

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ **INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- ☒ Letter of authorization from the property owner if application is submitted by an agent
☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ **ARCHEOLOGICAL CERTIFICATE**

- ___ Archaeological Compliance Documentation Form with property information section completed
___ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ **MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
☒ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
☒ Copy of the Official Notice of Decision associated with the prior approval
☒ Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
☒ Copy of the Official Notice of Decision associated with the prior approval
☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ **ALTERNATIVE SIGNAGE PLAN**

- ___ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
___ Required notices with content per IDO Section 14-16-6-4(K)(6)
___ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
___ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Regina Okoye

Date: 1/4/23

Printed Name: Regina Okoye

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

-

-

-

Staff Signature:

Date:





Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	☐ Historic Certificate of Appropriateness – Major (Form L)	☐ Wireless Telecommunications Facility Waiver (Form W2)
☐ Archaeological Certificate (Form P3)	☐ Historic Design Standards and Guidelines (Form L)	Policy Decisions
☐ Historic Certificate of Appropriateness – Minor (Form L)	☐ Master Development Plan (Form P1)	☐ Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
☐ Alternative Signage Plan (Form P3)	☐ Site Plan – EPC including any Variances – EPC (Form P1)	☐ Adoption or Amendment of Historic Designation (Form L)
☐ WTF Approval (Form W1)	☐ Site Plan – DRB (Form P2)	☐ Amendment of IDO Text (Form Z)
☒ Minor Amendment to Site Plan (Form P3)	☐ Subdivision of Land – Minor (Form S2)	☐ Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	☐ Subdivision of Land – Major (Form S1)	☐ Amendment to Zoning Map – EPC (Form Z)
☐ Conditional Use Approval (Form ZHE)	☐ Vacation of Easement or Right-of-way (Form V)	☐ Amendment to Zoning Map – Council (Form Z)
☐ Demolition Outside of HPO (Form L)	☐ Variance – DRB (Form V)	Appeals
☐ Expansion of Nonconforming Use or Structure (Form ZHE)	☐ Variance – ZHE (Form ZHE)	☐ Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: WINROCK PADS LLC C/O SLK GLOBAL SOLUTIONS AMERICA		Phone: 505-238-9381
Address: 2727 LBJ FWY SUITE 806		Email:
City: Dallas	State: TX	Zip: 75234-7334
Professional/Agent (if any): MODULUS ARCHITECTS & LAND USE PLANNING, INC.		Phone: (505) 338-1499
Address: 100 Sun Ave NE. Suite 600 Albuquerque, NM 87109		Email: rokoye@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Agent	List all owners: WINROCK PADS LLC C/O SLK GLOBAL SOLUTIONS AMERICA	

BRIEF DESCRIPTION OF REQUEST

Amend approved Site Plan to reconfigure lay out to add an office use.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A	Block:	Unit:
Subdivision/Addition: WINROCK CENTER ADDN	MRGCD Map No.:	UPC Code: 101905801743620418
Zone Atlas Page(s): J-19-Z	Existing Zoning: MX-H	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.4709

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2100 Louisiana Blvd. NE	Between: Louisiana Blvd	and: Uptown loop
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2018-001579, SI-2021-00304, SD-2021-00305, SI-2019-00164, SI-2019-00355, SI-2019-00354, SI-2018-00152

Signature: Regina Okoye	Date: 1/4/22
Printed Name: Regina Okoye	☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

1-4-23

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

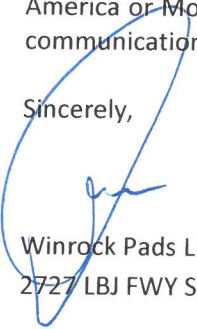
Re: Agent Authorization Notice – 2100 Louisiana Blvd. NE (Winrock Town Center)

To Whom It May Concern,

Winrock Pads LLC C/O SLK Global Solutions America, hereby authorizes Modulus Architects & Land Use Planning, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for all matters regarding the property located at 2100 Louisiana Blvd. NE (Winrock Town Center). Legally described as: TR A FINAL PLAT PARCEL Z AND TRACTS A, D, E, F, F-1, G & HWINROCK CENTER ADDITION CONT 1.4709 AC.

This authorization is valid until further written notice from Winrock Pads LLC C/O SLK Global Solutions America or Modulus Architects & Land Use Planning, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for an Administrative Amendment.

Sincerely,



Winrock Pads LLC C/O SLK Global Solutions America
2727 LBJ FWY SUITE 806 DALLAS TX 75234-7334



James Aranda
City of Albuquerque
Plaza Del Sol, 600 Second NW
Albuquerque, New Mexico 87102

January 4, 2023

**RE: Project – Winrock Town Center (Fidelity)
2100 Louisiana Blvd. NE – Albuquerque, NM 87110 - TR A FINAL PLAT PARCEL Z AND TRACTS A,
D, E, F, F-1, G & H WINROCK CENTER ADDITION CONT 1.4709 AC**

Dear Mr. Aranda,

Modulus Architects, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Winrock Pad LLC hereafter referred to as “Applicant”. We, “Agent” are requesting approval to amend the approved overall Site Plan. The parcel (the “subject site”) is 1.5 acres in size, zoned MX-H is located at the southwest corner of Louisiana Blvd and Americas Pkwy. This portion of Winrock Town Center is legally described as TR A FINAL PLAT PARCEL Z AND TRACTS A, D, E, F, F-1, G & H WINROCK CENTER ADDITION CONT 1.4709 AC. The site is currently developed as a vacant Macaroni Grill.

Winrock Town Center is planned as an integrated mixed-use project in which innovative planning techniques encourage a diverse mix of land uses with appropriate densities located within an Urban Center. The site is also within the Louisiana and Americas Pkwy Major Transit Corridor. It promotes multi-modal transportation and live-work play opportunities. The office use project furthers the vision of the urban character envisioned for the Uptown Area.

The Winrock Town Center project consist of an 83-acre mixed use development with future planning endeavors for retail, office, restaurants, IMAX theater complex and public parks. This is a redevelopment of an infill site identified be the City of Albuquerque as having the highest priority for receiving City services, incentives and financial partnerships.

We will also me be amending the most updated overall Site Plan that was approved through the Development Review Board (Project number: PR-208-001579, Application Number: SD-2021-00305) in 2022. The approved overall Site Plan shows the location of the existing Macaroni Grill. We are now proposing to use the same lot and building footprint to develop Fidelity, which is an office building.

The proposed new office use has the same square footage as the approved restaurant use. The only difference is the location of the trash enclosure located south of the building. We will also be adding a new ramp to the north for ADA accessibility and for pedestrian connectivity to the public road.

Lastly, we will be updating the side walks around the building. This minor amendment request falls within the thresholds established in IDO Table 6-4-5.

Our submittal includes the overall controlling Site Plan, the amended overall Site Plan, Demo Plan, Site Plan, Site Details, Elevations, Landscaping Plan, and a Landscape Removal Plan. All changes meet the IDO and DPM regulations. The minor changes are listed below. Changes to the overall Site Development Plan package are identified in the AA drawings via bubbled areas.

Overall Site Plan:

1. The new configuration has been updated to accommodate the minor changes.

Demo Plan:

1. Identifies the areas that will be demoed and areas that will remain.
2. Note: Existing parking and driveways to remain as is.

Proposed Site Plan:

1. The trash enclosure has been relocated.
2. New perimeter sidewalks will be replaced in the existing areas.
3. An ADA ramp and stripping has been added for pedestrian connectivity to the north of the building.
4. Parking Calculation – We have not created a deficiency in the parking requirements and that is demonstrated on the Site Plan (Parking Computation).
5. Note: Existing parking and driveways to remain.

Site Detail Plans:

1. The side details have been updated to show all site details.

Elevation Plan:

1. The changes to the elevation reflect the new office use.
2. The proposed signage and signage calculations are shown on the plans.
3. The color and material are identified on the plan.
4. Façade Requirements 14-16-5-11(E) –

According to the IDO each street facing façade within 30 ft of a property line (the measurement shall be made to the closest perpendicular plane of a primary building façade) has to follow 14-16-5-11(E). All the street facing facade exceed 30ft from the property line as a result 14-16-5-11(E) is not applicable.

Landscape Removal Plan/Landscape Plan:

1. The removal plan shows what drying trees will be removed and which ones will remain.
2. The landscaping plan shows the new proposed landscaping areas and proposed vegetation.



Grading Plan:

1. N/A - The changes are below the threshold for a grading plan.

Utility Plan

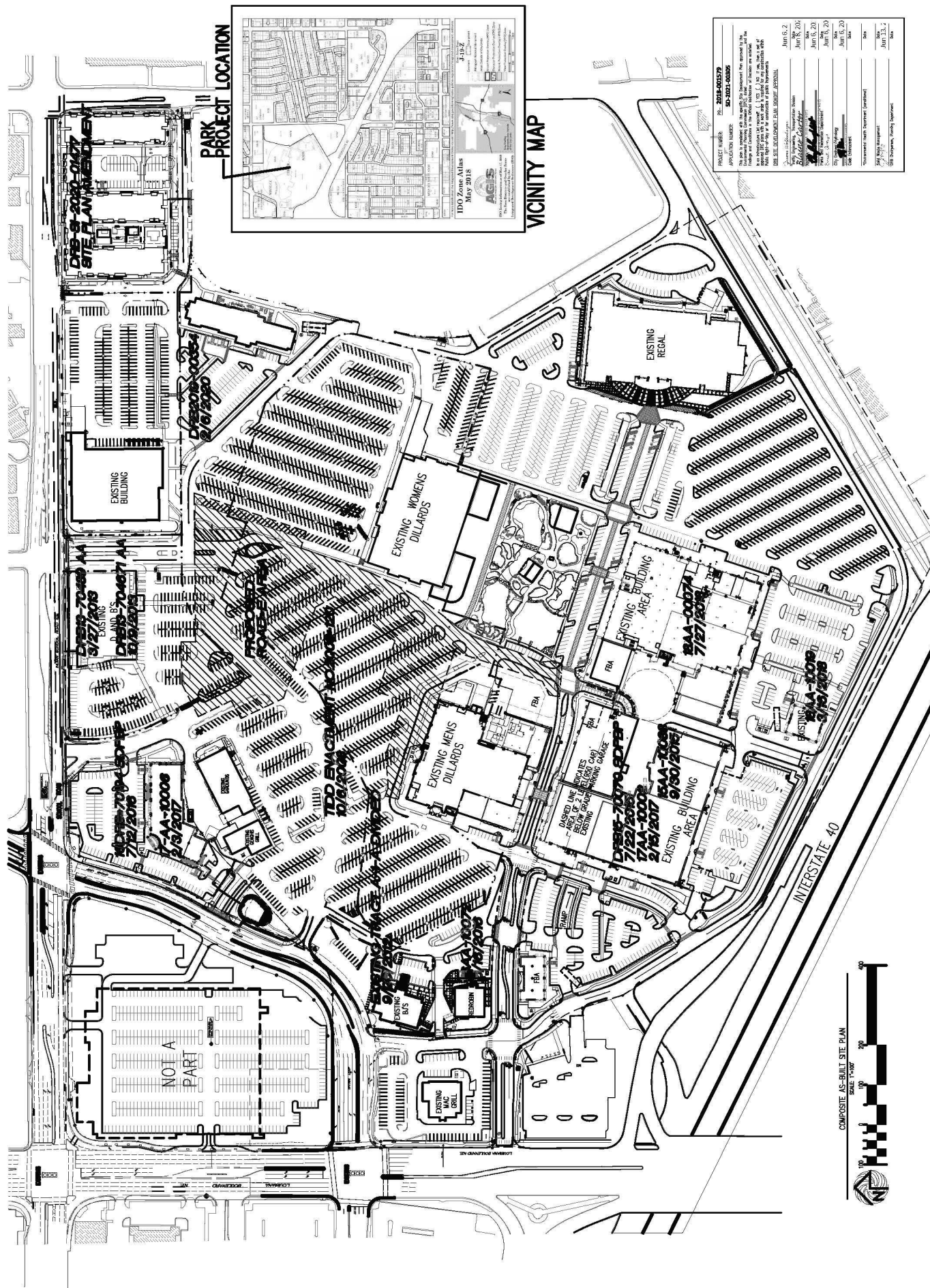
1. N/A - The existing Utility Plan has not changed as all the same utilities and locations will reflect existing conditions.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: rokoye@modulusarchitects.com

