



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):	

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

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Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Not
available

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

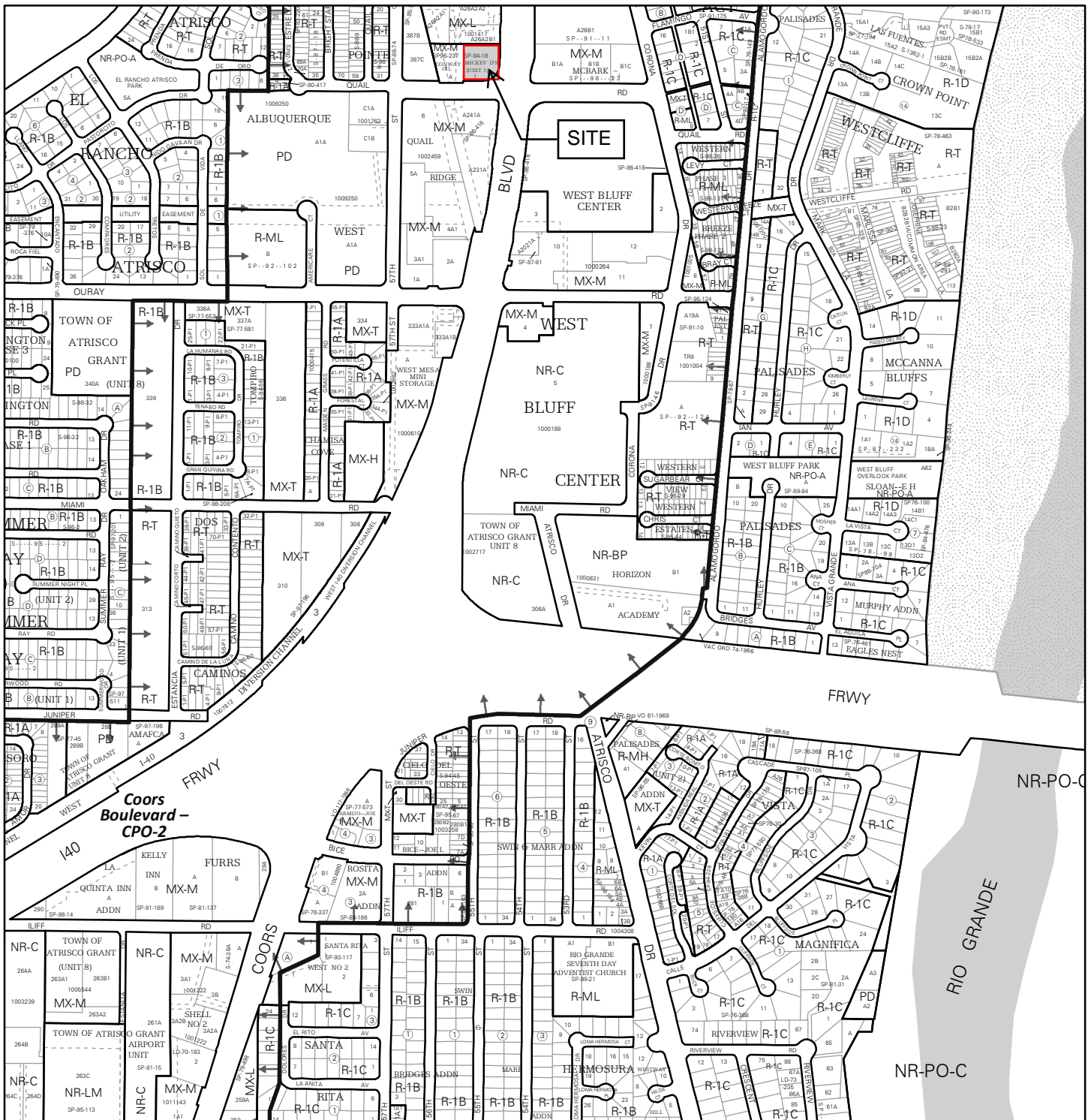
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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

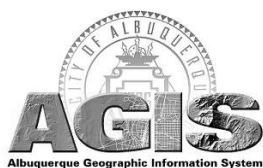
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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

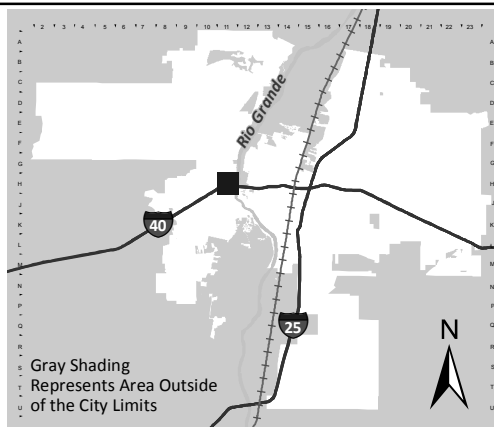


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-11-Z

- Easement
 - Areas of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
 - Escarpment
 - Petroglyph National Monument
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet



