS**

**DRB SUBMITTAL**

Architect: \_\_\_\_\_ Engineer: \_\_\_\_\_

STATE OF NEW MEXICO  
DEL LEROY DIXON  
DIGITALLY SIGNED BY DEL LEROY DIXON  
DATE: 2020.06.30 15:08:27 (PDT)  
REGISTERED ARCHITECT

**AVANYU RETAIL**

2400 12TH STREET  
ALBUQUERQUE, NM 87104

**Key Plan**

NTS

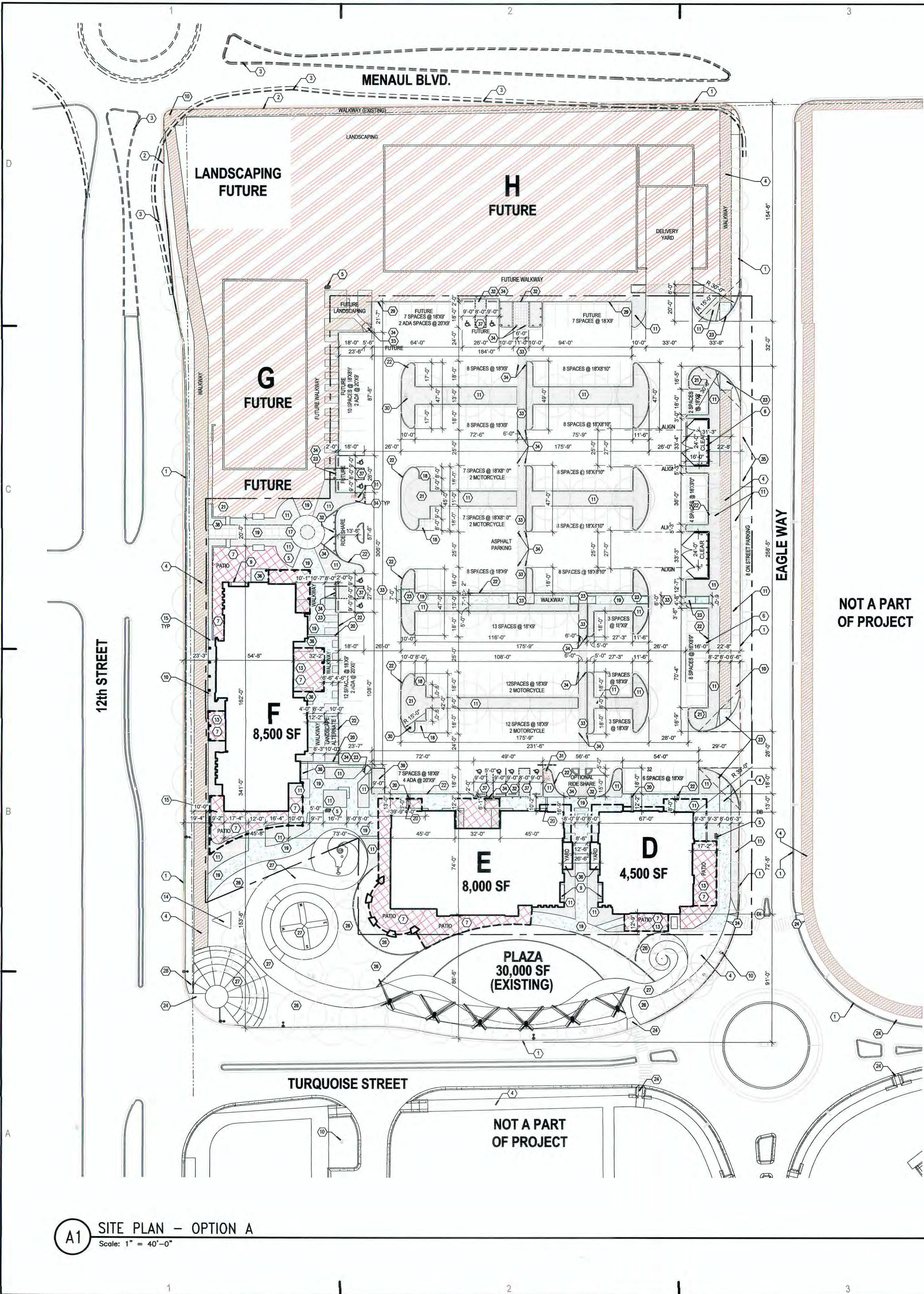
No	Date	Description
Revision Schedule		
ISSUE:	DRB	
PROJECT NUMBER:	1836	
FILE:	1836 SP01.DWG	
DRAWN BY:	DS	
CHECKED BY:	RH	
DATE:	Project Issue	Date

**SHEET TITLE**

**SITE PLAN FOR BUILDING PERMIT**

**AS-101**





PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_  
Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

### PARKING SPACE TABULATIONS

- 10 ACCESSIBLE SPACES AT 20' X 9'-0"
- 119 SPACES AT 18' X 9'-0"
- 54 SPACES AT 18' X 8'-10"
- 14 SPACES AT 16' X 8'-9" (COMPACT)
- 197 TOTAL OFF STREET PARKING SPACES

- 8 ON STREET PARKING
- 205 TOTAL PARKING SPACES

ACCESSIBLE SPACES  
6 SPACES REQ. UNDER 200  
(151-200) IBC TABLE 1106.1  
150 REQUIRED SPACES  
REQUIRED: 6 SPACES  
ACTUAL: 10 SPACES

MOTORCYCLE  
5 SPACES REQ. (151-300) IDO 5-5 D  
REQUIRED: 5 SPACES  
ACTUAL: 8 SPACES

BICYCLE SPACES  
12TH & MENAUL ORDINANCE:  
1 SPACE PER 20 SPACES  
REQUIRED: 10 SPACES  
ACTUAL: 16 SPACES

### IDO REQUIRED PARKING

BUILDING D - 4,500SF  
E - 8,000SF  
F - 8,500SF  
PROPOSED SF: 21,000 SF (BLDG D, E, F)

FUTURE H - 8,000SF  
FUTURE G - 20,000SF

PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

### PARKING CALCULATIONS:

RETAIL: 4 SPACES/1000SF  
RESTAURANT: 8 SPACES/1000SF  
PHASE 2 (PROPOSED)  
10,000 GSF: 40 SPACES  
11,000 GSF : 80 SPACES

RETAIL: 4 SPACES/1000SF  
RESTAURANT: 8 SPACES/1000SF  
PHASE 3 (FUTURE)  
24,000 GSF: 96 SPACES  
4,000 GSF : 32 SPACES

TOTAL 256 SPACES  
ORDINANCE 0-16-22: (PARKING REDUCTION)  
0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)  
REDUCTION - 64 SPACES  
REQUIRED: 192 TOTAL  
ACTUAL : 197 PARKING SPACES (OFF STREET)

### SITE TABULATIONS:

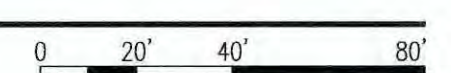
TOTAL ACREAGE OF PAD: 5.9 ACRES  
EXISTING PLAZA : 7 ACRES  
FUTURE STAGE OF WORK: 2.4 ACRES

TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

### LEGEND

- FUTURE BUILDING PAD
- NEW CONCRETE WALKWAY
- NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
- NEW LANDSCAPE
- EXISTING CONCRETE WALKWAY
- EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS



### GENERAL NOTES

- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

### SHEET KEYED NOTES

- EXISTING EDGE OF CURB.
- EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
- FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MANUAL BLVD STREET IMPROVEMENT DRAWINGS.
- EXISTING CONCRETE WALKWAY.
- FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
- TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
- COLOR PATTERNED CONCRETE.
- PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
- PROPOSED BUILDING UTILITY LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- NEW LANDSCAPING.
- FUTURE 6' CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
- WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
- PROPOSED ENTRY MONUMENT @ 12TH STREET.
- 5'-6" MINIMUM CAFE SPACE.
- NEW PATIO CONCRETE PAD.
- PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
- NEW CONCRETE WALKWAY.
- NEW ROOF DRAIN CULVER. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
- NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- NEW CONCRETE CURB.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- EXISTING BIKE RACK LOCATION.
- EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
- EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
- EXISTING TRAFFIC SIGNAL.
- TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
- PROPOSED FIRE HYDRANT LOCATION.
- REMOTE FDC LOCATION.
- FLUSH CURB FOR PEDESTRIAN ACCESS.
- ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
- BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
- ON STREET PARKING.
- OPTIONAL EMPLOYEE YARD T.B.D.
- ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105.



© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

### CONSULTANTS

Architect Engineer

**DRB SUBMITTAL**

### AVANYU RETAIL

2400 12TH STREET  
ALBUQUERQUE, NM 87104

### Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DRB	
PROJECT NUMBER:	1836	
FILE:	1836 SP01.DWG	
DRAWN BY:	DS	
CHECKED BY:	RH	
DATE:	Project Issue Date	

### SHEET TITLE

**SITE PLAN FOR  
BUILDING PERMIT**

**AS-101**





**AVANYU NORTH -  
BUILDINGS D, E & F**



2500 12th Street  
ALBUQUERQUE, NM

**Key Plan**

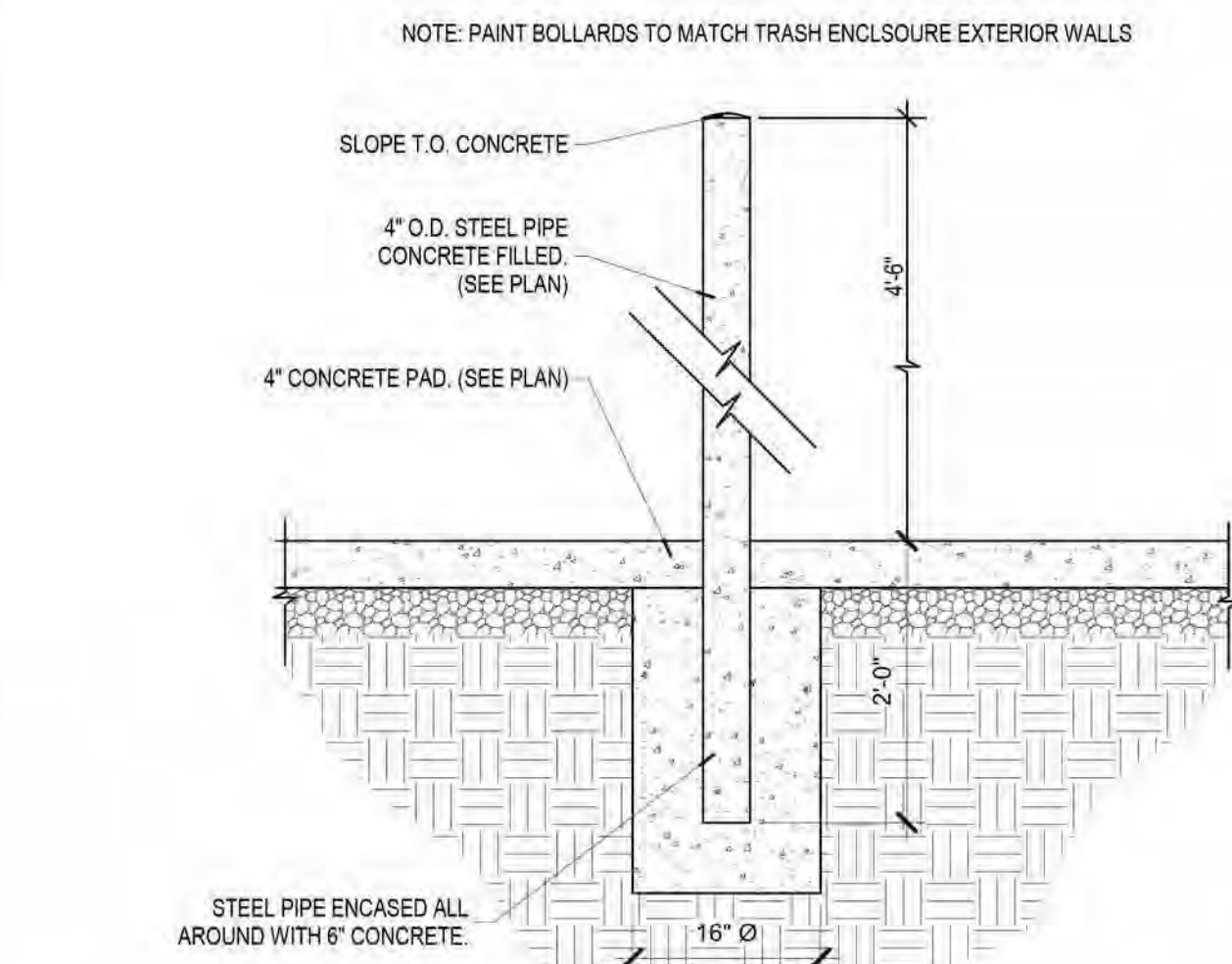
NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

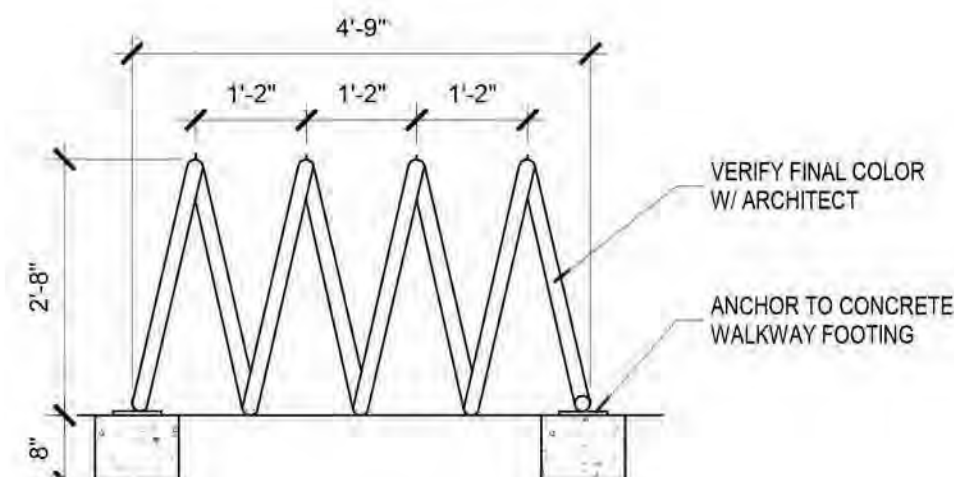
**SHEET TITLE**

**SITE DETAILS**

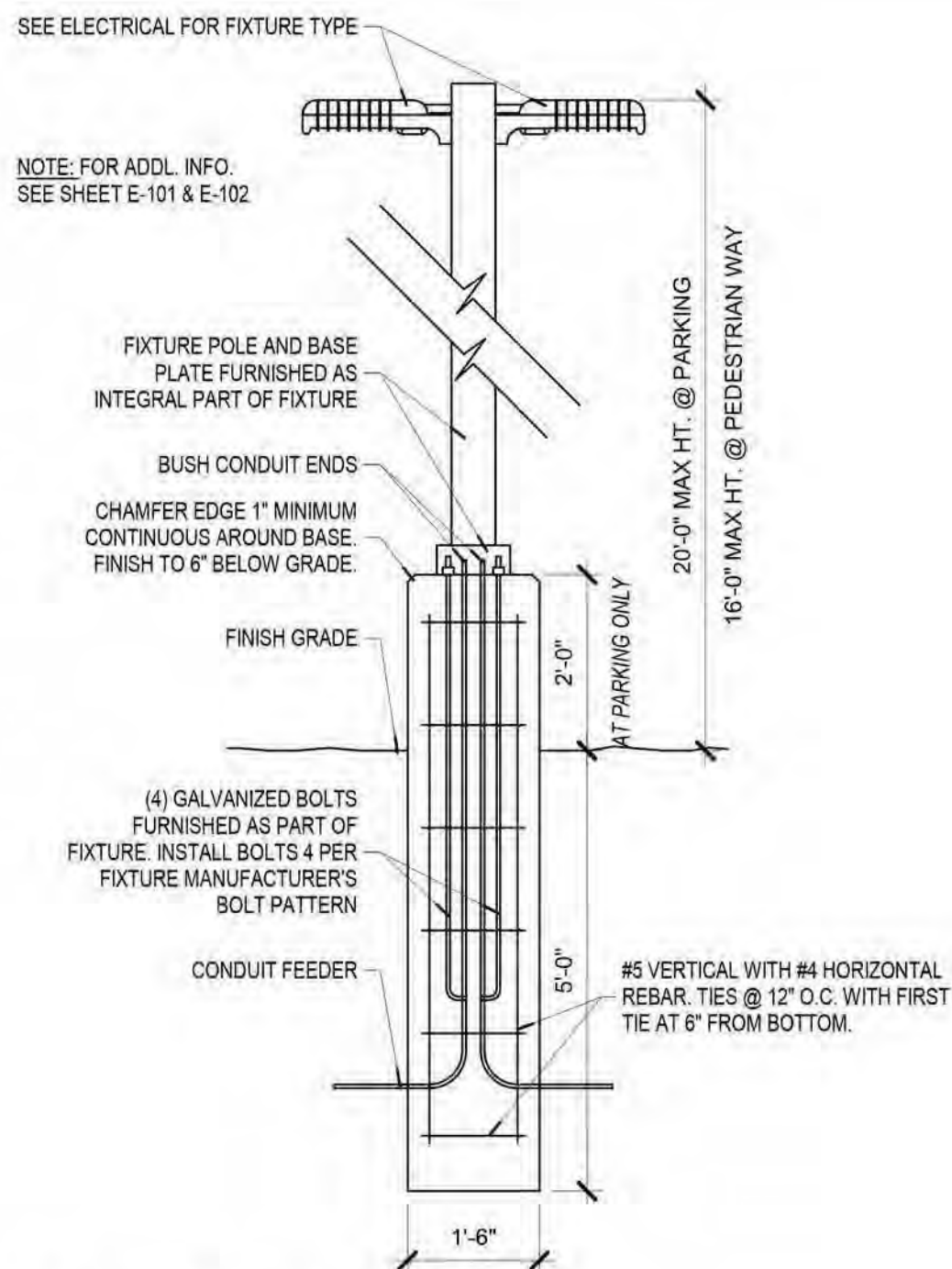
**AS-105**



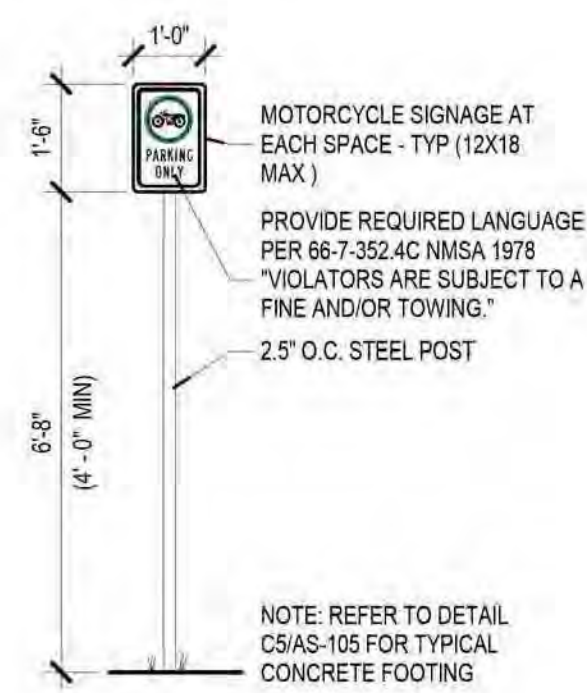
**C1 BOLLARD**  
3/4" = 1'-0"



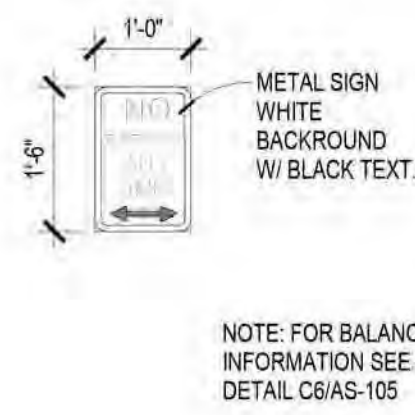
**C2 COIL BIKE RACK**  
1/2" = 1'-0"



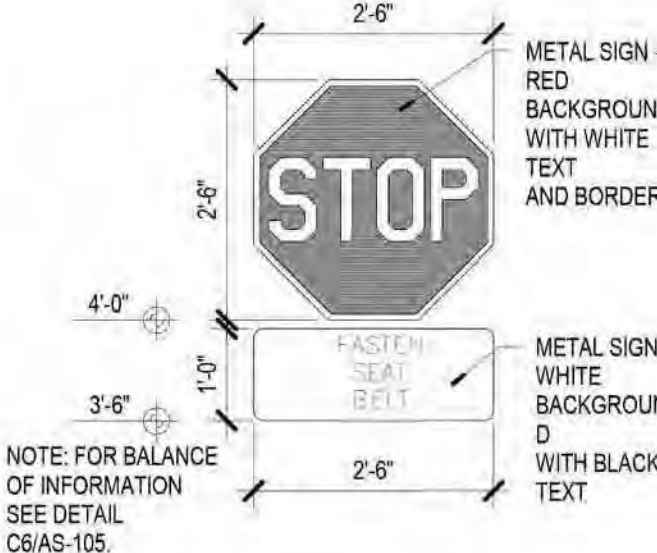
**C3 LIGHTING**  
1/2" = 1'-0"



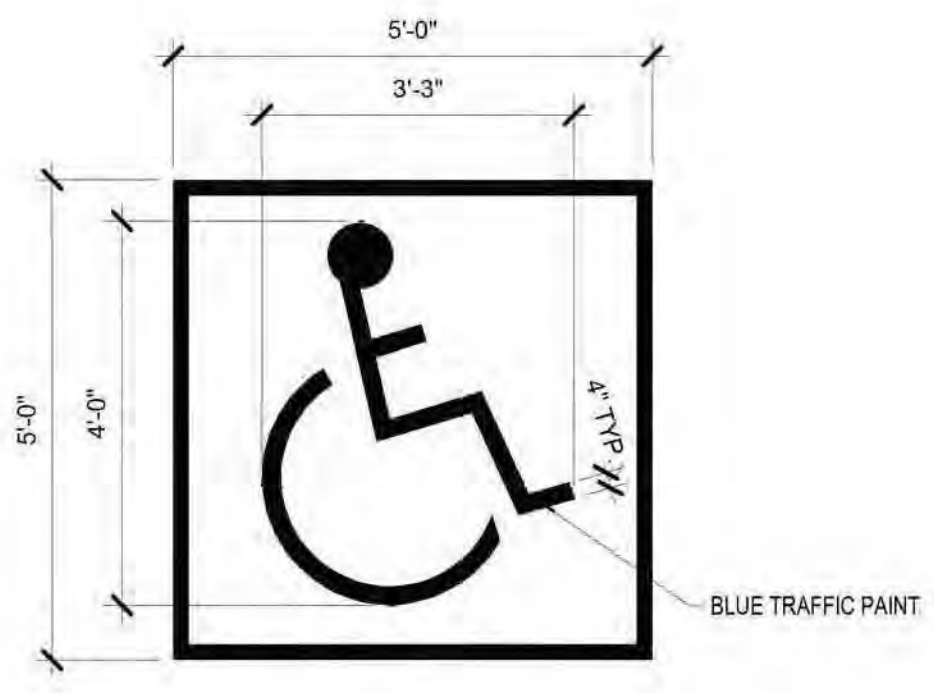
**B1 MOTO SIGN**  
3/8" = 1'-0"



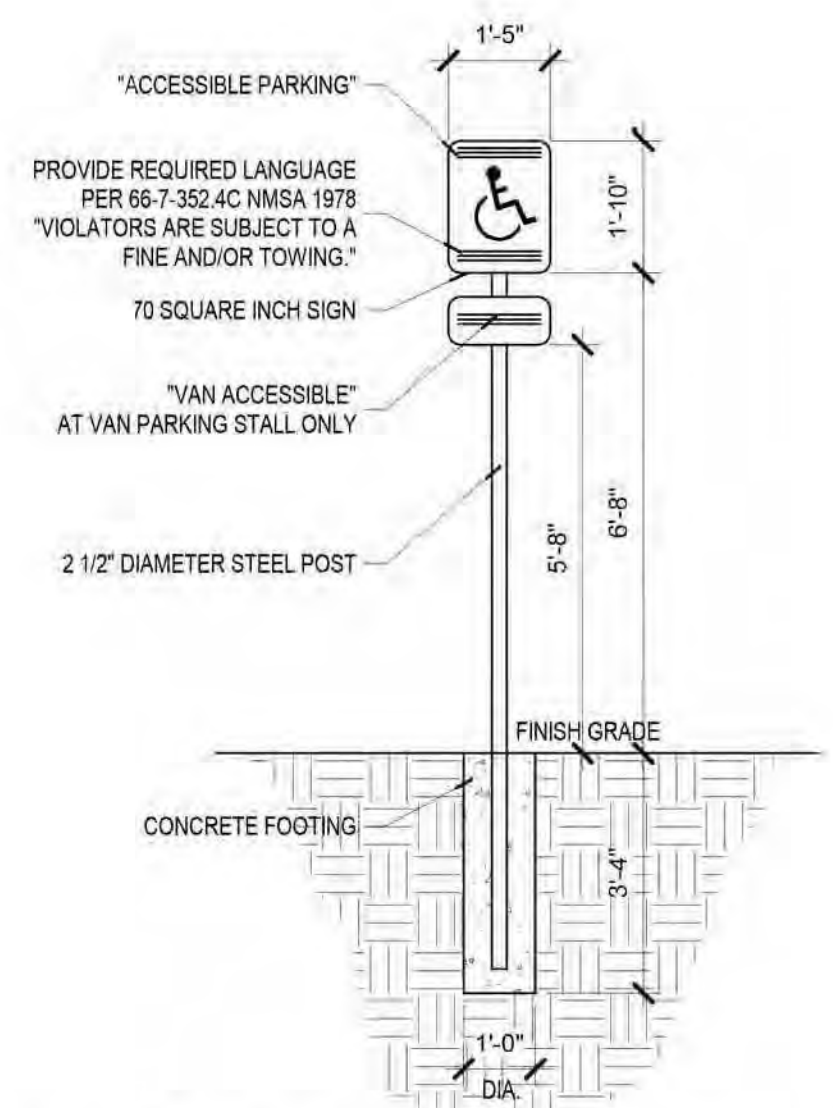
**B2 NO PARKING SIGN 1**  
1/2" = 1'-0"