Best Regards,

REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER
MODULUS ARCHITECTS & LAND USE PLANNING, INC.

100 Sun Avenue NE, Suite 600
Albuquerque, NM 87109
Office 505.338.1499 (Ext. 1003)
Mobile + Text 505.267.7686



PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Winrock Partners LLC
100 Sun Avenue NE, Suite 100
Albuquerque, NM 87109

Project# PR-2018-001579
Application#
SI-2021-00304 SITE PLAN
SD-2021-00305 SITE PLAN AMENDMENT

LEGAL DESCRIPTION:

For all or a portion of: **PARCEL Z FINAL PLAT
PARCEL Z AND TRACTS A, D, E, F-1, G &
H, zoned MX-H, located at 2100 LOUISIANA
BLVD NW between INDIAN SCHOOL and I-
40 containing approximately 28.8654 acre(s).
(J-19)**

On January 19, 2022, the Development Review Board (DRB) held a public meeting concerning the above referenced applications and approved the requests, with delegation to Transportation and Planning on the Site Plan and to Planning on the Site Plan Amendment, based on the following Findings:

SI-2021-00304 SITE PLAN

1. This is a request to construct a park, including water features, internal building pad sites, a kids play area, and paths and bridges. The site plan is required to be reviewed by the Development Review Board (DRB) because per 6-5(G)(1)(e) of the IDO the site is over 5 acres in size.
 1. Pursuant to 6-6(I)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:

- a. 6-6(l)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The proposed development meets/exceeds the IDO requirements.

- b. 6-6(l)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A traffic impact study (TIS) was not required for this project.

- c. 6-6(l)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The subject property is located within an approved Master Development Plan, and meets the relevant standards in the Master Development Plan.

Conditions:

1. This Site Plan is valid 7 years from DRB approval (1/19/2022). An extension may be requested prior to the expiration date.
2. Final sign off is delegated to Transportation for the addition of bold notes on the Site Plan indicating what must be completed as part of the work order, and for the inclusion of the missing civil detail sheet with the added sidewalk details.
3. Final sign off is delegated to Planning for the Solid Waste signature, the project and application numbers to be added to the Site Plan, and for the recorded IIA.
4. The applicant will obtain final sign off from Transportation and Planning by April 13, 2022 or the case may be scheduled for the next DRB hearing and could be denied her the DRB Rules of Procedure.

SI-2021-00305 SITE PLAN AMENDMENT

1. The original project consists of 1,212,564 square feet of mixed-use development on 83 acres, including retail, entertainment, office, and hospitality facilities. This is a request to construct a park, including water features, internal building pad sites, a kids play area, and paths and bridges on 28.8654 acres of the 83-acre site.

2. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

Conditions:

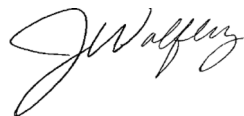
1. Final sign off is delegated to Planning for the project and application numbers to be added to the Site Plan Amendment.
2. The applicant will obtain final sign off from Planning by April 13, 2022 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **FEBRUARY 3, 2022**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

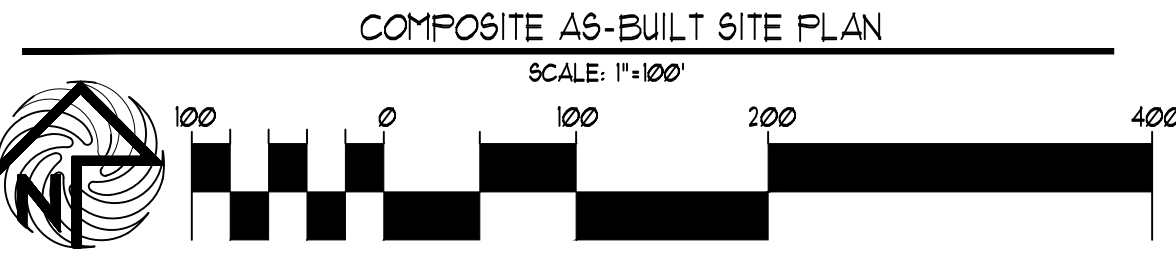
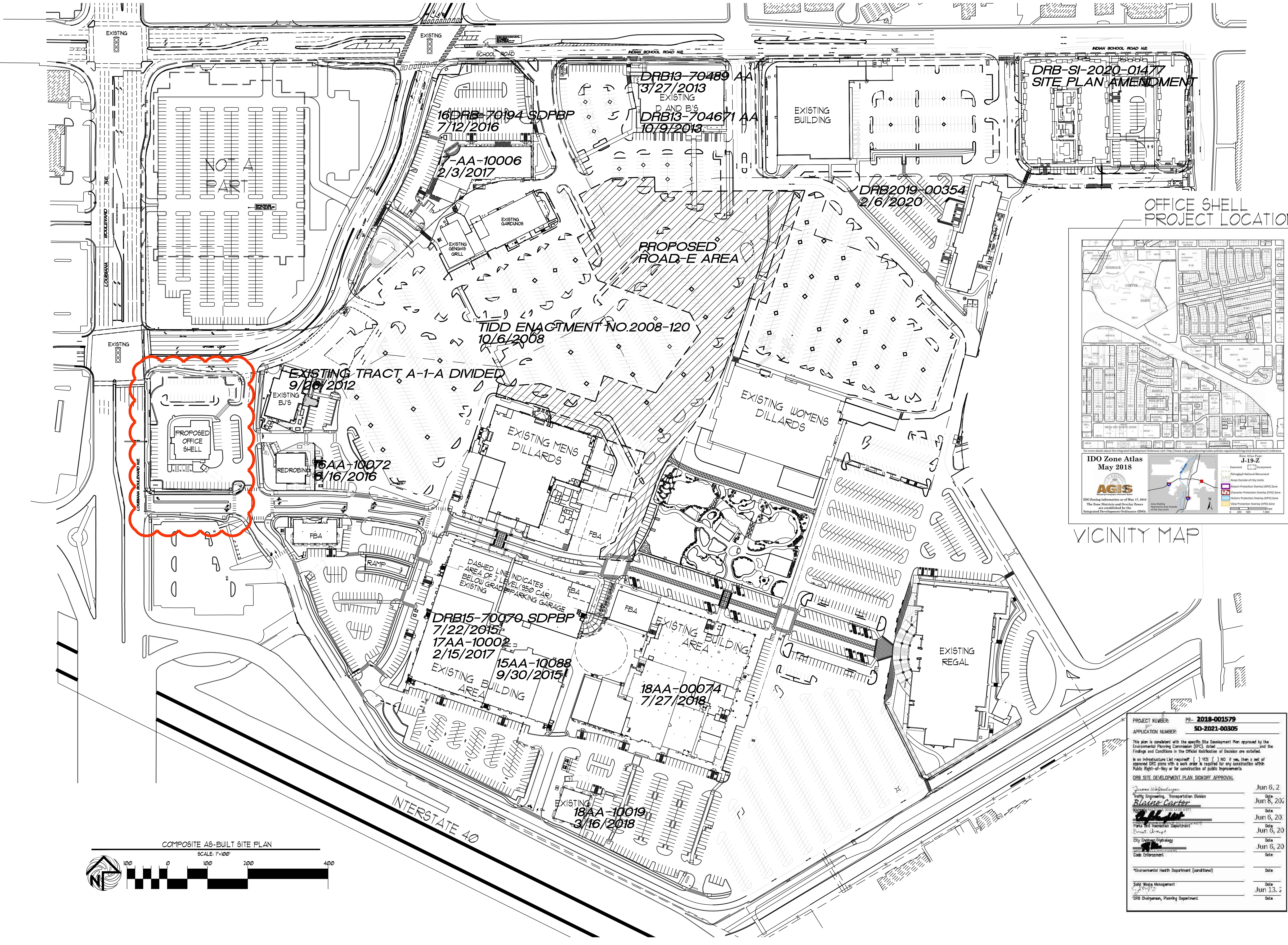
Sincerely,



