



# DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

## APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

## BRIEF DESCRIPTION OF REQUEST

Final two structures (Buildings G and H) and the garden plaza area as indicated in the approved site plan are resolved, financed and ready for submission.

## SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

## LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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## CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

## FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS****\_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Archaeological Compliance Form with property information section completed
- \_\_\_ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**\_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

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- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

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- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ ACCELERATED EXPIRATION OF SITE PLAN**

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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 6) Site Plan to be Expired

**\_ ALTERNATIVE SIGNAGE PLAN**

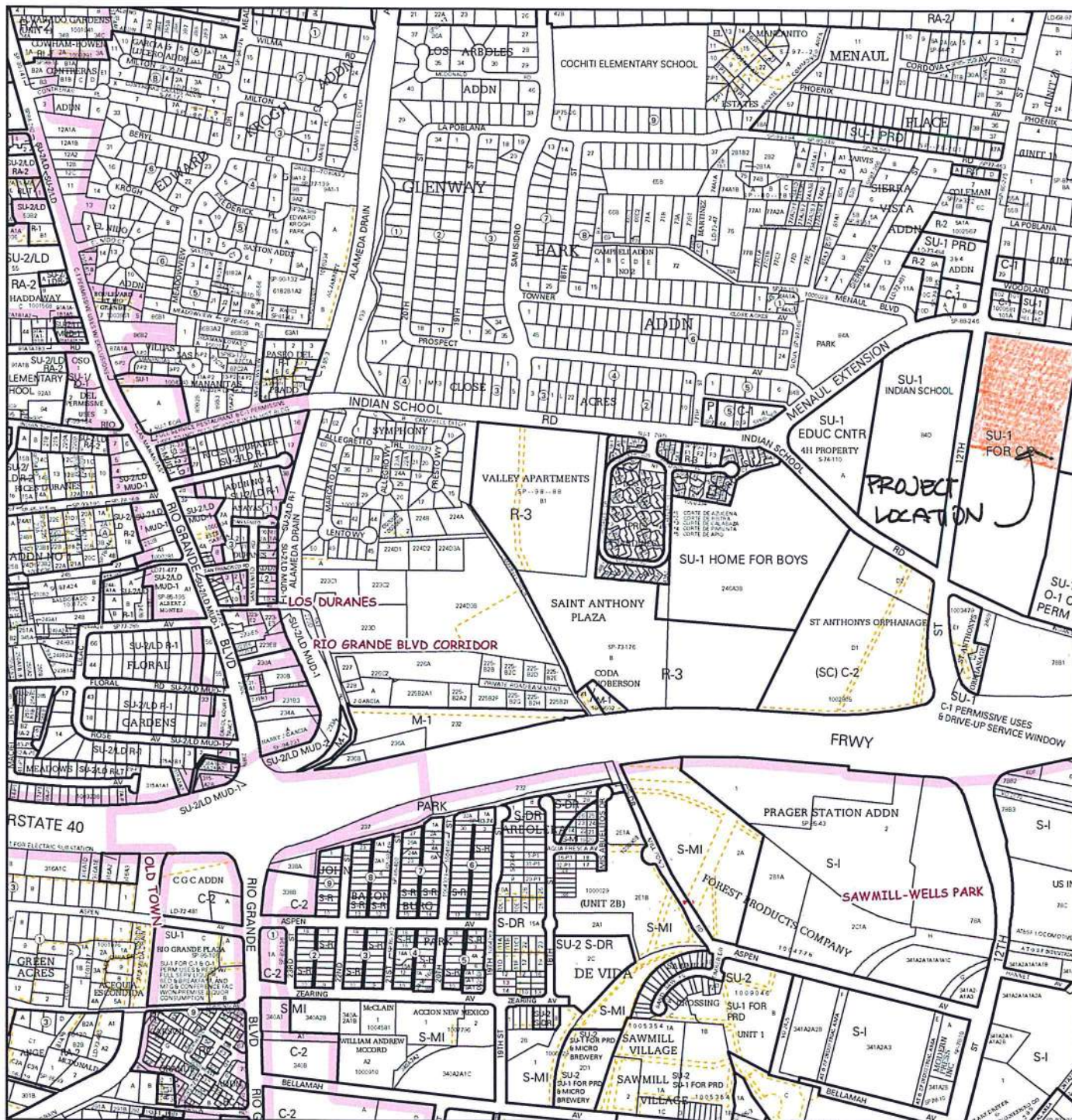
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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- \_\_\_ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 7) Sign Posting Agreement
- \_\_\_ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
  - \_\_\_ Office of Neighborhood Coordination notice inquiry response
  - \_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
  - \_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

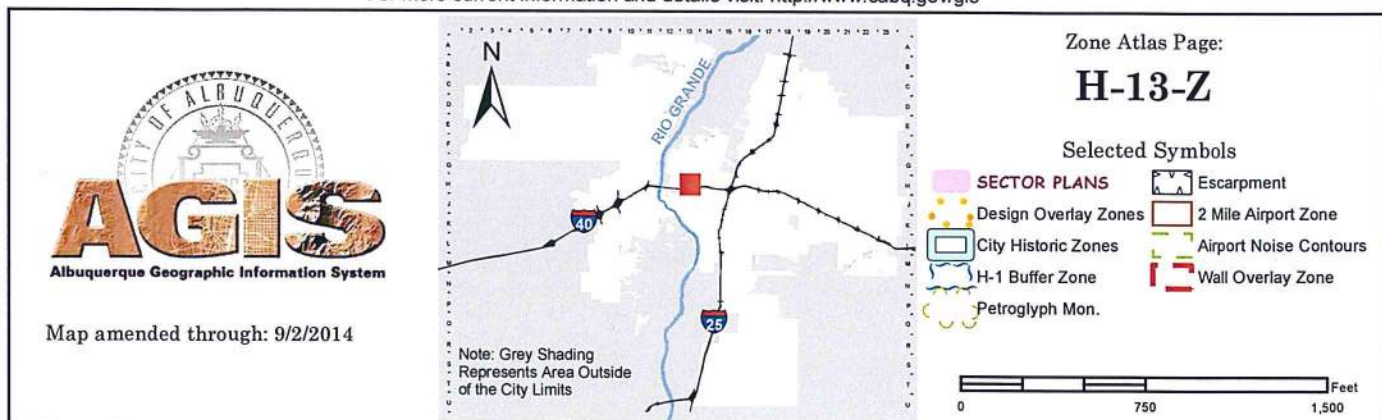
**\_ ALTERNATIVE LANDSCAPING PLAN**

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- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- \_\_\_ 6) Landscape Plan



For more current information and details visit: <http://www.cabq.gov/gis>





# INDIAN PUEBLOS MARKETING, INC.

Acoma

Cochiti

Isleta

Jemez

Laguna

Nambe

Ohkay  
Owingeh

Picuris

Pojoaque

Sandia

San  
Felipe

San  
Ildefonso

Santa  
Ana

Santa  
Clara

Santo  
Domingo

Taos

Tesuque

Zia

Zuni

August 15, 2018

RE: IPMI 6, LLC  
2401 12<sup>th</sup> Street NW  
Albuquerque, NM 87104

To Whom It May Concern:

IPMI 6, LLC authorizes Danny Solares, of Studio Southwest Architects, to act as an authorized agent for the development project to be constructed at 2500 12<sup>th</sup> Street NW, Albuquerque, New Mexico. Mr. Solares shall be authorized to act on all matters regarding this property.

IPMI 6, LLC

Mark Thompson, Property Development Director



June 5, 2023

Jolene Wolfley, Planning Department  
Development Facilitation Team  
600 Second Street, NW  
Albuquerque, NM 87102

**Development Review Board – City of Albuquerque**

Re: Request for a Minor – Administrative Amendment for a post-IDO approval for the development located at 2500 12<sup>th</sup> Street

Dear Mrs. Wolfley:

As the authorized submitting agent for the property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects requests your consideration for the approval of a Minor - Administrative Amendment for a post IDO approval located at 2500 12th Street in Albuquerque.

This Minor Amendment includes the elevations and landscape plan for Buildings G and H that were not included in the Minor AA that was approved on March 14, 2023. The approved Site plan (DRB Cases No. 1000643 & PR2018-001470 (1000643) and AA is included with the drawings in this submittal. No changes have been made to the approved AA Site plan. Elevations of Building G and Building H as well as the landscape plan are the focus of this submittal and approval.

Unfortunately, the omission of the elevations and landscape plan were not brought to my attention until Mrs. Trujillo from CABQ zoning reviewed our building submittal and was disapproved with comments. The elevations and the landscape plan need to be approved by the DRB and the approved drawings included with the permit submittal.

This submission aims to remedy the situation by presenting to you the excluded drawings for the project at the Avanyu Retail Development. Building G (8000 sf) is almost a complete mirror of the existing previously approved Building F. The north end of G is modified to accommodate the pedestrian pathway at 45 degree angle between Buildings H and G. Building H elevations are included depicting an 18000 GSF single story proposed grocery store which includes a patio to the west and a delivery yard to the East.



As discussed, the landscaping plan will encompass the plantings adjacent to the buildings and the garden plaza and will remain consistent with the previously approved project. Trash enclosures, site amenities and parking spaces will remain unchanged per the Administrative Amendment approved in March of this year.

I have included my previous submittal letter for clarity and brevity. There is no change in intent or look to the project. This submission should be the final link in the last phase of the Avanyu retail development.

Thank you for your time and consideration.



Daniel Solares Jr.  
Senior Designer & Project Manager SSWA  
(505) 843-9639



February 14, 2023

Jolene Wolfley, Planning Department  
Development Facilitation Team  
600 Second Street, NW  
Albuquerque, NM 87102

**Development Review Board – City of Albuquerque**

Re: Request for a Minor – Administrative Amendment for a post-IDO approval for the development located at 2500 12<sup>th</sup> Street

Dear Mrs. Wolfley:

As the authorized submitting agent for the property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects requests your consideration for the approval of a Minor - Administrative Amendment for a post IDO approval located at 2500 12th Street in Albuquerque.

This submission is the final step in the development at the Avanyu Retail Development. It refines and resolves the development and function of Buildings G & H and will complete the approved developments DRB Cases No. 1000643 & PR2018-001470 (1000643) constructed from 2015 through 2022. The property is on Tract 84 E, zoning map H-13-Z. The project is located on the property previously known as the Indian School and belongs to the 19 Pueblos of New Mexico.

This minor amendment clarifies the proposed structures (identified as Buildings G and H) that will be constructed as identified on the approved site plan. Located on the north and northwest edges of the proposed area of development, roughly identified as 12th Street NW, Menaul Blvd NW, & Eagle Way. The planned structures G and H are proposed to be retail (8000 sf) and a market (18,000 sf) for a total of 26,000 sf. The area east of the market includes an enclosed delivery area for trucks and delivery vehicles as well as a utility yard. The garden plaza will be located west of Building H and north of Building G at the corner of 12<sup>th</sup> Street NW and Menaul Blvd NW. Included in the submittal is an approved clarification letter and area plan, stamped on 11/14/2018, describing the three phases.

The primary modification to the original approved site plan is a decrease in the total square footage of building H. The structure has been reduced by 2000 GSF from 20,000 GSF to 18,000 GSF per the request of the new tenant. The change is less than 10% in square footage and has been determined the reduction doesn't exceed the threshold for a Minor AA.

The proposed 26,000 square feet of restaurant/retail and market space will be owned and developed by the Indian Pueblo Cultural Center who have just signed a lease with a locally owned Market (La Montañita Co-op Food Market) and additional retailers as tenants.

Our client's desire is to create a distinct design that does not mimic the adjacent buildings. The design and fenestration of Building G & H are designed to be an extension of the existing structures design known as Buildings A, B, C, D, E, and F (previously approved project DRB Case No. 1000649).

Landscaping will primarily focus on providing the necessary tree and planting coverage and adherence per the required guideline requirements (per ordinance 0-2016-019).

The initial submission included 197 parking spaces as defined in the approved site plan. There will be no change to the site amenities or to the approved parking requirement.

In addition, SSWA and the Indian Pueblo Cultural Center have been in constant contact with the Near North Valley Neighborhood Association from the inception. SSWA have consistently contacted, discussed, displayed, and incorporated neighborhood feedback regarding the development including this Minor - Administrative Amendment. Please see the attached letter of approval from the NNVNA.

The following is a break down on how this submission meets the requirements for the request for approval for a minor administrative amendment. Each of the criteria was reviewed and is replied to with a response in blue.

#### **6-4(Y)(2) Minor Amendments**

##### **6-4(Y)(2)(a) A minor amendment must meet all of the following criteria.**



1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

*As presented in the Site plan the complete realization of the project can now be fulfilled.*

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to [Table 6-4-4](#) (cumulative of any earlier deviations or amendments).

*No requested variance, changes or modifications to dimensions or setbacks.*

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

*What was approved has been constructed. There is no residential aspect to this project nor residential lots abutting the project site.*

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

*No requested variance, changes or modifications to dimensions or setbacks.*

*There is no residential aspect to this project nor residential lots abutting the project site.*

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

*No requested variance, changes or modifications to dimensions or setbacks.*

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.



*No requested variance, changes, or modifications to the building design.*

*No changes to the building's aesthetics and/or design.*

*The new construction will mirror and complement the previously built structures.*

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

*No changes to the previously approved and constructed landscape design.*

*All new landscaping adjacent to the new construction will match the original plantings and intent.*

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

*No changes or modifications to the originally approved site plan drives or driveways.*

*What was approved was constructed.*

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

*No requested variance, changes or modifications to the major infrastructure is proposed nor any changes to traffic, circulation or pedestrian access.*

10. The amendment does not change a specific condition attached by a decision-making body listed in [Table 6-1-1](#) to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

*There have been no changes to the original approved submittal.*



**11. The amendment does not affect a property in an Overlay zone as regulated pursuant to [Part 14-16-3](#), in which case amendments may be granted per the original approval process for the Site Plan governing the site.**

***The amendment will not affect a property in an Overlay Zone.***

**12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.**

***No changes to the land use in this project.***

**13. The amendment does not expand a nonconformity as regulated per [Section 14-16-6-8](#) (Nonconformities).**

***This amendment will not add or expand an existing nonconformity.***

Thank you for your time and consideration.