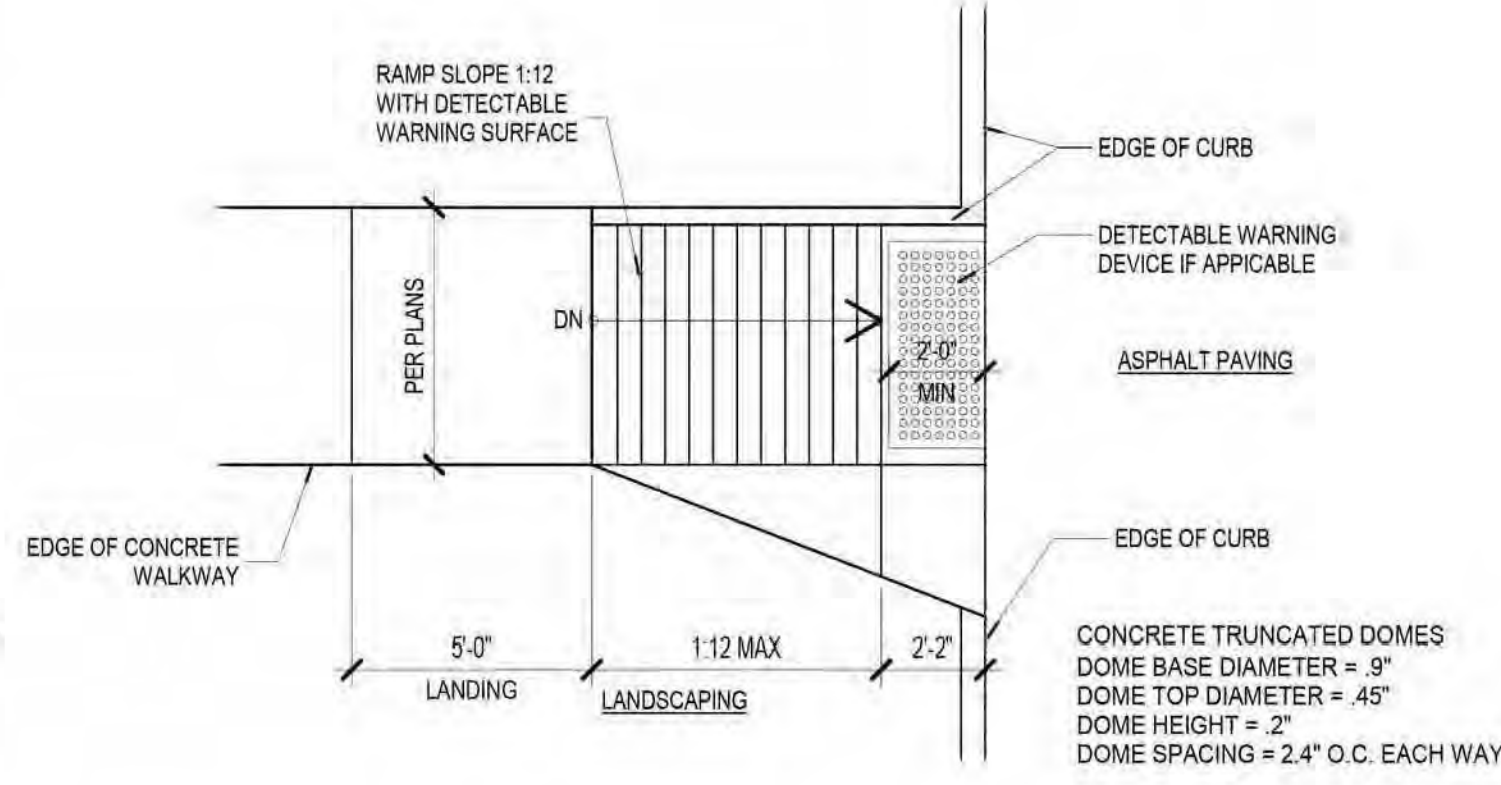
**B3 STOP SIGN 1**  
1/2" = 1'-0"



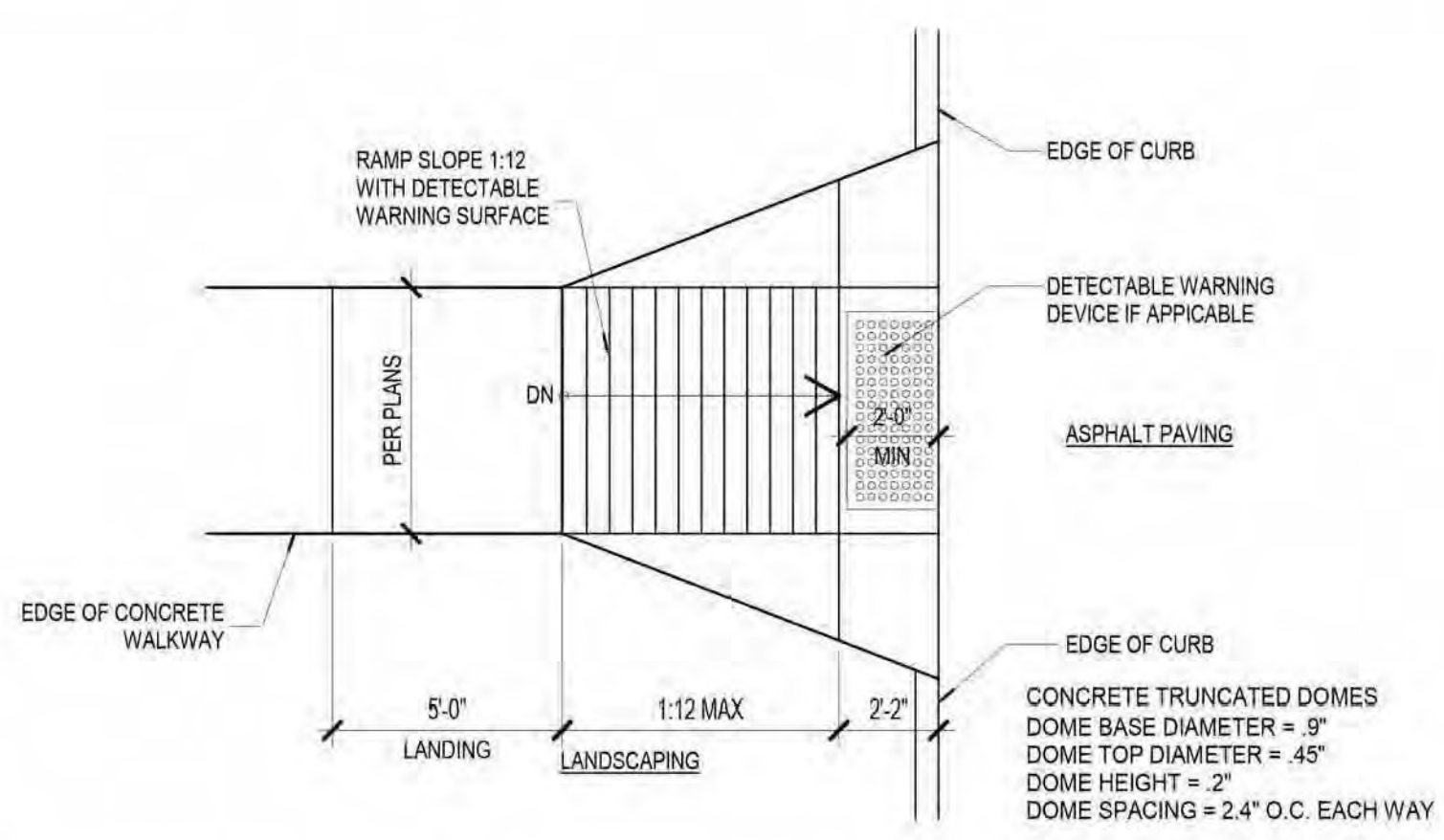
**B4 ADA SIGNAGE AT STALL**  
1/2" = 1'-0"



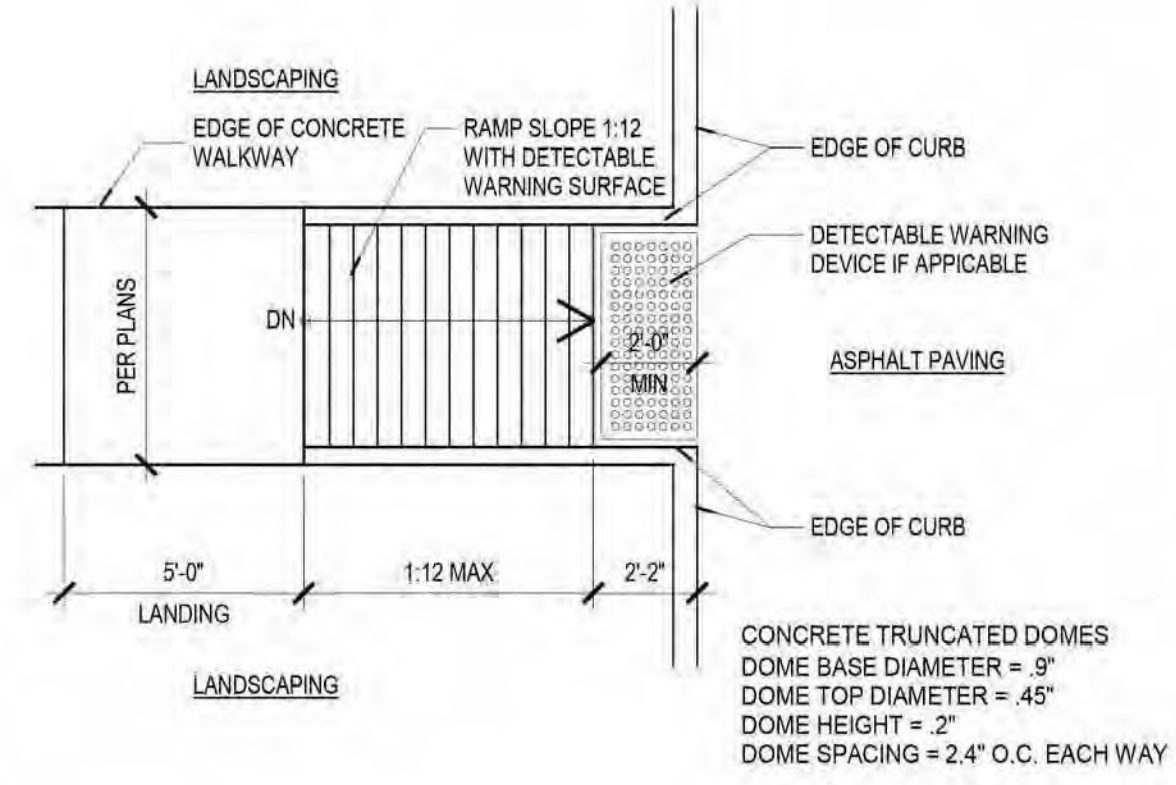
**B5 ADA PARKING SIGNAGE**  
3/8" = 1'-0"



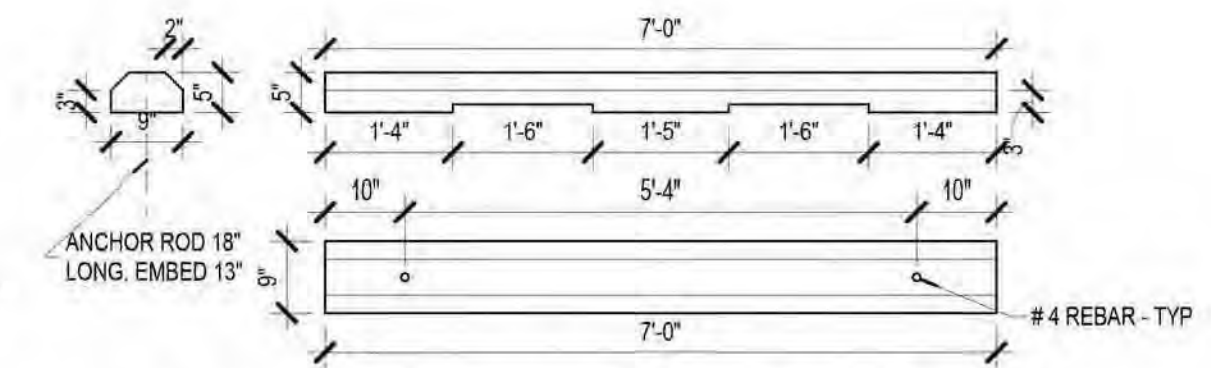
**A1 CURB RAMP - 1**  
1/4" = 1'-0"



**A2 CURB RAMP - 2**  
1/4" = 1'-0"

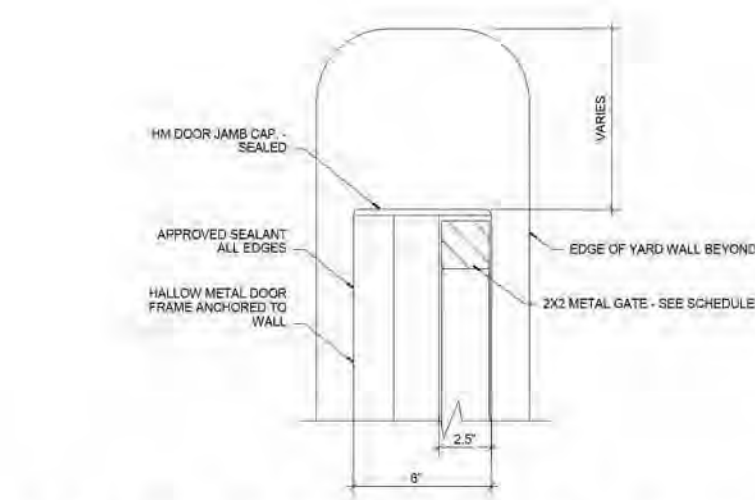


**A3 CURB RAMP - 3**  
1/4" = 1'-0"

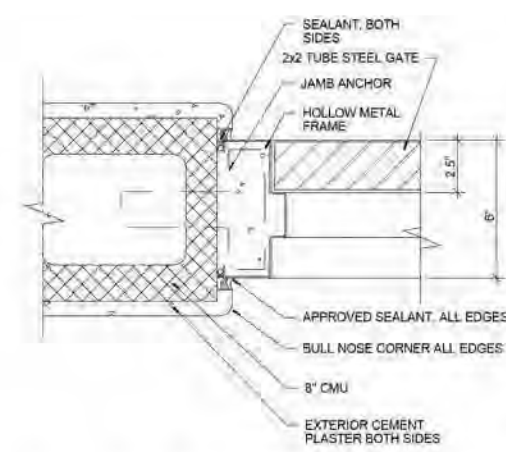


**A4 CONCRETE WHEEL STOP**  
1/2" = 1'-0"

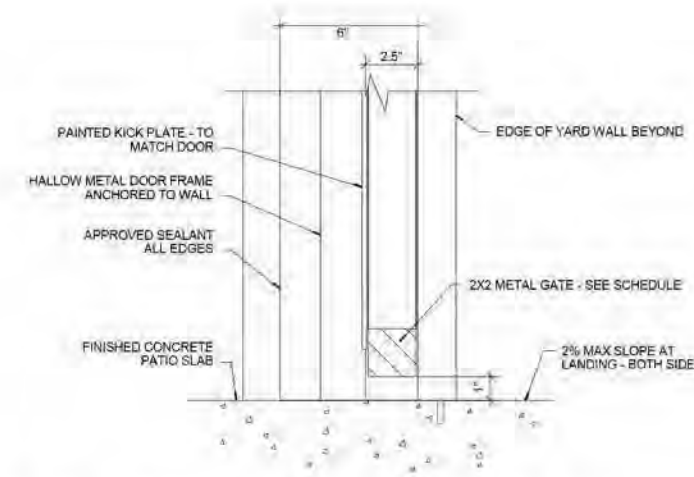




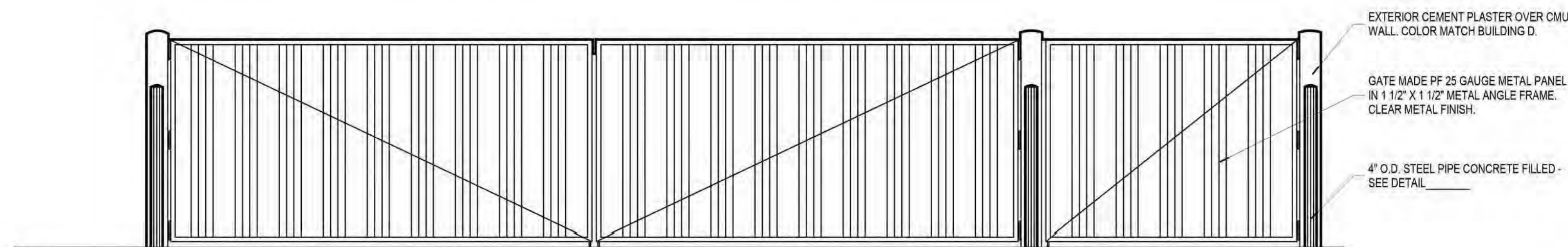
C1 GATE @ CMU HEAD  
1 1/2" = 1'-0"



C2 GATE @ CMU JAMB  
1 1/2" = 1'-0"



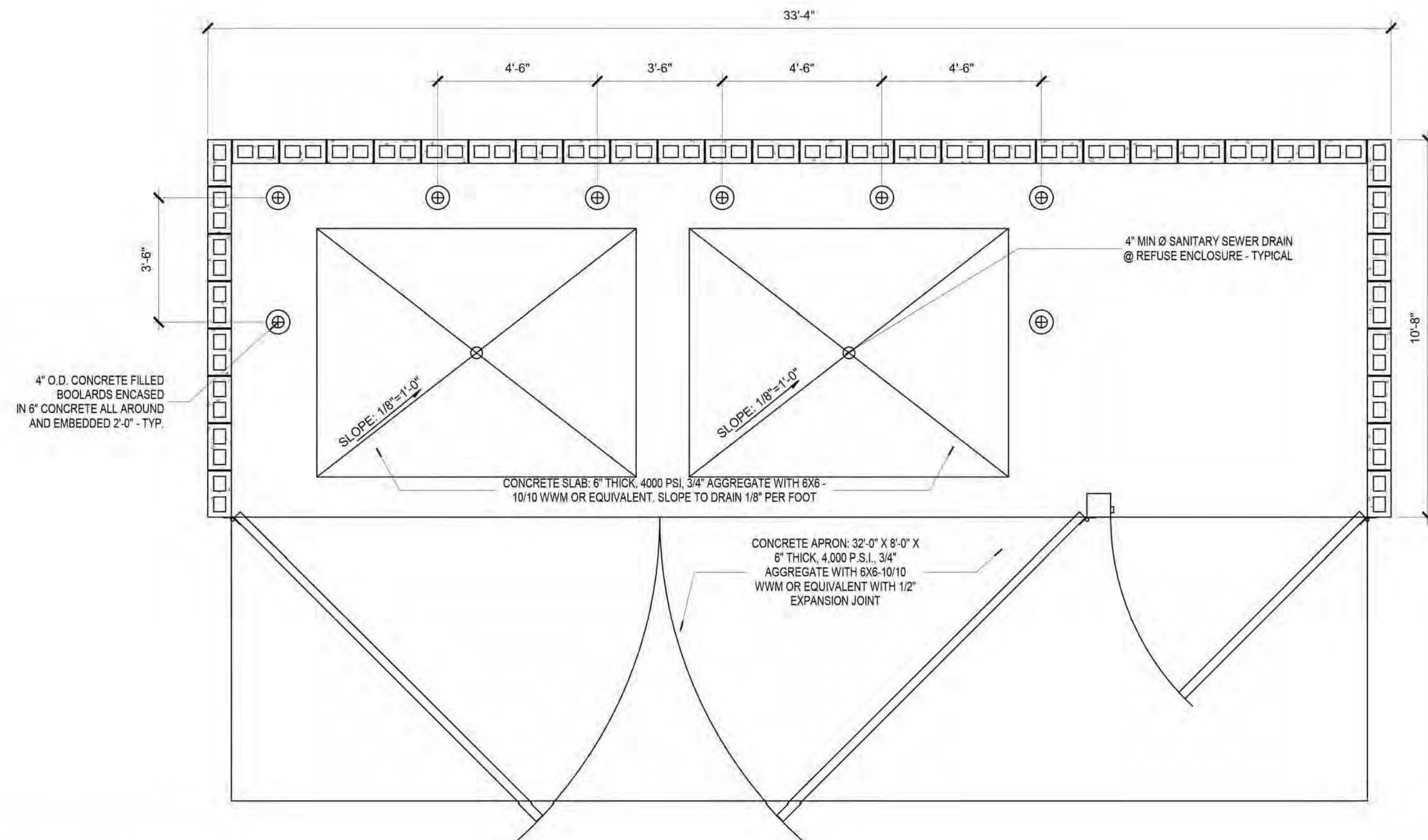
C3 GATE @ CMU SILL  
1 1/2" = 1'-0"



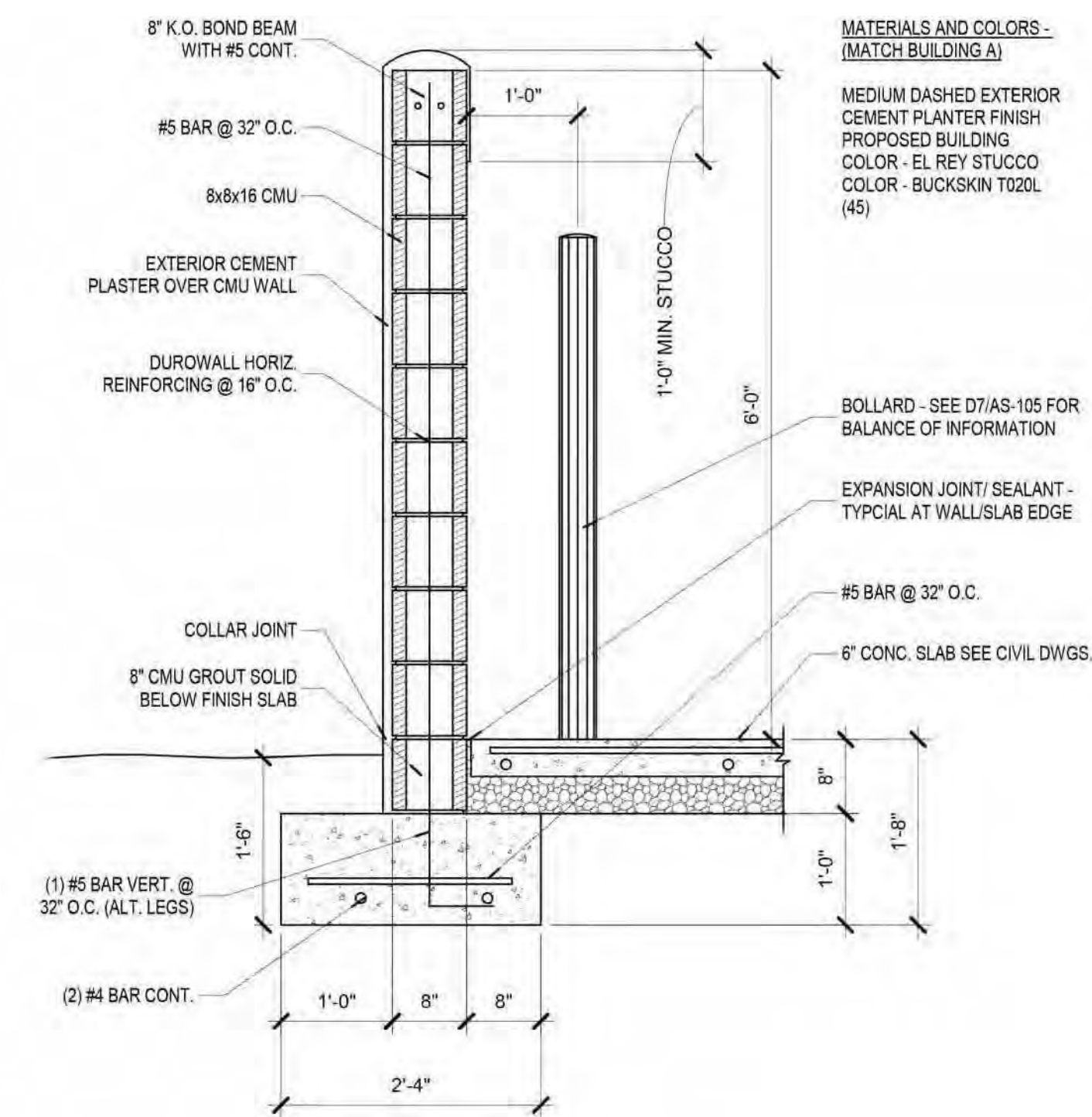
B1 ENCLOSURE ELEVATION  
3/8" = 1'-0"



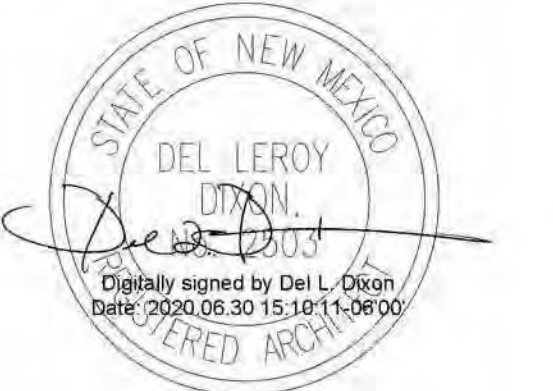
B2 TRASH - SIDE ELEVATION  
3/8" = 1'-0"



A1 TRASH ENCLOSURE PLAN  
3/8" = 1'-0"



A2 TRASH ENCLOSURE WALL  
3/4" = 1'-0"



No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	



CONSULTANTS

Architect Engineer

BID SET: 7/10/2020



NOT FOR  
CONSTRUCTION

AVANYU RETAIL

2400 12TH STREET  
ALBUQUERQUE, NM 87104

Key Plan

NTS

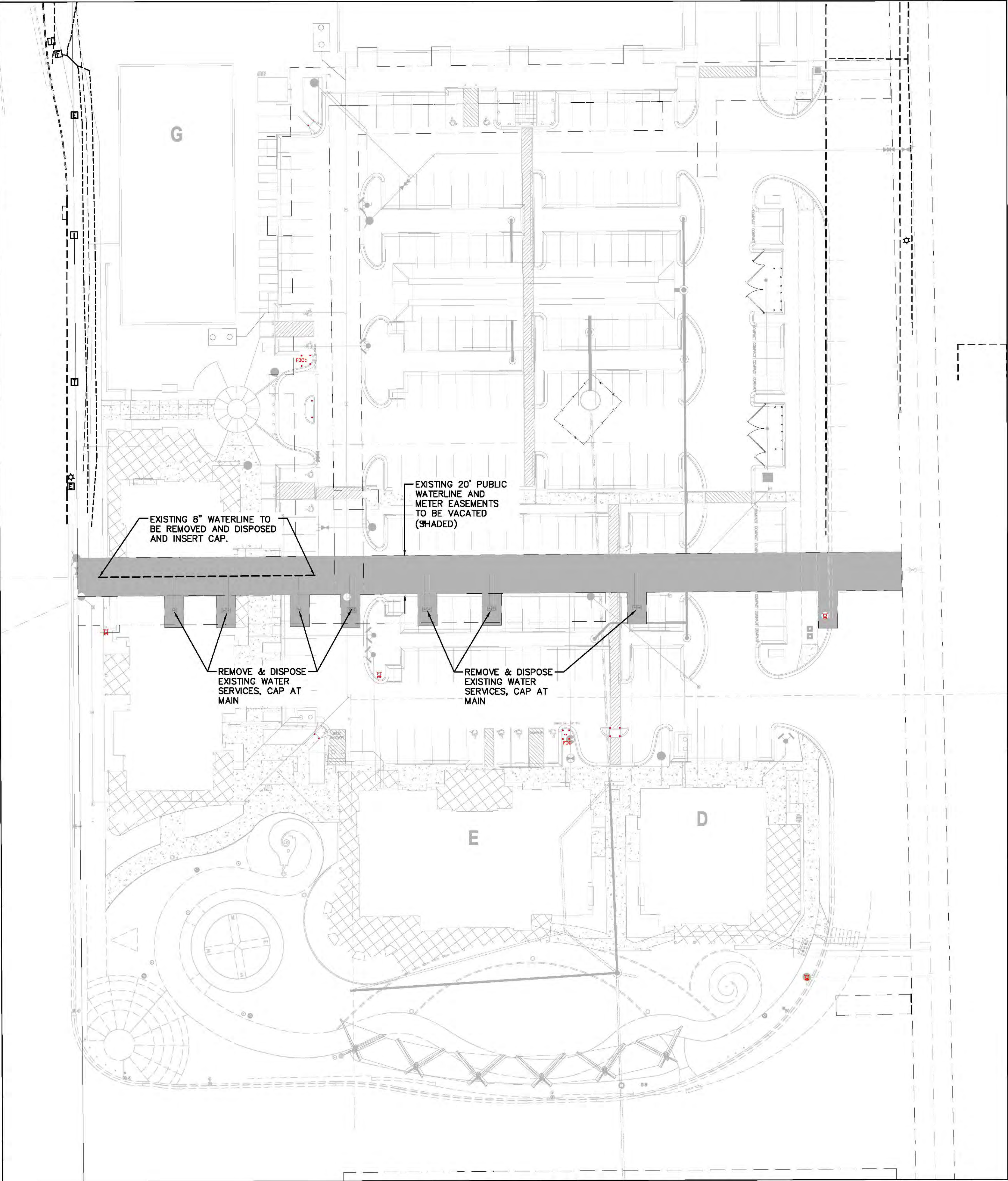
No	Date	Description
Revision Schedule		

ISSUE:	90% CD's
PROJECT NUMBER:	SSW 1836 / IA 2334
FILE:	2334 CD-101.dwg
DRAWN BY:	DC
CHECKED BY:	FCH
DATE:	July 10, 2020

SHEET TITLE

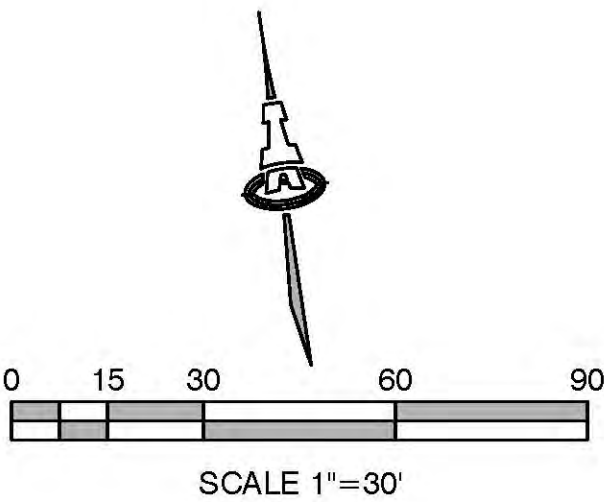
UTILITY DEMOLITION  
AND EASEMENT  
VACATION PLAN

CD-101



LEGEND

- EXISTING WATERLINE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER LINE
- EXISTING MANHOLE
- WATERLINE EASEMENTS TO BE VACATED
- TBR TO BE REMOVED







## KEYED NOTES

### WATER KEYED NOTES

1. REMOVE EXISTING 8" CAP AND CONNECT NEW 8" WATERLINE.
2. 8" WATERLINE.
3. 8" 45° BEND. (LT=11')
4. 8"x6" TEE.
5. 8"x6" REDUCER.
6. 8" GATE VALVE W/ BOX. (LT=60')
7. 6" GATE VALVE W/ BOX. (LT=46')
8. 6" WATERLINE
9. 6" 45° BEND. (LT=9')
10. 6" 90° BEND. (LT=20')
11. 6" CAP. (LT=46')
12. 4" WATERLINE
13. 4" 45° BEND. (LT=6')
14. FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
15. PIV (POST INDICATOR VALVE).
16. FDC (FIRE DEPARTMENT CONNECTION).
17. 3" CONDUIT W/ PULL STRING FROM PIV TO FIRE ROOM.
18. 1 1/2" WATER SERVICE LINE.
19. 2" WATER SERVICE LINE.
20. 6" WATERLINE (DRY) FOR FIRE SUPPRESSION FOR FUTURE BUILDING.