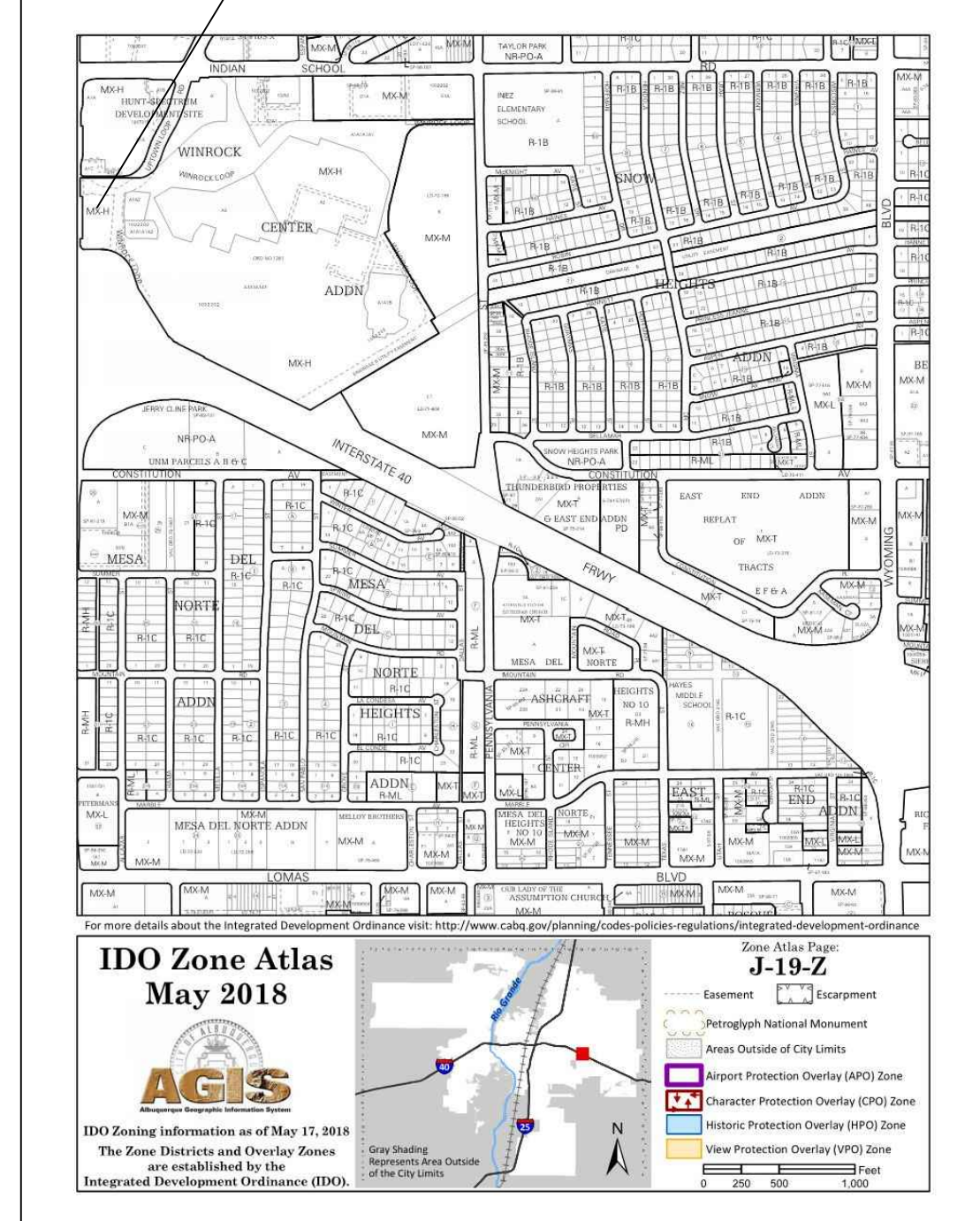
Jolene Wolfley
DRB Chair

JW/jr

Consensus Planning, Inc., 302 8th Street NW, Albuquerque, NM 87102



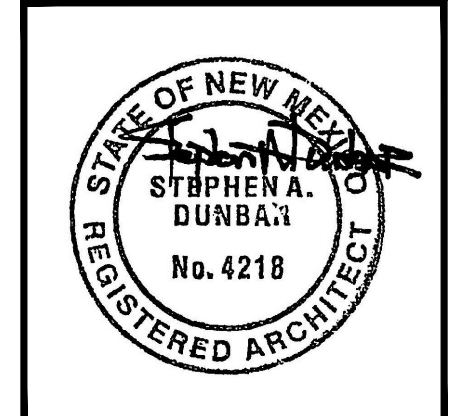
OFFICE SHELL
PROJECT LOCATION



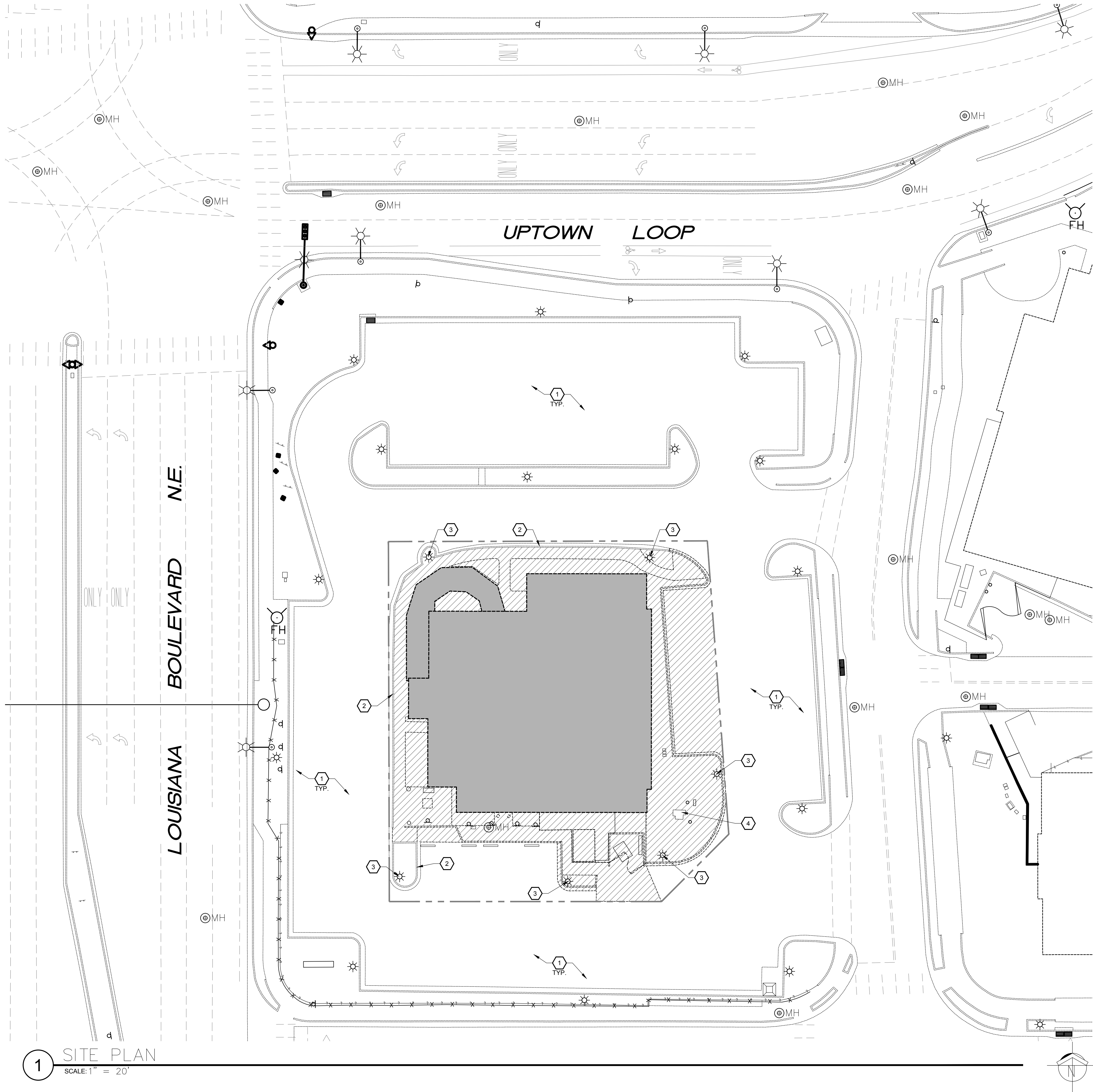
PROJECT NUMBER:	PR- 2018-001579
APPLICATION NUMBER:	SD-2021-00305
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () YES () NO If yes, when a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
James W. Henderson Traffic Engineering, Transportation Division	Jun 6, 2
Blaine Carter Public Works (Roads & Streets)	Jun 8, 20
Paula M. Hernandez Public Works (Roads & Streets)	Jun 6, 20
Scott J. Lopez Public Works (Roads & Streets)	Jun 6, 20
City Engineer/Hydrology	Jun 6, 20
Code Enforcement	Jun 6, 20
*Environmental Health Department (conditional)	
Solid Waste Management	Jun 13, 2
DRB Chairperson, Planning Department	Jun 13, 2

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

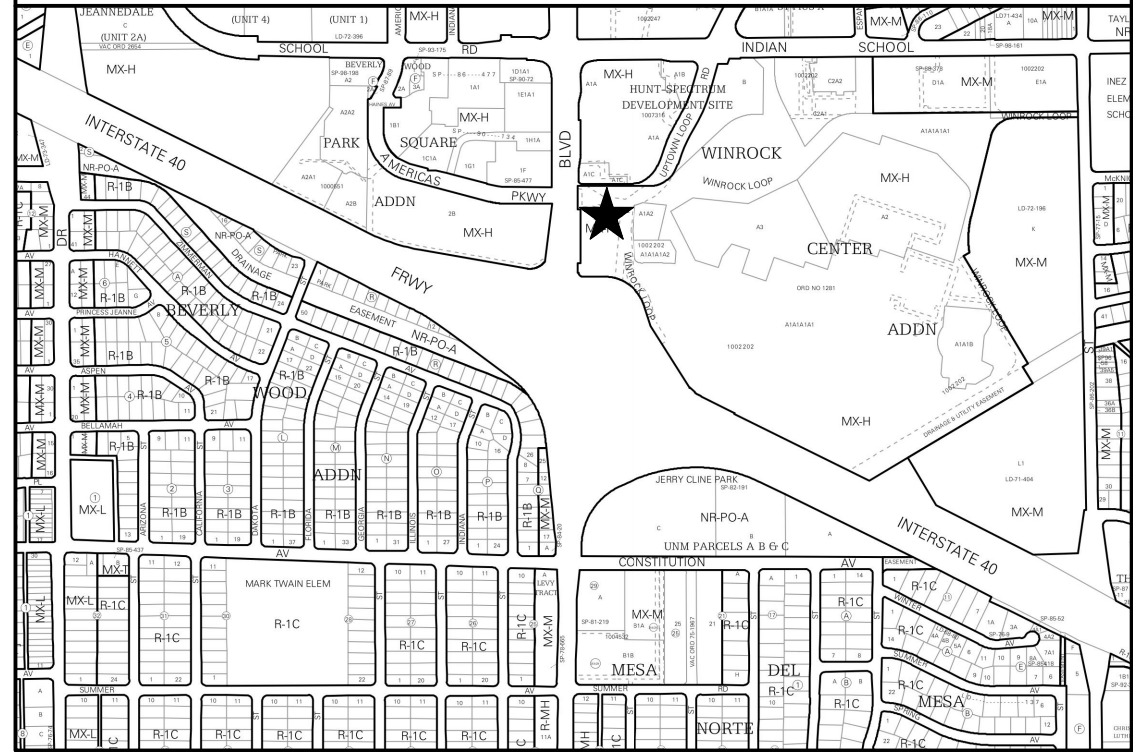


PROJECT TITLE	WINROCK TOWN CENTER 2000 LOUISIANA BLVD NE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	WIN-PARK
DRAWN BY:	S
SHEET TITLE	COMPOSITE AS-BUILT SITE PLAN
DATE:	01/03/2023
SCALE:	RE: SCALE
Sheet:	SP-1