Daniel Solares Jr.  
Senior Designer & Project Manager SSWA  
(505) 843-9639



November 2, 2018

APPROVED

The Approval of these plans shall not  
be construed to be a permit for any  
violations of any code or ordinance  
of this city.Concetta Trujillo  
2500 12<sup>th</sup> Street NW  
Albuquerque, NM 87102

PERMIT #: BP-2018-39327

DATE: 11/14/18

Studio Southwest  
Architects Inc.A printed copy of these plans shall be on the job site for all  
requested inspections.

Dear Mrs. Trujillo,

As the authorized submitting agent for property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects is presenting you with a description of the phases of development for the Avanyu plaza retail project to be included in this submittal for the future 30,000 sf plaza. Located directly east of the existing Indian Pueblo Cultural Center. The projects address is 2500 12<sup>th</sup> Street, Avanyu Plaza, Albuquerque. The property is on Tract 84 E, zoning map H-13-Z.

The first phase of this development is for a 30,000 sf plaza located on the south side of the 4.5-acre pad. The pad is on the southeast corner of Menaul & 12<sup>th</sup> Street and Turquoise Road & Eagle Way. The Site Plan for building permit was approved by the DRB on September 9, 2018. All development on this pad is submitted and approved by the DRB as stated in the 2016 Albuquerque Indian School development Regulations also known as Enactment number O-2016-019. The approximate time for construction is late 2018. The estimated costs for the plaza which includes walkways, landscaping and amenities is \$590,000.

The second phase of this project is approximately 2-4 months away from submitting the proposed design to the DRB. It will include three retail buildings for a total square footage of 20,000 GSF, along with the development/construction of majority of the site including 160+ parking spaces, landscaping along the buildings and the development of the parking lot. The approximate area of work encompasses 3.3 acres. The estimated time for the start of construction is middle 2019 through 2020.

The third and final phase of this north pad project at the Avanyu Plaza is the remainder of the retail buildings and the development of the landscaping at the corner of Menaul and 12<sup>th</sup> street. The approximate coverage is 1.8 acres. The final design remains undefined and will encompass the final pillar to the retail development. The approximate time for construction is 2021-2022.

Please see the attached image for an outline of the breakdown of the three phases of this development.

Thank you very much for your consideration



Daniel Solares Jr.  
Project Manager  
(505) 843-9639

Albuquerque  
2101 Mountain Road NW  
Albuquerque, NM 87104  
T 505.843.9639  
F 505.843.9683  
mail@studioswarch.com

Santa Fe  
P.O. Box 9308  
Santa Fe, NM 87504  
T 505.982.7191  
F 505.992.0585  
mail@studioswarch.com

www.studioswarch.com

CITY OF ALBUQUERQUE  
PLANNING

These plans have been reviewed  
for code compliance and are:

**APPROVED**

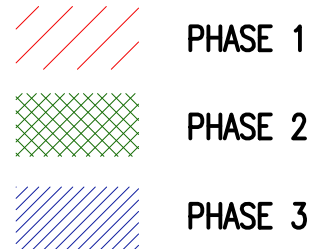
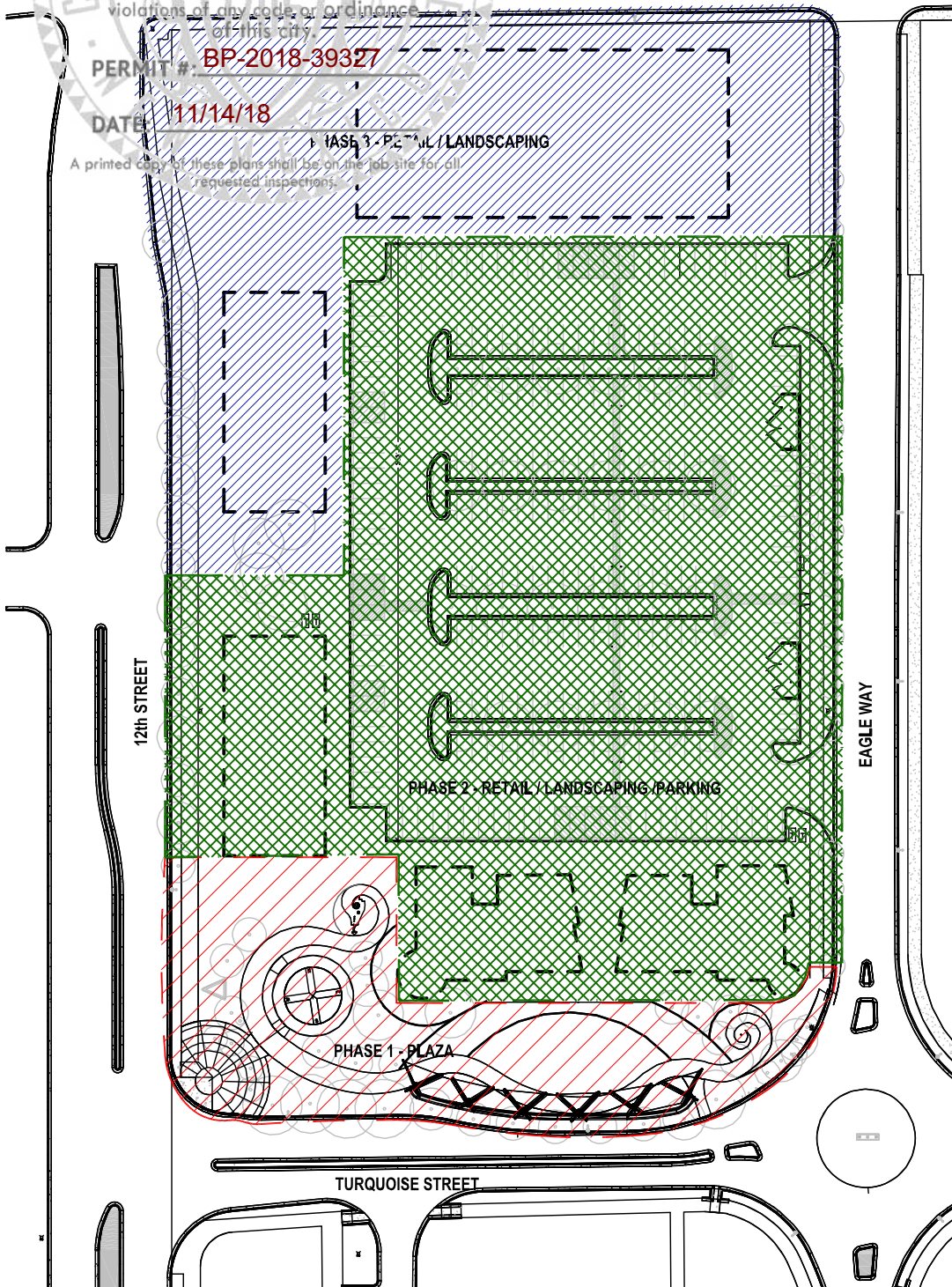
The Approval of these plans shall not  
be construed to be a permit for any  
violations of any code or ordinance  
of this city.

PERMIT # **BP-2018-39327**

DATE **11/14/18**

PHASE 3 - PAVEMENT / LANDSCAPING

A printed copy of these plans shall be on the job site for all  
requested inspections.





**NNVNA**  
**PO Box 6953**  
**ALBUQUERQUE, NM**  
**87197**

**HEATHER NORFLEET**  
**VICE PRESIDENT,**  
**505-620-4368**

**JOE SABATINI**  
**SECRETARY,**  
**505-344-9212**

**NEARNORTHVALLEYNA**  
**@GMAIL.COM**  
**WWW.NNVNA.ORG**

Copy:

Danny Solares,  
Studio Southwest

Mike Canfield, Indian  
Pueblos Marketing, Inc.

## **NEAR NORTH VALLEY NEIGHBORHOOD ASSOCIATION**

**VOLUNTEERS WORKING INCLUSIVELY TO PROTECT,  
PRESERVE, AND ENHANCE THE COMMUNITY**

January 10, 2023

Jolene Wolfley  
Chair, Development Review Board  
600 2nd Street NW  
Albuquerque, New Mexico 87102

Sent via email to [jwolfley@cabq.gov](mailto:jwolfley@cabq.gov)

Re: Site plan for Phase 3 of Avanyu Plaza at the NW corner 12th Street and  
Menaul Blvd. NW

Dear Ms. Wolfley,

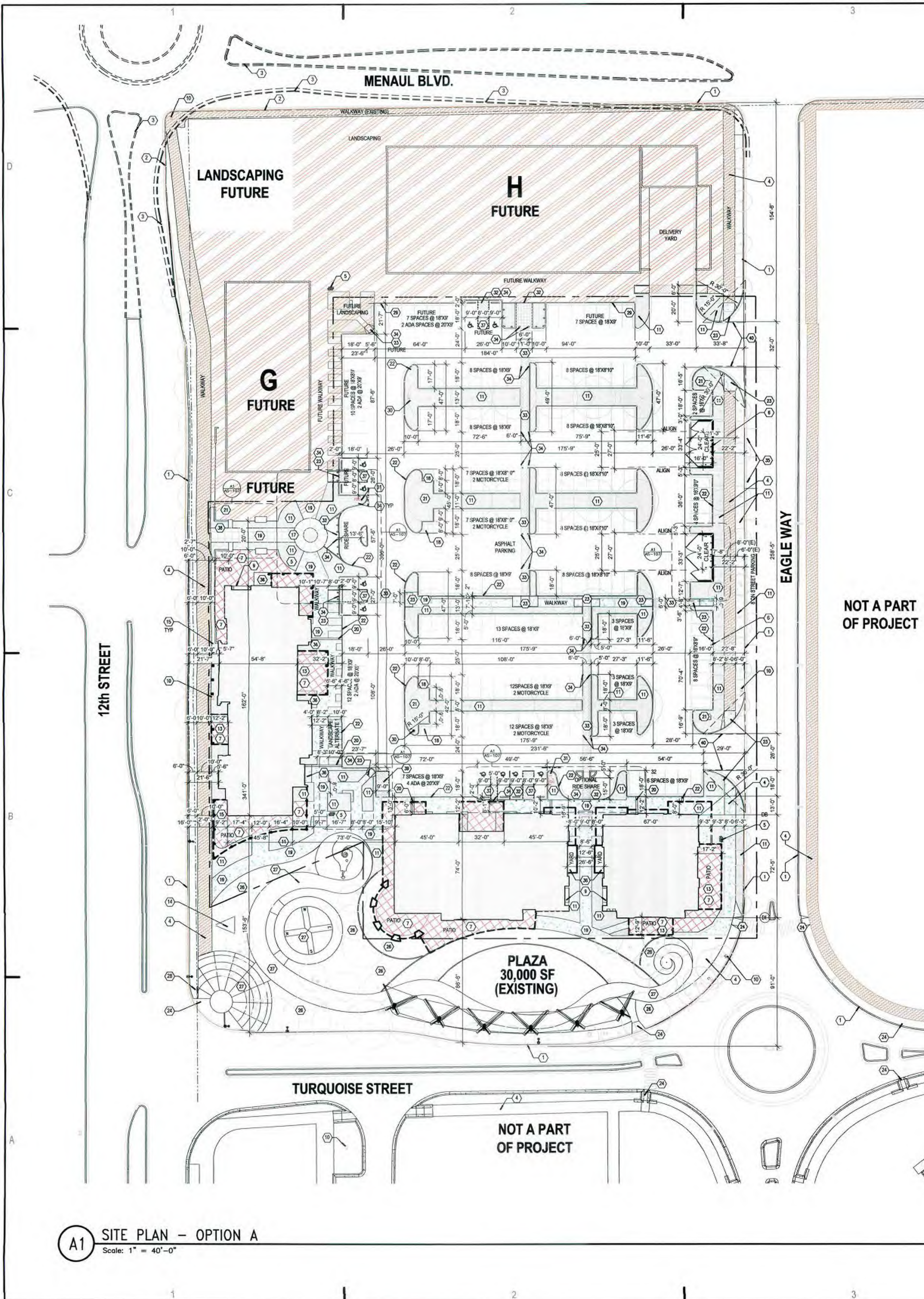
On December 14<sup>th</sup>, the Board of the Near North Valley Neighborhood Association heard a presentation by representatives of Indian Pueblos Marketing Inc., Studio Southwest Architects and La Montanita Co-op on their site plan for the third phase of Avanyu Plaza on the former Albuquerque Indian School campus. We noted that 34 individuals attended our Zoom meeting. The presenters showed us site diagrams and elevations and responded to questions from Board members and attendees. The Board did not take any formal action on the request, but comments were favorable about many aspects of the new project.

The presenters requested that we verify that they had met the requirement for meeting with the relevant neighborhood association prior to their submission of their building plan.

Thank you for your consideration.