NOTE:  
NEW WATER METER SETTINGS, FIRE LINE, RELOCATION OF EXISTING FIRE HYDRANT AND THE REMOVAL OF EXISTING PUBLIC WATER AND SEWER LINES ARE TO BE DONE UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.

GAS AND ELECTRIC LINES SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL POT-HOLE GAS AND ELECTRIC LINES TO DETERMINE EXACT LOCATIONS

## GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE ELECTRICAL AND MECHANICAL SITE PLANS FOR LOCATIONS AND GAS LINE SIZES. SEE CG-101 FOR STORM DRAIN DESIGN.
4. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT).  
SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET.  
(LT) LENGTH SHOWN ON KEYED NOTES.
5. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

## RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

### NOTES:

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM  
FACTOR OF SAFETY: 1.50  
MATERIAL: PVC  
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
TEST PRESSURE: 150 PSI  
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER. 4 INCH MINIMUM BACKFILL COMPACTED TO TOP OF PIPE

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND

## LEGEND

- EXISTING WATERLINE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER LINE
- EXISTING MANHOLE
- NEW WATERLINE
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW 2" METERED SERVICE
- NEW PRIVATE SEWER LINE
- NEW CLEAN OUT
- WATERLINE EASEMENTS TO BE VACATED
- TBR TO BE REMOVED
- SD STORM DRAIN

BID SET: 7/10/2020



NOT FOR  
CONSTRUCTION

AVANYU RETAIL

2400 12TH STREET  
ALBUQUERQUE, NM 87104

## Key Plan

NTS

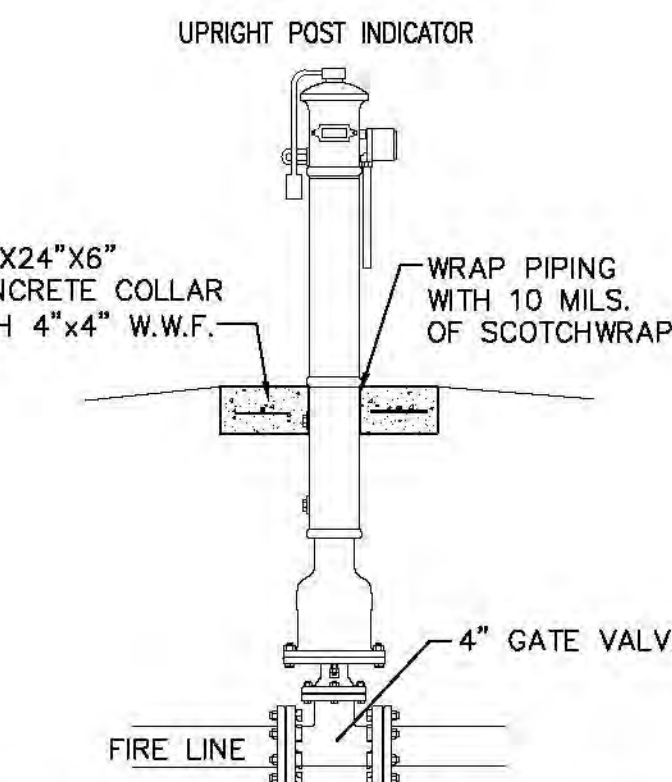
No	Date	Description
Revision Schedule		

ISSUE:	90% CD's
PROJECT NUMBER:	SSW 1836 / IA 2334
FILE:	2334 CU-101.dwg
DRAWN BY:	DC
CHECKED BY:	FCA
DATE:	July 10, 2020

SHEET TITLE

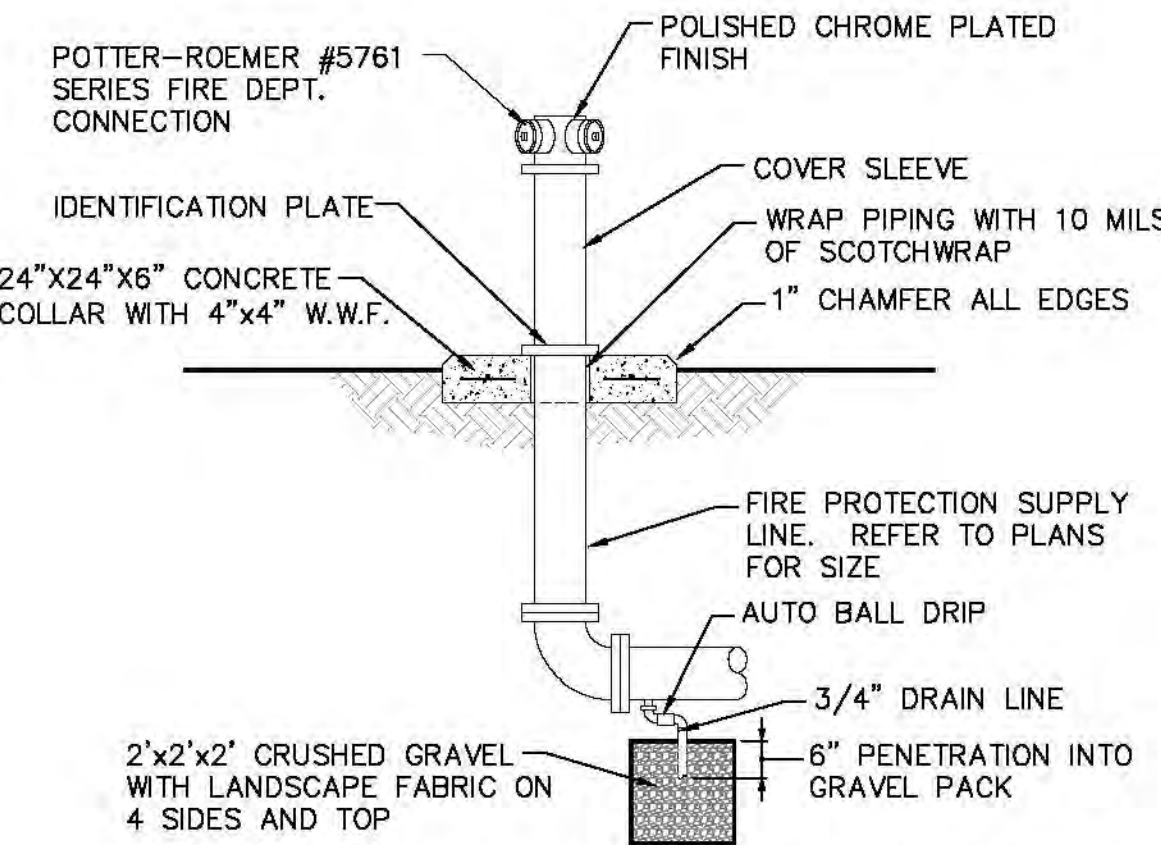
SITE WATER  
PLAN

CU-101



POST INDICATOR VALVE

NTS



FREE-STANDING FIRE DEPARTMENT

CONNECTION DETAIL

NTS

12 TH STREET

EAGLE WAY

EX 6" CI ML

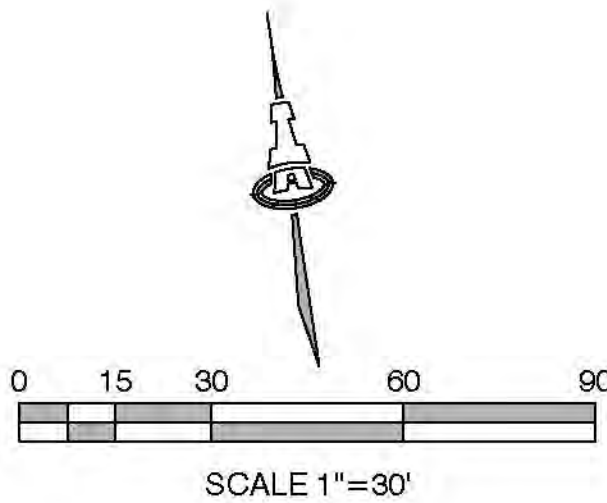
EX 12" PVC ML

EX 54" RCP SAS

EX 8" PVC SAS

EXISTING 2-4" ELECTRICAL CONDUITS  
2-12 470 CIRCUITS

EXISTING 2-4" ELECTRICAL CONDUITS  
2-12 470 CIRCUITS  
(FEEDS HOTEL TO THE EAST)







2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

CONSULTANTS

GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE ELECTRICAL AND MECHANICAL SITE PLANS FOR LOCATIONS AND GAS LINE SIZES. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

LEGEND

- EXISTING WATERLINE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER LINE
- EXISTING MANHOLE
- NEW WATERLINE
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW 2" METERED SERVICE
- NEW PRIVATE SEWER LINE
- NEW CLEAN OUT
- KEY NOTE W/ INV
- WATERLINE EASEMENTS TO BE VACATED
- TBR TO BE REMOVED
- SD STORM DRAIN

Architect Engineer

BID SET: 7/10/2020



NOT FOR CONSTRUCTION

AVANYU RETAIL

2400 12TH STREET  
ALBUQUERQUE, NM 87104

Key Plan

NTS

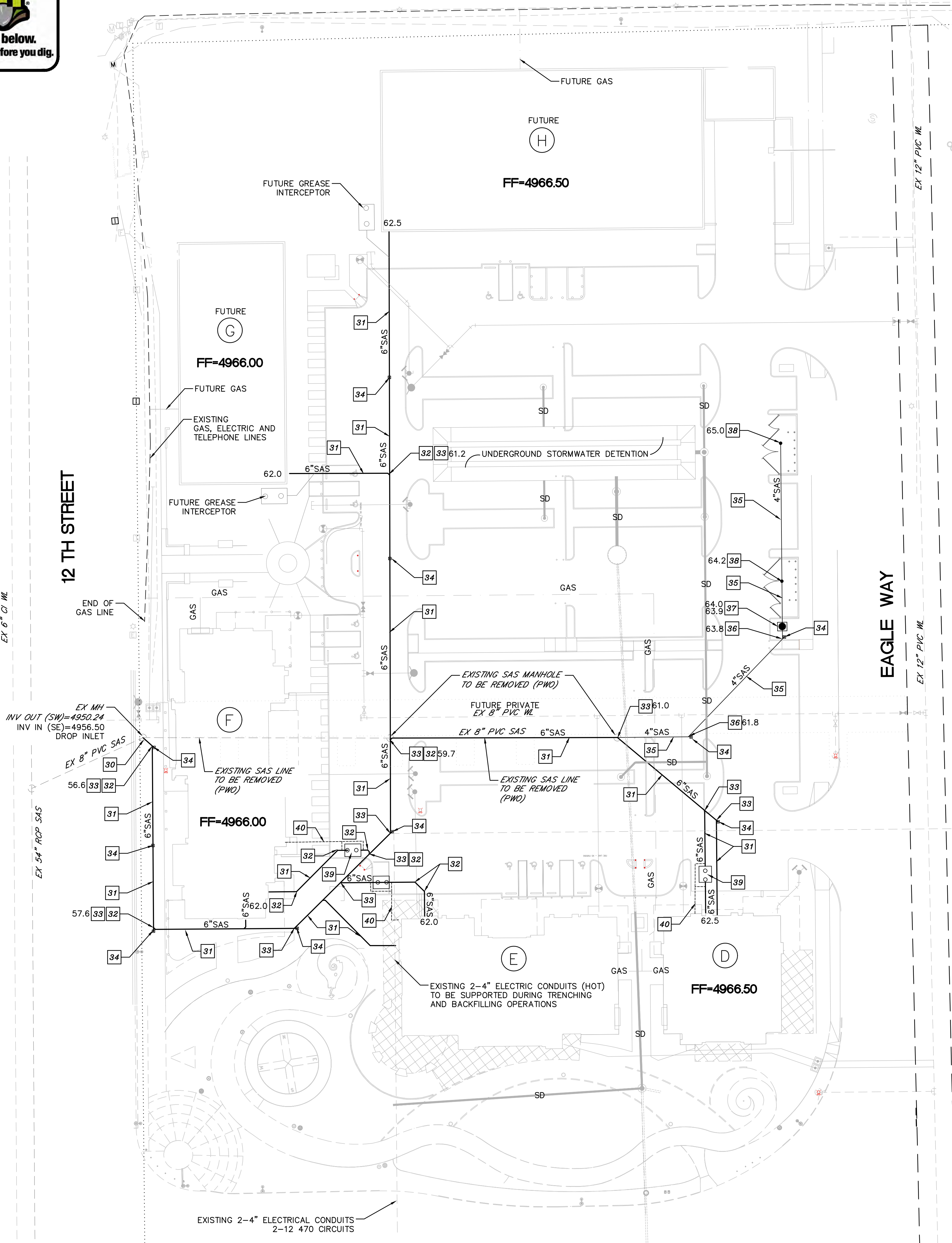
No	Date	Description
Revision Schedule		

ISSUE:	90% CD's
PROJECT NUMBER:	SSW 1836 / IA 2334
FILE:	2334 CU-102.dwg
DRAWN BY:	DC
CHECKED BY:	FCH
DATE:	July 10, 2020

SHEET TITLE

SITE SEWER  
PLAN

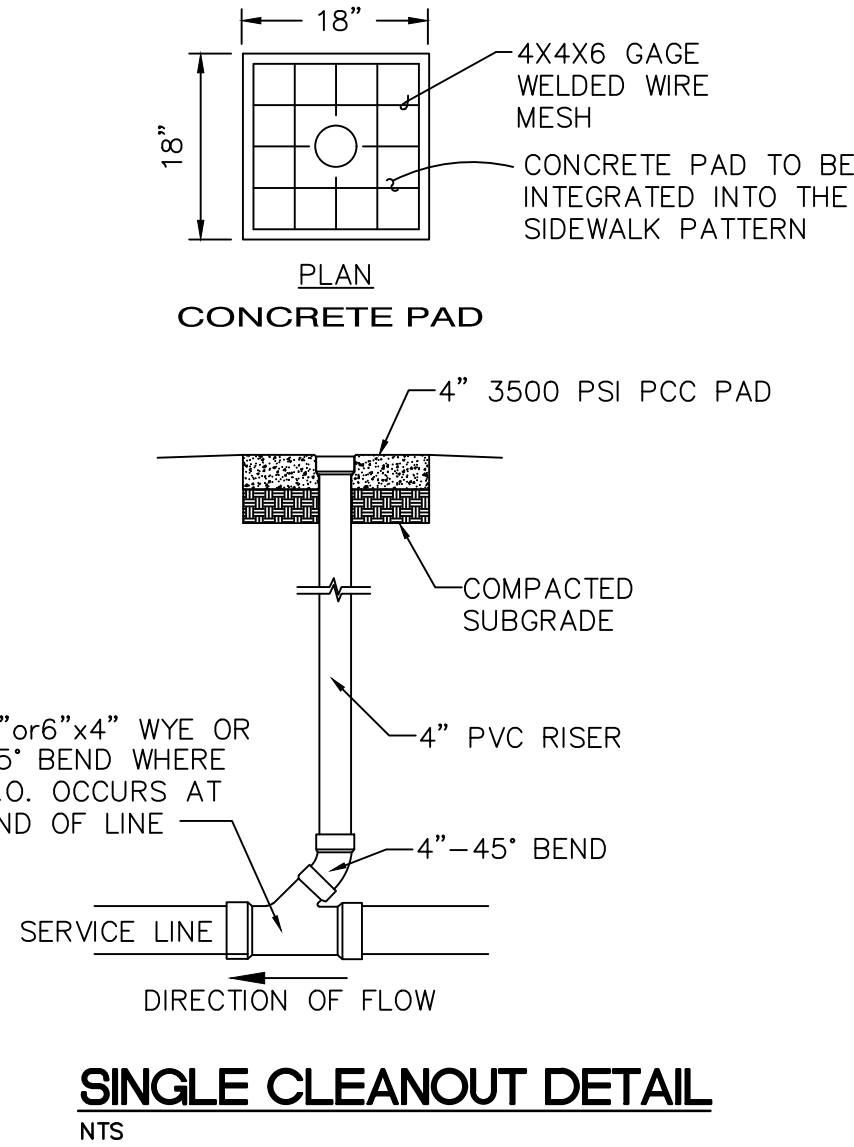
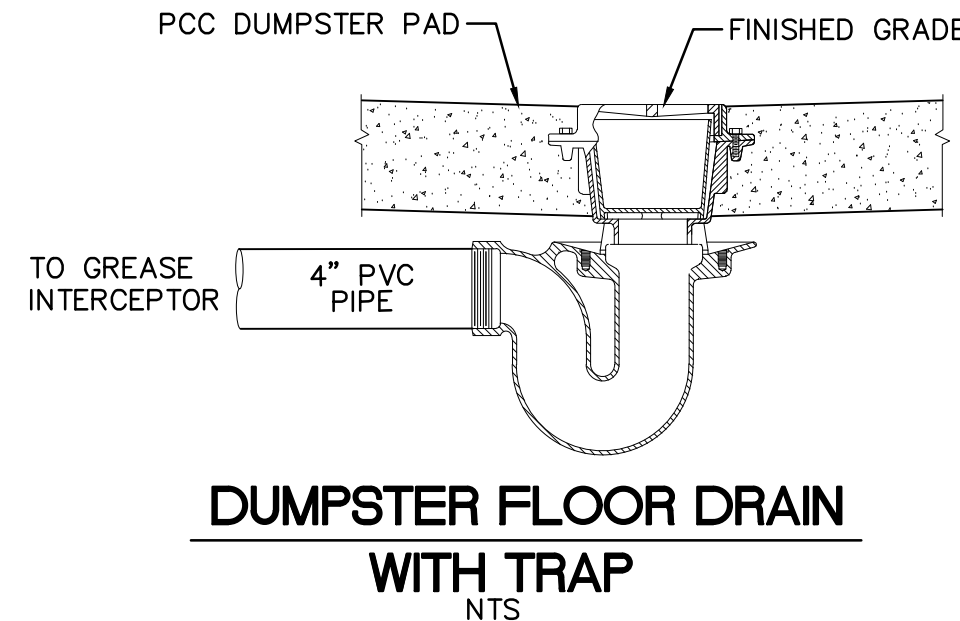
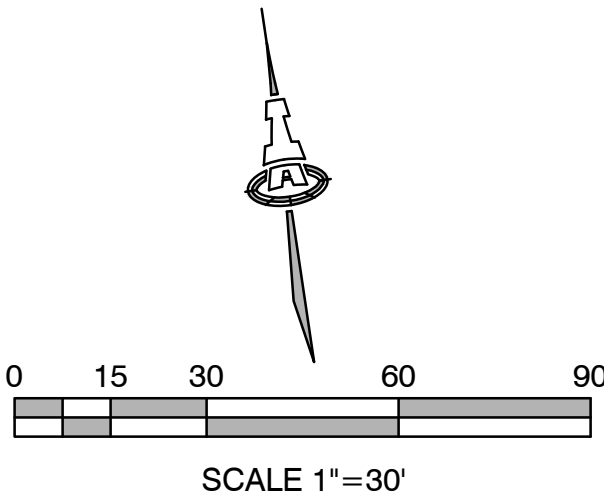
CU-102



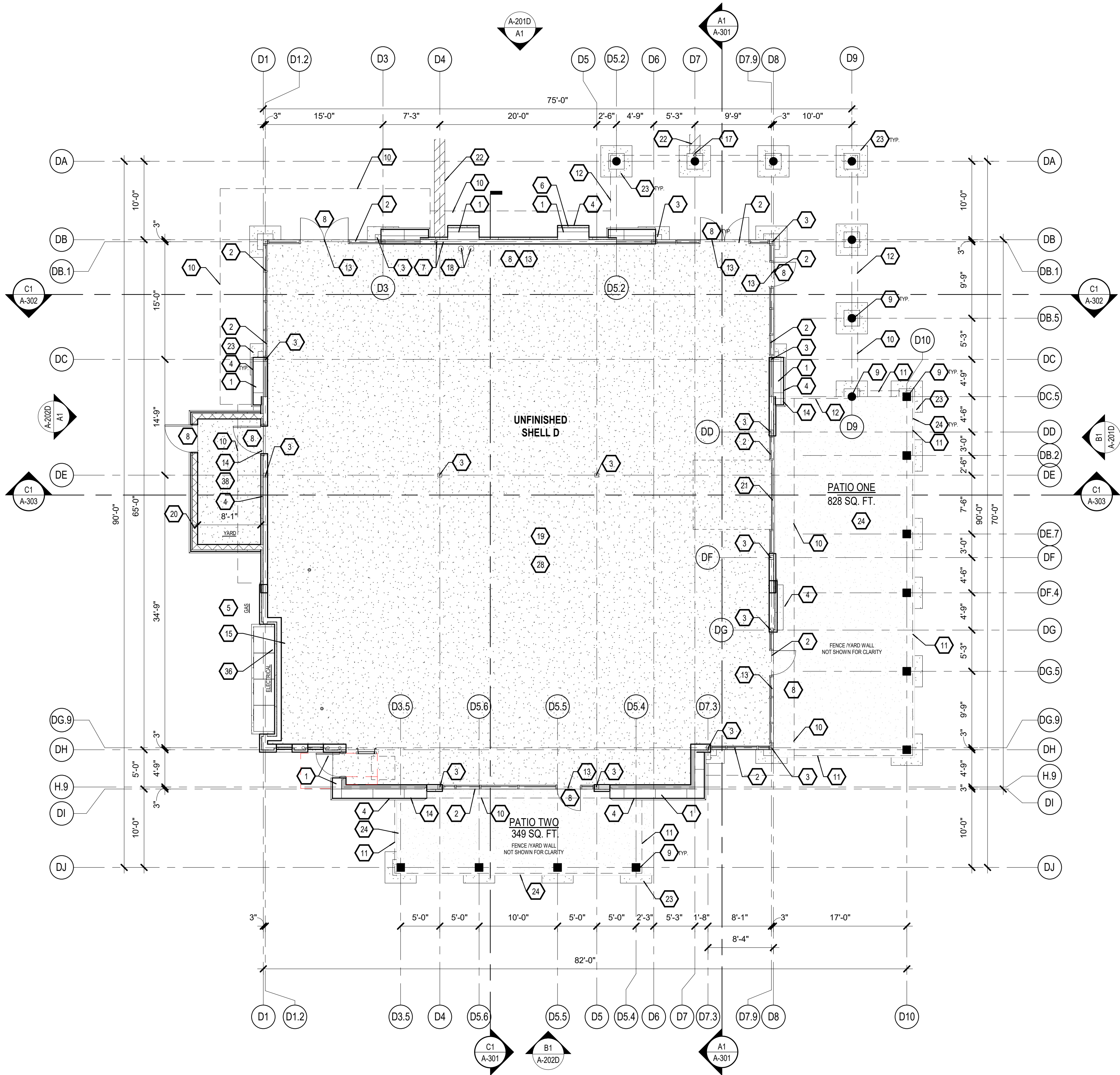
- PRIVATE SEWER
- CONNECT NEW SEWER SERVICE TO EXISTING MANHOLE.
  - 6" SANITARY SEWER LINE AT 1% MIN. SLOPE (PRIVATE).
  - 6" 45° BEND.
  - 6"x6" WYE/TEE.
  - SANITARY SEWER CLEANOUT.
  - 4" SANITARY SEWER LINE AT 2% MIN. SLOPE.
  - 4"x4" WYE/TEE.
  - TRAPZILLA MODEL TZ-160 GREASE INTERCEPTOR.
  - 4" DUMPSTER FLOOR DRAIN WITH 'P' TRAP.
  - GREASE INTERCEPTOR, SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
  - 3" GREASE INTERCEPTOR VENT LINE TO BUILDING

GAS AND ELECTRIC LINES SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL POT-HOLE GAS AND ELECTRIC LINES TO DETERMINE EXACT LOCATIONS

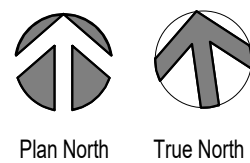
EXISTING 2-4" ELECTRICAL CONDUITS  
2-12 470 CIRCUITS  
(FEEDS HOTEL TO THE EAST)







**A1 1ST FLOOR PLAN**  
1/8" = 1'-0"



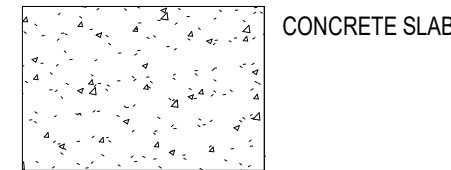
### GENERAL NOTES

- A) COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B) UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C) UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D) REFER TO ENLARGED PLANS FOR WALL TYPES AND DIMENSIONS WITHIN DETAILED AREAS
- E) COORDINATE FINAL LOCATION OF FIRE EXTINGUISHERS WITH FIRE MARSHAL.
- F) REFER TO A-601 FOR DOOR AND FRAME TYPES. FINAL DOOR LOCATIONS TBD WITH OCCUPANT.
- G) UNDER FLOOR UTILITIES COMPLETED IN TENANT IMPROVMENT.