1 SITE PLAN
SCALE: 1" = 20'

VICINITY MAP:



SITE DATA:

PROJECT ADDRESS: 2100 LOUISIANA BLVD. NE

LEGAL DESCRIPTION: LOT A, WINROCK CENTER ADDN

PROPERTY SIZE: 1.47 ACRES

CURRENT ZONING: MX-H

PROPOSED USE: COMMERCIAL OFFICE

BUILDING SIZE: 8,187 SF

GENERAL NOTES:

- CONTRACTOR TO VERIFY LOCATIONS OF ALL ON-SITE UTILITIES AND PROTECT AS NECESSARY.
- CONTRACTOR IS TO PERFORM ALL DEMOLITION, REMOVAL AND DISPOSAL TO PREPARE THE SITE FOR NEW CONSTRUCTION.
- EXISTING UTILITY SERVICE LINES TO BE REMOVED AND CAPPED/TERMINATED BEYOND THE LIMITS OF CONSTRUCTION. SEE CIVIL, PLUMBING AND ELECTRICAL PLANS FOR MORE INFORMATION ON THE REMOVAL AND REINSTALLATION OF SERVICE UTILITIES.

KEYED NOTES:

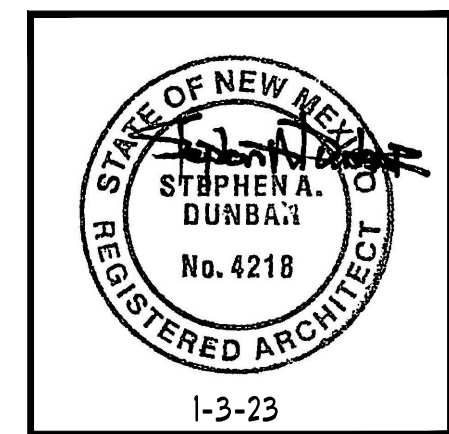
- EXISTING PARKING & SITE FEATURES TO REMAIN AS IS.
- EXISTING CONCRETE CURB & GUTTER TO REMAIN AS IS.
- EXISTING LIGHT POLE AND BASE TO REMAIN. CONTRACTOR TO REMOVE & STORE LIGHT AND POLE AS NEEDED FOR CONSTRUCTION. PROTECT CONCRETE BASE AND REINSTALL LIGHT AND POLE PRIOR TO COMPLETION OF NEW CONSTRUCTION.
- EXISTING ELECTRICAL TRANSFORMER TO REMAIN. CONTRACTOR TO PROTECT FOR THE DURATION OF CONSTRUCTION.

GRAPHIC LEGEND:

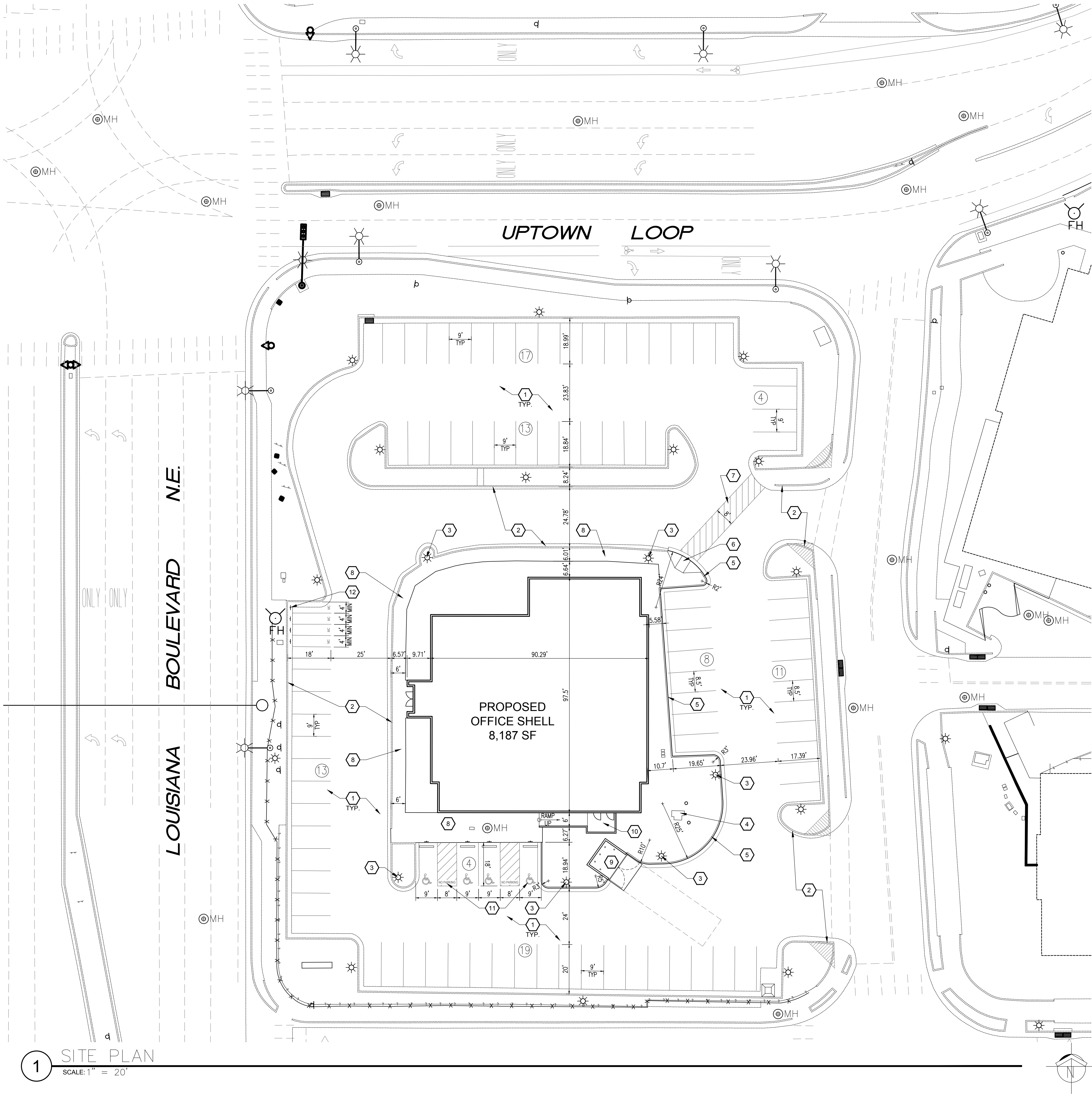
- LIMITS OF DEMOLITION & NEW CONSTRUCTION
- - - - - EXISTING CONC CURB/PAVING TO BE DEMOLISHED
- ===== EXISTING CMU WALL TO BE DEMOLISHED
- [Hatched Box] EXISTING 1-STORY BUILDING TO BE DEMOLISHED
- [Hatched Box] DEMOLISH AND REMOVE ALL EXISTING IMPROVEMENTS WITHIN HATCHED AREA UNLESS NOTED OTHERWISE

REV	DATE	BY	REVISION
1	01/03/2023	ADC	ISSUED FOR PERMIT
2	01/03/2023	ADC	REVISED PER CITY COMMENTS
3	01/03/2023	ADC	REVISED PER CITY COMMENTS
4	01/03/2023	ADC	REVISED PER CITY COMMENTS
5	01/03/2023	ADC	REVISED PER CITY COMMENTS

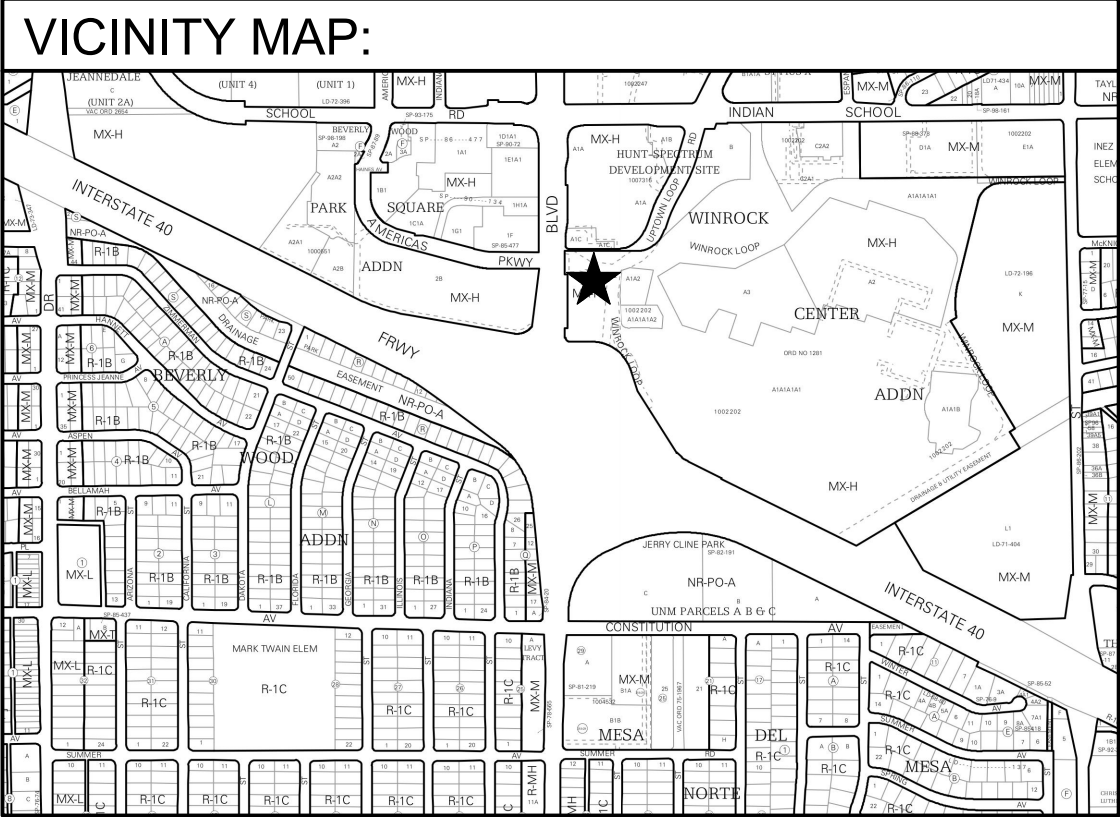
MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE FIDELITY INVESTMENTS OFFICE BLDG. 2100 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87109	DATE 01/03/2023	SHEET AD101
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --	DRAWN BY CDC
SHEET TITLE SITE DEMOLITION PLAN		