Respectfully submitted,

Heather Norfleet  
Vice President



PROJECT NUMBER: PR-2018-001470

APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	1/27/20
Date	Jul 16, 2020
Water Utility Development	Date
Parks & Recreation Department	1-29-20
Date	1-29-20
City Engineer	Date
N/A	7/6/2020
Environmental Health Department (conditional)	Date
See attached sheet	Date
Solid Waste Management	Jul 14, 2020
Date	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**PARKING SPACE TABULATIONS**

10	ACCESSIBLE SPACES AT 20' X 9'-0"
119	SPACES AT 18' X 9'-0"
54	SPACES AT 18' X 8'-0"
14	SPACES AT 16' X 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES

8	ON STREET PARKING	MOTORCYCLE
205	TOTAL PARKING SPACES	5 SPACES REQ. (151-300) IDO 5-5-D
		REQUIRED: 5 SPACES
		ACTUAL: 8 SPACES
		BICYCLE SPACES
		12TH & MENAUL ORDINANCE:
		1 SPACE PER 20 SPACES
		REQUIRED: 10 SPACES
		ACTUAL: 16 SPACES

**IDO REQUIRED PARKING**

BUILDING D - 4,500SF  
E - 8,000SF  
F - 8,500SF

PROPOSED SF: 21,000 SF (BLDG D, E, F)

FUTURE H - 8,000SF	
FUTURE G - 20,000SF	
PROPOSED + FUTURE SF:	49,000-50,000 SF (D,E,F,G,H)
PARKING CALCULATIONS:	
RETAIL: 4 SPACES/1000SF	PHASE 2 (PROPOSED)
RESTAURANT: 8 SPACES/1000SF	10,000 GSF: 40 SPACES
	11,000 GSF: 80 SPACES
	PHASE 3 (FUTURE)
RETAIL: 4 SPACES/1000SF	24,000 GSF: 96 SPACES
RESTAURANT: 8 SPACES/1000SF	4,000 GSF: 32 SPACES

**ORDINANCE 0-16-22: (PARKING REDUCTION)**

0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)  
REDUCTION - 64 SPACES

REQUIRED: 192 TOTAL  
ACTUAL: 197 PARKING SPACES (OFF STREET)

**SITE TABULATIONS:**

TOTAL ACREAGE OF PAD: 5.9 ACRES  
EXISTING PLAZA: .7 ACRES  
FUTURE STAGE OF WORK: 2.4 ACRES

TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

- LEGEND**
- FUTURE BUILDING PAD
  - NEW CONCRETE WALKWAY
  - NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
  - NEW LANDSCAPE
  - EXISTING CONCRETE WALKWAY
  - EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS

Code Enforcement

Jul 6, 2020

Date

**GENERAL NOTES**

- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

**SHEET KEYED NOTES**

- EXISTING EDGE OF CURB.
- EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
- FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MANUAL BLVD STREET IMPROVEMENT DRAWINGS.
- EXISTING CONCRETE WALKWAY.
- FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
- TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
- COLOR PATTERNED CONCRETE.
- PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
- PROPOSED BUILDING UTILITY LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- NEW LANDSCAPING.
- FUTURE 6" CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
- WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
- PROPOSED ENTRY MONUMENT @ 12TH STREET.
- 5'-6" MINIMUM CAFE SPACE.
- NEW PATIO CONCRETE PAD.
- PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
- NEW CONCRETE WALKWAY.
- NEW ROOF DRAIN CULVER. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
- NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- NEW CONCRETE CURB.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- EXISTING BIKE RACK LOCATION.
- EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
- EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
- EXISTING TRAFFIC SIGNAL.
- TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
- PROPOSED FIRE HYDRANT LOCATION.
- REMOTE FDC LOCATION.
- FLUSH CURB FOR PEDESTRIAN ACCESS.
- ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
- BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
- ON STREET PARKING.
- OPTIONAL EMPLOYEE YARD T.B.D.
- ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
- ENTRY ARCH
- LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
- CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



**STUDIO SW ARCHITECTS**

2101 Mountain Road NW Suite B | Albuquerque NM 87104  
505-843-9639 | www.studioswarch.com

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**CONSULTANTS**

**DRB SUBMITTAL**

Architect: \_\_\_\_\_

Engineer: \_\_\_\_\_

STATE OF NEW MEXICO  
DEL LEROY DIXON  
DIGITALLY SIGNED BY DEL L. DIXON  
DATE: 2020.06.30 15:08:27 (PDT)  
REGISTERED ARCHITECT

**AVANYU RETAIL**

2400 12TH STREET  
ALBUQUERQUE, NM 87104

**Key Plan**

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DRB	
PROJECT NUMBER:	1836	
FILE:	1836 SP01.DWG	
DRAWN BY:	DS	
CHECKED BY:	RH	
DATE:	Project Issue Date	

**SHEET TITLE**

**SITE PLAN FOR BUILDING PERMIT**

**AS-101**









# PR-2018-001470\_SI-2019-00421\_Site\_Plan\_Aproved\_2-5-20

Final Audit Report

2020-07-16

Created:	2020-07-14
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAHFAh3SJ_aU8vmwWPPEpMhzNS3oze6CPS

## "PR-2018-001470\_SI-2019-00421\_Site\_Plan\_Aproved\_2-5-20" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
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-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature  
2020-07-14 - 3:56:10 AM GMT
-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature  
2020-07-14 - 3:56:10 AM GMT
-  Email viewed by Jolene Wolfley (jwolfley@cabq.gov)  
2020-07-14 - 2:29:05 PM GMT- IP address: 198.175.173.4
-  Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)  
Signature Date: 2020-07-14 - 2:30:57 PM GMT - Time Source: server- IP address: 198.175.173.4
-  Email viewed by Kristopher Cadena (kcadena@abcwua.org)  
2020-07-16 - 4:24:19 PM GMT- IP address: 216.243.115.198
-  Document e-signed by Kristopher Cadena (kcadena@abcwua.org)  
Signature Date: 2020-07-16 - 9:46:25 PM GMT - Time Source: server- IP address: 216.243.115.198- Signature captured from device with phone number XXXXXXXX9912
-  Signed document emailed to Jolene Wolfley (jwolfley@cabq.gov), Kristopher Cadena (kcadena@abcwua.org) and Jay Rodenbeck (jrodenbeck@cabq.gov)  
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# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2023-00362

**PROJECT #:** PR-2018-001470

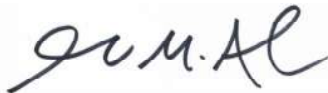
Clarification of final (2) structures (Buildings G & H) and garden plaza as indicated

in approved site plan; Decrease in the total square footage of Building H from

20,000 sf to 18,000 sf; The area east of the market includes an enclosed delivery

area and utility yard; Garden plaza located west of Building H & north of Building G.

No changes to parking or landscaping.

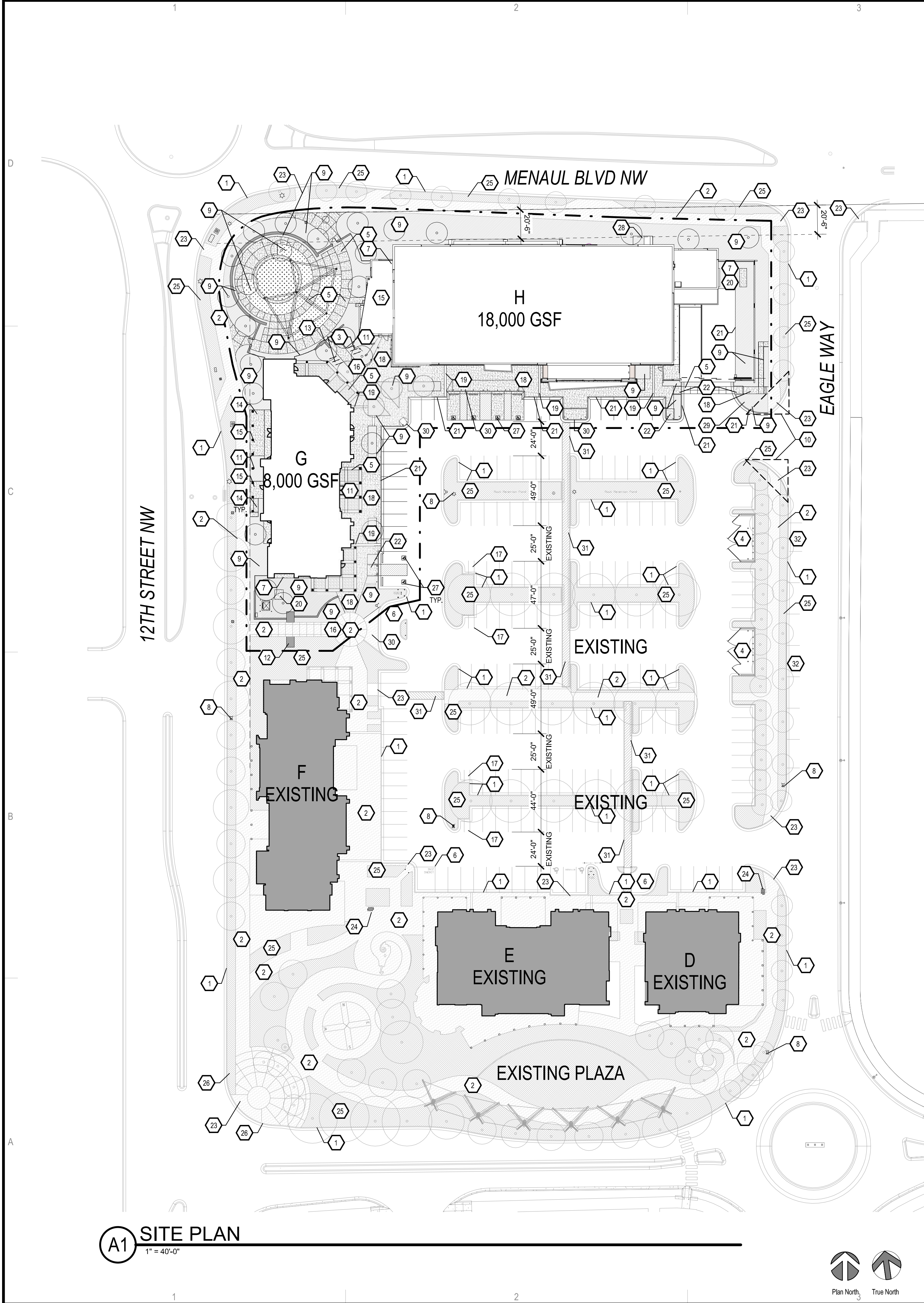


Digitally signed by James M. Aranda  
DN: cn=James M. Aranda, o=City of Albuquerque,  
ou=Planning Department, email=jmaranda@cabq.gov, c=US  
Date: 2023.03.14 09:16:05 -06'00'

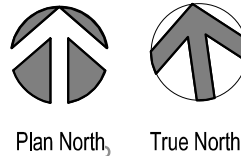
3/14/2023

**APPROVED BY**

**DATE**



A1 SITE PLAN  
1" = 40'-0"



PROJECT NUMBER: _____	
APPLICATION NUMBER: _____	
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order required for any construction within Public Right-of-Way or for construction of public improvements.	
DFT SITE PLAN APPROVAL:	
Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
Hydrology	Date _____
Code Enforcement	Date _____
* Environmental Health Department (conditional)	Date _____
Solid Waste Management	Date _____
Planning Department	Date _____
*Environmental Health, if necessary	

APPROVED PARKING SPACE TABULATIONS

10	ACCESSIBLE SPACES AT 20'-0" x 9'-0"
119	SPACES AT 18'-0" x 9'-0"
54	SPACES AT 18'-0" x 8'-10"
14	SPACES AT 16'-0" x 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES
8	ON STREET PARKING
205	TOTAL PARKING SPACES
ACCESSIBLE SPACES	
6 SPACES REQ. UNDER 200 (151-200) IBC TABLE 1106.1	
150 REQUIRED SPACES	
REQUIRED: 6 SPACES	
ACTUAL: 10 SPACES	
MOTORCYCLE	
5 SPACES REQ. (151-300) IDO 5-5 D	
REQUIRED: 5 SPACES	
ACTUAL: 8 SPACES	
BICYCLE SPACES	
12TH & MENAUL ORDINANCE:	
1 SPACE PER 20 SPACES	
REQUIRED: 10 SPACES	
ACTUAL: 16 SPACES	

APPROVED IDO REQUIRED PARKING

EXISTING BUILDING	
D - 4,500 SF	
E - 8,000 SF	
F - 8,500 SF	
PROPOSED BUILDING	
G - 8,000 SF	
H - 18,000 SF	
EXISTING + PROPOSED SF:	
47,000 SF (D,E,F,G,H)	
PARKING CALCULATIONS:	
RETAIL: 4 SPACES/1000SF	PHASE 2 (EXISTING)
RESTURANT: 8 SPACES/1000SF	10,000 GSF: 40 SPACES
	11,000 GSF: 80 SPACES
RETAIL: 4 SPACES/1000SF	PHASE 3 (PROPOSED)
RESTURANT: 8 SPACES/1000SF	22,000 GSF: 88 SPACES
	4,000 GSF: 32 SPACES
	TOTAL
	240 SPACES

ORDINANCE 0-16-22:  
(APPROVED PARKING REDUCTION)

0-16-22:	25% PARKING (240 SPACES X 25% REDUCTION)
	REDUCTION - 60 SPACES
REQUIRED:	240 - 60 SPACES = 180 SPACES
ACTUAL:	197 PARKING SPACES (OFF STREET)

SITE TABULATION

TOTAL ACREAGE OF PAD:	5.9 ACRES
EXISTING AREA (NO CONSTRUCTION):	4.5 ACRES
PROPOSED AREA OF WORK:	1.4 ACRES
LANDSCAPING: SEE LANDSCAPE DRAWINGS	

VICINITY MAP



GENERAL NOTES

- 1) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- 2) SEE SHEETS AS-102 THROUGH AS-112 & G002 FOR SITE DETAILS AND BALANCE OF INFORMATION.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS.
- 4) ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE.
- 6) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- 7) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-AS1AS-111.
- 8) CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

KEYED NOTES

- 1 EXISTING EDGE OF CURB.
- 2 EXISTING CONCRETE WALKWAY.
- 3 BIKE RACK LOCATION, SEE B1 / AS-111
- 4 EXISTING TRASH ENCLOSURE, CENTER ON DRIVE AISLE.
- 5 COLORED PATTERNED CONCRETE.
- 6 EXISTING LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
- 7 PROPOSED BUILDING UTILITY LOCATION.
- 8 EXISTING FIRE HYDRANT LOCATION.
- 9 NEW LANDSCAPING.
- 10 CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 11 WOOD TRELLIS SHADE STRUCTURE.SEE DASHED OUTLINE FOR EXTENTS.
- 12 PROPOSED ENTRY ARCH @ 12TH STREET.
- 13 PROPOSED ENTRY ARCH @ GARDEN PLAZA
- 14 5'-8" MINIMUM CAFE SPACE.
- 15 NEW CONCRETE PATIO PAD.
- 16 PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA), COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- 17 EXISTING MOTORCYCLE SPACES 4'X8' MIN. DIMENSION.
- 18 NEW CONCRETE WALKWAY.
- 19 NEW CONCRETE ROOF DRAIN CULVERT. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
- 20 NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- 21 NEW CONCRETE CURB.
- 22 NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- 23 EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- 24 EXISTING BIKE RACK LOCATION.
- 25 EXISTING LANDSCAPING. NO CONSTRUCTION.
- 26 EXISTING TRAFFIC SIGNAL.
- 27 ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL B4/AS-111. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
- 28 6'X8' CONCRETE PAD AT DOOR.
- 29 REMOTE FDC LOCATION.
- 30 FLUSH CURB FOR PEDESTRIAN ACCESS.
- 31 ACCESSIBLE PEDESTRIAN PATHWAY.
- 32 EXISTING ON STREET PARKING.