### KEYED NOTES

- 1. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS AND ELEVATIONS FOR ADDL. INFORMATION
- 2. ALUMINUM STOREFRONT - TYPICAL
- 3. STEEL COLUMN - TYPICAL. SEE STRUCTURAL
- 4. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)
- 5. GAS METER / UTILITY METER - SEE MECHANICAL AND PLUMBING DRAWINGS
- 6. KNOX BOX
- 7. ROOF DRAIN AND OVERFLOW WITHIN WALL. TAKE ROOF DRAIN THROUGH STEM WALL TO CULVERT. COORDINATE CONCETE CULVERT TO ALIGN WITH OVERFLOW DRAIN. PROVIDE BRASS COW TONGUE AT OVERFLOW AND STEEL GRATE AND CULVERT.
- 8. DOOR/GATE PER SCHEDULE
- 9. WOOD COLUMN - TYP
- 10. OUTLINE OF ROOF STRUCTURE ABOVE
- 11. OUTLINE OF SHADE STRUCTURE ABOVE.
- 12. OUTLINE OF PORTAL ABOVE.
- 13. PROVIDE ELECTRICAL AT ALL POTENTIAL EXITS FOR FUTURE EXIT SIGNAGE.
- 14. KEY OPERATED TAMPER PROOF HOSE BIBB LOCATIN AT EXTERIOR WALL.
- 15. OUTLINE OF ROOF ACCESS HATCH ABOVE. VERIFY FINAL LOCATION.
- 16. PAINTED STEEL FENCE
- 17. FACTORY PAINTED METAL DOWNSPOUT
- 18. FIRE RISER LOCATION COORDINATE.
- 19. COORDINATE CONCRETE SLAB SAW CUT PATTERN, COLOR AND FINISH WITH ARCHITECT. SEE SLAB PLAN SHEET A-100 FOR ADDL. INFO.
- 20. 8' TALL YARDWALL
- 21. ROLL-UP DOOR TO MATCH ALUMINUM SF FINISH.
- 22. CONCRETE CULVERT AND STEEL GRATE PER DETAIL
- 23. CONCRETE FOOTING - SEE STRUCTURAL
- 24. CONCRETE PATIO SLAB. SCORED W/ INTERGRATED COLOR. SEE SHEET A-100 FOR ADDL. INFO.
- 25. SANITARY PIPE PENETRATION TO TOILET
- 26. FLOOR DRAIN AT TOILET ROOM - VERIFY WITH FUTURE T.I. TOILET ROOM PLAN
- 27. EDGE OF PERIMETER STEM WALL - SEE STRUCTURAL FOR BALANCE OF INFORMATION
- 28. CONCRETE SLAB - COORDINATE WITH TENANT IMPROVEMENTS DRAWINGS FOR FINAL PENETRATION LOCATIONS AND UNDERGROUND UTILITIES - SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- 29. POINT OF ORIGIN - ALIGN WITH CENTER OF DOOR OPENING
- 30. 10' X 10' SAW CUT CONTROL JOINT. REFER TO STRUCTURAL FOR DEPTH OF JOINT.
- 31. 3/8" RECESS AT CONCRETE SLAB FOR WALKOFF MAT
- 32. RECESS AREA FOR FUTURE TILE.
- 33. SLOPE TO DRAIN
- 34. ELECTRICAL STUB UP PENETRATION
- 35. PLUMBING STUB-UP PENETRATION
- 36. FLOOR SINK LOCATION
- 37. MOP SINK DRAIN
- 38. OPTIONAL YARD

### LEGEND



© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

### CONSULTANTS

Architect Engineer

AVANYU NORTH -  
BUILDINGS D, E & F



2500 12th Street  
ALBUQUERQUE, NM

### Key Plan

NTS

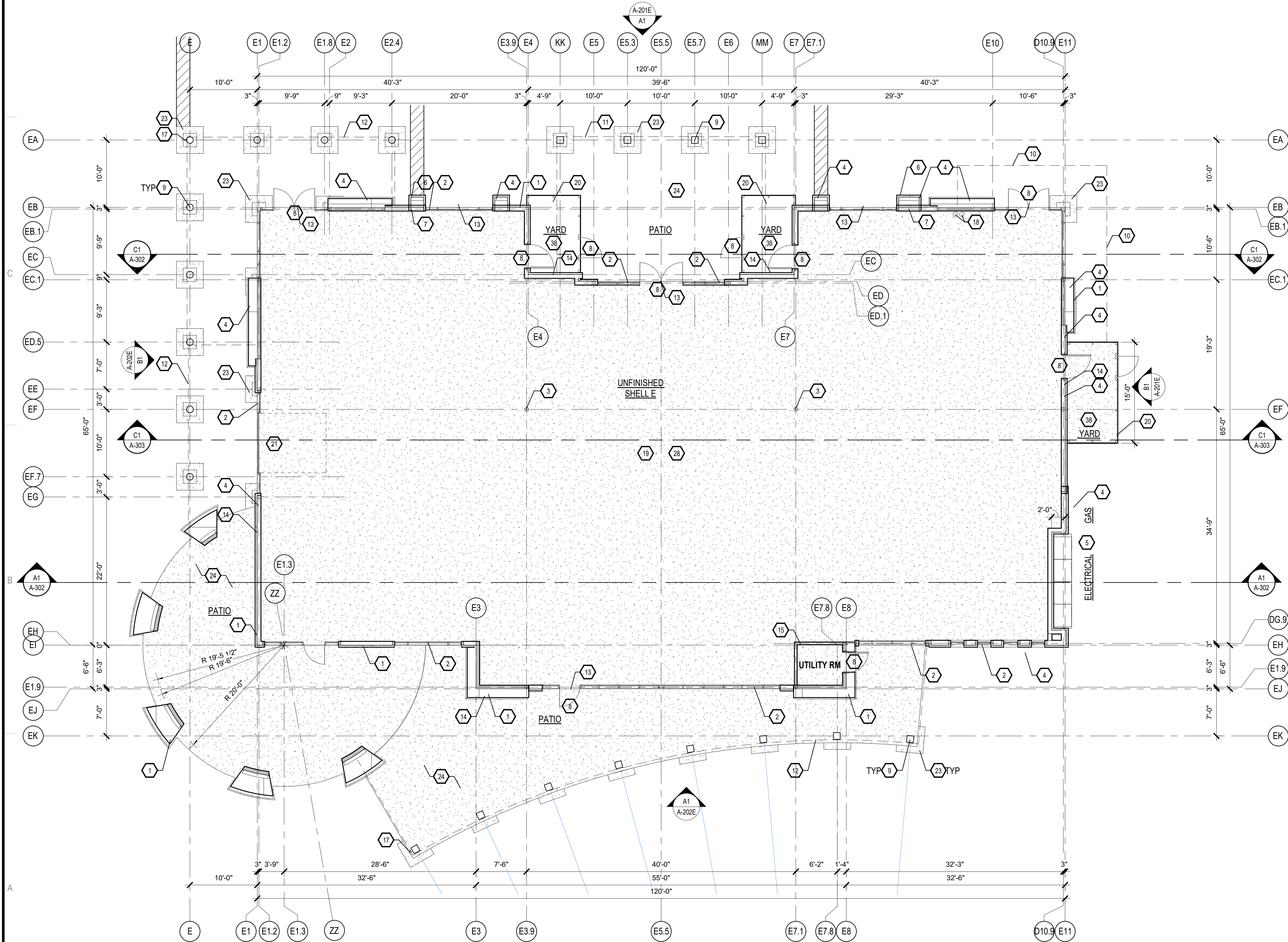
No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	ARCH	
CHECKED BY:	ARCH	
DATE:	12/01/2018	

### SHEET TITLE

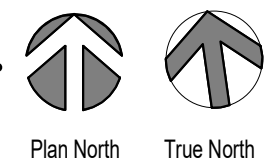
**FIRST FLOOR PLAN -  
OVERALL**

**A-101D**





**A1 1ST FLOOR PLAN**  
1/8" = 1'-0"



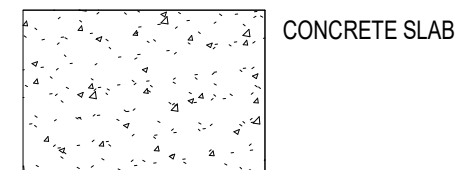
## GENERAL NOTES

- COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- REFER TO ENLARGED PLANS FOR WALL TYPES AND DIMENSIONS WITHIN DETAILED AREAS
- COORDINATE FINAL LOCATION OF FIRE EXTINGUISHERS WITH FIRE MARSHAL.
- REFER TO A-601 FOR DOOR AND FRAME TYPES.
- UNDER FLOOR UTILITIES COMPLETED IN TENANT IMPROVMENT.

## KEYED NOTES

- EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS AND ELEVATIONS FOR ADDL INFORMATION
- ALUMINUM STOREFRONT - TYPICAL
- STEEL COLUMN - TYPICAL, SEE STRUCTURAL
- TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGI ISNULTIONA ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL INFO.)
- GAS METER / UTILITY METER - SEE MECHANICAL AND PLUMBING DRAWINGS
- KNOX BOX
- ROOF DRAIN AND OVERFLOW WITHIN WALL. TAKE ROOF DRAIN THROUGH STEM WALL TO CULVERT. COORDINATE CONCRETE CULVERT TO ALIGN WITH OVERFLOW DRAIN. PROVIDE BRASS COW TONGUE AT OVERFLOW AND STEEL GRATE AND CULVERT.
- DOOR GATE PER SCHEDULE
- WOOD COLUMN - TYP
- OUTLINE OF ROOF STRUCTURE ABOVE
- OUTLINE OF SHADE STRUCTURE ABOVE
- OUTLINE OF PORTAL ABOVE
- PROVIDE ELECTRICAL AT ALL POTENTIAL EXITS FOR FUTURE EXIT SIGNAGE.
- KEY OPERATED TAMPER PROOF HOSE BIBB LOCATIN AT EXTERIOR WALL.
- OUTLINE OF ROOF ACCESS HATCH ABOVE. VERIFY FINAL LOCATION.
- PAINTED STEEL FENCE
- FACTORY PAINTED METAL DOWNSPOUT
- FIRE RISER LOCATION COORDINATE.
- COORDINATE CONCRETE SLAB SAW CUT PATTERN, COLOR AND FINISH WITH ARCHITECT. SEE SLAB PLAN SHEET A-100 FOR ADDL INFO.
- 8' TALL YARD WALL.
- ROLL-UP DOOR TO MATCH ALUMINUM SF FINISH.
- CONCRETE CULVERT AND STEEL GRATE
- CONCRETE FOOTING - SEE STRUCTURAL
- CONCRETE PATIO SLAB, SCORED W/ INTERGRATED COLOR. SEE SHEET A-100 FOR ADDL INFO.
- SANITARY PIPE PENETRATION TO TOILET
- FLOOR DRAIN AT TOILET ROOM - VERIFY WITH FUTURE T.I. TOILET ROOM PLAN
- EDGE OF PERIMETER STEM WALL - SEE STRUCTURAL FOR BALANCE OF INFORMATION
- CONCRETE SLAB - COORDINATE WITH TENANT IMPROVEMENTS DRAWINGS FOR FINAL PENETRATION LOCATIONS AND UNDERGROUND UTILITIES - SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- POINT OF ORIGIN - ALIGN WITH CENTER OF DOOR OPENING
- 10' X 10' SAW CUT CONTROL JOINT. REFER TO STRUCTURAL FOR DEPTH OF JOINT.
- 3/8" RECESS AT CONCRETE SLAB FOR WALKOFF MAT
- RECESS AREA FOR FUTURE TILE.
- SLOPE TO DRAIN
- ELECTRICAL STUB UP PENETRATION
- PLUMBING STUB-UP PENETRATION
- FLOOR SINK LOCATION
- MOP SINK DRAIN.
- OPTIONAL YARD.

## LEGEND



© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

## CONSULTANTS

Architect Engineer

**DRB SUBMITTAL**

**AVANYU NORTH -  
BUILDINGS D, E & F**



2500 12th Street  
ALBUQUERQUE, NM

## Key Plan

NTS

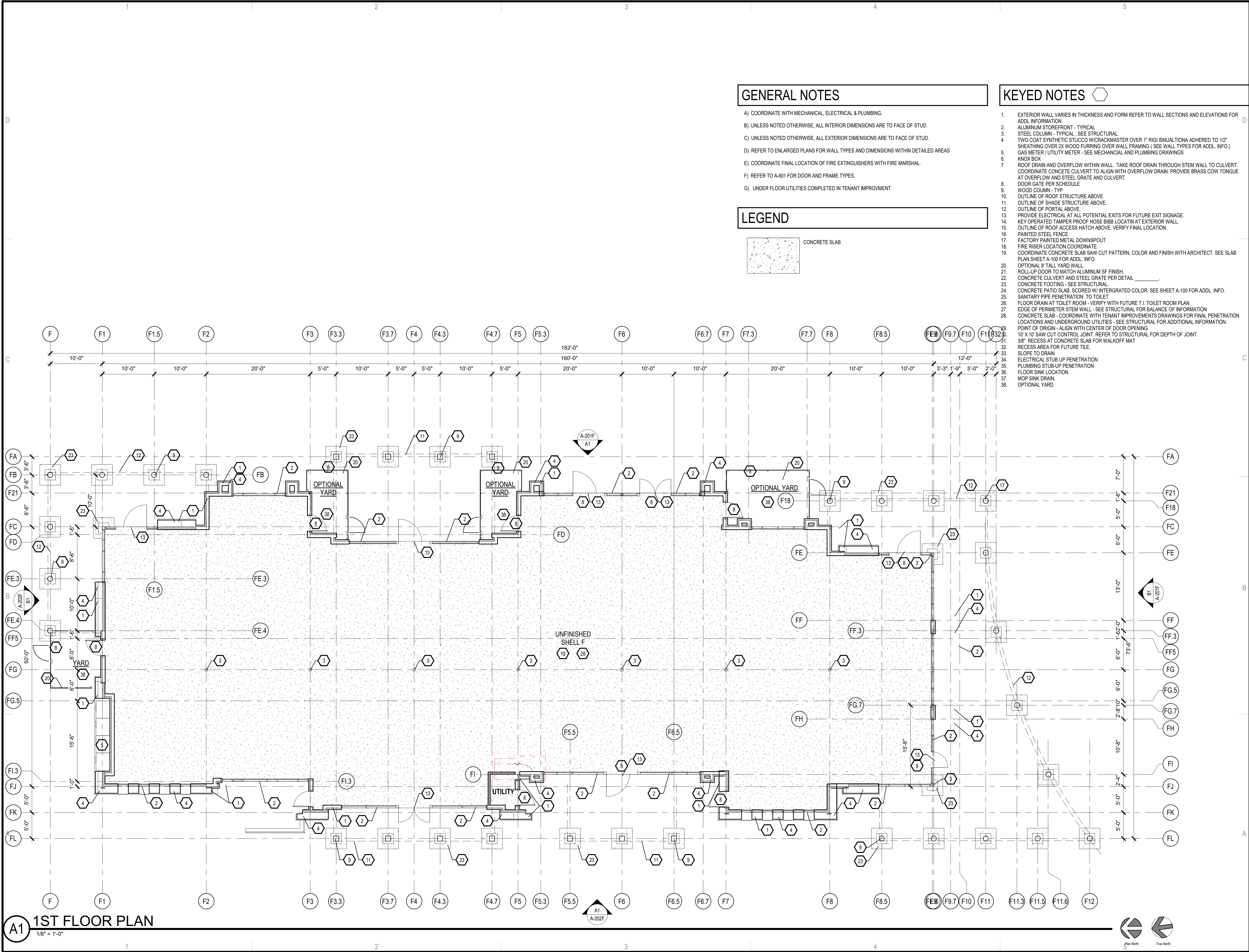
No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	ARCH	
CHECKED BY:	ARCH	
DATE:	10/08/19	

## SHEET TITLE

**FIRST FLOOR PLAN -  
OVERALL**

**A-101E**

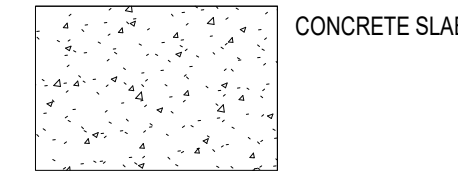




### GENERAL NOTES

- A) COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B) UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C) UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D) REFER TO ENLARGED PLANS FOR WALL TYPES AND DIMENSIONS WITHIN DETAILED AREAS
- E) COORDINATE FINAL LOCATION OF FIRE EXTINGUISHERS WITH FIRE MARSHAL.
- F) REFER TO A-601 FOR DOOR AND FRAME TYPES.
- G) UNDER FLOOR UTILITIES COMPLETED IN TENANT IMPROVEMENT.

### LEGEND



### KEYED NOTES

- 1. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS AND ELEVATIONS FOR ADDL INFORMATION
- 2. ALUMINUM STOREFRONT - TYPICAL
- 3. STEEL COLUMN - TYPICAL - SEE STRUCTURAL
- 4. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGI ISNUALTIONA ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING ( SEE WALL TYPES FOR ADDL INFO.)
- 5. GAS METER / UTILITY METER - SEE MECHANICAL AND PLUMBING DRAWINGS
- 6. KNOX BOX
- 7. ROOF DRAIN AND OVERFLOW WITHIN WALL - TAKE ROOF DRAIN THROUGH STEM WALL TO CULVERT. COORDINATE CONCRETE CULVERT TO ALIGN WITH OVERFLOW DRAIN. PROVIDE BRASS COW TONGUE AT OVERFLOW AND STEEL GRATE AND CULVERT.
- 8. DOOR GATE PER SCHEDULE
- 9. WOOD COLUMN - TYP
- 10. OUTLINE OF ROOF STRUCTURE ABOVE
- 11. OUTLINE OF SHADE STRUCTURE ABOVE
- 12. OUTLINE OF PORTAL ABOVE
- 13. PROVIDE ELECTRICAL AT ALL POTENTIAL EXITS FOR FUTURE EXIT SIGNAGE.
- 14. KEY OPERATED TAMPER PROOF HOSE BIBB LOCATIN AT EXTERIOR WALL.
- 15. OUTLINE OF ROOF ACCESS HATCH ABOVE. VERIFY FINAL LOCATION.
- 16. PAINTED STEEL FENCE
- 17. FACTORY PAINTED METAL DOWNSPOUT
- 18. FIRE RISER LOCATION.COORDINATE.
- 19. COORDINATE CONCRETE SLAB SAW CUT PATTERN, COLOR AND FINISH WITH ARCHITECT. SEE SLAB PLAN SHEET A-100 FOR ADDL. INFO.
- 20. OPTIONAL 9' TALL YARD WALL.
- 21. ROLL-UP DOOR TO MATCH ALUMINUM SF FINISH.
- 22. CONCRETE CULVERT AND STEEL GRATE PER DETAIL
- 23. CONCRETE FOOTING - SEE STRUCTURAL
- 24. CONCRETE PATIO SLAB. SCORED W/ INTEGRATED COLOR. SEE SHEET A-100 FOR ADDL. INFO.
- 25. SANITARY PIPE PENETRATION TO TOILET
- 26. FLOOR DRAIN AT TOILET ROOM - VERIFY WITH FUTURE T.I. TOILET ROOM PLAN
- 27. EDGE OF PERIMETER STEM WALL - SEE STRUCTURAL FOR BALANCE OF INFORMATION
- 28. CONCRETE SLAB - COORDINATE WITH TENANT IMPROVEMENTS DRAWINGS FOR FINAL PENETRATION LOCATIONS AND UNDERGROUND UTILITIES - SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- 29. POINT OF ORIGIN - ALIGN WITH CENTER OF DOOR OPENING
- 30. 10' X 10' SAW CUT CONTROL JOINT. REFER TO STRUCTURAL FOR DEPTH OF JOINT.
- 31. 3/8" RECESS AT CONCRETE SLAB FOR WALKOFF MAT
- 32. RECESS AREA FOR FUTURE TILE.
- 33. SLOPE TO DRAIN
- 34. ELECTRICAL STUB UP PENETRATION
- 35. PLUMBING STUB-UP PENETRATION
- 36. FLOOR SINK LOCATION
- 37. MOP SINK DRAIN.
- 38. OPTIONAL YARD.

2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

CONSULTANTS

Architect Engineer

DRB SUBMITTAL

Avanyu North - Buildings F

2500 12th Street  
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg F	
DRAWN BY:	ARCH	
CHECKED BY:	ARCH	
DATE:	10/08/19	

SHEET TITLE

FIRST FLOOR PLAN - OVERALL

A-101F

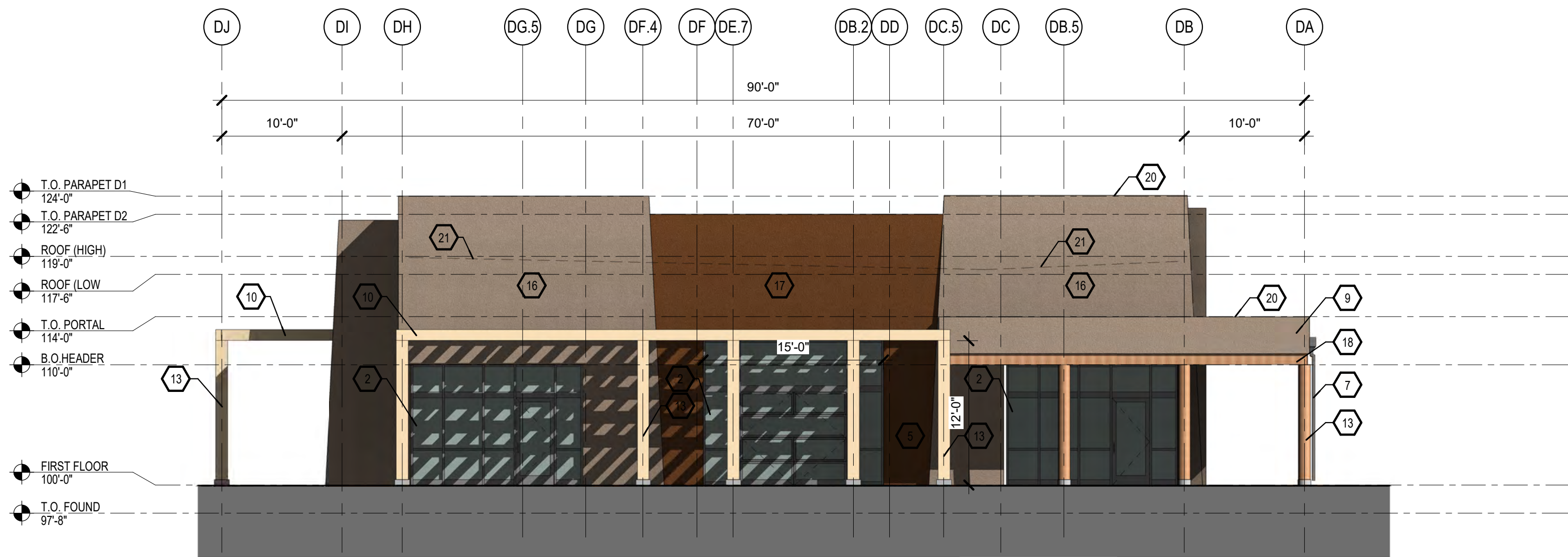


D

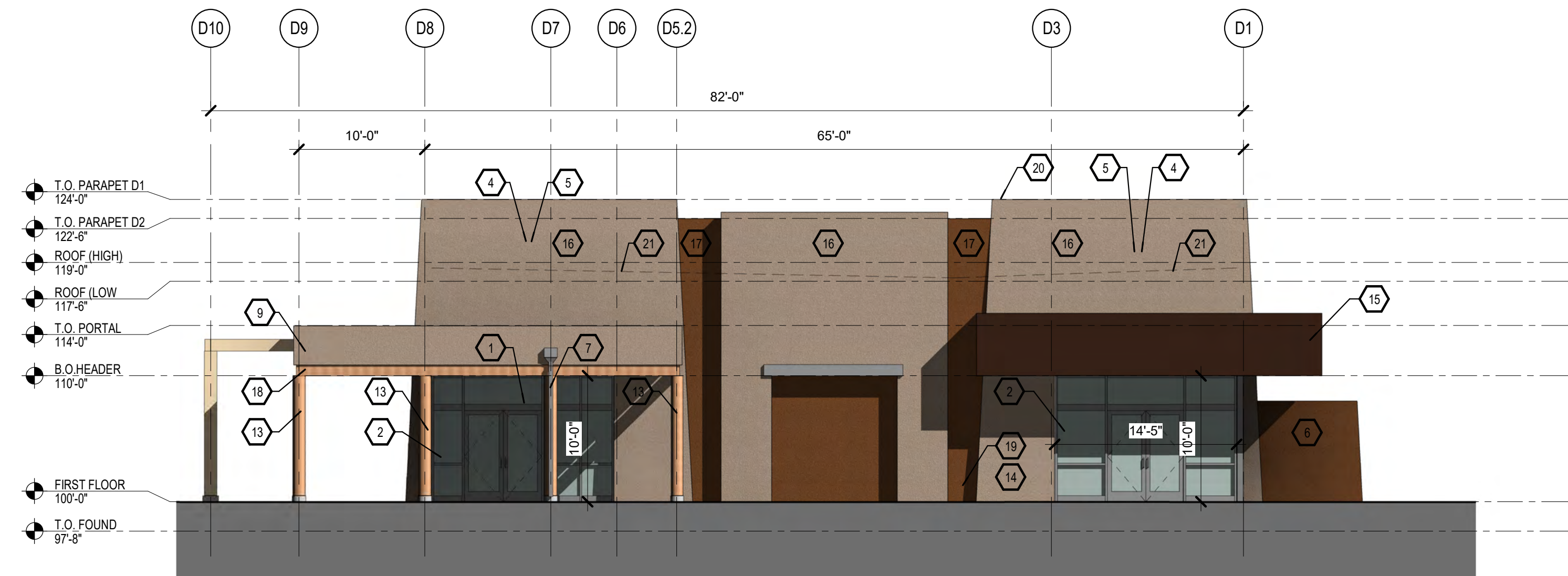
C

B

A



**B1 EAST BUILDING ELEVATION**  
1/8" = 1'-0"



**A1 NORTH**  
1/8" = 1'-0"

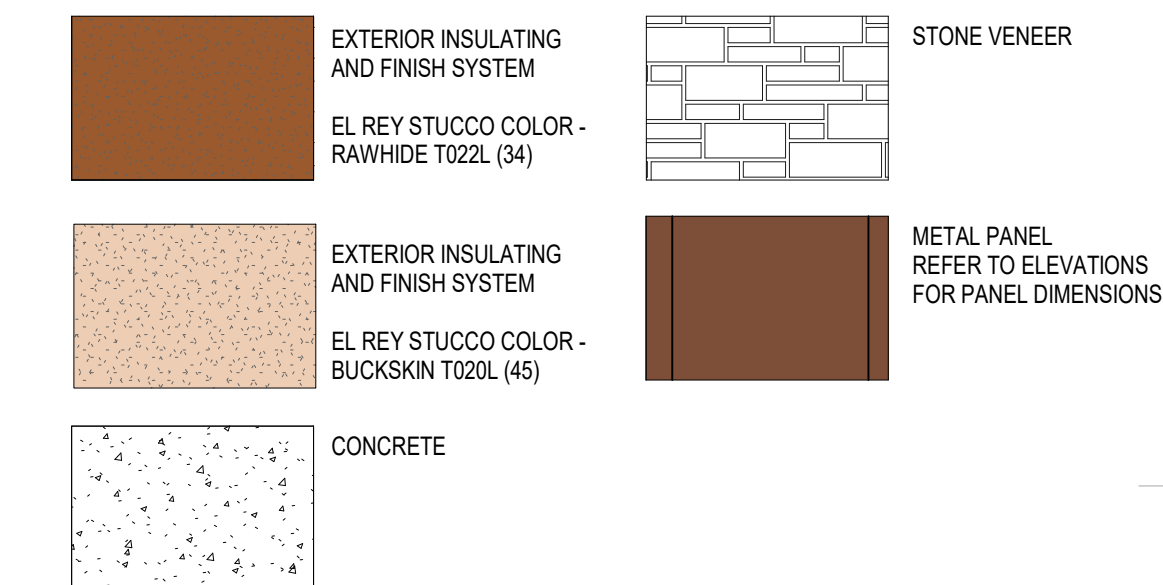
## GENERAL NOTES

- COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- GRADE VARIES. REFER TO CIVIL FOR EXTERIOR FINISH GRADES.
- FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.
- BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

## KEYED NOTES

- ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.
- STOREFRONT GLAZING SYSTEM.
- BACK OF HOUSE EMPLOYEE ACCESS.
- FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED.
- PROVIDE ELECTRICAL AT WALL.
- YARD WALL.
- PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL.
- METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
- PORTAL.
- TRELLIS SHADE STRUCTURE.
- STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.
- EXIT ACCESS GATE ONLY WITH PANIC HARDWARE.
- WOOD COLUMN.
- BRASS COW TONGUE AT WALL. FOR OVERFLOW DRAIN.
- ALUMINUM EYEBROW AT WINDOW.
- TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGI INSUALTIONA ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING ( SEE WALL TYPES FOR ADDL. INFO.)
- EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION.
- WOOD BEAM.
- ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
- PAINTED METAL COPING.
- ROOF SLOPE.