McDonald's USA, LLC
110 N. Carpenter Street
Chicago, Illinois 60607-2101
Direct Dial Number (630) 209-1540
e-mail: brian.sheedy@us.mcd.com

Date: February 10, 2023

VIA FEDERAL EXPRESS

City of Albuquerque Planning Department
602 2nd Street
Albuquerque, NM 87102

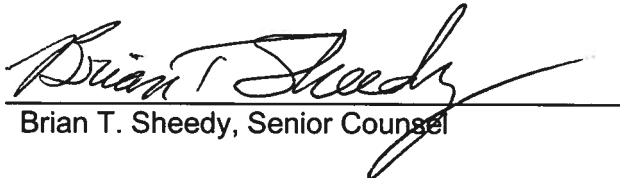
RE: Letter of Authorization
McDonald's Restaurant
LC # 30-0105
5301 Quail Rd NW
Albuquerque, NM 87120

To whom it may concern:

McDonald's Corporation hereby authorizes Langan/Adams Engineering to submit applications and act as our agent for the site located at 5301 Quail Rd NW, Albuquerque, NM.

Sincerely,

McDonald's Corporation


Brian T. Sheedy, Senior Counsel

February 28, 2023

City of Albuquerque Planning Department
Urban Design & Development Division
600 2nd Street
Albuquerque, NM 87102

**Re: Minor Amendment to Site Plan
McDonald's 5301 Quail Rd. NW
Langan Project No.: 520055701**

To Whom It May Concern:

This letter is in reference to our attached application and site plan for a remodel of the existing McDonald's restaurant at 5301 Quail Road NW, at the northwest corner of the intersection with Coors Boulevard NW. The site was developed under the Site Development Plan Z-93-103, Site Plan SP-94-18 and case number 1010349. We received the pre-application meeting notes for this site on November 22, 2022 noting that these changes could be done with a Minor Amendment to the Site Plan.

The scope of work with this plan is a building remodel due to a fire, and the addition of a second Drive-thru lane. The scope includes demolition and replacement of the exterior freezer/cooler, Drive-thru window relocations, replacements and reconfiguration of the existing menu boards, order points and gateway (clearance bar) in a side-by-side configuration, modification of the man door at the trash enclosure, and reconfiguration of some parking stalls to accommodate the side-by-side Drive-thru. McDonald's has found that a second order point, in a side-by-side configuration, decreases the response time experienced by customers and thereby improves their satisfaction.

These changes still meet the original requirements of the approved Site Development Plan. There is no change to public infrastructure, access to the site, or traffic circulation on site.

Should you have any questions or need additional information, please do not hesitate to reach out to us or the McDonald's Area Construction Manager for this project, Reggie Anderson.

Sincerely,
Langan Engineering and Environmental Services, Inc.

Heather Macomber
Senior Staff Designer

McDONALD'S SITE DEVELOPMENT PLAN

LEGAL DESCRIPTION:

LEGAL DESCRIPTION

A portion of Tract A-25, Northeast Unit, Town of Alrisco Grant, Bernalillo County, New Mexico, as shown on the PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ALRISCO GRANT recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on December 5, 1944, in Volume 0, Folio 118; together with a portion of vacated Alrisco Drive N.W., Vacated Ordinance No. V-84-69 (Vacation pending) and a portion of vacated Quail Road N.W., and being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at NMSHC Brass Cap stamped "NM448-N3, 1969", having New Mexico State Plane Coordinates (Central Zone) of Y=1,497,002.42 and X=365,125.22; whence ASC Brass Cap stamped "ASC, NM448-N4A, 1984", having New Mexico State Plane Coordinates (Central Zone) of Y=1,499,735.31 and X=365,125.21; bears N.09°00'01"W, 2733.77 feet distance; thence,

N.365°09'11"W, 697.85 feet distance to the Southwest corner and TRUE POINT OF BEGINNING of the parcel herein described; the Point of Intersection of the original Northerly right-of-way line of Quail Road N.W. with the centerline of vacated Alrisco Drive N.W.; thence,

N.154°41'11"W, 209.28 feet distance (plat=N.154°2'W) along the centerline of vacated Alrisco Drive N.W. to the Northwest corner of the parcel herein described; thence,

S.89°49'30"E, feet distance to the Northwest corner of said tract A-25 (#4 rebar in place); thence,

S.89°49'30"E, 337.22 feet distance (plat=S.89°54'E) along the Northerly boundary of TRACT A-25 to the Northeast corner of the parcel herein described; a point on the original Westerly right-of-way line of Coors Road N.W. (#4 rebar in place); thence,