1 SITE PLAN
SCALE: 1" = 20'



SITE DATA:	
PROJECT ADDRESS:	2100 LOUISIANA BLVD. NE
LEGAL DESCRIPTION:	LOT A, WINROCK CENTER ADDN
PROPERTY SIZE:	1.47 ACRES
CURRENT ZONING:	MX-H
PROPOSED USE:	COMMERCIAL OFFICE
BUILDING SIZE:	8,187 SF

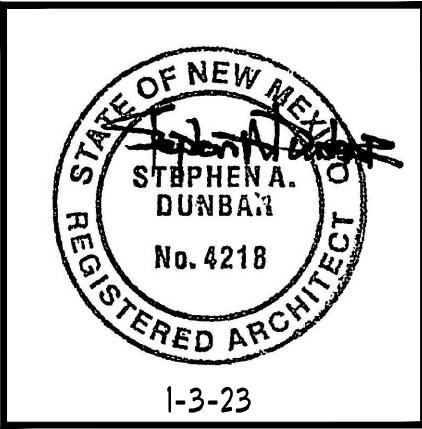
PARKING DATA:			
BUILDING DATA			
TOTAL BUILDING AREA: 8,187 SF			
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
OFF-STREET PARKING SPACES (OFFICE)	2.5 PER 1,000 SF	20	85
ACCESSIBLE PARKING SPACES	1-25 SPACES	1	4
MOTORCYCLE PARKING	1-25 SPACES	1	4
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	3	3

- GENERAL NOTES:**
- ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH ALL CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS FOR CONSTRUCTION.
 - LANDSCAPING, FENCING & SIGNAGE SHALL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

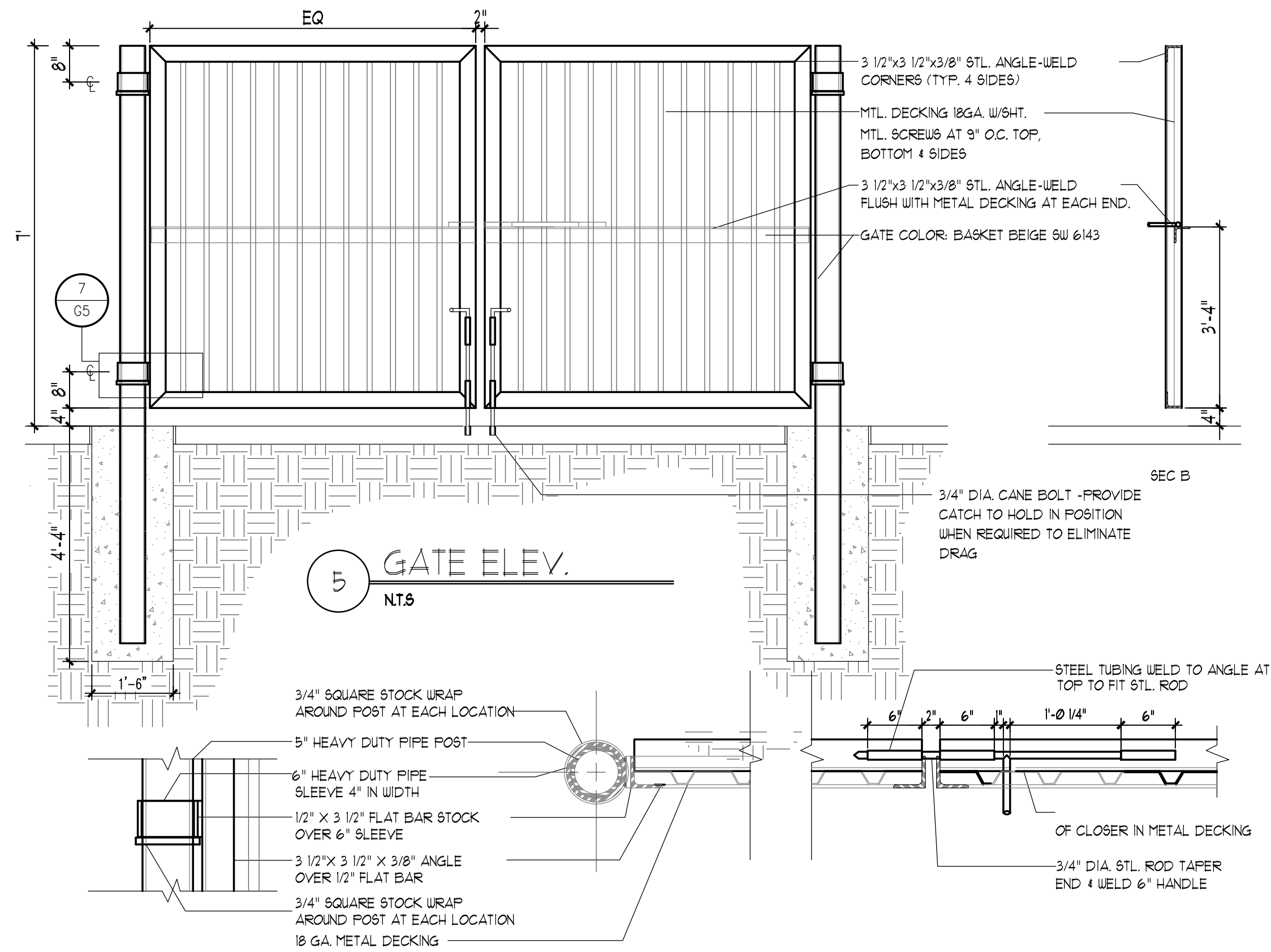
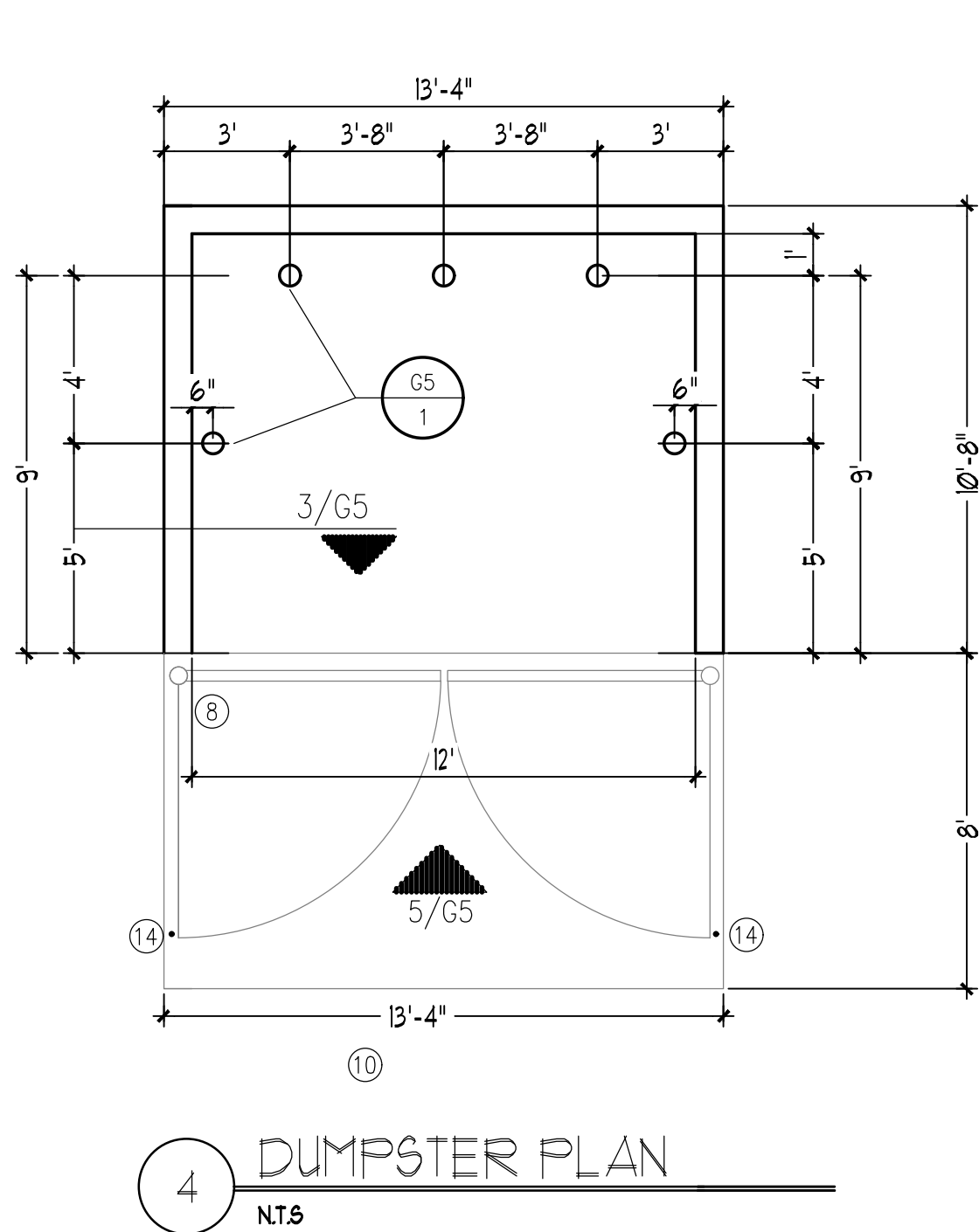
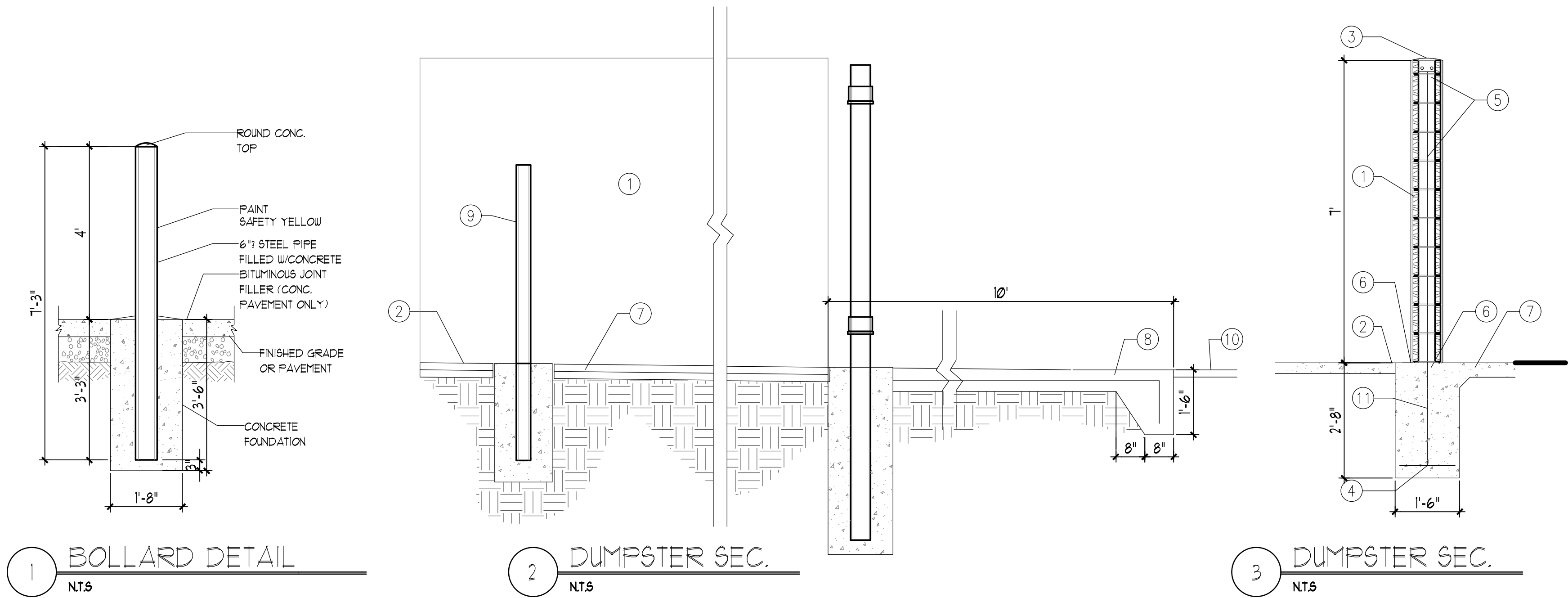
- KEYED NOTES:**
- EXISTING ASPHALT PARKING AND DRIVE AISLES TO RECEIVE 1.5" HOT MIX ASPHALT OVERLAY PAVING AND NEW PARKING LOT STRIPING.
 - EXISTING CONCRETE CURB & GUTTER REMAIN.
 - EXISTING LIGHT POLE AND BASE TO REMAIN.
 - EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
 - NEW CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501.
 - NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501.
 - NEW STRIPED CROSSWALK, SEE DETAIL 6/AS501 (SIM.).
 - NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501.
 - NEW REFUSE ENCLOSURE, SEE DETAILS ON SHEET AS502.
 - NEW ACCESSIBLE RAMP TO BUILDING, SEE A101 AND STRUCTURAL FOR DETAILS.
 - NEW ACCESSIBLE PARKING SYMBOL, ACCESS AISLE AND SIGN - SEE DETAIL 9/AS501.
 - NEW MOTORCYCLE PARKING SIGN, TYPICAL OF 4 - SEE DETAIL 11/AS501.