## LEGEND



## MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

## CONSULTANTS

Architect Engineer

**DRB SUBMITTAL**

AVANYU NORTH -  
BUILDINGS D, E & F



2500 12th Street  
ALBUQUERQUE, NM

## Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

SHEET TITLE  
**EXTERIOR BUILDING  
ELEVATIONS**

**A-201D**



12/4/2019 3:36:10 PM

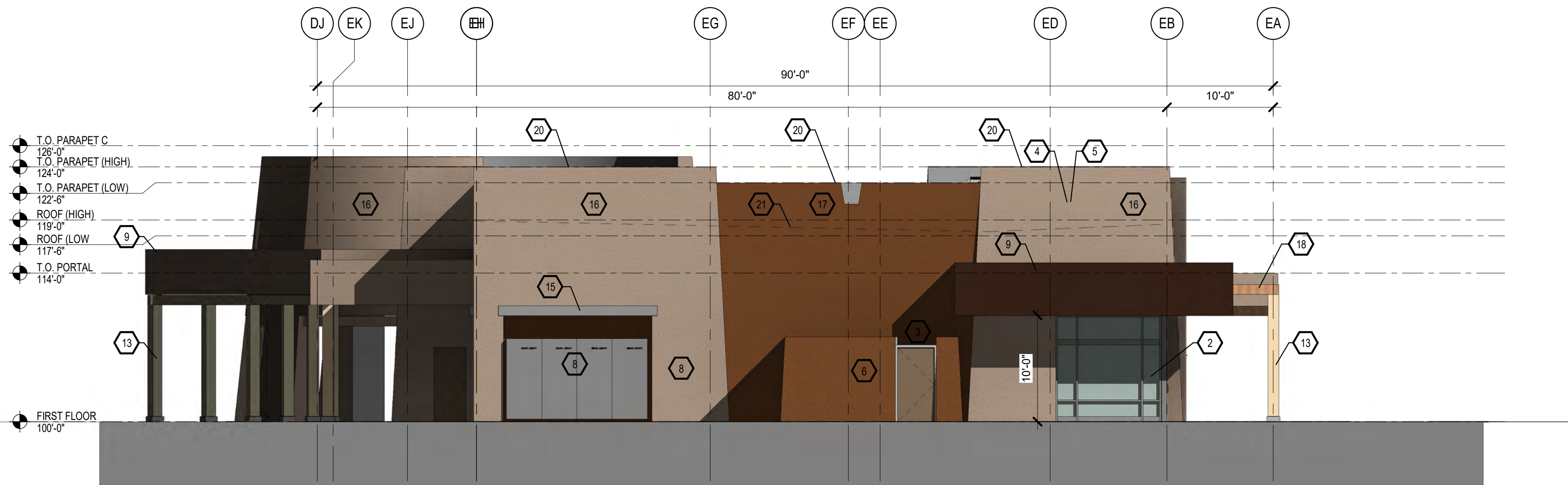
C:\Users\jplino\Documents\1836 Avanyu E - Central\_jplino8ETK3.rvt

D

C

B

A



**B1 EAST ELEVATION**  
1/8" = 1'-0"

## GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING  
B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES  
C. FINAL DOOR LOCATIONS T.B.D. COORDINATE WITH FUTURE TENANT.  
D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 5 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

## KEYED NOTES

- ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.
- STOREFRONT GLAZING SYSTEM.
- BACK OF HOUSE EMPLOYEE ACCESS.
- FUTURE SIGNAGE LOCATION, SEPARATE PERMIT REQUIRED.
- PROVIDE ELECTRICAL AT WALL.
- YARD WALL.
- PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL.
- METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
- PORTAL
- TRELLIS SHADE STRUCTURE.
- STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.
- EXIT ACCESS GATE ONLY WITH PANIC HARDWARE.
- WOOD COLUMN.
- BRASS COW TONGUE AT WALL, FOR OVERFLOW DRAIN.
- ALUMINUM EYEBROW AT WINDOW
- TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)
- EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION
- WOOD BEAM
- ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
- PAINTED METAL COPING.
- ROOF SLOPE

## LEGEND

	EXTERIOR INSULATING AND FINISH SYSTEM EL REY STUCCO COLOR - RAWHIDE T022L (34)		STONE VENEER
	EXTERIOR INSULATING AND FINISH SYSTEM EL REY STUCCO COLOR - BUCKSKIN T020L (45)		METAL PANEL REFER TO ELEVATIONS FOR PANEL DIMENSIONS
	CONCRETE		

## MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

## CONSULTANTS

Architect Engineer

**DRB SUBMITTAL**

AVANYU NORTH -  
BUILDINGS D, E & F



2500 12th Street  
ALBUQUERQUE, NM

## Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	10/08/19	

## SHEET TITLE

EXTERIOR BUILDING  
ELEVATIONS

**A-201E**

**A1 NORTH ELEVATION**  
1/8" = 1'-0"

B

A

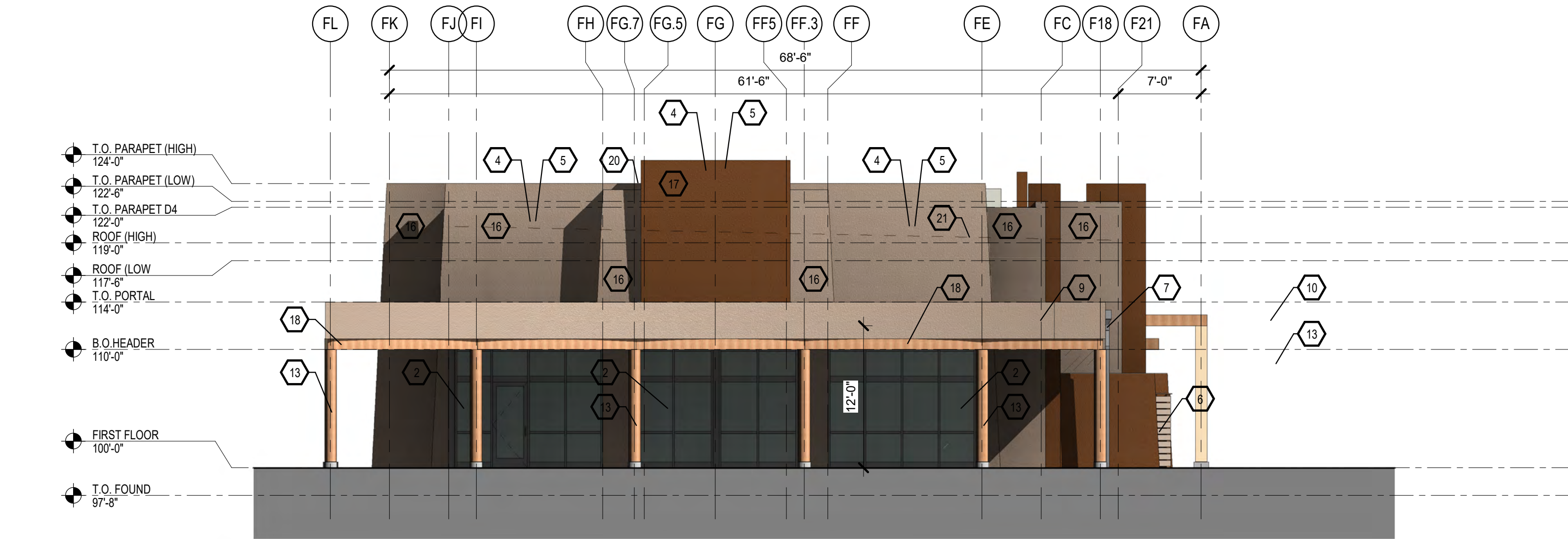


D

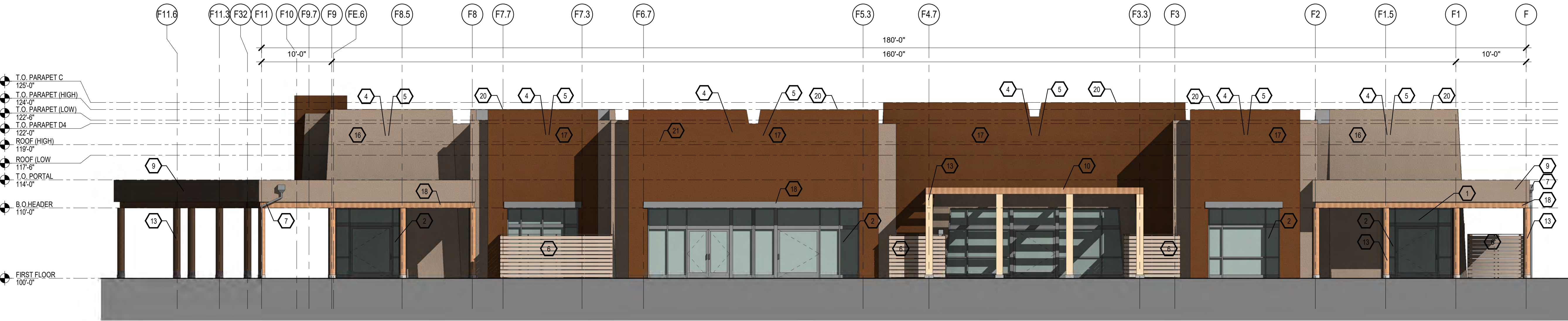
C

B

A



**B1 SOUTH ELEVATION**  
1/8" = 1'-0"



**A1 EAST ELEVATION**  
1/8" = 1'-0"

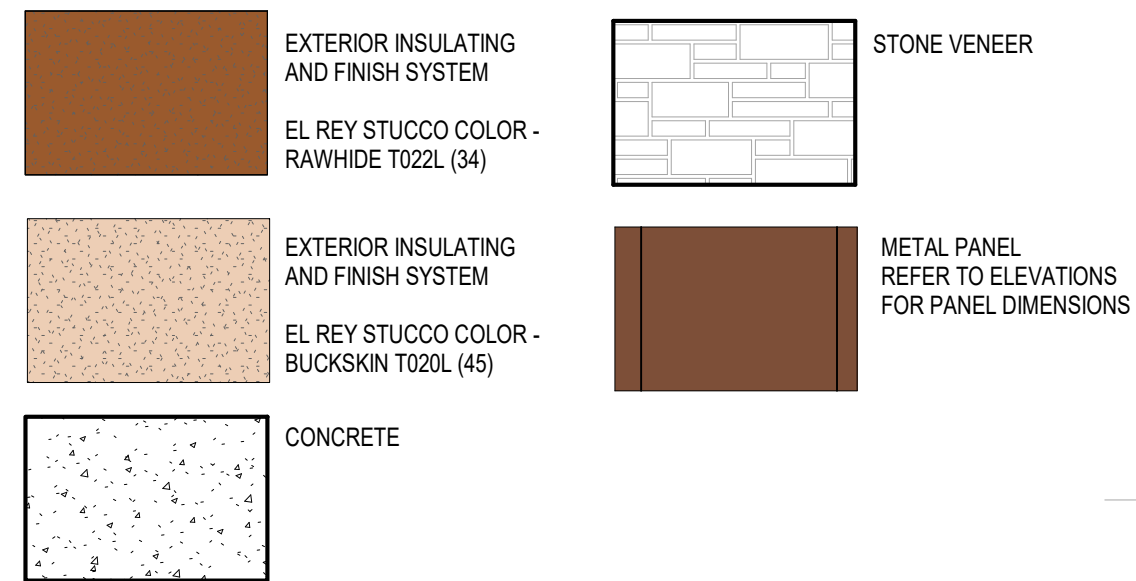
## GENERAL NOTES

- COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING
- GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES
- FINAL DOOR LOCATIONS T.B.D. COORDINATE WITH FUTURE TENANT.
- BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

## KEYED NOTES

- ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.
- STOREFRONT GLAZING SYSTEM.
- BACK OF HOUSE EMPLOYEE ACCESS.
- FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED.
- PROVIDE ELECTRICAL AT WALL.
- YARD WALL.
- PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW.
- METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
- PORTAL.
- TRELLIS SHADE STRUCTURE.
- STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.
- EXIT ACCESS GATE ONLY WITH PANIC HARDWARE.
- WOOD COLUMN.
- BRASS COW TONGUE AT WALL. FOR OVERFLOW DRAIN.
- ALUMINUM EYEBROW AT WINDOW.
- TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)
- EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION
- WOOD BEAM
- ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
- PAINTED METAL COPING.
- ROOF SLOPE

## LEGEND



## MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

## CONSULTANTS

Architect Engineer

**DRB SUBMITTAL**

Avanyu North - Buildings F



2500 12th Street  
ALBUQUERQUE, NM

## Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg F	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	10/08/19	

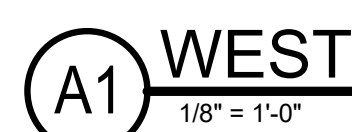
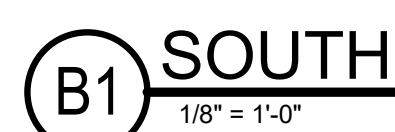
## SHEET TITLE

**EXTERIOR BUILDING ELEVATIONS**

**A-201F**



TOTAL FACADE AREA FACING PLAZA: 1,020 SF  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 408 SF  
TOTAL PROPOSED AREA OF GLAZING  
FACING PLAZA: 410 SF (40%)



No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

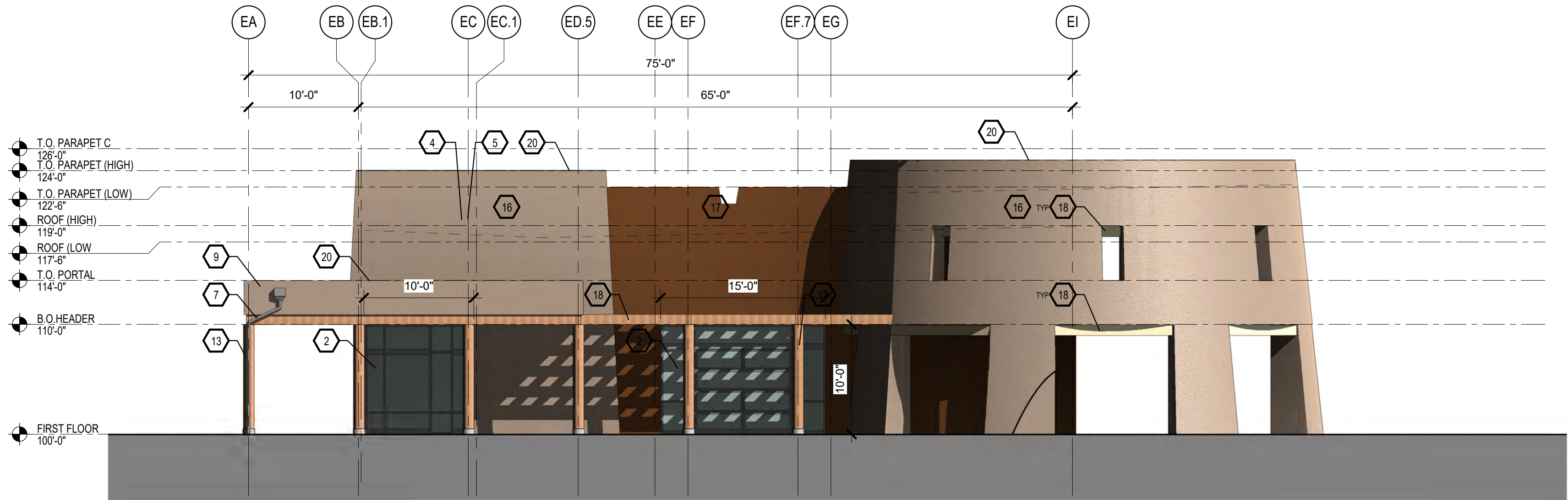


D

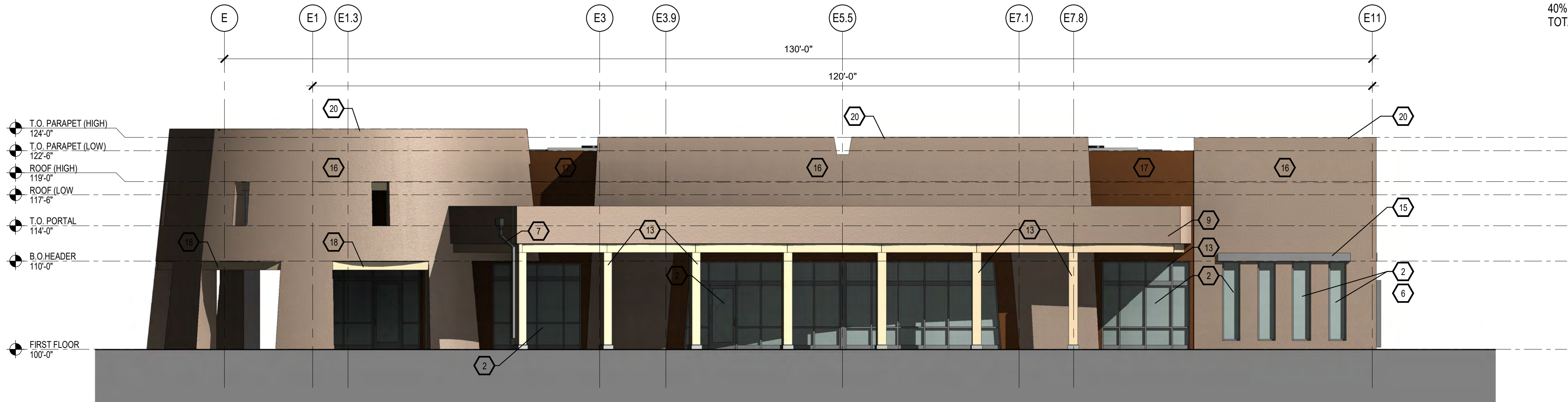
C

B

A



**B1 WEST ELEVATION**  
1/8" = 1'-0"



**A1 SOUTH ELEVATION**  
1/8" = 1'-0"


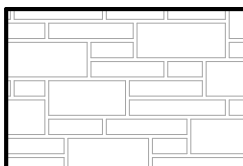
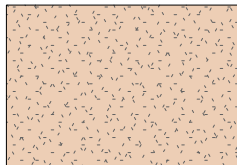

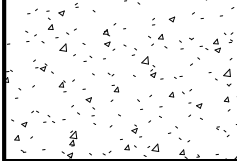
## GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING
- B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES
- C. FINAL DOOR LOCATIONS T.B.D. COORDINATE WITH FUTURE TENANT.
- D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

## KEYED NOTES

1. ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.
2. STOREFRONT GLAZING SYSTEM.
3. BACK OF HOUSE EMPLOYEE ACCESS.
4. FUTURE SIGNAGE LOCATION, SEPARATE PERMIT REQUIRED.
5. PROVIDE ELECTRICAL AT WALL.
6. YARD WALL.
7. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL.
8. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
9. PORTAL.
10. TRELIS SHADE STRUCTURE.
11. STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.
12. EXIT ACCESS GATE ONLY WITH PANIC HARDWARE.
13. WOOD COLUMN.
14. BRASS COW TONGUE AT WALL. FOR OVERFLOW DRAIN.
15. ALUMINUM EYEBROW AT WINDOW.
16. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING ( SEE WALL TYPES FOR ADDL. INFO.)
17. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION.
18. WOOD BEAM.
19. ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
20. PAINTED METAL COPING.
21. ROOF SLOPE.

## LEGEND

- |  |  |   |   |
|--|--|---|---|
|   | EXTERIOR INSULATING AND FINISH SYSTEM<br>EL REY STUCCO COLOR - RAWHIDE T022L (34)  |  | STONE VENEER  |
|   | EXTERIOR INSULATING AND FINISH SYSTEM<br>EL REY STUCCO COLOR - BUCKSKIN T020L (45) |  | METAL PANEL<br>REFER TO ELEVATIONS FOR PANEL DIMENSIONS |
|  | CONCRETE   |   |   |

## MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

## REQUIRED GLAZING

TOTAL FACADE AREA FACING PLAZA: 1,840 SF  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 736 SF  
TOTAL PROPOSED AREA OF GLAZING  
FACING PLAZA: 792 SF (43%)

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

## CONSULTANTS

Architect Engineer

**DRB SUBMITTAL**

AVANYU NORTH -  
BUILDINGS D, E & F



2500 12th Street  
ALBUQUERQUE, NM

## Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	10/08/19	

## SHEET TITLE

EXTERIOR BUILDING  
ELEVATIONS

**A-202E**

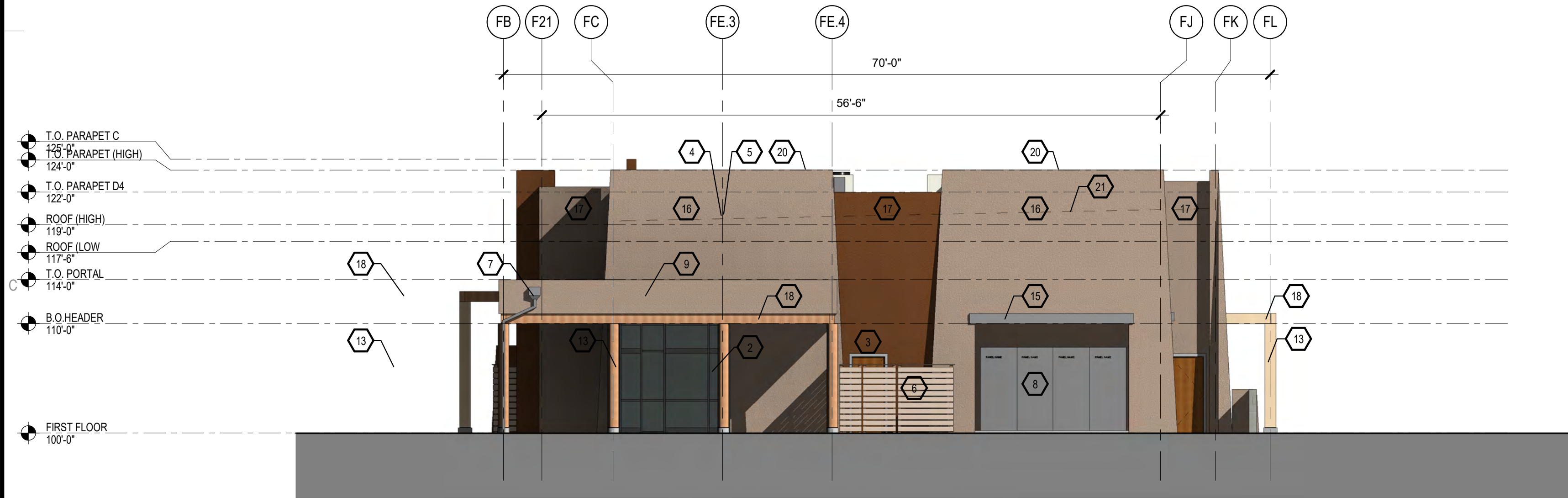


D

C

B

A



**B1 NORTH ELEVATION**  
1/8" = 1'-0"

### GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING  
B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES  
C. FINAL DOOR LOCATIONS T.B.D. COORDINATE WITH FUTURE TENANT.  
D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 5 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

### KEYED NOTES

1. ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.  
2. STOREFRONT GLAZING SYSTEM.  
3. BACK OF HOUSE EMPLOYEE ACCESS.  
4. FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED.  
5. PROVIDE ELECTRICAL AT WALL.  
6. YARD WALL.  
7. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW.  
8. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.  
9. PORTAL  
10. TRELLIS SHADE STRUCTURE.  
11. STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.  
12. EXIT ACCESS GATE ONLY WITH PANIC HARDWARE.  
13. WOOD COLUMN.  
14. BRASS COW TONGUE AT WALL, FOR OVERFLOW DRAIN.  
15. ALUMINUM EYEBROW AT WINDOW  
16. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)  
17. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION  
18. WOOD BEAM  
19. ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.  
20. PAINTED METAL COPING.  
21. ROOF SLOPE

### LEGEND

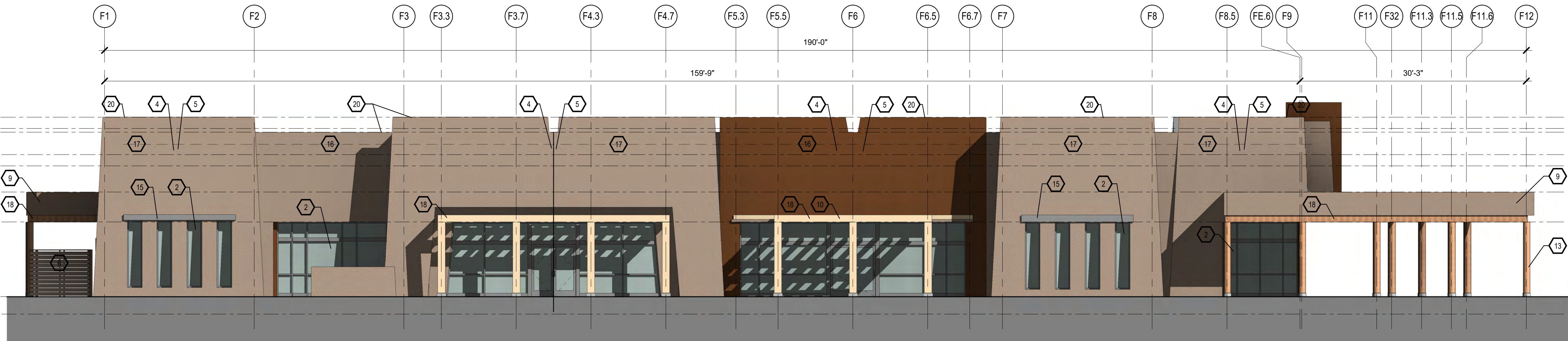
- EXTERIOR INSULATING AND FINISH SYSTEM  
EL REY STUCCO COLOR - RAWHIDE T022L (34)
- STONE VENEER
- EXTERIOR INSULATING AND FINISH SYSTEM  
EL REY STUCCO COLOR - BUCKSKIN T020L (45)
- METAL PANEL  
REFER TO ELEVATIONS FOR PANEL DIMENSIONS
- CONCRETE

### MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

### REQUIRED GLAZING

TOTAL FACADE AREA FACING 12TH STREET: 2,528 SF  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 1011.2 SF  
TOTAL PROPOSED AREA OF GLAZING  
FACING 12TH STREET: 1090 SF (43%)



**A1 WEST ELEVATION**  
1/8" = 1'-0"

© 2019 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

### CONSULTANTS

Architect Engineer

**DRB SUBMITTAL**

Avanyu North - Buildings F



2500 12th Street  
ALBUQUERQUE, NM

### Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg F	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	10/08/19	

### SHEET TITLE

**EXTERIOR BUILDING  
ELEVATIONS**

**A-202F**





# PR-2018-001470\_SI-2019-00421\_Site\_Plan\_Aproved\_2-5-20

Final Audit Report

2020-07-16

Created:	2020-07-14
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAHAHFAh3SJ_aU8vmwWPPEpMhzNS3oze6CPS

## "PR-2018-001470\_SI-2019-00421\_Site\_Plan\_Aproved\_2-5-20" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2020-07-14 - 3:50:50 AM GMT- IP address: 198.175.173.4
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature  
2020-07-14 - 3:56:10 AM GMT
-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature  
2020-07-14 - 3:56:10 AM GMT
-  Email viewed by Jolene Wolfley (jwolfley@cabq.gov)  
2020-07-14 - 2:29:05 PM GMT- IP address: 198.175.173.4
-  Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)  
Signature Date: 2020-07-14 - 2:30:57 PM GMT - Time Source: server- IP address: 198.175.173.4
-  Email viewed by Kristopher Cadena (kcadena@abcwua.org)  
2020-07-16 - 4:24:19 PM GMT- IP address: 216.243.115.198
-  Document e-signed by Kristopher Cadena (kcadena@abcwua.org)  
Signature Date: 2020-07-16 - 9:46:25 PM GMT - Time Source: server- IP address: 216.243.115.198- Signature captured from device with phone number XXXXXXXX9912
-  Signed document emailed to Jolene Wolfley (jwolfley@cabq.gov), Kristopher Cadena (kcadena@abcwua.org) and Jay Rodenbeck (jrodenbeck@cabq.gov)  
2020-07-16 - 9:46:25 PM GMT









# PR-2018-001470\_SI-2019-00421\_Site\_Plan\_Aproved\_2-5-20

Final Audit Report

2020-07-16

Created:	2020-07-14
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAHAHFAh3SJ_aU8vmwWPPEpMhzNS3oze6CPS

## "PR-2018-001470\_SI-2019-00421\_Site\_Plan\_Aproved\_2-5-20" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
2020-07-14 - 3:50:50 AM GMT- IP address: 198.175.173.4
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature  
2020-07-14 - 3:56:10 AM GMT
-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature  
2020-07-14 - 3:56:10 AM GMT
-  Email viewed by Jolene Wolfley (jwolfley@cabq.gov)  
2020-07-14 - 2:29:05 PM GMT- IP address: 198.175.173.4
-  Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)  
Signature Date: 2020-07-14 - 2:30:57 PM GMT - Time Source: server- IP address: 198.175.173.4
-  Email viewed by Kristopher Cadena (kcadena@abcwua.org)  
2020-07-16 - 4:24:19 PM GMT- IP address: 216.243.115.198
-  Document e-signed by Kristopher Cadena (kcadena@abcwua.org)  
Signature Date: 2020-07-16 - 9:46:25 PM GMT - Time Source: server- IP address: 216.243.115.198- Signature captured from device with phone number XXXXXXXX9912
-  Signed document emailed to Jolene Wolfley (jwolfley@cabq.gov), Kristopher Cadena (kcadena@abcwua.org) and Jay Rodenbeck (jrodenbeck@cabq.gov)  
2020-07-16 - 9:46:25 PM GMT



# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2023-00362

**PROJECT #:** PR-2018-001470

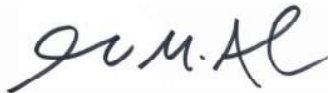
Clarification of final (2) structures (Buildings G & H) and garden plaza as indicated

in approved site plan; Decrease in the total square footage of Building H from

20,000 sf to 18,000 sf; The area east of the market includes an enclosed delivery

area and utility yard; Garden plaza located west of Building H & north of Building G.