LEGEND

---	PROJECTED SCOPE OF WORK
[Pattern]	NEW CONCRETE WALKWAY
[Pattern]	NEW LANDSCAPING
[Pattern]	EXISTING WALKWAY
[Pattern]	EXISTING LANDSCAPING
[Pattern]	CONCRETE PATIO SCORED WITH INTEGRATED COLOR
[Pattern]	EXISTING BUILDINGS
[Pattern]	CRUSHER FINES

CONSULTANTS



Architect Engineer



AVANYU NORTH -  
BUILDINGS G & H



2500 12th Street  
Albuquerque, NM

**DRB SUBMITTAL**

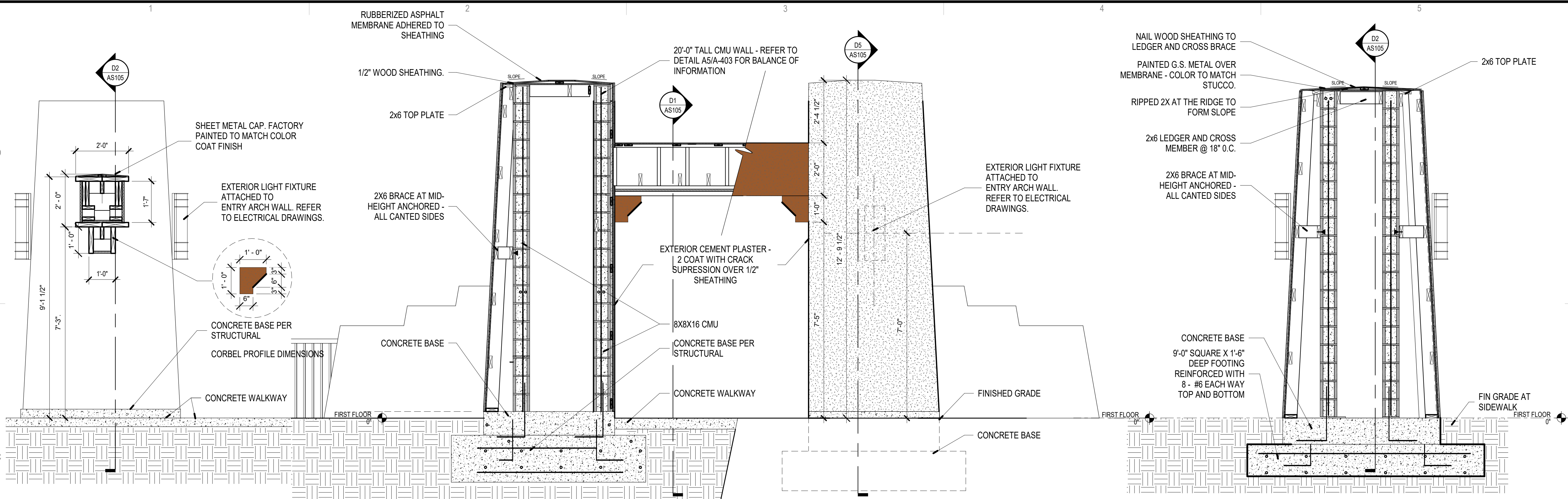
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FILE:	2123_Avanyu Bldg H_central.rvt	
DRAWN BY:	JP	
CHECKED BY:	DSJ	
DATE:	FEBRUARY 13, 2023	

SHEET TITLE

SITE PLAN - OVERALL

6/6/2023 1:13:35 PM

P:\2232 Avanyu G Shell Bldg\10-Drawings\BIM\2232\_Avanyu G Shell Building\_Central(Recovery).rvt



D1 CROSS-SECTION @ BEAM

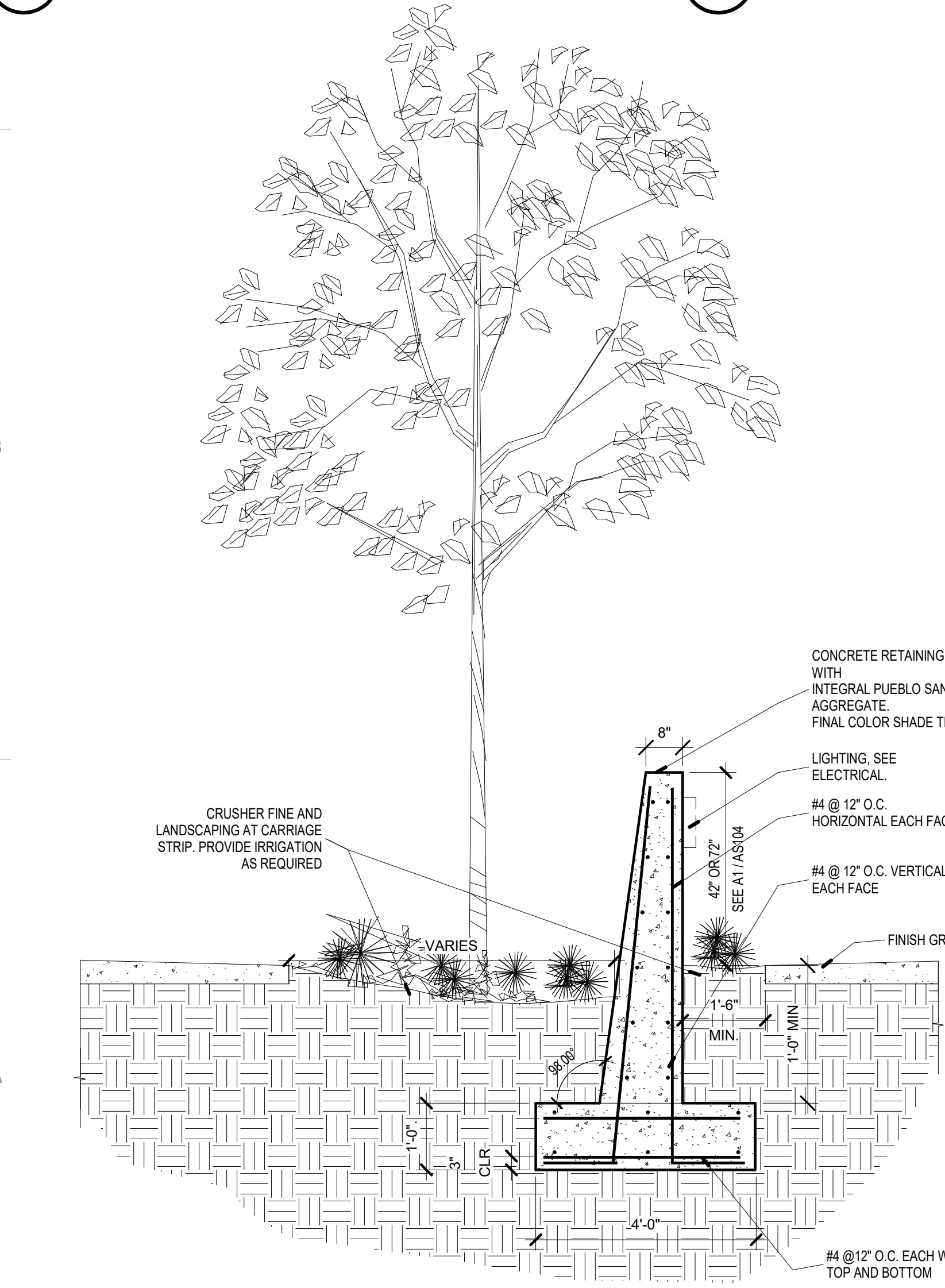
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D2 ENTRY ARCH @ PLAZA - CROSS-SECTION

1/2" = 1'-0"

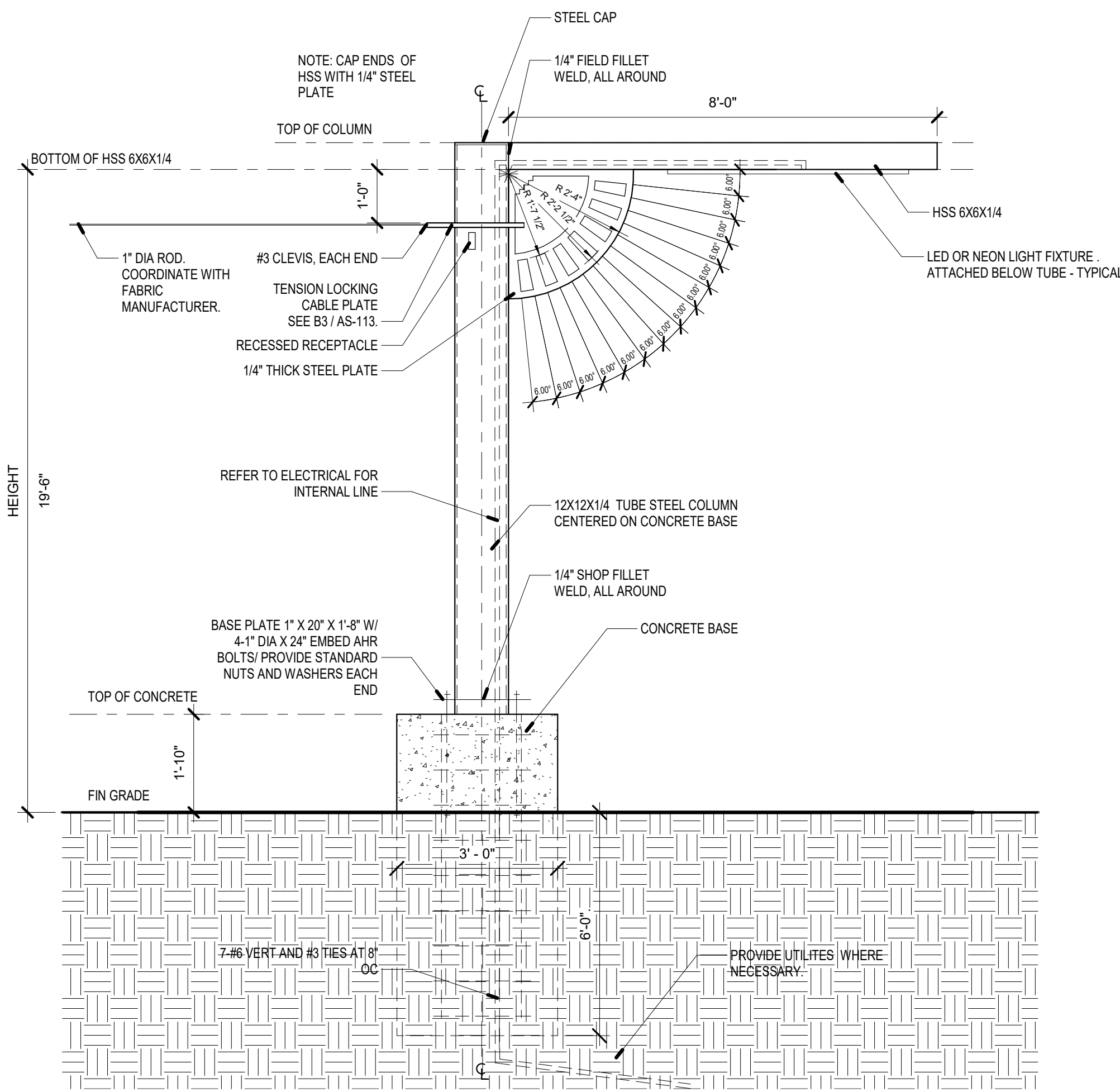
D5 CROSS-SECTION @ PLAZA ENTRY COLUMN

1/2" = 1'-0"



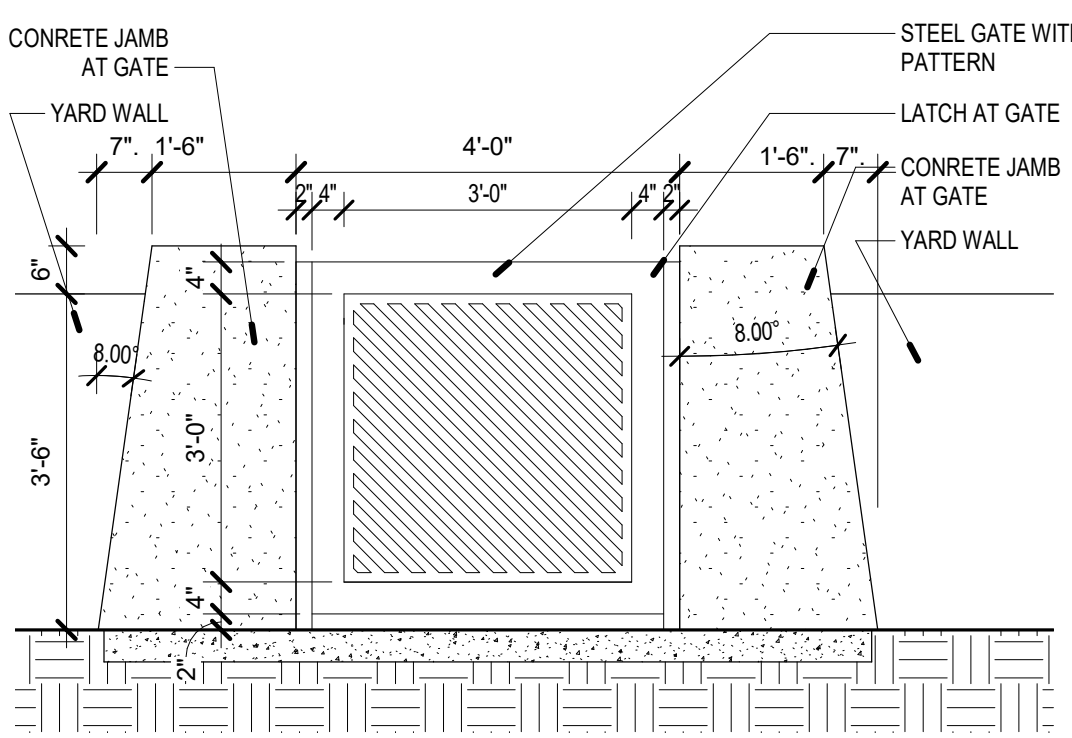
A1 YARD WALL @ PLAZA

1/2" = 1'-0"