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



ADMINISTRATIVE AMENDMENT SITE PLAN			
PROJECT TITLE	FIDELITY INVESTMENTS OFFICE BLDG.	PROJECT MANAGER	STEPHEN DUNBAR, AIA
DATE	01/03/2023	JOB NO.	--
SCALE	AS NOTED	DRAWN BY:	CDC
SHEET TITLE		SITE PLAN	



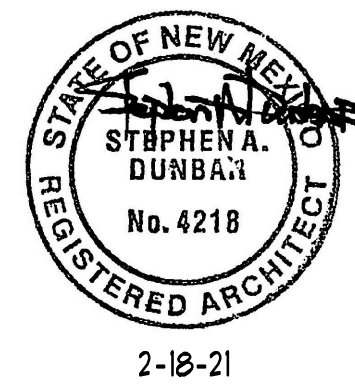
7 GATE POST/SLIDE BOLT DETAIL
NTS

- KEYED NOTES
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH BLDG. BASE
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING 14" @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REIN. FORCED CELLS. DURAL WALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 6" CONCRETE SLAB 4000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
 - 6" CONCRETE APRON 4000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURN-OUT EDGE.
 - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.
 - 2" VENT TO 46" ABOVE TOP OF ENCLOSURE WALL. PROVIDE BREATHABLE VENT CAP
 - PROVIDE PIN HOLE TO CATCH CANE BOLT IN OPEN POSITION

6 ENCLOSURE NOTES
NTS

MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE
FIDELITY INVESTMENTS OFFICE BLDG.
2000 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110

PROJECT MANAGER
STEPHEN DUNBAR, AIA

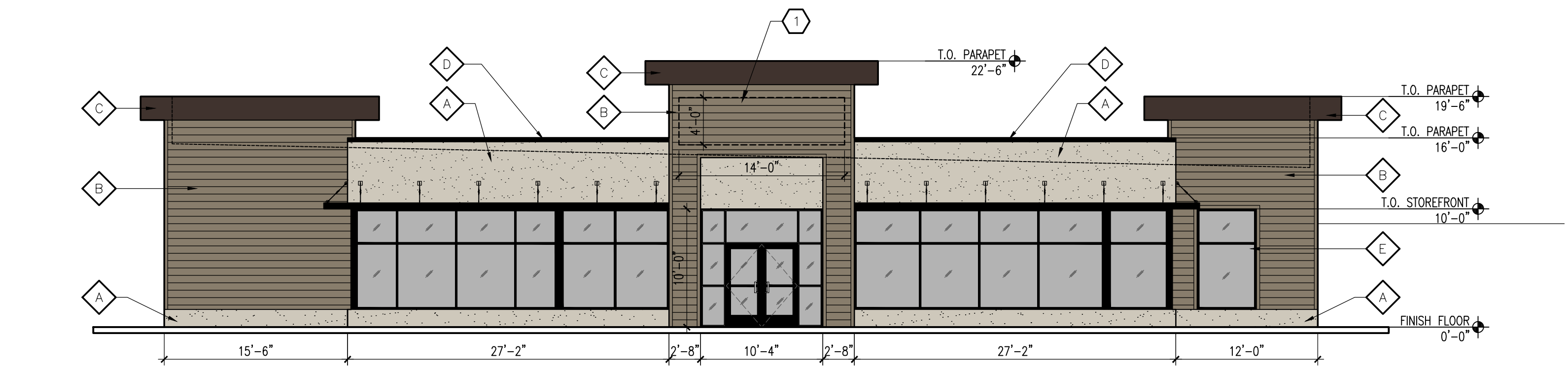
JOB NO.
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DRAWN BY:
CDC