No changes to parking or landscaping.



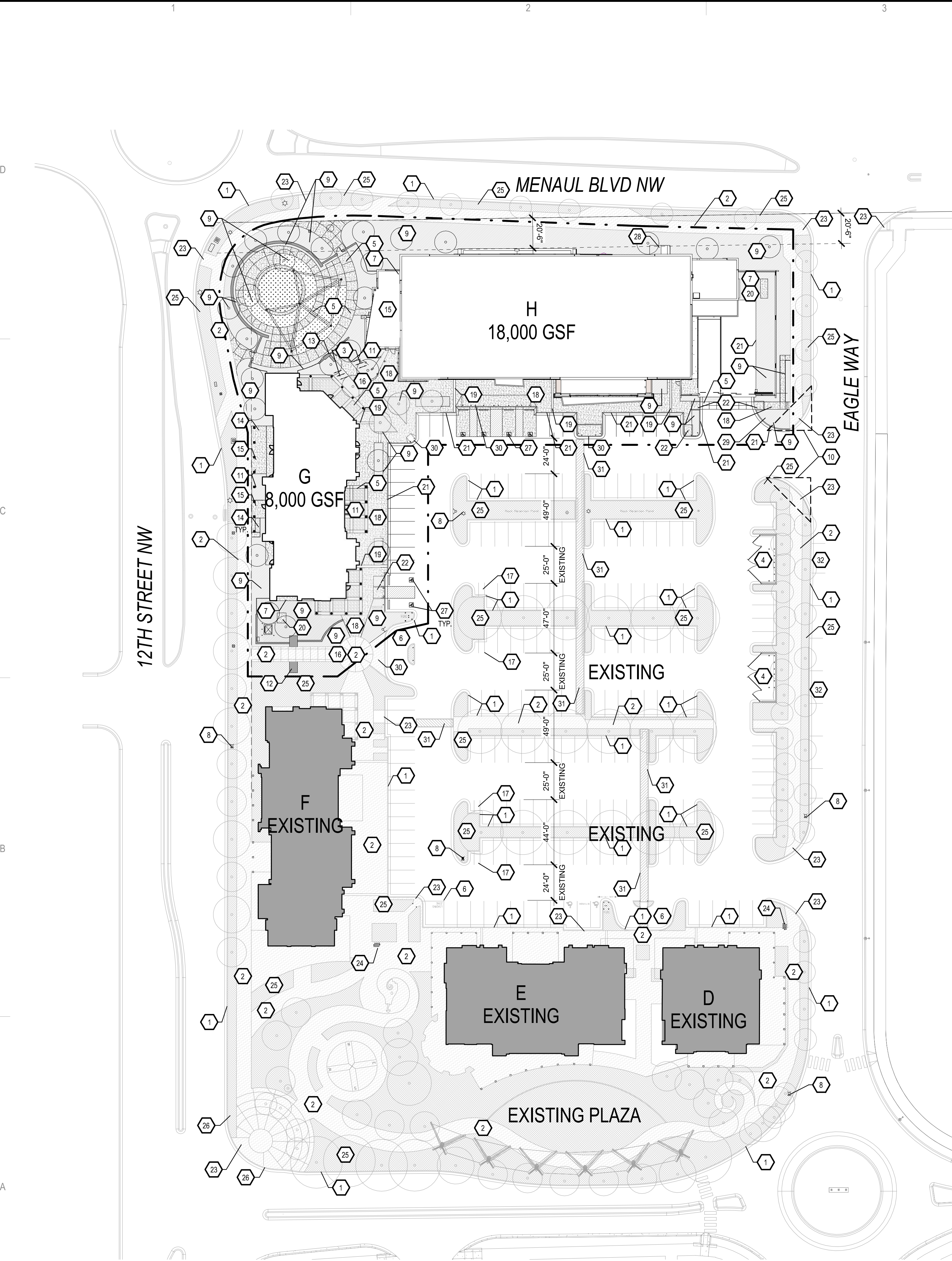
Digitally signed by James M. Aranda  
DN: cn=James M. Aranda, o=City of Albuquerque,  
ou=Planning Department, email=jmaranda@cabq.gov, c=US  
Date: 2023.03.14 09:16:05 -06'00'

3/14/2023

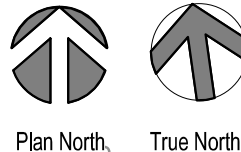
**APPROVED BY**

**DATE**





A1 SITE PLAN  
1" = 40'-0"



PROJECT NUMBER: _____	
APPLICATION NUMBER: _____	
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order required for any construction within Public Right-of-Way or for construction of public improvements.	
DFT SITE PLAN APPROVAL:	
Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____
*Environmental Health, if necessary	

APPROVED PARKING SPACE TABULATIONS

10	ACCESSIBLE SPACES AT 20'-0" x 9'-0"
119	SPACES AT 18'-0" x 9'-0"
54	SPACES AT 18'-0" x 8'-10"
14	SPACES AT 16'-0" x 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES

8	ON STREET PARKING	MOTORCYCLE
205	TOTAL PARKING SPACES	5 SPACES REQ. (151-300) IDO 5-5 D
		REQUIRED: 5 SPACES
		ACTUAL: 8 SPACES
ACCESSIBLE SPACES		BICYCLE SPACES
6 SPACES REQ. UNDER 200		12TH & MENAUL ORDINANCE:
(151-200) IBC TABLE 1106.1		1 SPACE PER 20 SPACES
150 REQUIRED SPACES		REQUIRED: 10 SPACES
REQUIRED: 6 SPACES		ACTUAL: 16 SPACES
ACTUAL: 10 SPACES		

APPROVED IDO REQUIRED PARKING

EXISTING BUILDING	
D - 4,500 SF	
E - 8,000 SF	
F - 8,500 SF	

PROPOSED BUILDING	
G - 8,000 SF	
H - 18,000 SF	

EXISTING + PROPOSED SF: 47,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:	
RETAIL: 4 SPACES/1000SF	PHASE 2 (EXISTING)
RESTURANT: 8 SPACES/1000SF	10,000 GSF: 40 SPACES
	11,000 GSF: 80 SPACES

RETAIL: 4 SPACES/1000SF	
RESTURANT: 8 SPACES/1000SF	PHASE 3 (PROPOSED)
	22,000 GSF: 88 SPACES
	4,000 GSF: 32 SPACES
	TOTAL
	240 SPACES

ORDINANCE 0-16-22:  
(APPROVED PARKING REDUCTION)

0-16-22: 25% PARKING (240 SPACES X 25% REDUCTION)  
REDUCTION - 60 SPACES

REQUIRED: 240 - 60 SPACES = 180 SPACES  
ACTUAL: 197 PARKING SPACES (OFF STREET)

SITE TABULATION

TOTAL ACREAGE OF PAD:	5.9 ACRES
EXISTING AREA (NO CONSTRUCTION):	4.5 ACRES
PROPOSED AREA OF WORK:	1.4 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

VICINITY MAP



GENERAL NOTES

- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- SEE SHEETS AS-102 THROUGH AS-112 & G002 FOR SITE DETAILS AND BALANCE OF INFORMATION.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-AS1AS-111.
- CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

KEYED NOTES

- EXISTING EDGE OF CURB.
- EXISTING CONCRETE WALKWAY.
- BIKE RACK LOCATION, SEE B1 / AS-111
- EXISTING TRASH ENCLOSURE, CENTER ON DRIVE AISLE.
- COLORLED PATTERNED CONCRETE.
- EXISTING LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
- PROPOSED BUILDING UTILITY LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- NEW LANDSCAPING.
- CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- WOOD TRELLIS SHADE STRUCTURE.SEE DASHED OUTLINE FOR EXTENTS.
- PROPOSED ENTRY ARCH @ 12TH STREET.
- PROPOSED ENTRY ARCH @ GARDEN PLAZA
- 5'-8" MINIMUM CAFE SPACE.
- NEW CONCRETE PATIO PAD.
- PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA), COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- EXISTING MOTORCYCLE SPACES 4'X8' MIN. DIMENSION.
- NEW CONCRETE WALKWAY.
- NEW CONCRETE ROOF DRAIN CULVERT. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
- NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- NEW CONCRETE CURB.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- EXISTING BIKE RACK LOCATION.
- EXISTING LANDSCAPING. NO CONSTRUCTION.
- EXISTING TRAFFIC SIGNAL.
- ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL B4/AS-111.
- ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
- 6'X8' CONCRETE PAD AT DOOR.
- REMOTE FDC LOCATION.
- FLUSH CURB FOR PEDESTRIAN ACCESS.
- ACCESSIBLE PEDESTRIAN PATHWAY.
- EXISTING ON STREET PARKING.

LEGEND

---	PROJECTED SCOPE OF WORK
[Pattern]	NEW CONCRETE WALKWAY
[Pattern]	NEW LANDSCAPING
[Pattern]	EXISTING WALKWAY
[Pattern]	EXISTING LANDSCAPING
[Pattern]	CONCRETE PATIO SCORED WITH INTEGRATED COLOR
[Pattern]	EXISTING BUILDINGS
[Pattern]	CRUSHER FINES

CONSULTANTS



Architect Engineer



AVANYU NORTH -  
BUILDINGS G & H



2500 12th Street  
Albuquerque, NM

DRB SUBMITTAL

No	Date	Description
Revision Schedule		
ISSUE:	50% CONSTRUCTION DOCUMENTS	
PROJECT NUMBER:	2123_Avanyu Bldg H_central.rvt	
FILE:	2123_Avanyu Bldg H_central.rvt	
DRAWN BY:	JP	
CHECKED BY:	DSJ	
DATE:	FEBRUARY 13, 2023	

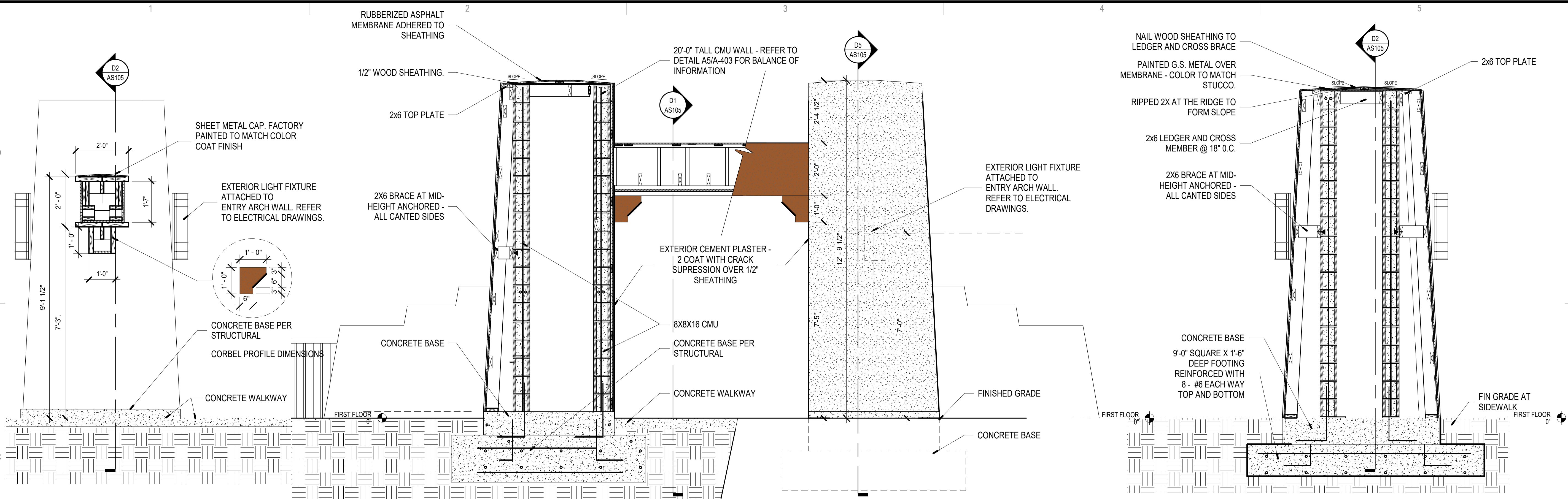
SHEET TITLE

SITE PLAN - OVERALL



6/6/2023 1:13:35 PM

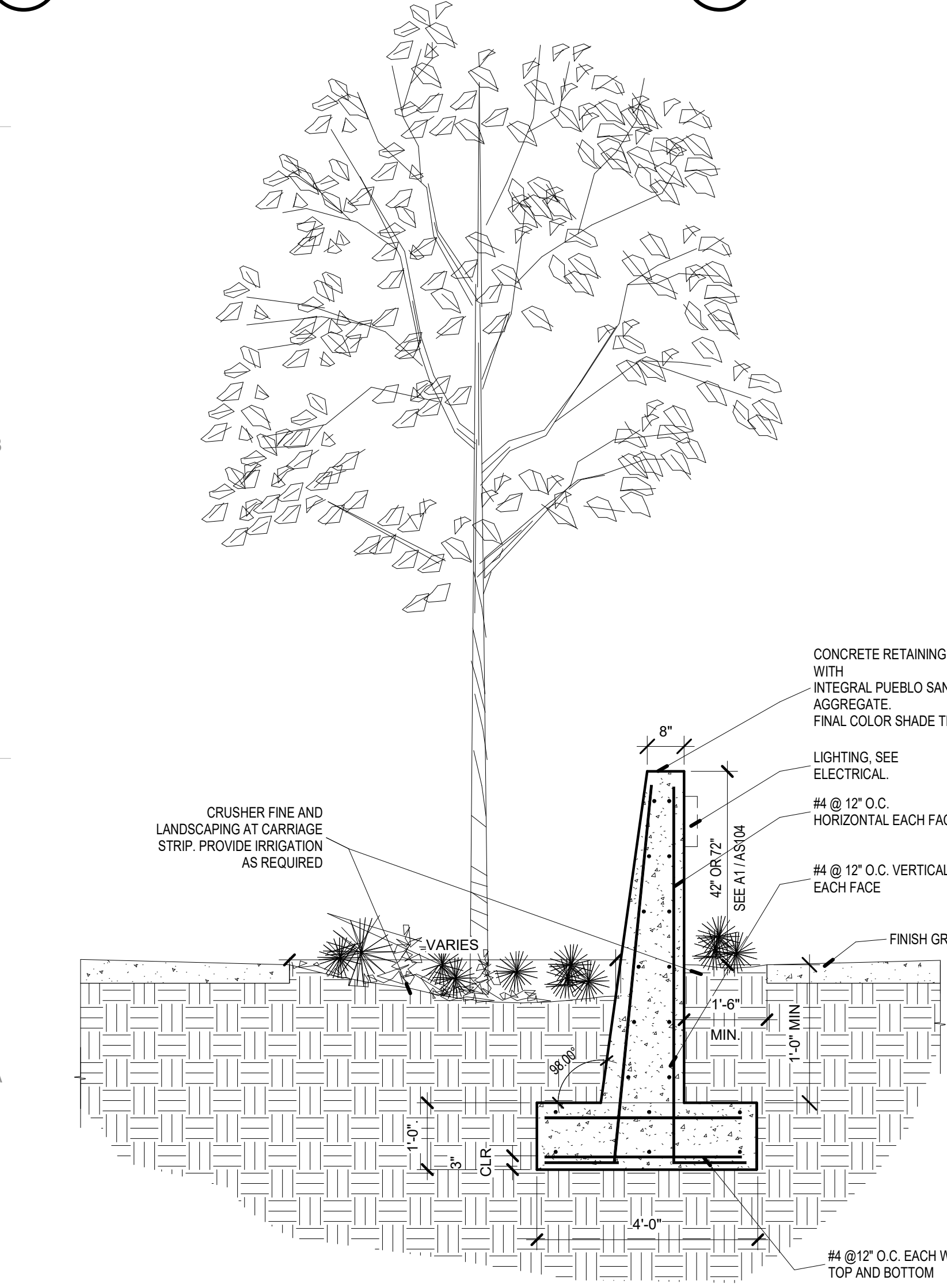
P:\2232 Avanyu G Shell Bldg\10-Drawings\BIM\2232\_Avanyu G Shell Building\_Central(Recovery).rvt



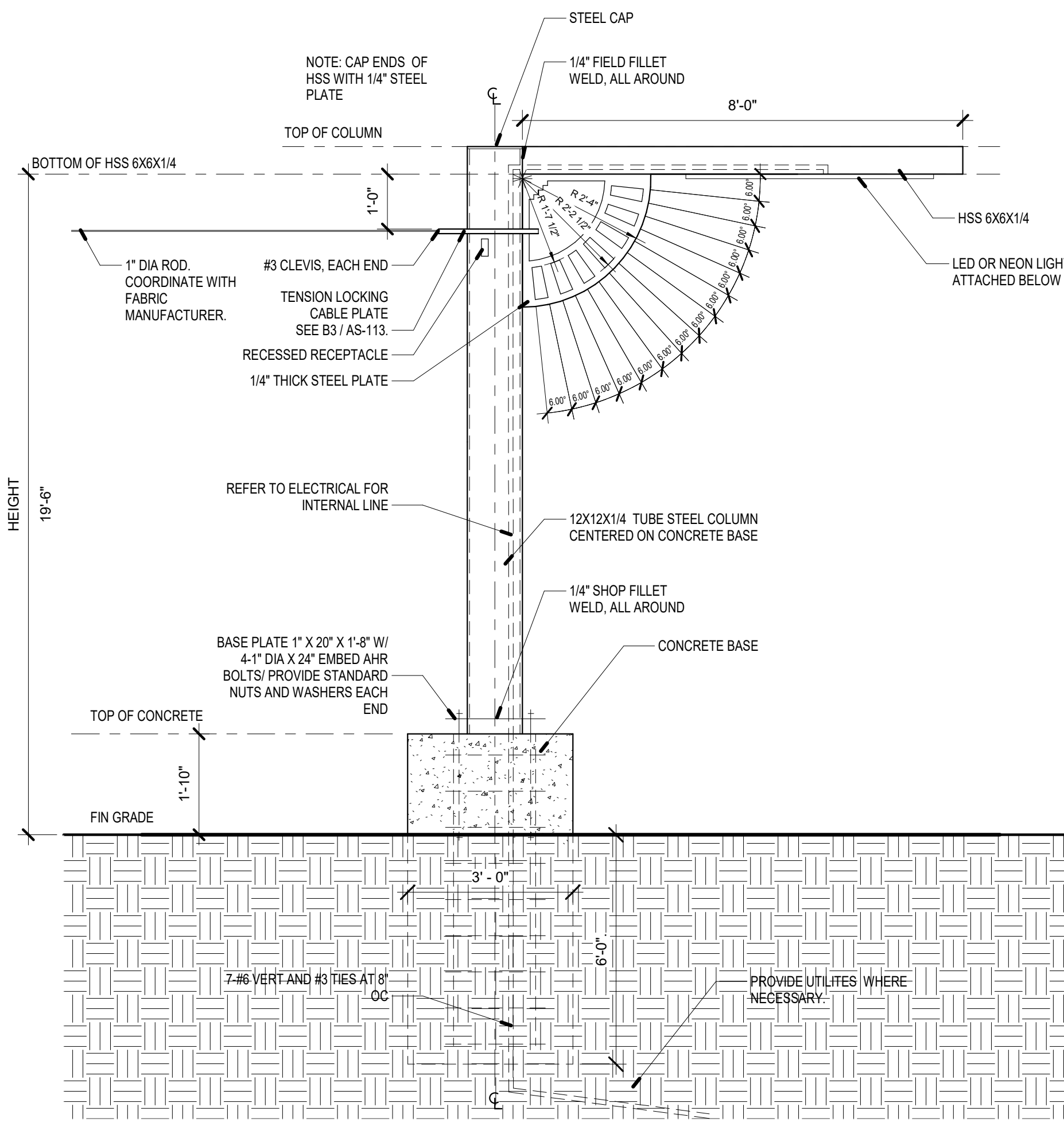
D1 CROSS-SECTION @ BEAM  
1/2" = 1'-0"

D2 ENTRY ARCH @ PLAZA - CROSS-SECTION  
1/2" = 1'-0"

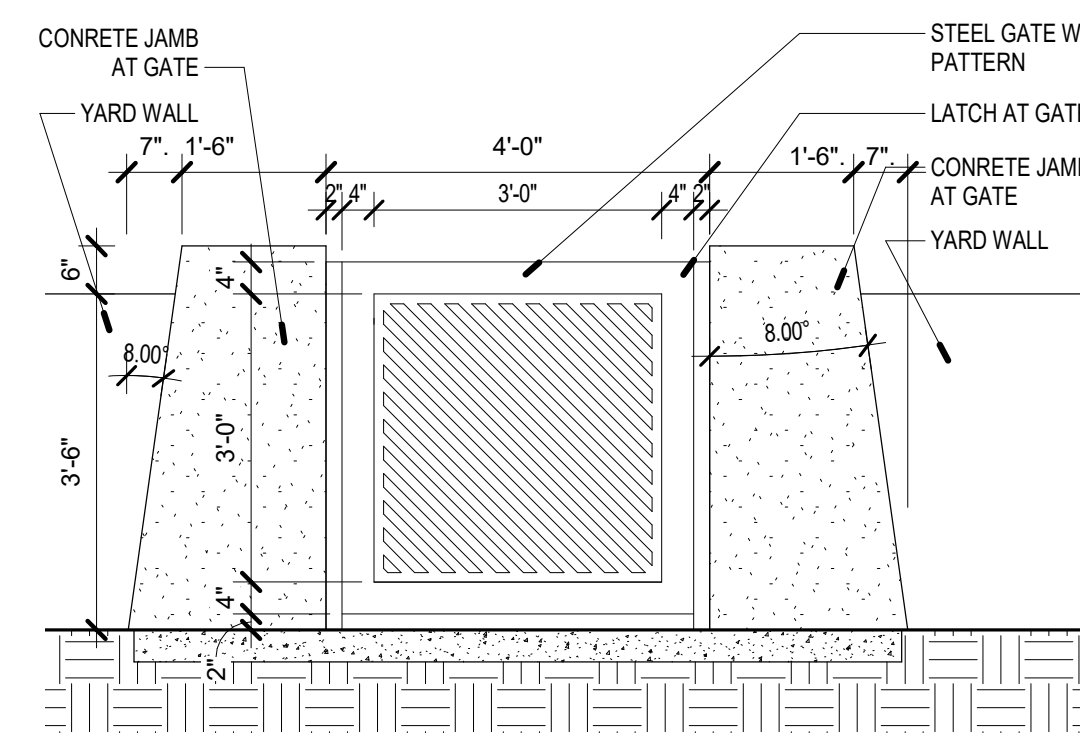
D5 CROSS-SECTION @ PLAZA ENTRY COLUMN  
1/2" = 1'-0"



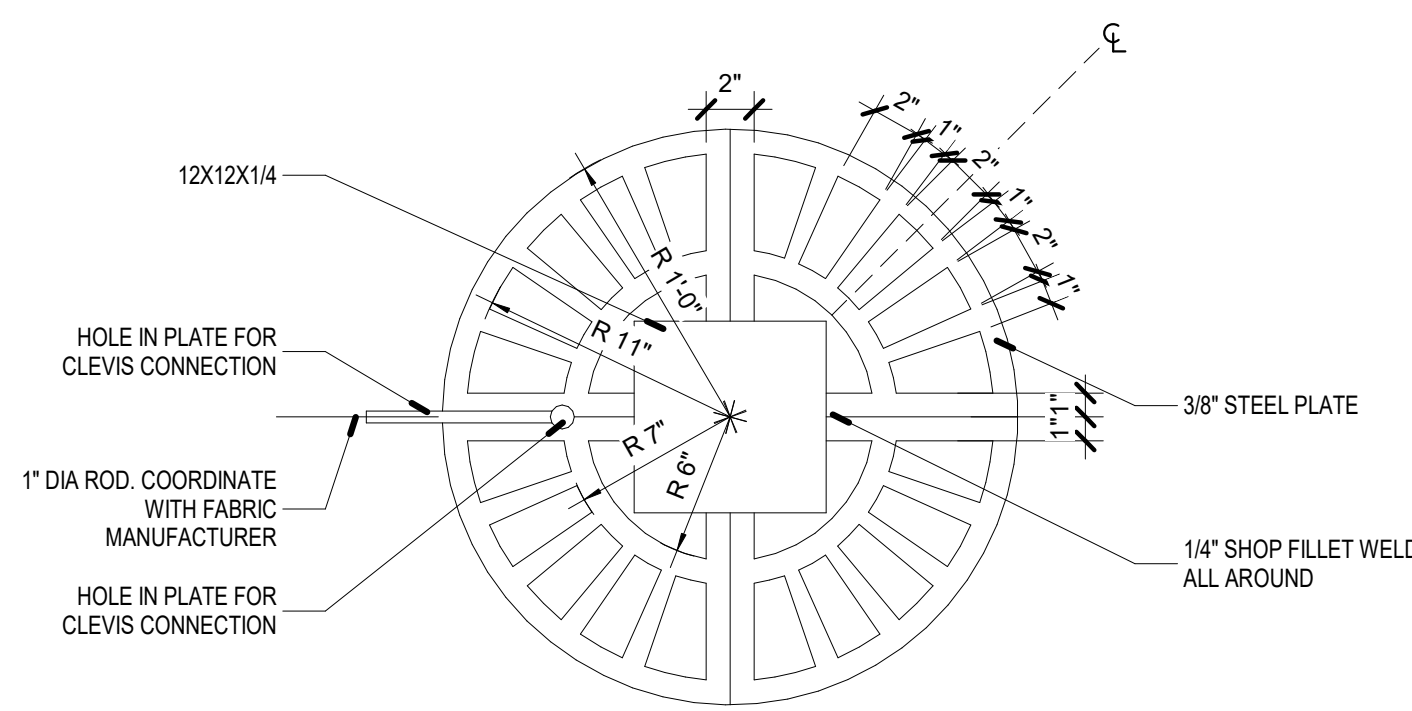
A1 YARD WALL @ PLAZA  
1/2" = 1'-0"



A3 CANOPY & LIGHT POST @ PLAZA  
1/2" = 1'-0"



B5 GATE ELEVATION  
1/2" = 1'-0"