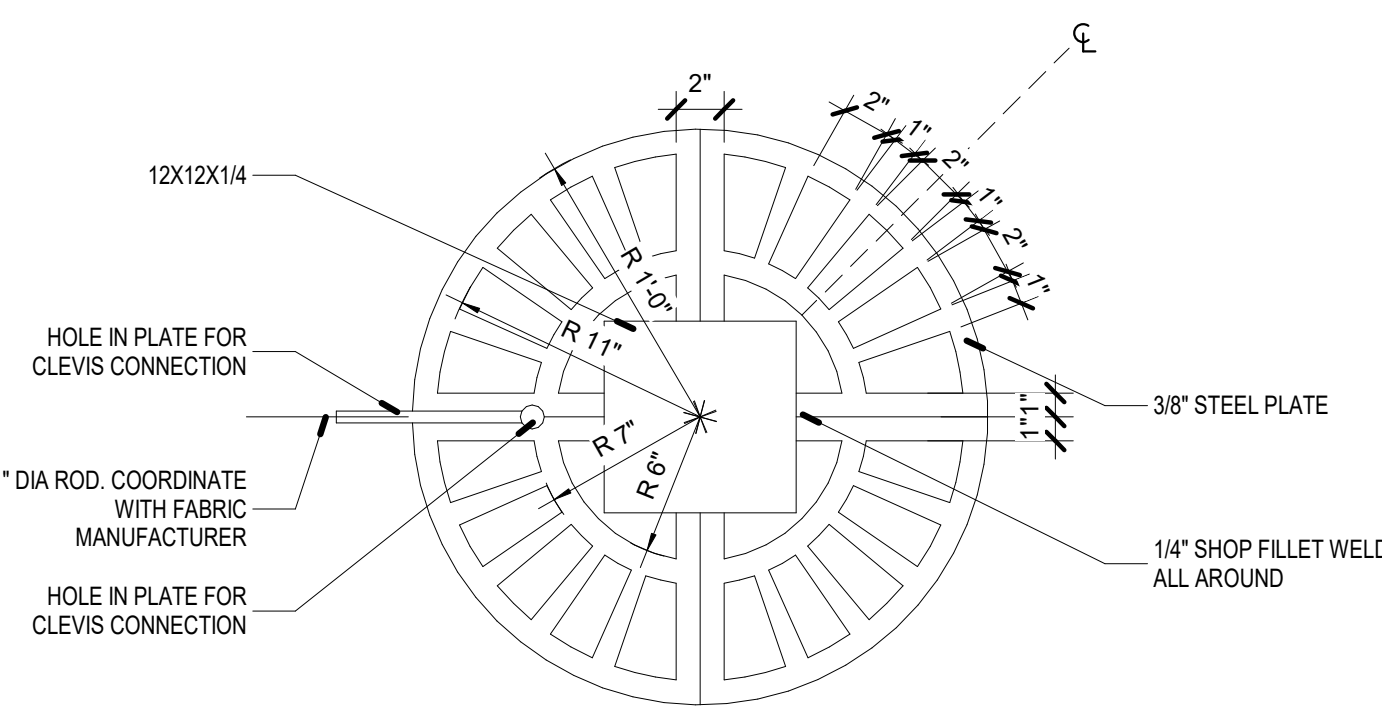
A3 CANOPY & LIGHT POST @ PLAZA

1/2" = 1'-0"



B5 GATE ELEVATION

1/2" = 1'-0"



A5 TENSION CABLE PLATE Copy 1

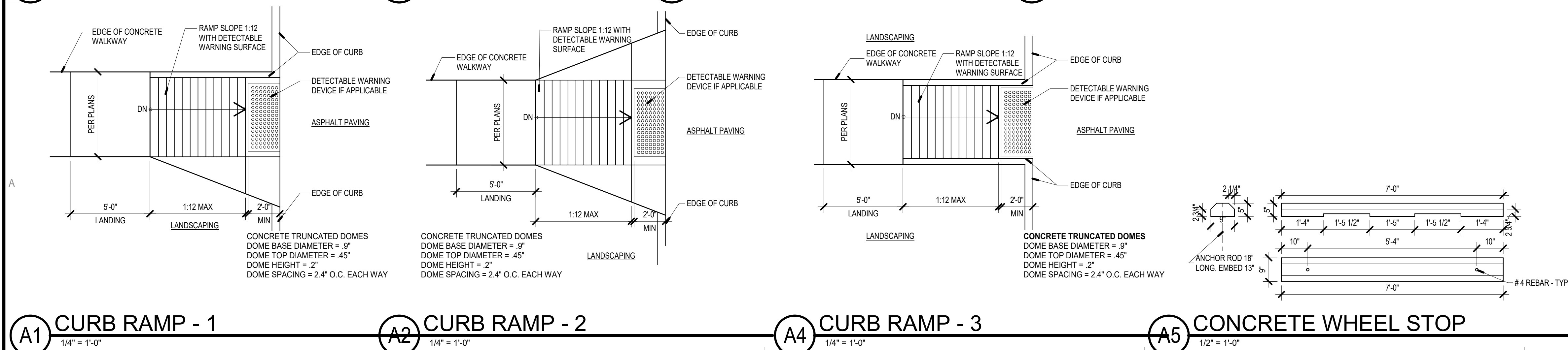
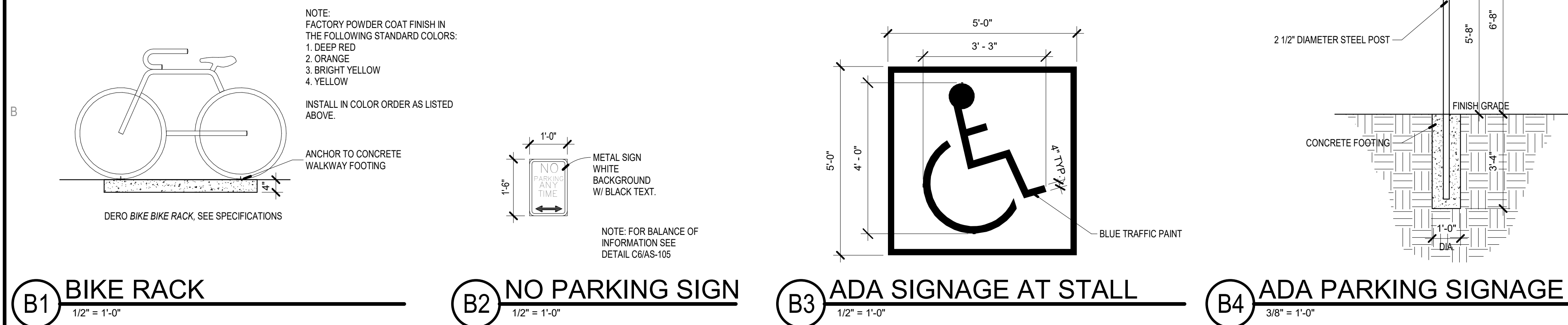
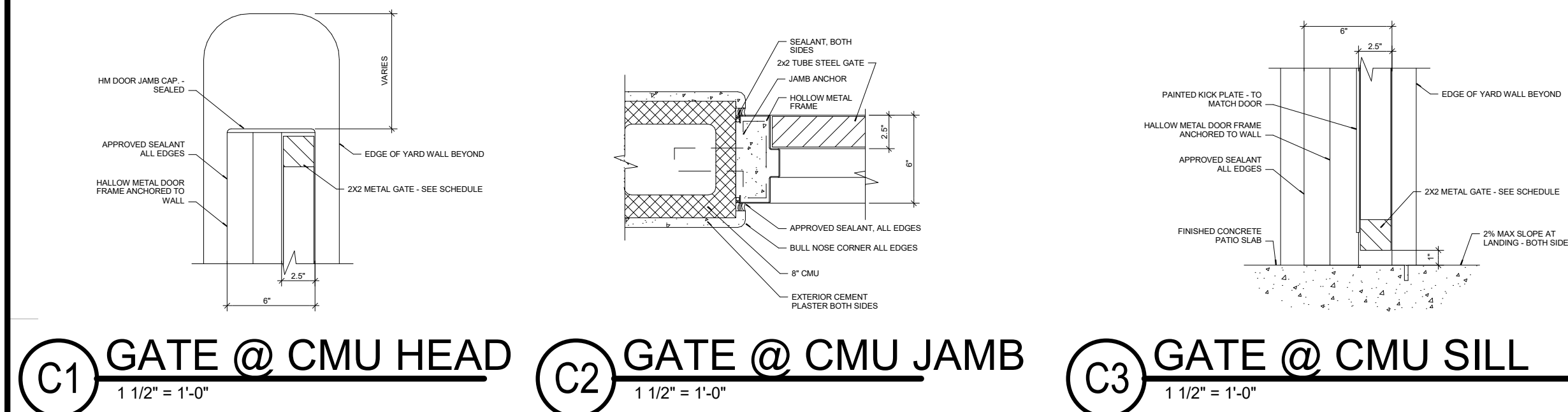
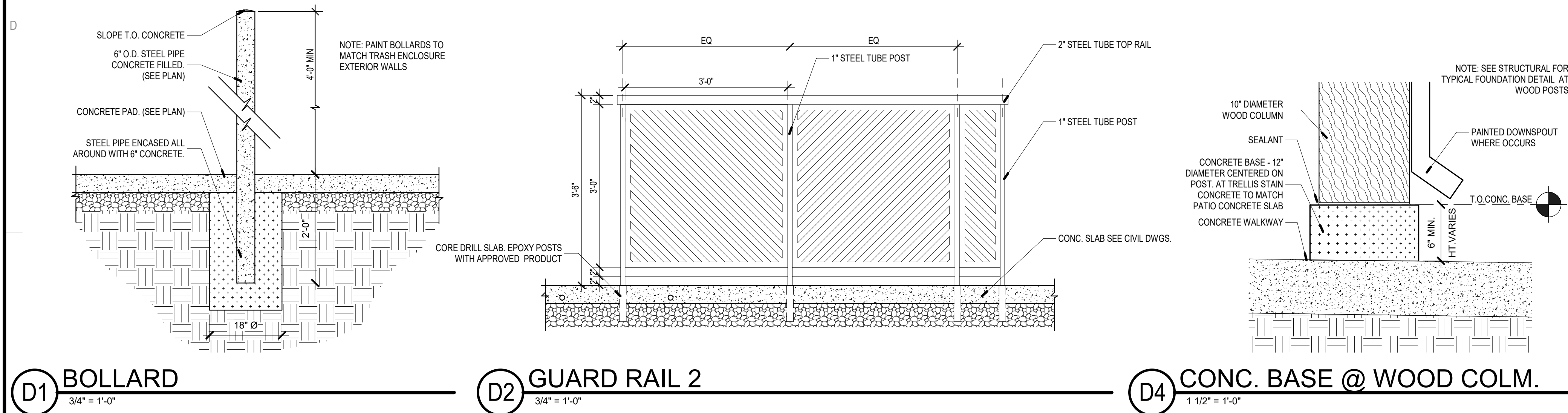
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**DRB SUBMITTAL**

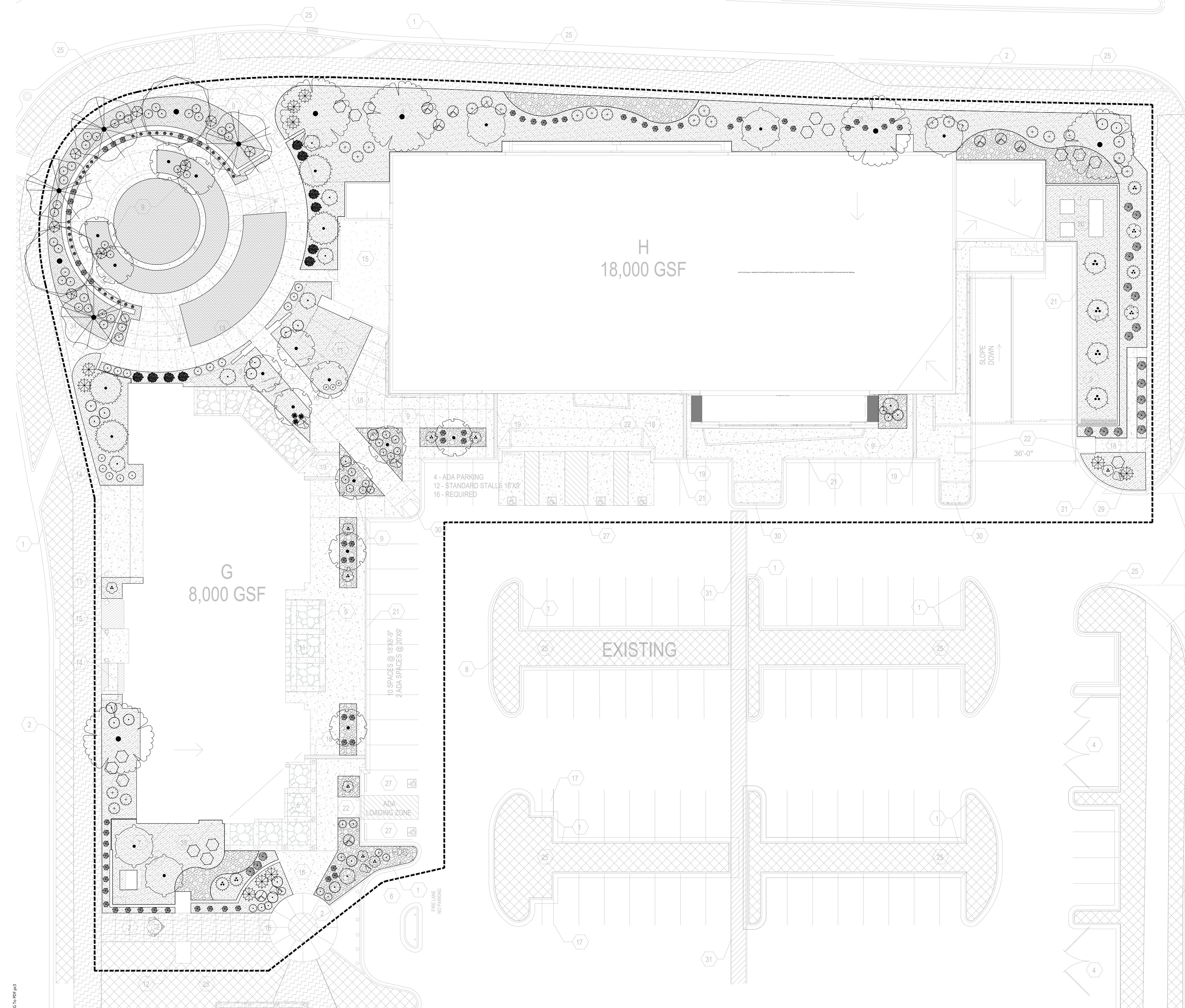
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FILE:	2232_Avanyu G Shell	
DRAWN BY:	Building_Central	
CHECKED BY:	Checker	
DATE:	MAY 08, 2023	