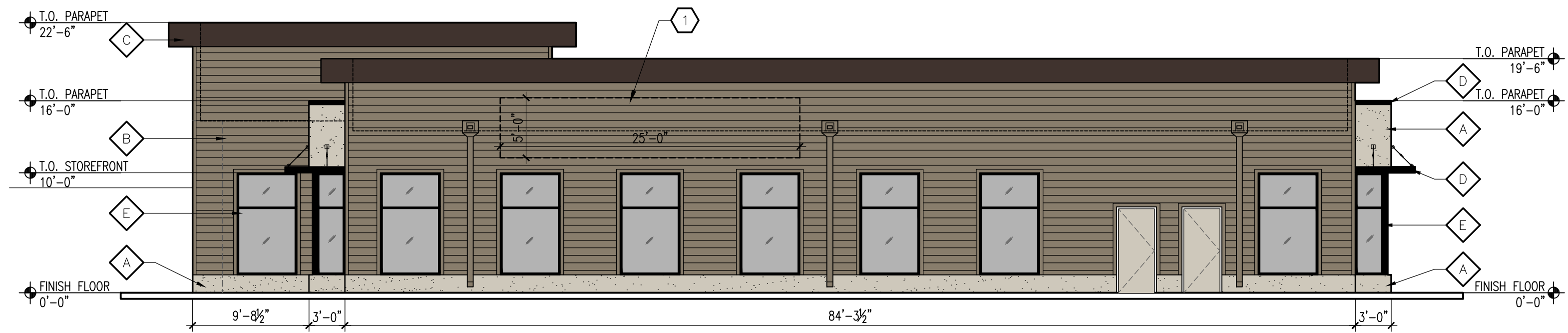
SHEET TITLE
SITE DETAILS

DATE:
12/29/2022
SCALE:
AS NOTED

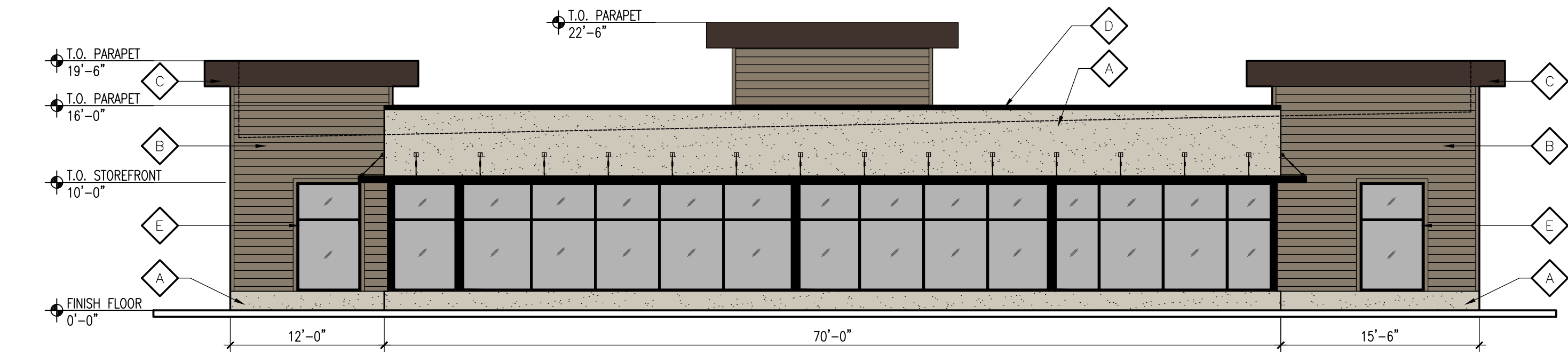
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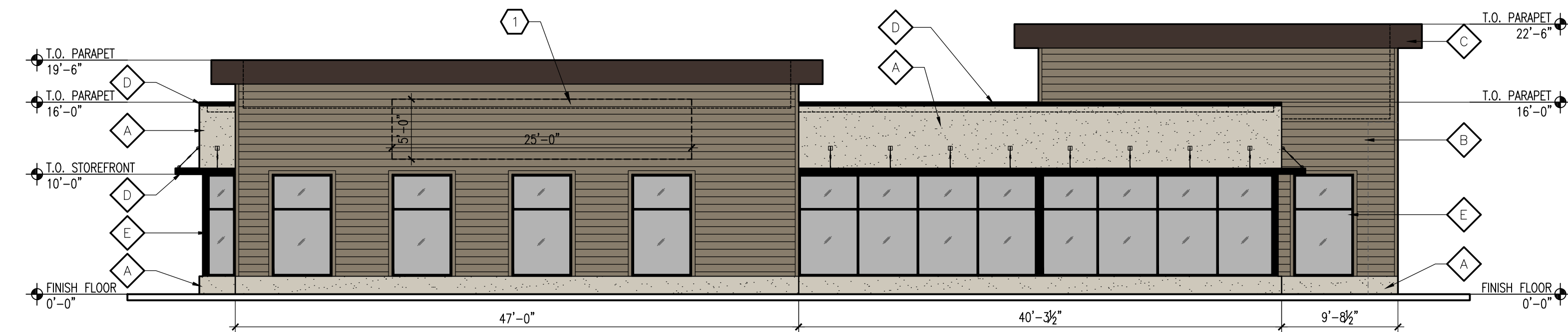
1 WEST ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION (RIGHT SIDE)
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION (REAR)
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION (LEFT SIDE)
SCALE: 1/4" = 1'-0"

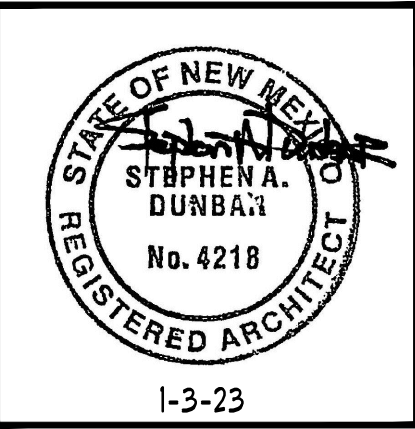
KEYED NOTES:

- BUILDING MOUNTED SIGNAGE TO BE PERMITTED SEPARATELY.
- WEST WALL: 1,458 SF x 0.15 = 219 SF SIGN ALLOWED
- SOUTH WALL: 1,740 SF x 0.15 = 261 SF SIGN ALLOWED
- NORTH WALL: 1,609 SF x 0.15 = 541 SF SIGN ALLOWED

EXTERIOR FINISHES

MARK	MATERIAL	COLOR	PRODUCT COLOR NAME
A	EIFS SYSTEM WITH ACRYLIC FINISH	WARM GRAY	SW 7030 - WORLDLY GRAY
B	HARDIE PLANK SELECT CEDARMILL SIDING	WARM STONE	TIMBER BARK
C	STUCCO SYSTEM WITH ACRYLIC FINISH	DARK BROWN	SW 6006 - BLACK BEAN
D	PRE-FINISHED METAL COPING & CANOPY	BLACK	SW 6993 - BLACK OF NIGHT
E	ALUMINUM STOREFRONT SYSTEM W/ CLEAR GLASS	BLACK	KAWNEER #29 BLACK
F			
G			

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE
FIDELITY INVESTMENTS OFFICE BLDG.
2000 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87106

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.
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DRAWN BY:
CDC

SHEET TITLE
EXTERIOR ELEVATIONS

DATE:
01/03/2023

SCALE:
AS NOTED

Sheet:
A201

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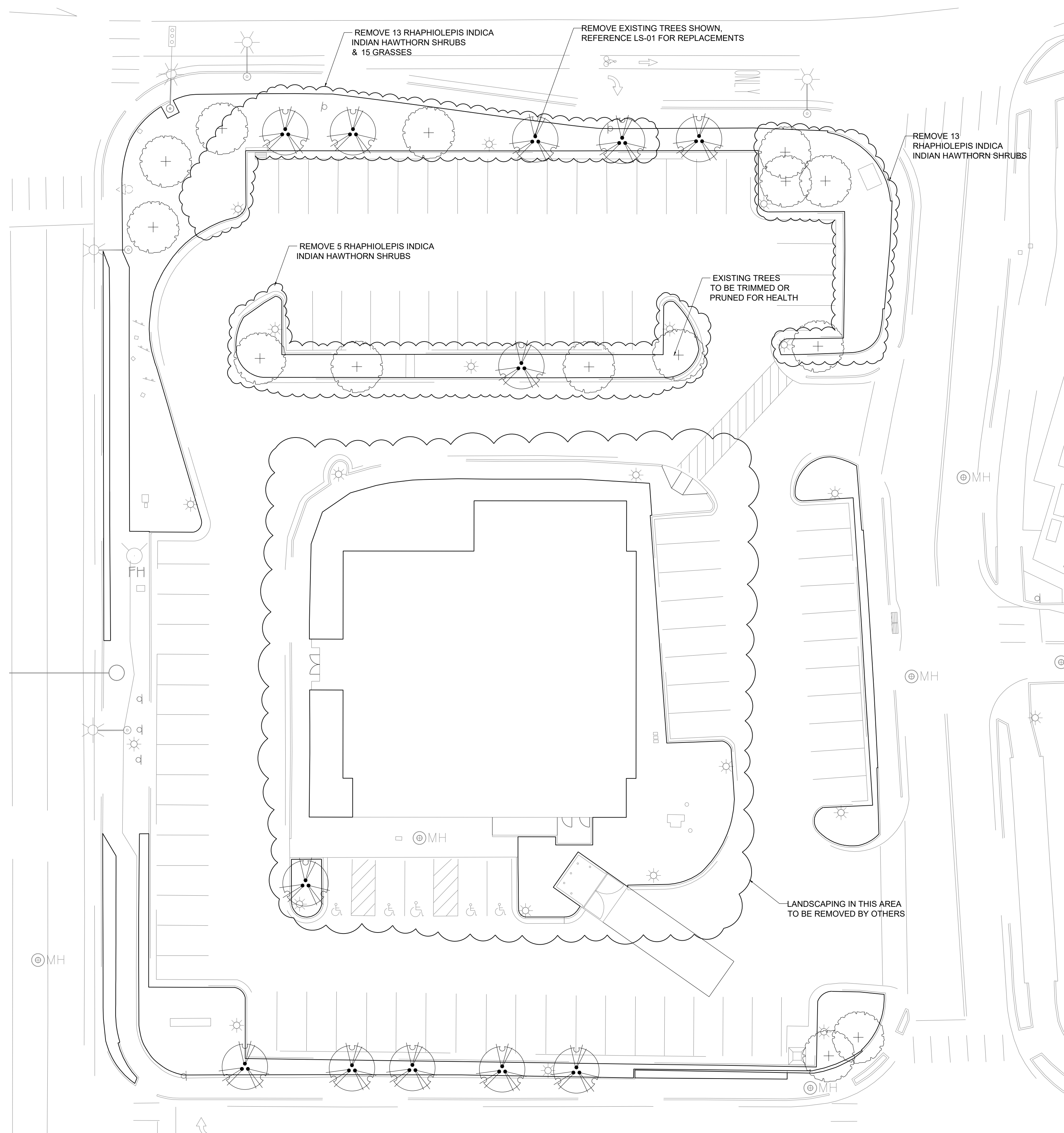
Winrock Fidelity