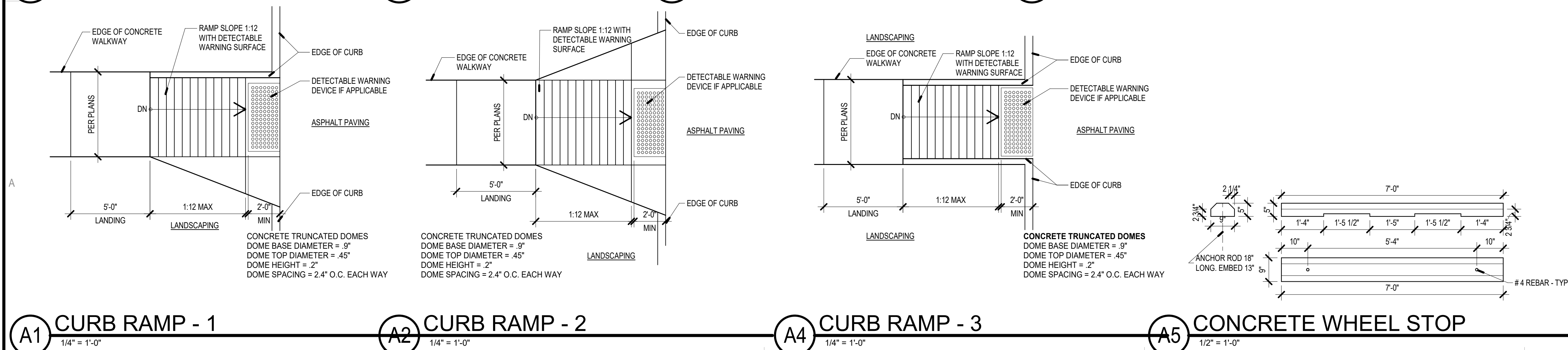
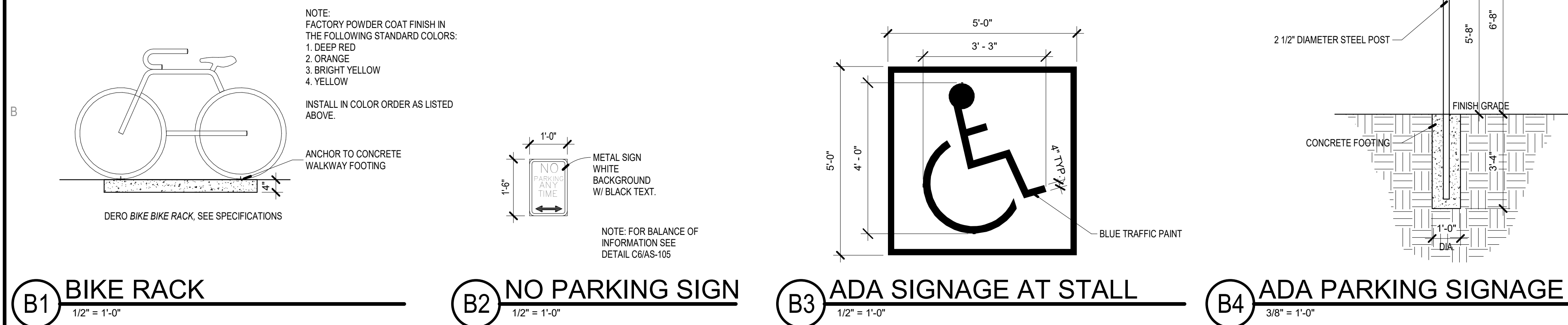
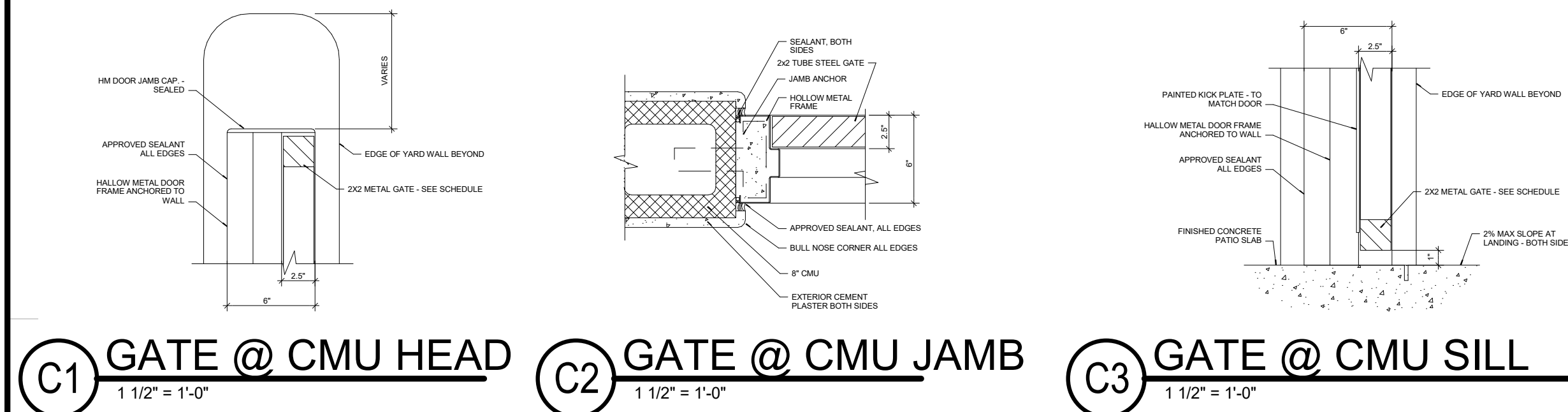
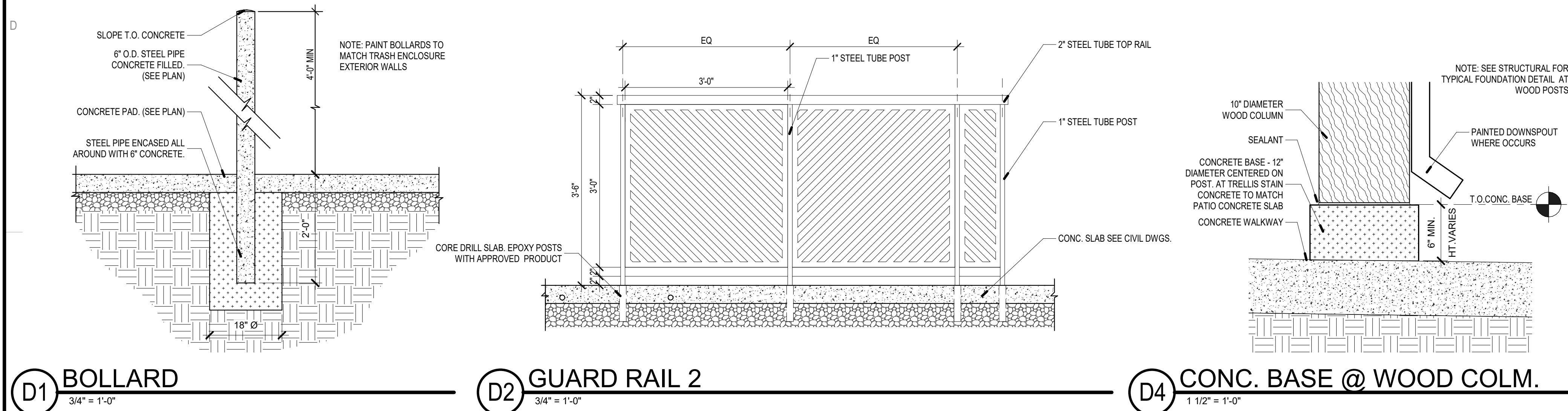
A5 TENSION CABLE PLATE Copy 1  
1 1/2" = 1'-0"



**DRB SUBMITTAL**

No	Date	Description
Revision Schedule		
ISSUE:	100% CONSTRUCTION	
PROJECT NUMBER:	2232	DOCUMENTS
FILE:	2232_Avanyu G Shell	
DRAWN BY:	Building_Central	
CHECKED BY:	Checker	
DATE:	MAY 08, 2023	





## CONSULTANTS



Architect

Engineer



Avanyu North - Building G

2500 12th St NW  
ALBUQUERQUE, NM**DRB SUBMITTAL**

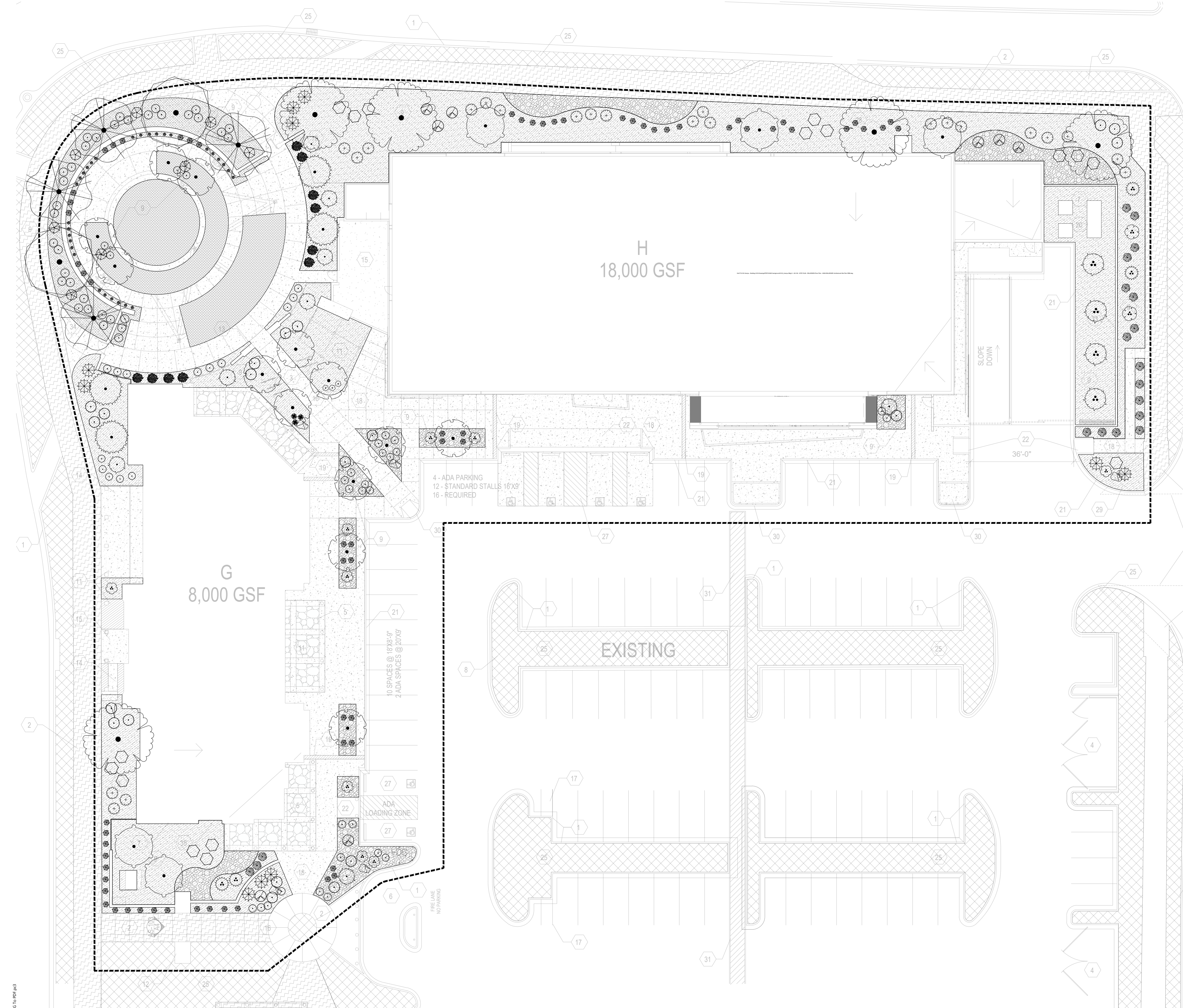
No	Date	Description
Revision Schedule		
ISSUE:	100%	CONSTRUCTION DOCUMENTS
PROJECT NUMBER:	2232	Avanyu G Shell Building_Central
FILE:	2232	Avanyu G Shell Building_Central
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	MAY 08, 2023	

SHEET TITLE

SITE DETAILS

**AS-111**





## SITE DATA

GROSS LOT AREA (1.36 ACRES)	74,556 SF
LESS BUILDING(S)	26,000 SF
NET LOT AREA	48,556 SF

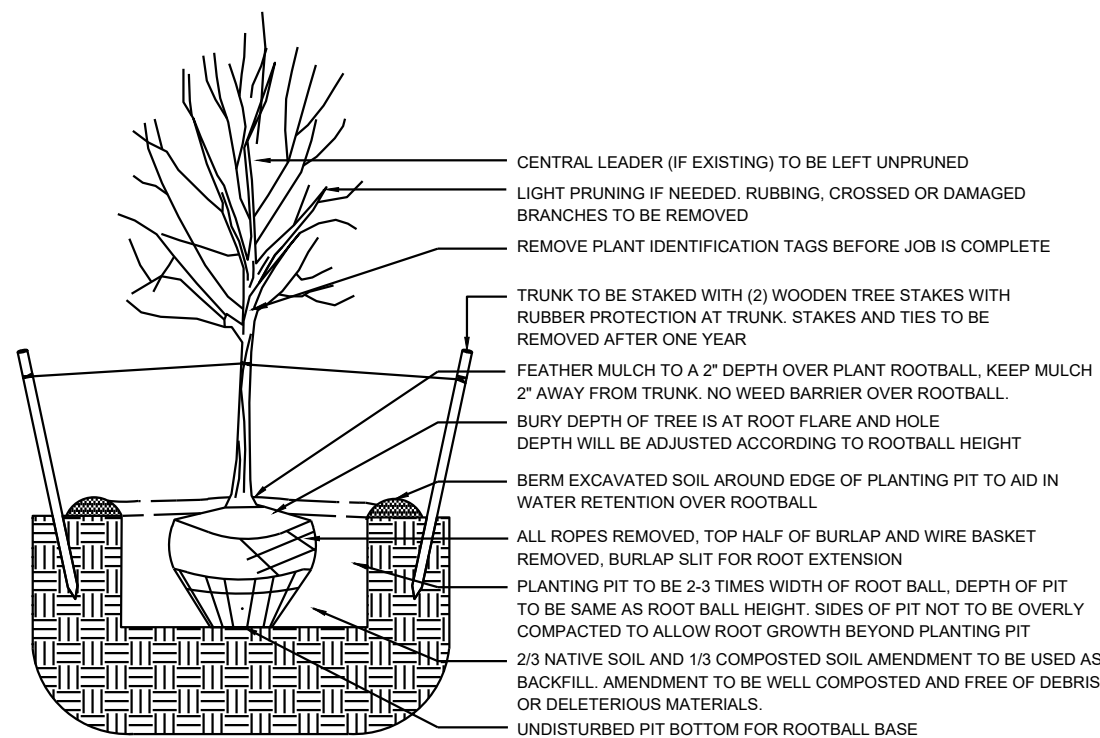
REQUIRED LANDSCAPE	7,285 SF
15% OF NET LOT AREA	7,285 SF
PROPOSED LANDSCAPE	15,047 SF
PERCENT OF NET LOT AREA	31 %

REQUIRED PARKING LOT TREES	3
PROVIDED AT 1 PER 10 SPACES (28 SPACES/10)	3

REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL	
(7,285 SF REQUIRED LANDSCAPE X 75%)	5,464 SF MIN.
PROVIDED LIVE VEGETATION COVERAGE	27,869 SF
OF REQUIRED LANDSCAPE AREAS	352%
25% GROUND COVER COVERAGE	
(5,464 SF LIVE COVERAGE X 25%)	1,366 SF MIN.
PROVIDED GROUND COVER COVERAGE	4,429 SF

## GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.



1 TREE PLANTING DETAIL

N.T.S.

## PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	2	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2\" B&B	40\" X 30\"	707
	5	CARYA ILLINOINENSIS / PECAN	2\" B&B	40\" X 40\"	1256
	5	CRATAEGUS CRUS-GALLI INERMIS TM / THORNLESS COCKSPUR HAWTHORN	2\" B&B	15\" X 15\"	177
	4	PISTACIA CHINENSIS / CHINESE PISTACHE	2\" B&B	60\" X 60\"	2826
	13	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2\" B&B	25\" X 15\"	177
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	4	PINUS CEMBROIDES EDULIS / PINYON PINE	6\"	30\" X 20\"	314
		SUBTOTAL			23,440 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	2	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	5\" X 5\"	20
	4	FOUQUIERIA SPLENDENS / OCOTILLO	5 GAL	15\" X 10\"	79
	9	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3\" X 4\"	13
	4	YUCCA BACCATA / BANANA YUCCA	5 GAL	4\" X 5\"	20
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	3	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2\" X 2\"	3
	3	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1\" X 2\"	3
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	68	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30\" X 2\"	3
	19	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3\" X 3\"	7
	30	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	1 GAL	2\" X 2\"	7
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	8	CAESALPINIA GILLIESII / YELLOW BIRD OF PARADISE	5 GAL	10\" X 10\"	79
	26	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	5 GAL	3\" X 3\"	7
	20	RHUS TRILOBATA 'AUTUMN AMBER' / CREEPING THREE LEAF SUMAC	5 GAL	4\" X 4\"	13
	10	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6\" X 5\"	20
	17	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL	2\" X 3\"	7
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	8	CYTISUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	5 GAL	4\" X 6\"	28
	23	ERICAMERIA NAUSEOSA / CHAMISA	5 GAL	5\" X 5\"	20
	16	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6\" X 7\"	38
	10	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	4\" X 5\"	20
	34	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL	2\" X 4\"	13
	8	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3\" X 4\"	13
		SUBTOTAL			4,219 SF
		TOTAL			27,305 SF

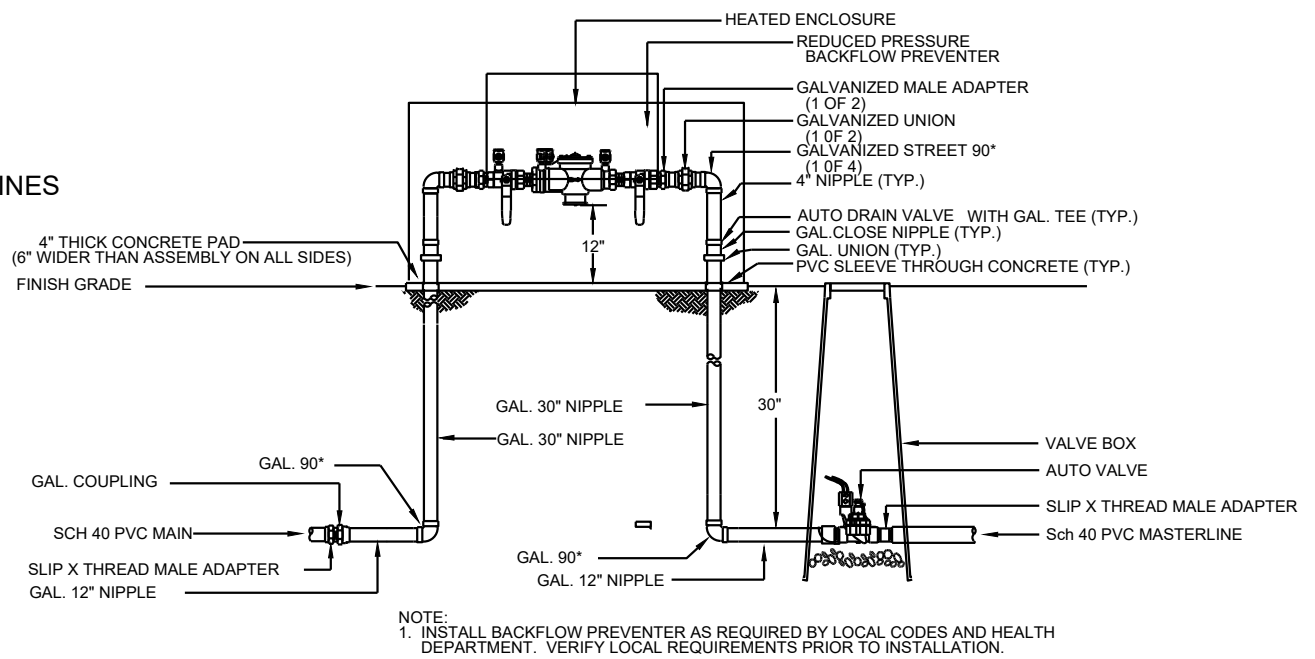
## MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	MEDIUM BOULDER	4

SYMBOL	DESCRIPTION
	7/8\" MOUNTAINAIR BLUSH GRAVEL 2-3\" DEPTH OVER FILTER FABRIC

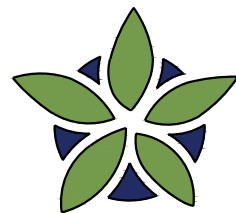
	3/4\" GRAY, CRUSHED GRAVEL 2-3\" DEPTH OVER FILTER FABRIC
--	--

	MOUNTAINAIR BLUSH CRUSHER FINES 2-3\" DEPTH OVER FILTER FABRIC
--	---



2 RP BACKFLOW/MASTER VALVE DETAIL

N.T.S.



**YELLOWSTONE**  
LANDSCAPE

www.yellowstonelandscape.com  
P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com



Date: 01/27/2023

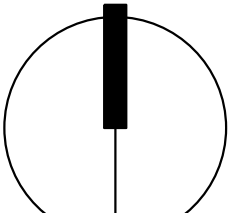
Revisions:

- ▲
- ▲
- ▲
- ▲

Drawn by: PL

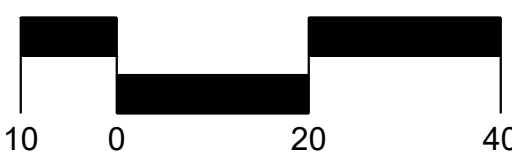
Reviewed by: CM

Avanyu Plaze  
Building G & H  
2400 12th St.  
Albuquerque, New Mexico



NORTH

Scale: 1" = 20'



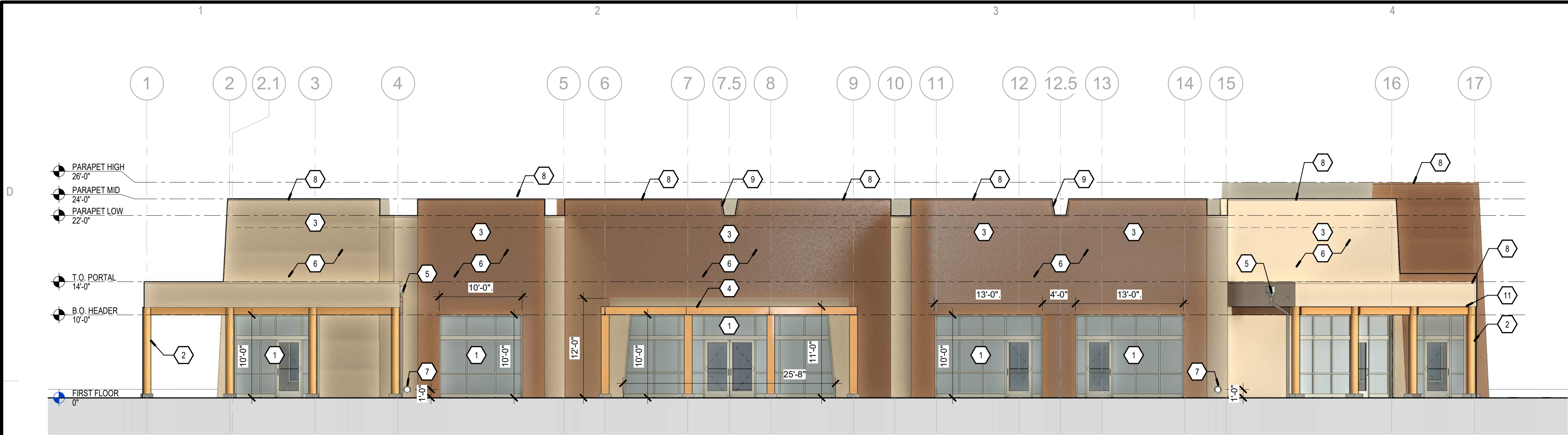
Sheet Title:

Landscape  
Plan

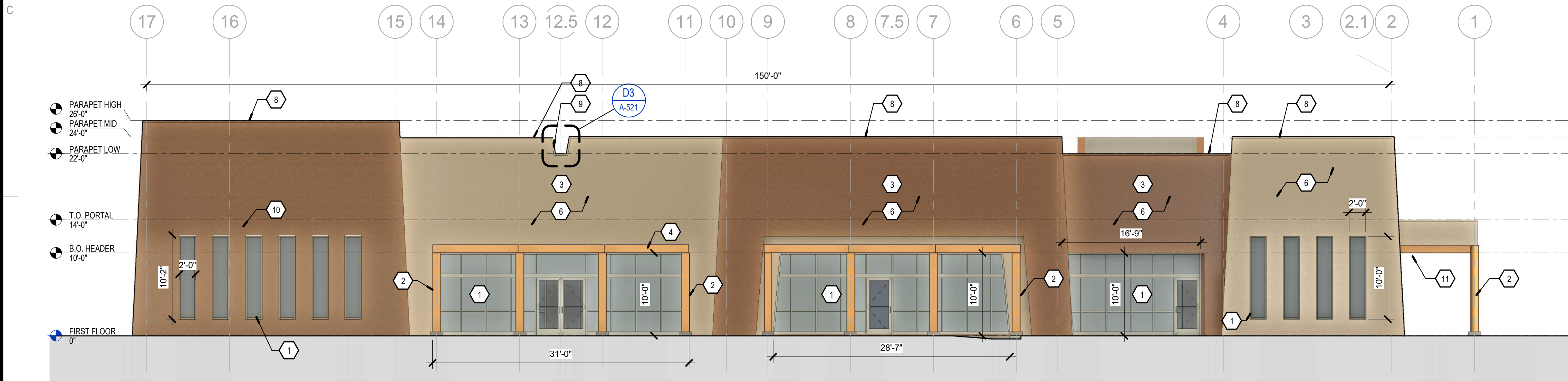
Sheet Number:

LS-01

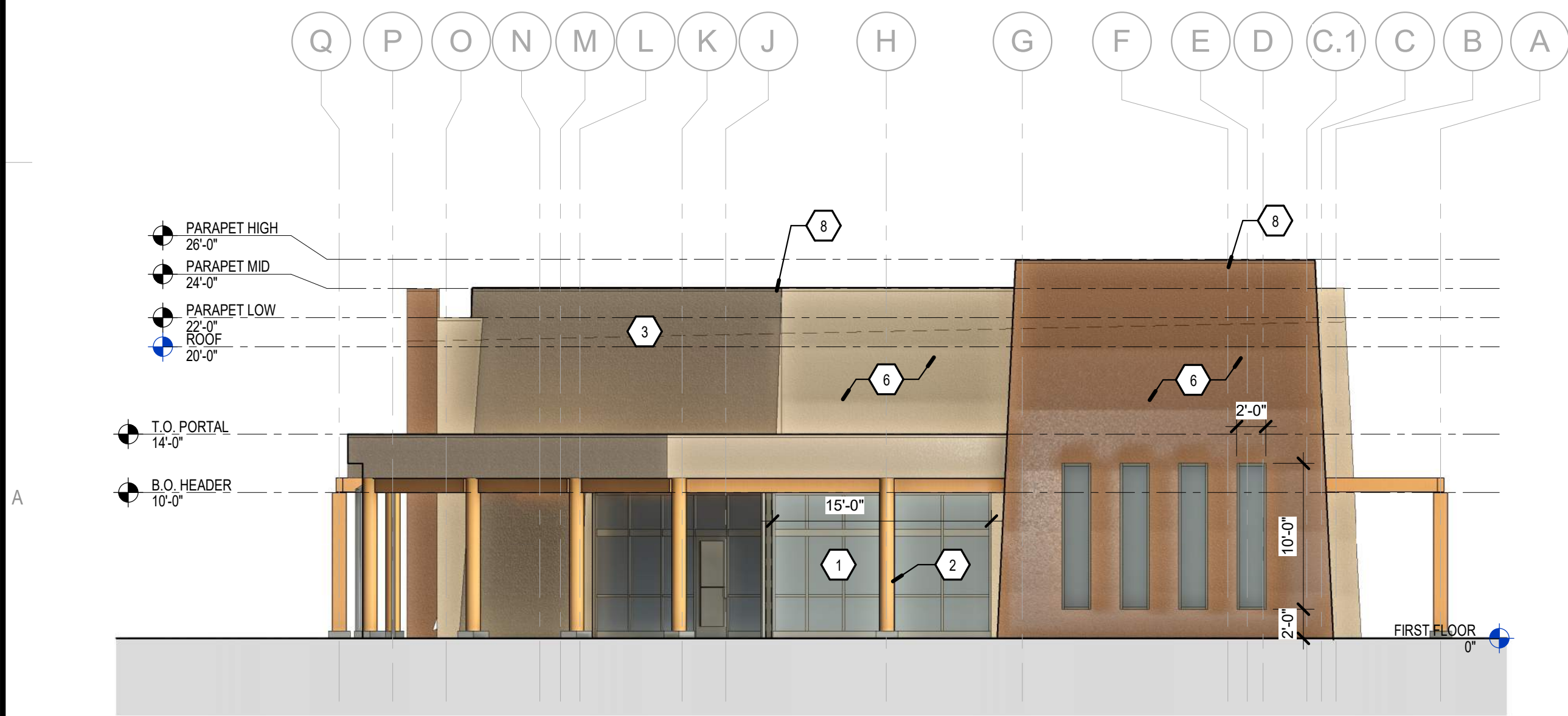




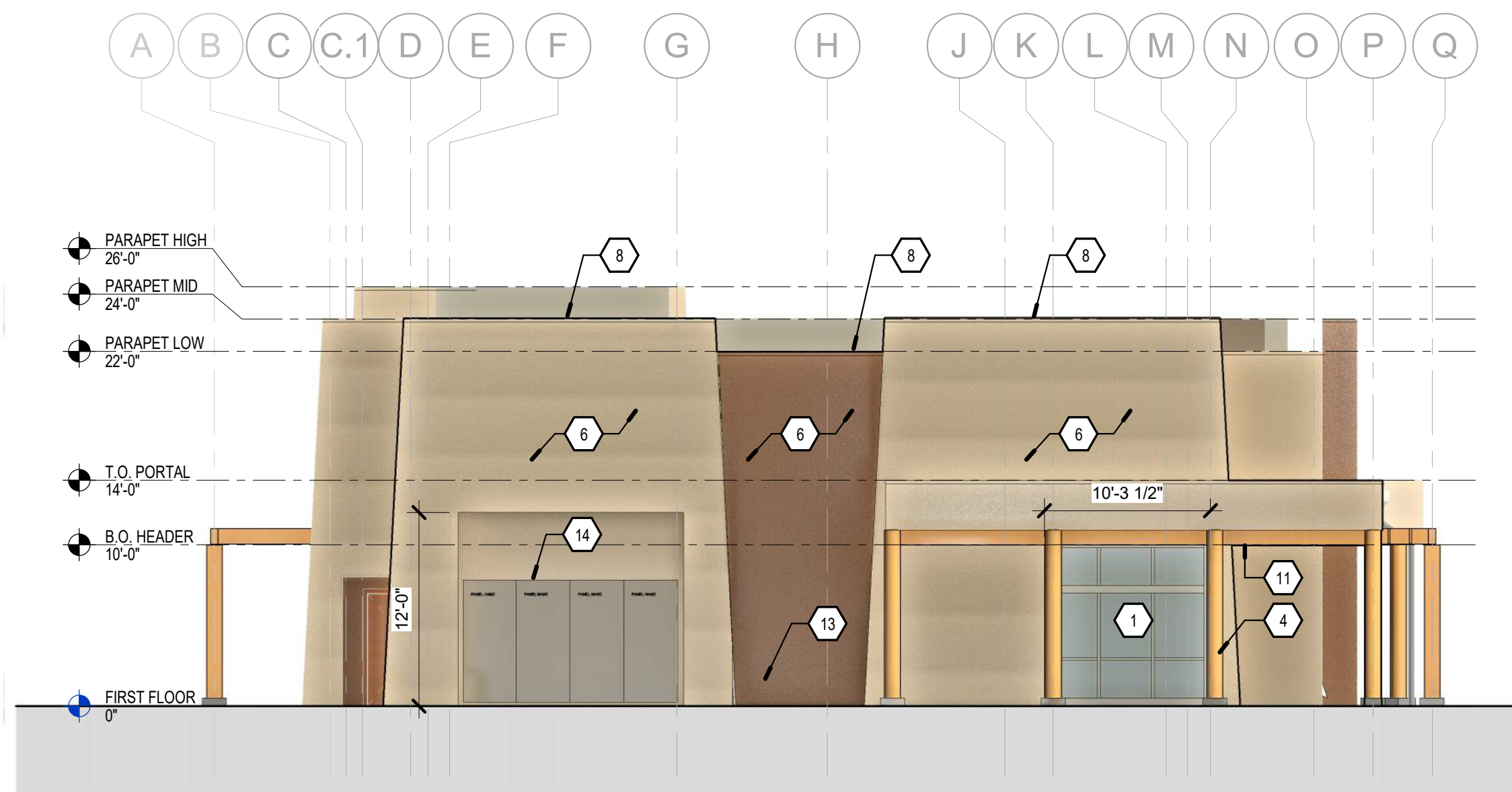
D1 EAST BUILDING ELEVATION  
1/8" = 1'-0"



B1 WEST BUILDING ELEVATION  
1/8" = 1'-0"



A1 NORTH BUILDING ELEVATION  
1/8" = 1'-0"



A3 SOUTH BUILDING ELEVATION  
1/8" = 1'-0"

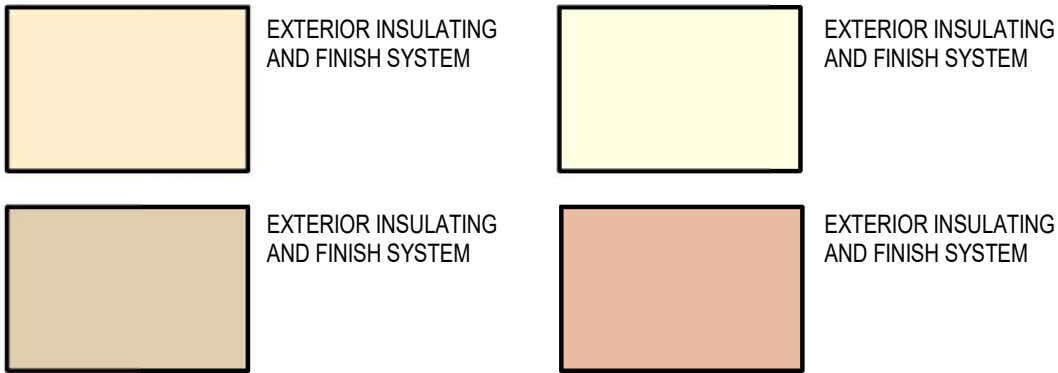
GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.  
B. GRADE VARIES. REFER TO CIVIL FOR EXTERIOR FINISH GRADES.  
C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.  
D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5% AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

KEYED NOTES

- 1 ALUMINUM STOREFRONT - TYPICAL  
2 WOOD COLUMN  
3 FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED. PROVIDE ELECTRICAL RECEPTACLE AT EXTERIOR WALL. PAINT TO MATCH EXTERIOR COLOR. REFER TO ELECTRICAL DRAWINGS FOR THE BALANCE OF INFORMATION.  
4 WOOD TRELLIS SHADE STRUCTURE  
5 PAINTED LEADER AND DOWNSPOUT - CENTERED ON WOOD COLUMN WHERE INDICATED  
6 TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)  
7 BRASS COW TONGUE. INSTALL ABOVE GRATED CULVERT OPENING  
8 FACTORY PAINTED G.S. METAL PARAPET CAP. SEE ELEVATIONS FOR LOCATIONS  
9 ORNAMENTAL CUT AT PARAPET - CENTERED ON WALL. REFER TO ELEVATIONS.  
10 WOOD HEADER. SEE STRUCTURAL.  
11 WOOD BEAM  
12 ROOFTOP MECHANICAL UNIT. SEE MECHANICAL.  
13 GAS METER / UTILITY METER - SEE MECHANICAL AND PLUMBING DRAWINGS  
14 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

LEGEND



MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

12TH STREET GLAZING

TOTAL FACADE AREA FACING WEST: 2100 SF  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 840 SF TOTAL  
PROPOSED AREA OF GLAZING FACING 12TH STREET: 952 SF

CONSULTANTS



Architect

Engineer



Avanyu North - Building G

2500 12th St NW  
ALBUQUERQUE, NM



No	Date	Description
Revision Schedule		
ISSUE:	100% CONSTRUCTION	
PROJECT NUMBER:	2232	DOCUMENTS
FILE:	2232_Avanyu G Shell	
DRAWN BY:	Building_Central	
CHECKED BY:	Checker	
DATE:	MAY 08, 2023	

SHEET TITLE

ELEVATIONS

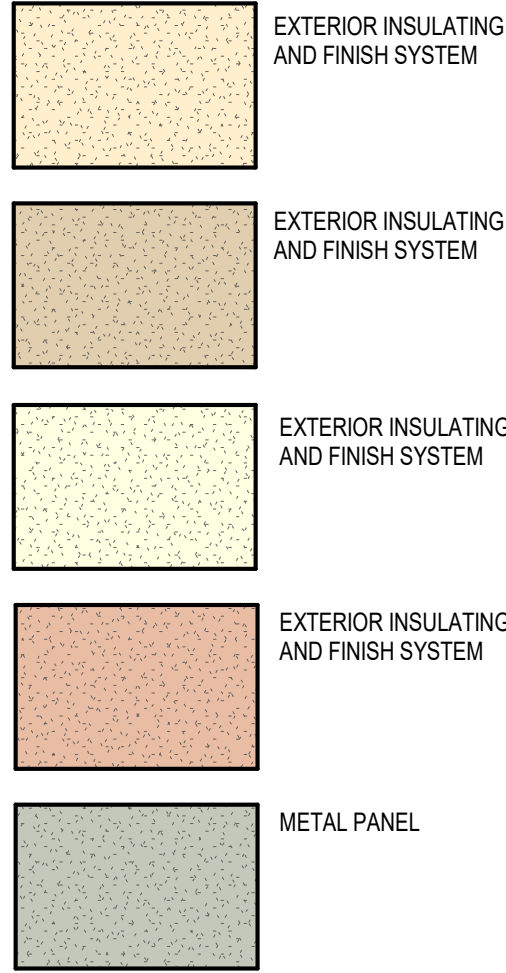
A201 G



6/5/2023 4:21:37 PM

C:\Users\dsolares\Documents\2123\_Avanyu Bldg H\_central\_v21\_dsolares.rvt

## LEGEND



## MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

## GENERAL NOTES

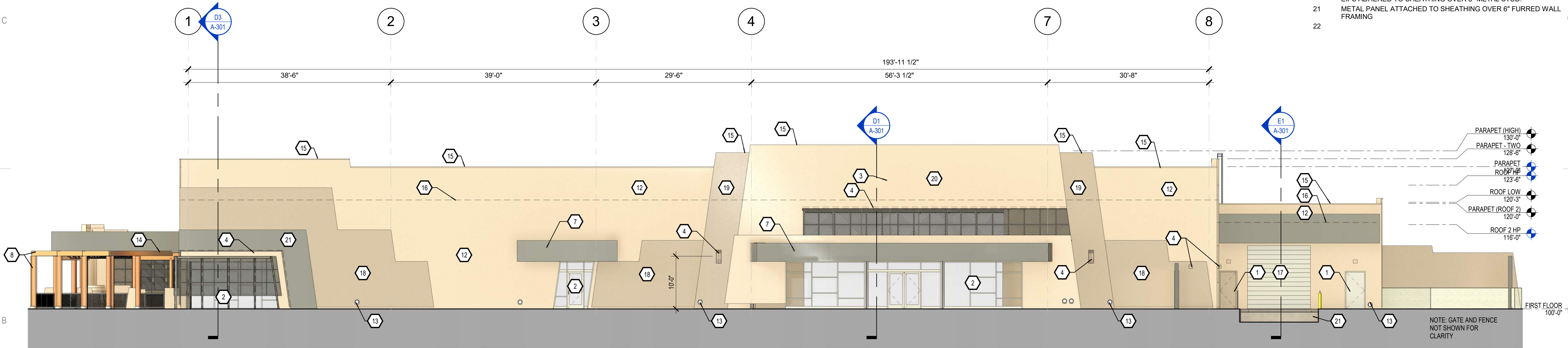
- A. COORDINATE WITH MECHANICAL, ELECTRICAL, & PLUMBING.  
B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES.  
C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.  
D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.  
E. ALL EXPOSED PIPES ON THE EXTERIOR OF THE BUILDING TO BE PAINTED TO MATCH ASSOCIATED WALL STUCCO COLOR.

## MENAU GLAZING

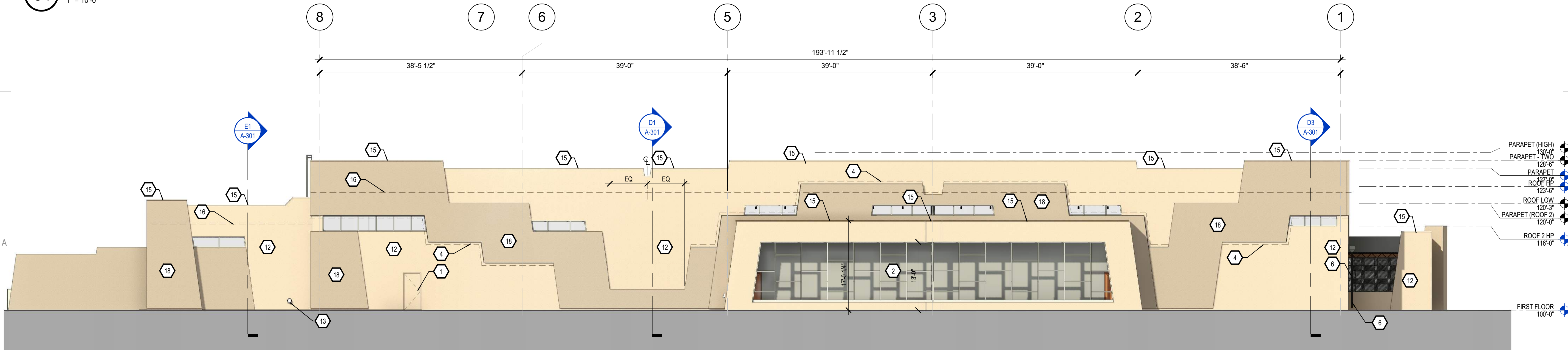
TOTAL FACADE AREA FACING NORTH: 2880 SF (15'X192')  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 1150 SF TOTAL  
TOTAL GLAZED AREA: 1777 SF

## KEYED NOTES

- 1 POWDER COATED HOLLOW METAL DOOR AND FRAME PER DOOR SCHEDULE.  
2 STOREFRONT GLAZING SYSTEM.  
3 FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED. PROVIDE ELECTRICAL RECEPTACLE AT EXTERIOR WALL. PAINT TO MATCH EXTERIOR COLOR. REFER TO ELECTRICAL DRAWINGS FOR THE BALANCE OF INFORMATION.  
4 LIGHT FIXTURE, SEE ELECTRICAL  
5 YARD WALL.  
6 PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL A2/A-521.  
7 PORTAL  
8 TRELLIS SHADE STRUCTURE.  
9 STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.  
10 WOOD COLUMN.  
11 METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE  
12 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)  
13 BRASS COW TONGUE AT WALL FOR OVERFLOW DRAIN  
14 WOOD BEAM.  
15 FACTORY PAINTED METAL COPING TO MATCH WALL COLOR.  
16 ROOF SLOPE BEYOND.  
17 GARAGE DOOR PER SCHEDULE.  
18 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 4" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
19 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
20 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
21 METAL PANEL ATTACHED TO SHEATHING OVER 6" FURRED WALL FRAMING  
22



C1 SOUTH BUILDING ELEVATION Copy 1  
1" = 10'-0"



A1 NORTH BUILDING ELEVATION  
1" = 10'-0"



2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

© 2023 Studio Southwest Architects, Inc. Duplication or reproduction by any means without the express written consent of Studio Southwest Architects, Inc. is a violation of federal and international law. The information contained in this document is the intellectual property of Studio Southwest Architects, Inc. and all rights thereto are reserved.

## CONSULTANTS



Architect

Engineer



## AVANYU NORTH - BUILDING H

2500 12th Street  
Albuquerque, NM



DRB SUBMITTAL

No	Date	Description
Revision Schedule		
ISSUE:	100% CONSTRUCTION DOCUMENTS	
PROJECT NUMBER:	2123_Avanyu Bldg H_central.rvt	
FILE:	2123_Avanyu Bldg H_central.rvt	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	APRIL 07, 2023	

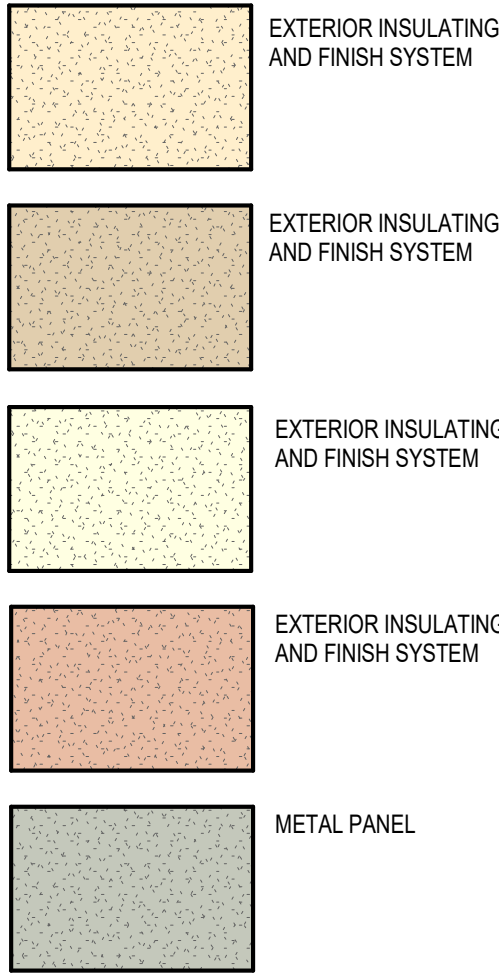
## SHEET TITLE

EXTERIOR ELEVATIONS

A205 H



LEGEND



GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.  
B. GRADE VARIES. REFER TO CIVIL FOR EXTERIOR FINISH GRADES.  
C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.  
D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.  
E. ALL EXPOSED PIPES ON THE EXTERIOR OF THE BUILDING TO BE PAINTED TO MATCH ASSOCIATED WALL STUCCO COLOR.

KEYED NOTES

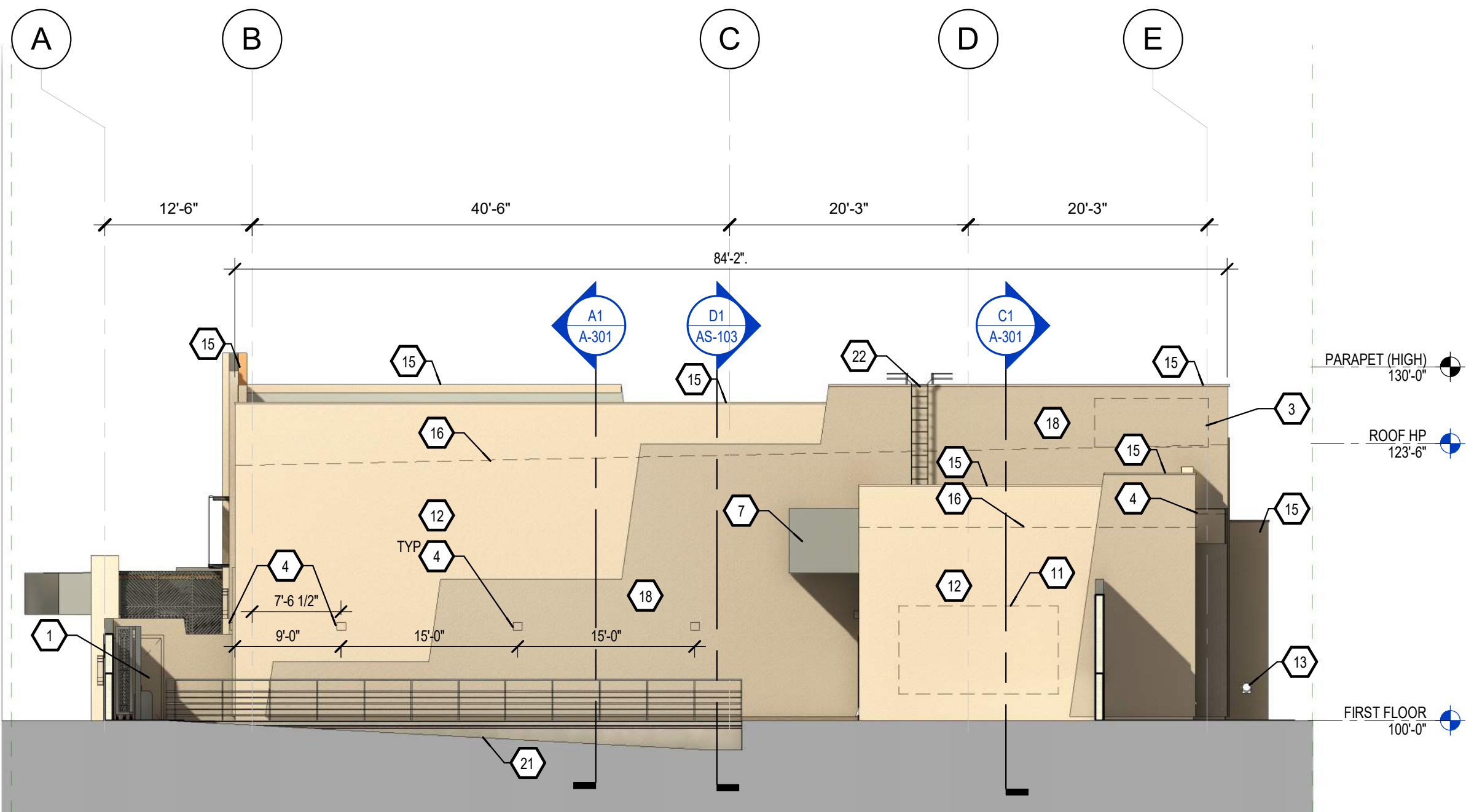
1. POWDER COATED HOLLOW METAL DOOR AND FRAME PER DOOR SCHEDULE.  
2. STOREFRONT GLAZING SYSTEM.  
3. FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED. PROVIDE ELECTRICAL RECEPTACLE AT EXTERIOR WALL. PAINT TO MATCH EXTERIOR COLOR. REFER TO ELECTRICAL DRAWINGS FOR THE BALANCE OF INFORMATION.  
4. LIGHT FIXTURE, SEE ELECTRICAL  
5. YARD WALL.  
6. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL A2/A-521.  
7. PORTAL  
8. TRELLIS SHADE STRUCTURE.  
9. STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.  
10. WOOD COLUMN.  
11. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE  
12. FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)  
13. BRASS COW TONGUE AT WALL. FOR OVERFLOW DRAIN  
14. WOOD BEAM.  
15. FACTORY PAINTED METAL COPING TO MATCH WALL COLOR.  
16. ROOF SLOPE BEYOND.  
17. GARAGE DOOR PER SCHEDULE.  
18. FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 4" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
19. FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
20. FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
21. METAL PANEL ATTACHED TO SHEATHING OVER 6" FURRED WALL FRAMING  
22.

MENAU GLAZING

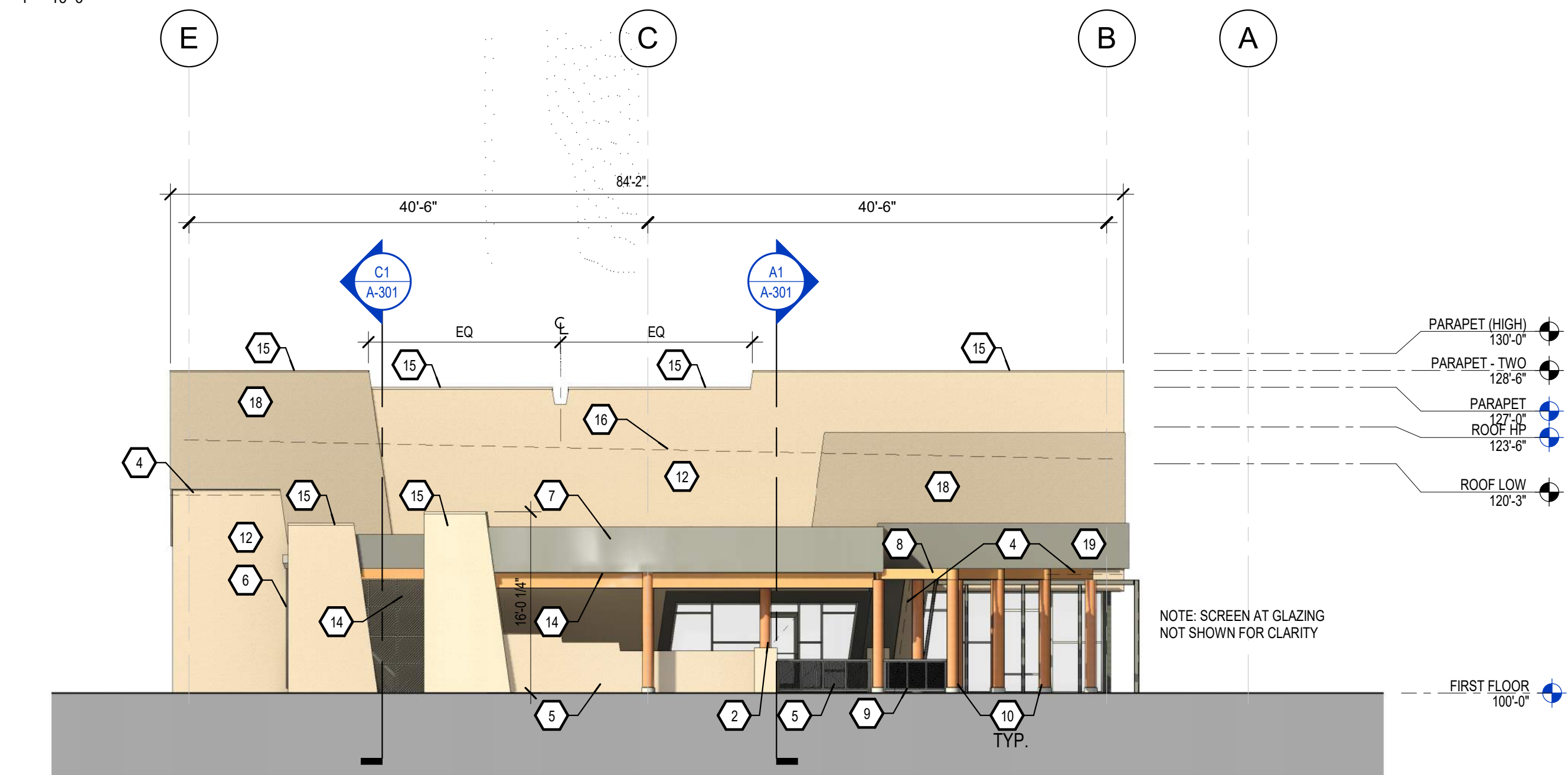
TOTAL FACADE AREA FACING NORTH: 2880 SF (15'X192')  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 1150 SF TOTAL  
TOTAL GLAZED AREA: 1777 SF

MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.



A3 EAST BUILDING ELEVATION



A1 WEST BUILDING ELEVATION

CONSULTANTS



Architect

Engineer



AVANYU NORTH - BUILDING H



2500 12th Street  
Albuquerque, NM

No	Date	Description
Revision Schedule		
ISSUE:	100% CONSTRUCTION DOCUMENTS	
PROJECT NUMBER:	2123_Avanyu Bldg H_central.rvt	
FILE:	2123_Avanyu Bldg H_central.rvt	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	APRIL 07, 2023	

SHEET TITLE

EXTERIOR ELEVATIONS

A206 H