SHEET TITLE  
**SITE DETAILS**

**DRB SUBMITTAL**

No	Date	Description
Revision Schedule		
ISSUE:	100% CONSTRUCTION	
PROJECT NUMBER:	2232	DOCUMENTS
FILE:	2232_Avanyu G Shell	
DRAWN BY:	Building_Central	
CHECKED BY:	Checker	
DATE:	MAY 08, 2023	

Z:\5000\ALC\DESIGN - TRANSFER\1 - ACT\15 000\Avanyu Plaza - Building H\240 Tree\Center\Avanyu Building 2400 12th 27.dwg, 1/27/2023 11:17:41 AM DWG TO PDF.plt



## SITE DATA

GROSS LOT AREA (1.36 ACRES)	74,556 SF
LESS BUILDING(S)	26,000 SF
NET LOT AREA	48,556 SF

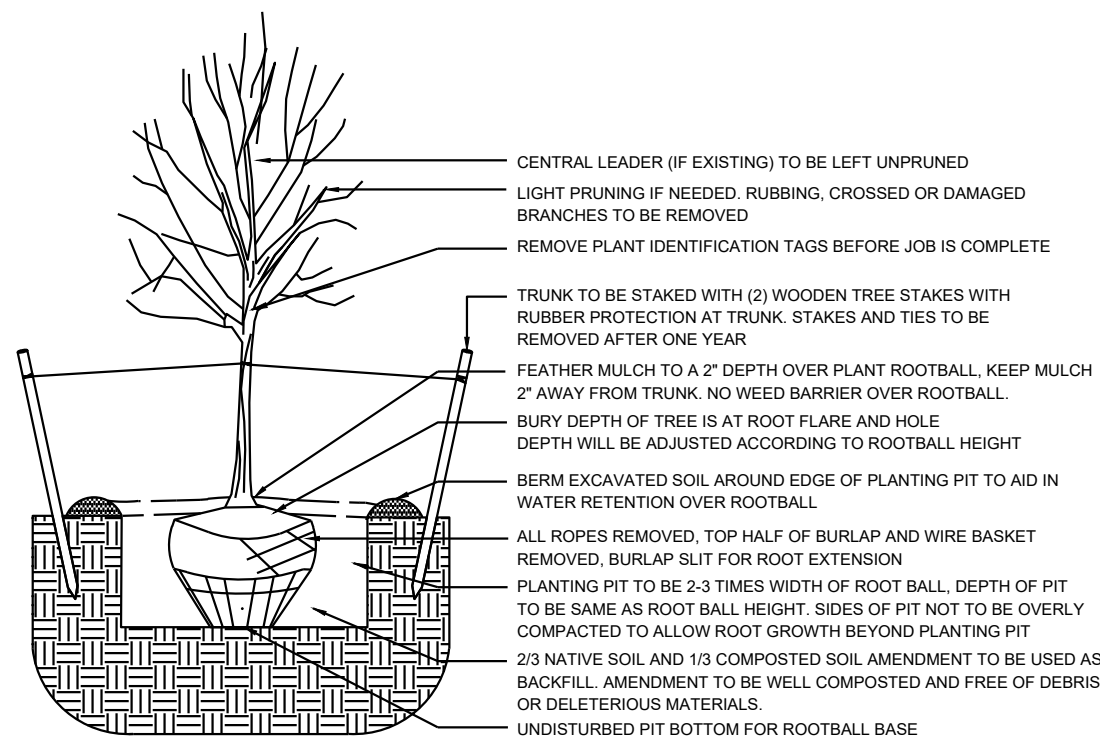
REQUIRED LANDSCAPE 15% OF NET LOT AREA	7,285 SF
PROPOSED LANDSCAPE	15,047 SF
PERCENT OF NET LOT AREA	31 %

REQUIRED PARKING LOT TREES	3
PROVIDED AT 1 PER 10 SPACES (28 SPACES/10)	3

REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL (7,285 SF REQUIRED LANDSCAPE X 75%)	5,464 SF MIN.
PROVIDED LIVE VEGETATION COVERAGE OF REQUIRED LANDSCAPE AREAS	352% 27,869 SF
25% GROUNDCOVER COVERAGE (5,464 SF LIVE COVERAGE X 25%)	1,366 SF MIN.
PROVIDED GROUNDCOVER COVERAGE	4,429 SF

## GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.



1 TREE PLANTING DETAIL

N.T.S.

## PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	2	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2\" B&B	40\" X 30\"	707
	5	CARYA ILLINOINENSIS / PECAN	2\" B&B	40\" X 40\"	1256
	5	CRATAEGUS CRUS-GALLI INERMIS TM / THORNLESS COCKSPUR HAWTHORN	2\" B&B	15\" X 15\"	177
	4	PISTACIA CHINENSIS / CHINESE PISTACHE	2\" B&B	60\" X 60\"	2826
	13	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2\" B&B	25\" X 15\"	177
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	4	PINUS CEMBROIDES EDULIS / PINYON PINE	6\"	30\" X 20\"	314
		SUBTOTAL			23,440 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	2	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	5\" X 5\"	20
	4	FOUQUIERIA SPLENDENS / OCOTILLO	5 GAL	15\" X 10\"	79
	9	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3\" X 4\"	13
	4	YUCCA BACCATA / BANANA YUCCA	5 GAL	4\" X 5\"	20
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	3	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2\" X 2\"	3
	3	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1\" X 2\"	3
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	68	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30\" X 2\"	3
	19	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3\" X 3\"	7
	30	SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS	1 GAL	2\" X 2\"	7
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	8	CAESALPINIA GILLIESII / YELLOW BIRD OF PARADISE	5 GAL	10\" X 10\"	79
	26	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	5 GAL	3\" X 3\"	7
	20	RHUS TRILOBATA 'AUTUMN AMBER' / CREEPING THREE LEAF SUMAC	5 GAL	4\" X 4\"	13
	10	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6\" X 5\"	20
	17	SALVIA GREGGII / AUTUMN SAGE CHERRY	5 GAL	2\" X 3\"	7
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	8	CYTISUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	5 GAL	4\" X 6\"	28
	23	ERICAMERIA NAUSEOSA / CHAMISA	5 GAL	5\" X 5\"	20
	16	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6\" X 7\"	38
	10	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	4\" X 5\"	20
	34	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE	5 GAL	2\" X 4\"	13
	8	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3\" X 4\"	13
		SUBTOTAL			4,219 SF
		TOTAL			27,305 SF

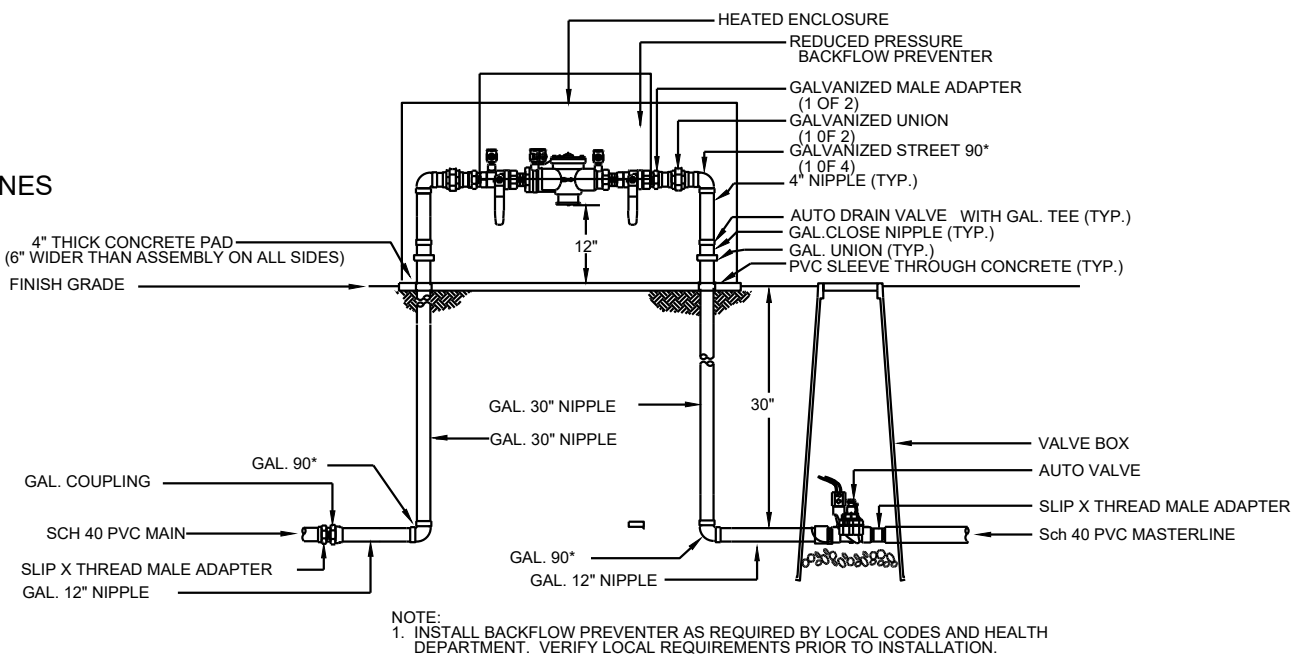
## MATERIAL SCHEDULE

SYMBOL	DESCRIPTION	QTY
	MEDIUM BOULDER	4

SYMBOL	DESCRIPTION
	7/8\" MOUNTAINAIR BLUSH GRAVEL 2-3\" DEPTH OVER FILTER FABRIC

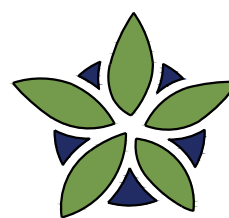
	3/4\" GRAY, CRUSHED GRAVEL 2-3\" DEPTH OVER FILTER FABRIC
--	--

	MOUNTAINAIR BLUSH CRUSHER FINES 2-3\" DEPTH OVER FILTER FABRIC
--	---



2 RP BACKFLOW/MASTER VALVE DETAIL

N.T.S.



**YELLOWSTONE**  
LANDSCAPE

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P O Box 10597  
Albuquerque, NM 87184  
505.898.9615  
design@yellowstonelandscape.com



Date: 01/27/2023

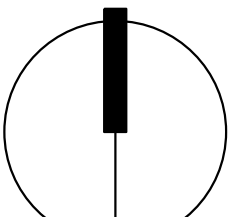
Revisions:

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- ▲
- ▲
- ▲

Drawn by: PL

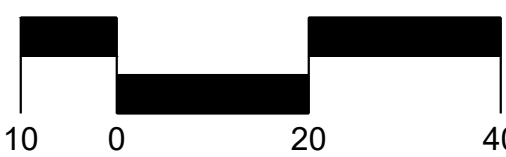
Reviewed by: CM

Avanyu Plaza  
Building G & H  
2400 12th St.  
Albuquerque, New Mexico



NORTH

Scale: 1" = 20'



Sheet Title:

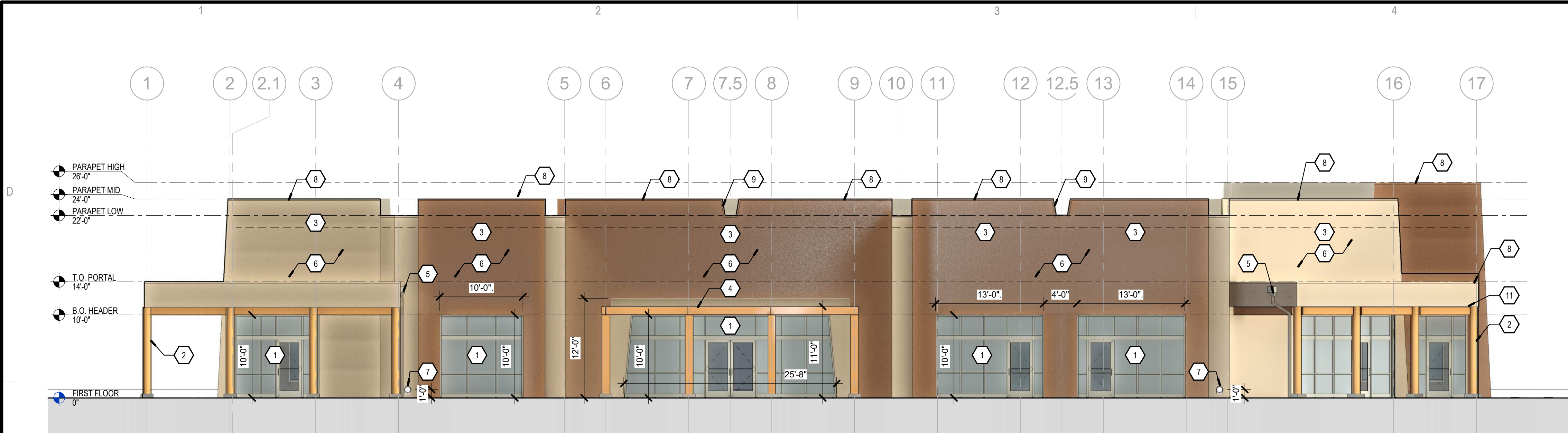
Landscape  
Plan

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LS-01

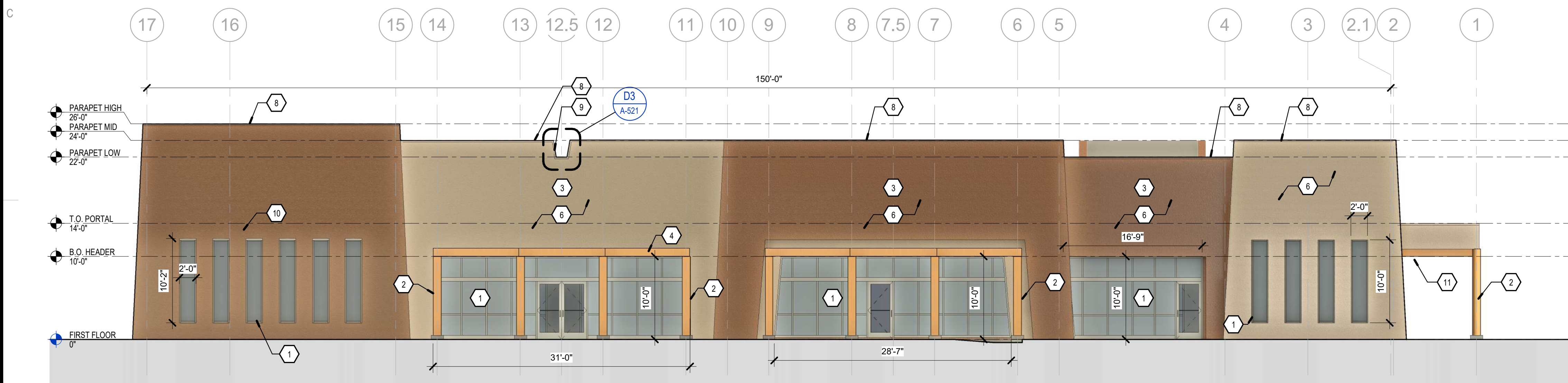
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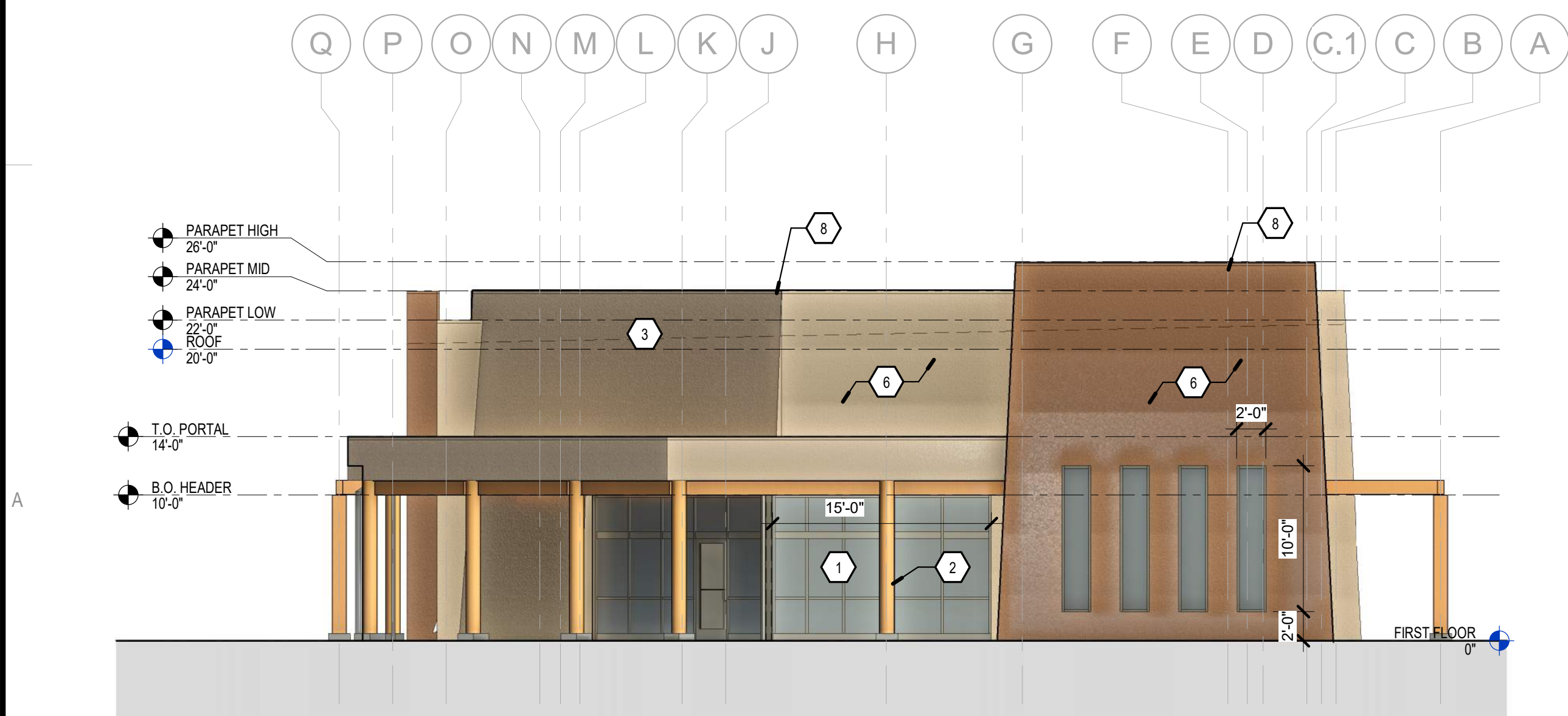
D1 EAST BUILDING ELEVATION

1/8" = 1'-0"



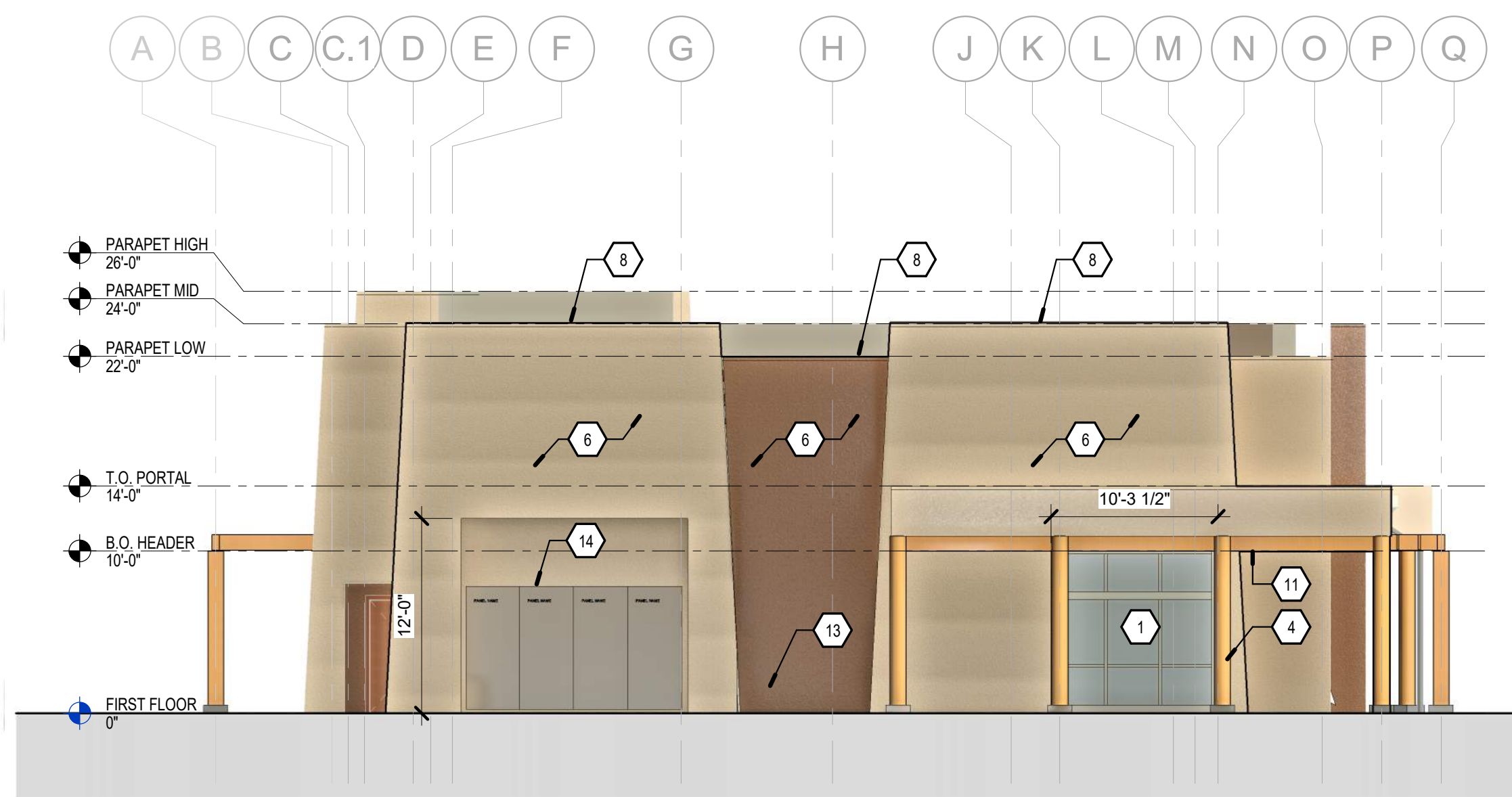
B1 WEST BUILDING ELEVATION

1/8" = 1'-0"



A1 NORTH BUILDING ELEVATION

1/8" = 1'-0"



A3 SOUTH BUILDING ELEVATION

1/8" = 1'-0"

## GENERAL NOTES

- COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- GRADE VARIES. REFER TO CIVIL FOR EXTERIOR FINISH GRADES.
- FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.
- BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5% AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

## KEYED NOTES

- ALUMINUM STOREFRONT - TYPICAL
- WOOD COLUMN
- FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED. PROVIDE ELECTRICAL RECEPTACLE AT EXTERIOR WALL. PAINT TO MATCH EXTERIOR COLOR. REFER TO ELECTRICAL DRAWINGS FOR THE BALANCE OF INFORMATION.
- WOOD TRELLIS SHADE STRUCTURE
- PAINTED LEADER AND DOWNSPOUT - CENTERED ON WOOD COLUMN WHERE INDICATED
- TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)
- BRASS COW TONGUE. INSTALL ABOVE GRATED CULVERT OPENING
- FACTORY PAINTED G.S. METAL PARAPET CAP. SEE ELEVATIONS FOR LOCATIONS
- ORNAMENTAL CUT AT PARAPET - CENTERED ON WALL. REFER TO ELEVATIONS.
- WOOD HEADER. SEE STRUCTURAL.
- WOOD BEAM
- ROOFTOP MECHANICAL UNIT. SEE MECHANICAL.
- GAS METER / UTILITY METER - SEE MECHANICAL AND PLUMBING DRAWINGS
- ELECTRICAL EQUIPMENT, SEE ELECTRICAL

## LEGEND

	EXTERIOR INSULATING AND FINISH SYSTEM		EXTERIOR INSULATING AND FINISH SYSTEM
	EXTERIOR INSULATING AND FINISH SYSTEM		EXTERIOR INSULATING AND FINISH SYSTEM

## MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED.  
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

## 12TH STREET GLAZING

TOTAL FACADE AREA FACING WEST: 2100 SF  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 840 SF TOTAL  
PROPOSED AREA OF GLAZING FACING 12TH STREET: 952 SF

## CONSULTANTS



Architect

Engineer



## Avanyu North - Building G

2500 12th St NW  
ALBUQUERQUE, NM



No	Date	Description
Revision Schedule		
ISSUE:	100% CONSTRUCTION	
PROJECT NUMBER:	2232	DOCUMENTS
FILE:	2232_Avanyu G Shell	
DRAWN BY:	Building_Central	
CHECKED BY:	Checker	
DATE:	MAY 08, 2023	

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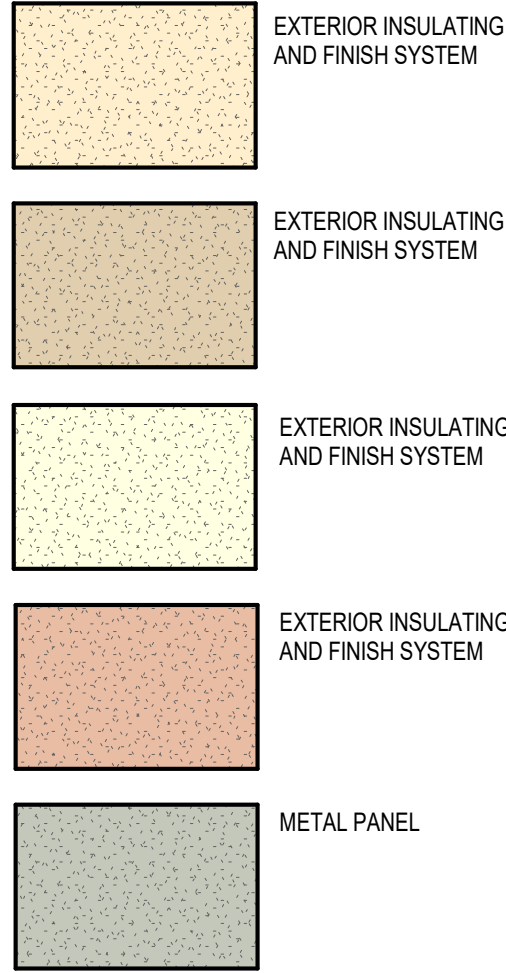
ELEVATIONS

**A201 G**

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## LEGEND



## MATERIALS AND COLORS

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## GENERAL NOTES

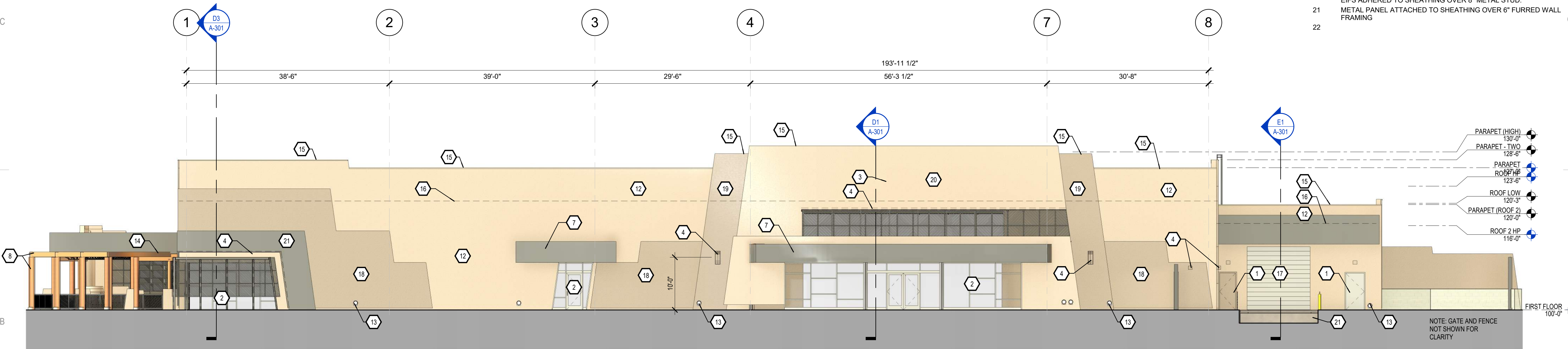
- A. COORDINATE WITH MECHANICAL, ELECTRICAL, & PLUMBING.  
B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES.  
C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.  
D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X5' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.  
E. ALL EXPOSED PIPES ON THE EXTERIOR OF THE BUILDING TO BE PAINTED TO MATCH ASSOCIATED WALL STUCCO COLOR.