Albuquerque, NM

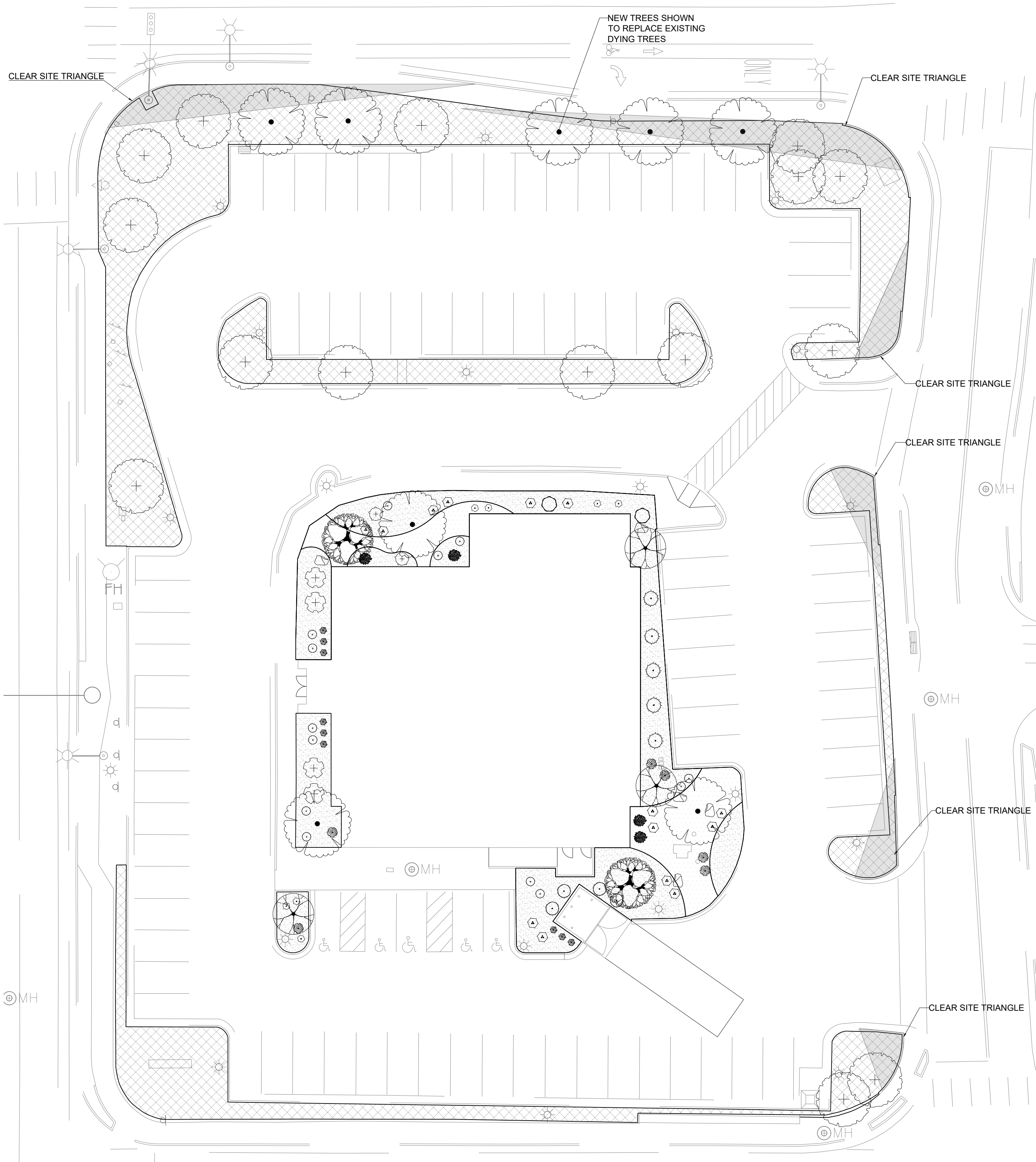


Landscape Removal Plan

LS-02



<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>
	14	EXISTING TREE TO REMAIN
<u>DECIDUOUS TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>
	12	EXISTING TREE TO BE REMOVED



GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
3. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.

PLANTINGS NOTES:

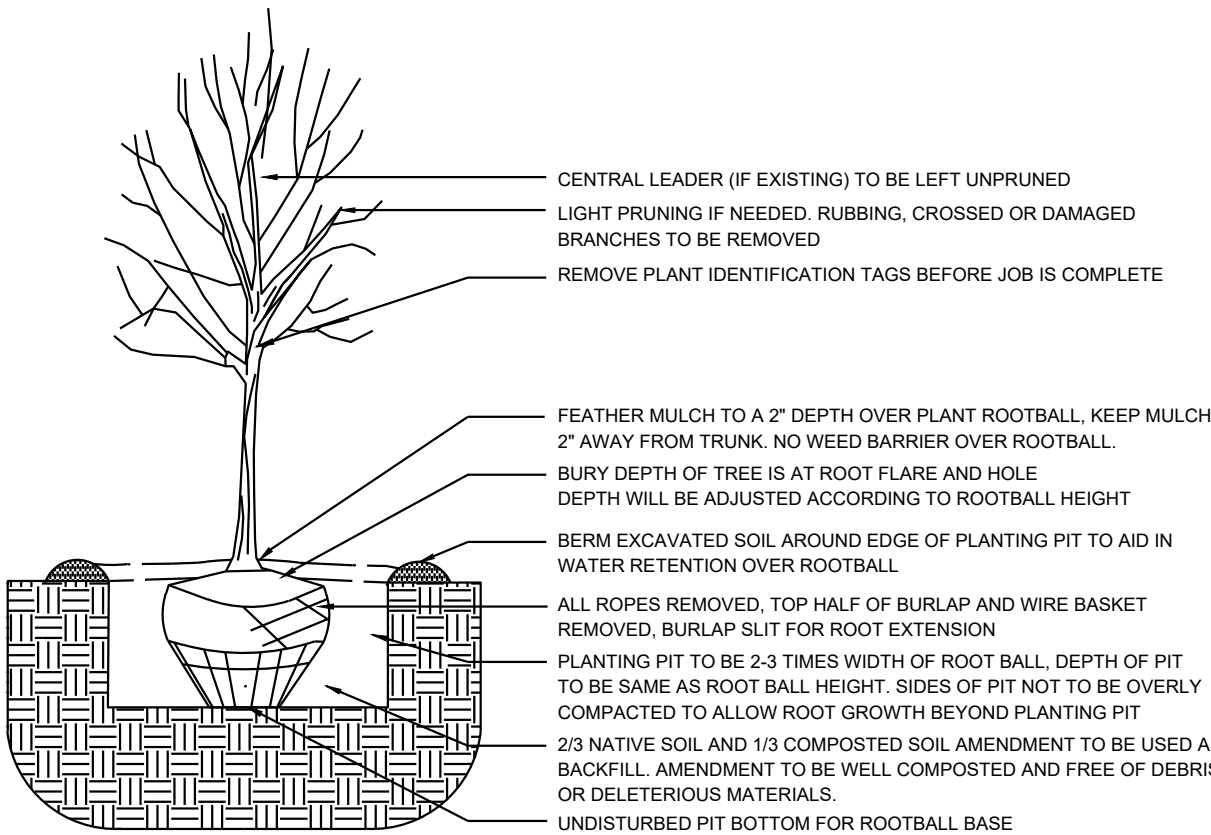
1. ALL PLANTINGS WILL BE UNDER WARRANTY BY CONTRACTOR FOR 1 YEAR.
2. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.
3. THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.
- 4.THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
5. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC.
6. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.
7. PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT'.

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	15	EXISTING TREE	VARIES
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	15 GAL
	3	CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA RED BUD	2" B&B
	8	PROSOPIS GLANDULOSA / HONEY MESQUITE	15 GAL
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	5	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	5 GAL
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
	9	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL
	6	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	2	BUDDLEJA DAVIDII / BUTTERFLY BUSH	5 GAL
	7	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL
	2	POTENTILLA FRUTICOSA / BUSH CINQUEFOIL	5 GAL
	4	PRUNUS BESSEYI 'PAWNEE BUTTES' / PROSTRATE SAND CHERRY	5 GAL
	4	RHUS AROMATICA 'GRO-Low' / GRO-Low FRAGRANT SUMAC	5 GAL
	4	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL
	13	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	14	AGAVE PARRYI / PARRY'S AGAVE	5 GAL

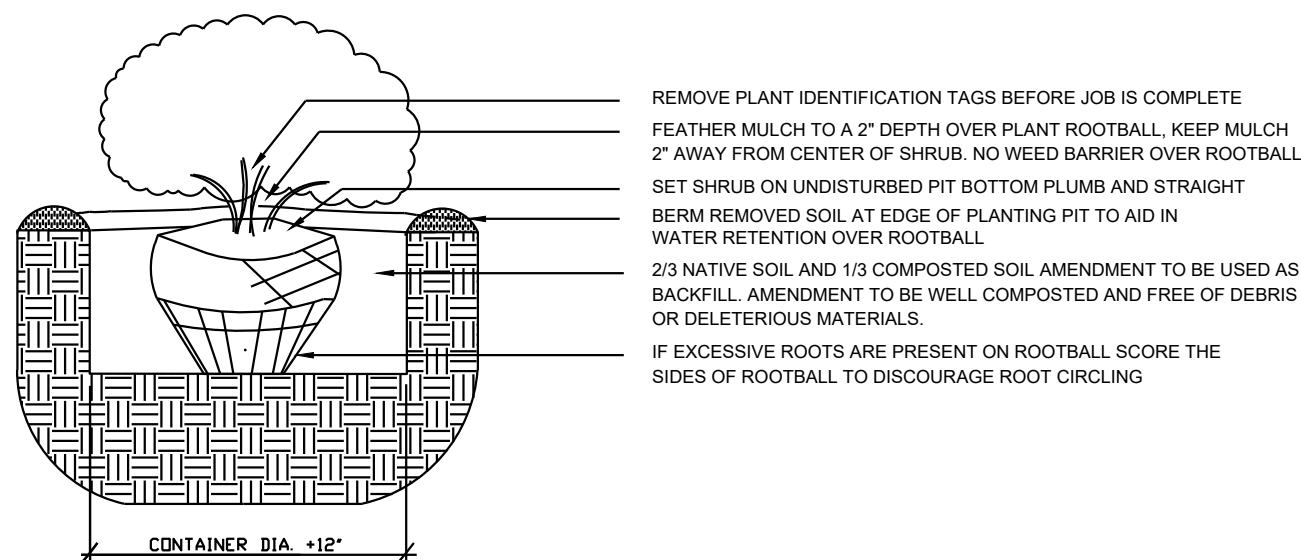
MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	LARGE BOULDER
SYMBOL	DESCRIPTION
	TOP-DRESS EXISTING GRAVEL
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL
	2-4" WALLIN COBBLE



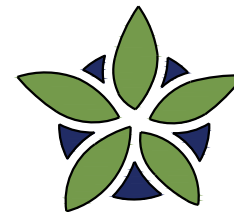
1 TREE PLANTING DETAIL

N.T.S.



2 SHRUB PLANTING DETAIL

N.T.S.



YELLOWSTONE
LANDSCAPE

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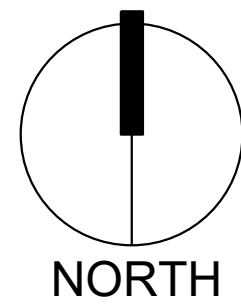
Date: 12/12/2022
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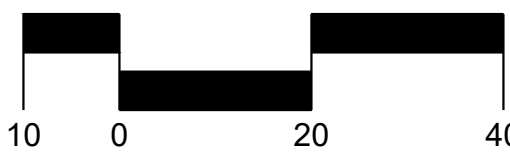
Drawn by: HA
Reviewed by: CM

Winrock Fidelity

Albuquerque, NM



Scale: 1" = 20'



Sheet Title:

Landscape
Plan

Sheet Number:

LS-01