## MENAU GLAZING

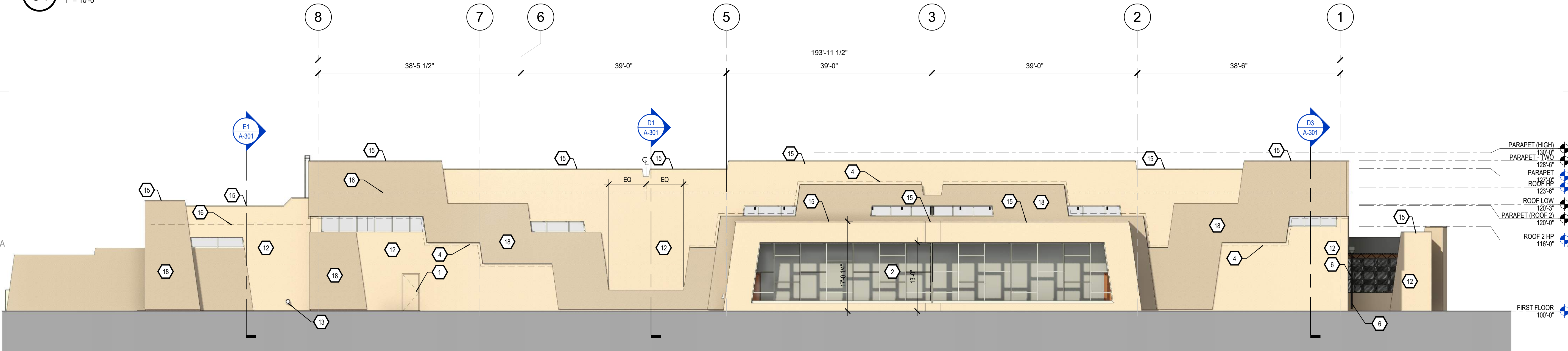
TOTAL FACADE AREA FACING NORTH: 2880 SF (15'X192')  
40% MIN. OF AREA REQUIRED TO BE GLAZED: 1150 SF TOTAL  
TOTAL GLAZED AREA: 1777 SF

## KEYED NOTES

- 1 POWDER COATED HOLLOW METAL DOOR AND FRAME PER DOOR SCHEDULE.  
2 STOREFRONT GLAZING SYSTEM.  
3 FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED. PROVIDE ELECTRICAL RECEPTACLE AT EXTERIOR WALL. PAINT TO MATCH EXTERIOR COLOR. REFER TO ELECTRICAL DRAWINGS FOR THE BALANCE OF INFORMATION.  
4 LIGHT FIXTURE, SEE ELECTRICAL  
5 YARD WALL.  
6 PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL A2/A-521.  
7 PORTAL  
8 TRELLIS SHADE STRUCTURE.  
9 STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.  
10 WOOD COLUMN.  
11 METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE  
12 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)  
13 BRASS COW TONGUE AT WALL FOR OVERFLOW DRAIN  
14 WOOD BEAM.  
15 FACTORY PAINTED METAL COPING TO MATCH WALL COLOR.  
16 ROOF SLOPE BEYOND.  
17 GARAGE DOOR PER SCHEDULE.  
18 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 4" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
19 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
20 FINISH COAT OVER BASE COAT WITH INTEGRATED MESH OVER 2" EIFS ADHERED TO SHEATHING OVER 8" METAL STUD.  
21 METAL PANEL ATTACHED TO SHEATHING OVER 6" FURRED WALL FRAMING  
22



C1 SOUTH BUILDING ELEVATION Copy 1  
1" = 10'-0"



A1 NORTH BUILDING ELEVATION  
1" = 10'-0"



2101 Mountain Road NW Suite B | Albuquerque NM 87104  
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## CONSULTANTS



Architect

Engineer



## AVANYU NORTH - BUILDING H

2500 12th Street  
Albuquerque, NM



DRB SUBMITTAL

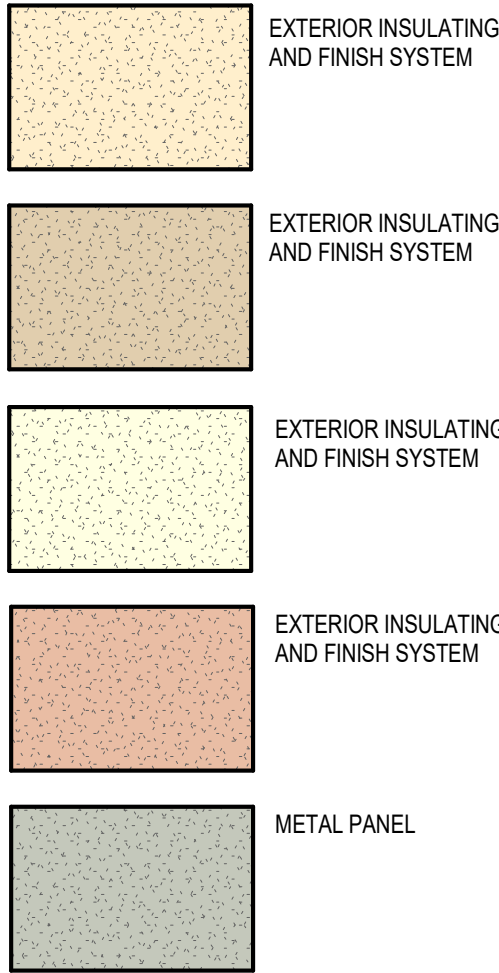
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Revision Schedule		
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PROJECT NUMBER:	2123_Avanyu Bldg H_central.rvt	
FILE:	2123_Avanyu Bldg H_central.rvt	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	APRIL 07, 2023	

## SHEET TITLE

EXTERIOR ELEVATIONS

A205 H

LEGEND



GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.  
B. GRADE VARIES. REFER TO CIVIL FOR EXTERIOR FINISH GRADES.  
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KEYED NOTES

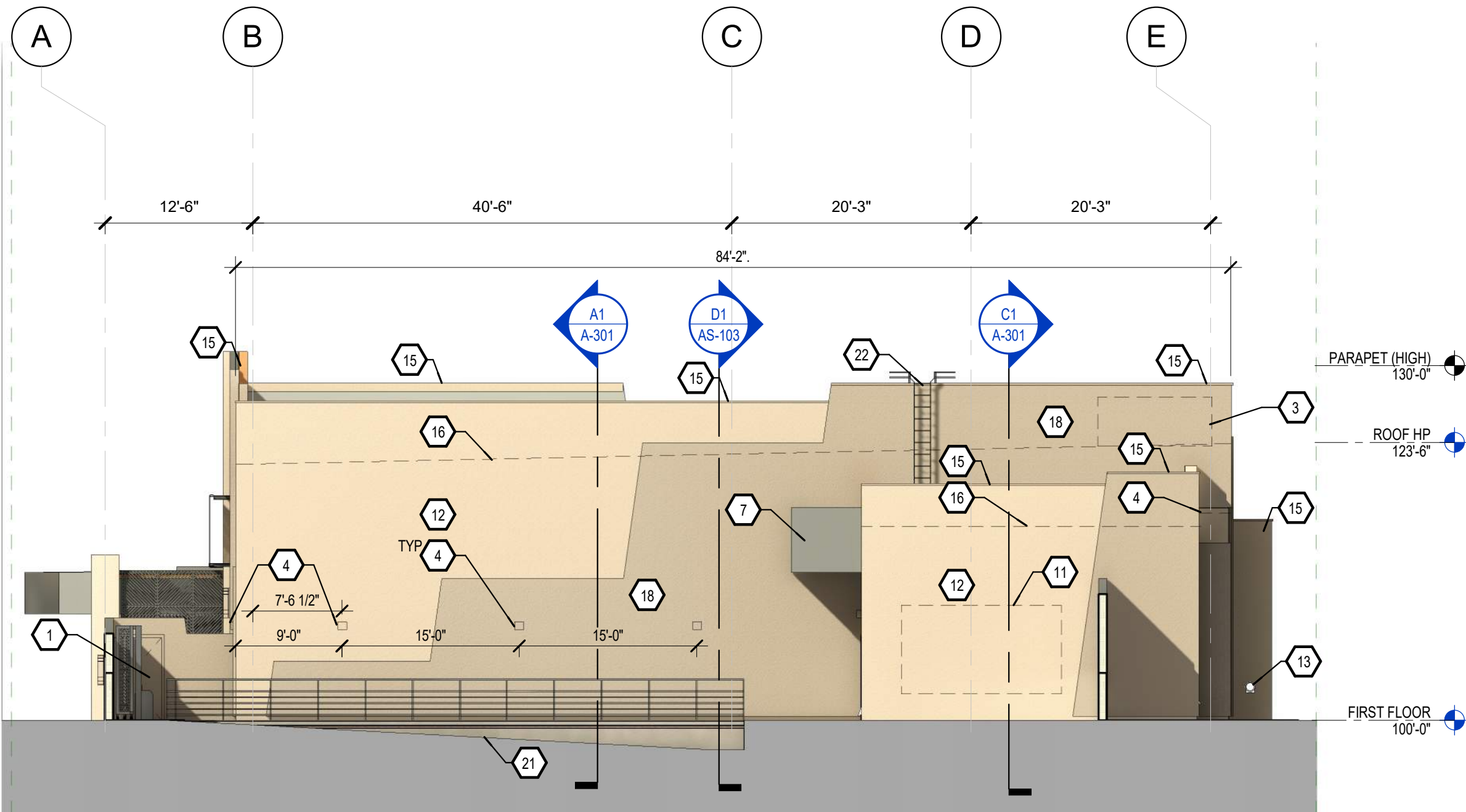
1. POWDER COATED HOLLOW METAL DOOR AND FRAME PER DOOR SCHEDULE.  
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4. LIGHT FIXTURE, SEE ELECTRICAL  
5. YARD WALL.  
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21. METAL PANEL ATTACHED TO SHEATHING OVER 6" FURRED WALL FRAMING  
22.

MENAU GLAZING

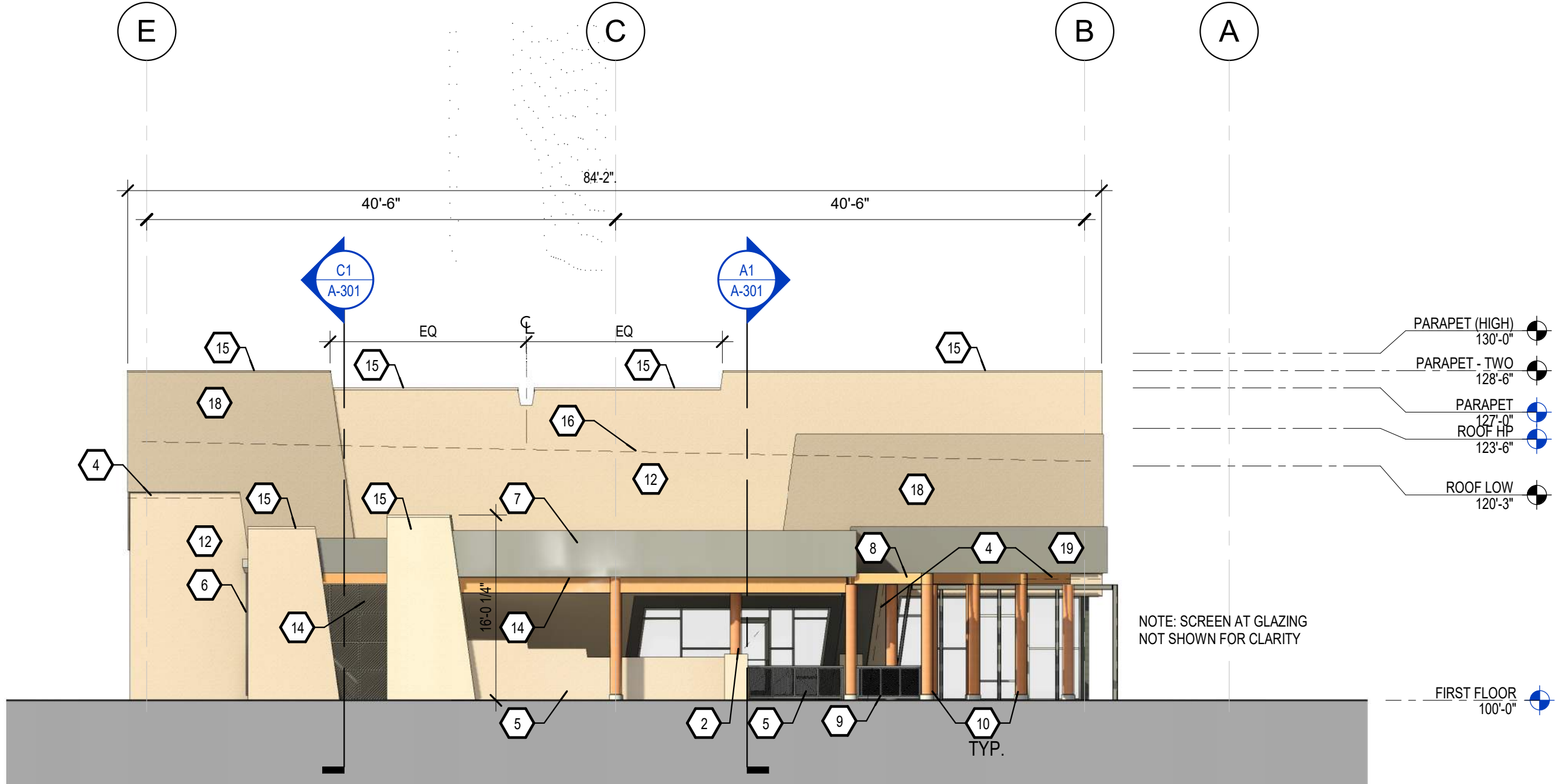
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MATERIALS AND COLORS

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A3 EAST BUILDING ELEVATION  
1" = 10'-0"



A1 WEST BUILDING ELEVATION  
1" = 10'-0"

CONSULTANTS



Architect

Engineer



AVANYU NORTH -  
BUILDING H

2500 12th Street  
Albuquerque, NM



No	Date	Description
Revision Schedule		
ISSUE:	100% CONSTRUCTION DOCUMENTS	
PROJECT NUMBER:	2123_Avanyu Bldg H_central.rvt	
FILE:	2123_Avanyu Bldg H_central.rvt	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	APRIL 07, 2023	

SHEET TITLE

EXTERIOR ELEVATIONS

A206 H