S.01°40'32"W, 203.80 feet distance along the original westerly right-of-way line of Coors Road N.W. to its intersection with the original Northerly right-of-way line of Quail Road N.W. (#4 rebar in place); thence,

S.00°43'45"W, 24.84 feet distance continuing along the original Westerly right-of-way line of Coors Road N.W. to a point on the centerline of vacated Quail Road N.W.; thence,

N.89°43'15"W, 276.03 feet distance along the centerline of vacated Quail Road N.W. to a point on the Easterly right-of-way line of vacated Alrisco Drive N.W.; thence,

N.89°43'20"W, 24.84 feet distance along the Easterly right-of-way line of vacated Alrisco Drive N.W. to a point on the original Northerly right-of-way line of vacated Alrisco Drive N.W.; thence,

N.89°43'20"W, 51.53 feet distance (plat=N.89°54"W) along the original Northerly right-of-way line of Quail Road N.W. to the Southwest corner and TRUE POINT OF BEGINNING of the parcel herein described; and containing 80,381 square feet (1.8452 acres), more or less.

NOTE: Bearings are based on New Mexico State Plane Coordinate System (Central Zone) Ground-to-grid factor=0.9996776

GENERAL NOTES

- There will be temporary structures, sign, or other temporary improvements.
- Building signage will be lettering on the restaurant and a monument sign approximately 10' wide and 15' high.
- Each building will incorporate the following energy conservation features:
 - An R25-rated roof system.
 - An R22 6" blown insulation for exterior walls.
- All parking spaces will be 8.5' x 20' perpendicular or 8.5' x 21.5' 60° parking. (99 SEATS @ 1 SPACE/4 SEATS-RESTURANT) RESTURANT OFFICE (1 Space/ 200 sq ft ground floor-OFFICE) (1 Space/ 1020 sq ft-WAREHOUSE)

Number of parking spaces required =	24	8
Number of parking spaces provided =	30	19
- Number of handicap spaces required = 1
Number of handicap spaces provided = 2
- Site is zoned SU-1/C-2.
- Restaurant building = 2450 sq. ft.
Enclosed playland = 1900 sq. ft.
Office building = 1743 sq. ft. total
Warehouse = 1020 sq. ft. total

SIGN OFF BLOCK:

CASE NUMBER: Z-93-103

I certify that this plan is zoned SU-1/C-2 and that this plan is consistent with the specific site development plan approved by the City Planning and Traffic Engineering Staff and that the findings in the Official Notice have been complied with; **EPC 9-16-93**

SITE DEVELOPMENT PLAN

Robert Paul
Traffic Engineer, Transportation Division

11-15-93
Date

Carroll Schneider
Parks and Recreation Department

11-2-93
Date

Robert W. Kane
Public Works, Water Utilities Division

11-2-93
Date

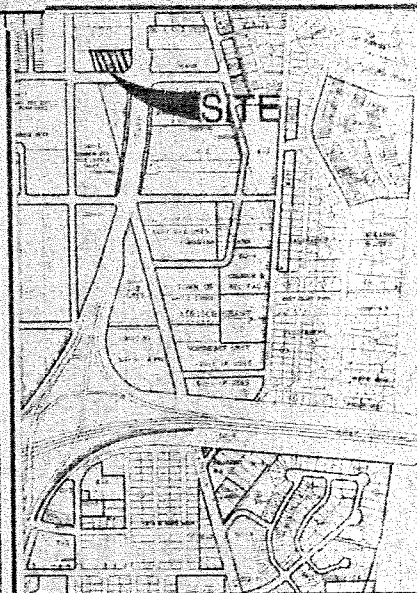
Paul D. Aguirre
City Engineer, Engineering Division/AMAFCA

1-13-94
Date

APPROVED AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Jack Cloud
City Planner, Albuquerque/Bernalillo
County Planning Division

2-1-94
Date



VICINITY MAP

H-11-Z

**APPROVED
SITE
PLAN
Z-93-103**

TOTAL SPACES	
49	RESTAURANT: 30
	SPACES: x
	HANDICAP SPACES: x
	OFFICE: 19
	SPACES: x
	HANDICAP SPACES: x

UTILITY INFORMATION		
SIZE	TYPE	LOCATION
SANITARY SEWER		
WATER		
STORM SEWER		

DESIGNED BY: LDR DRAWN BY: RFC CHECKED BY: VOR		
SURVEY INFORMATION		
PLAN SCALE: 1"=20'		

STREET ADDRESS:		
COORS NW & QUAIL NW		
CITY:	STATE:	
ALBUQUERQUE	N.M.	
COUNTY:		
BERNALILLO		

SITE DEVELOPMENT PLAN COVER SHEET	
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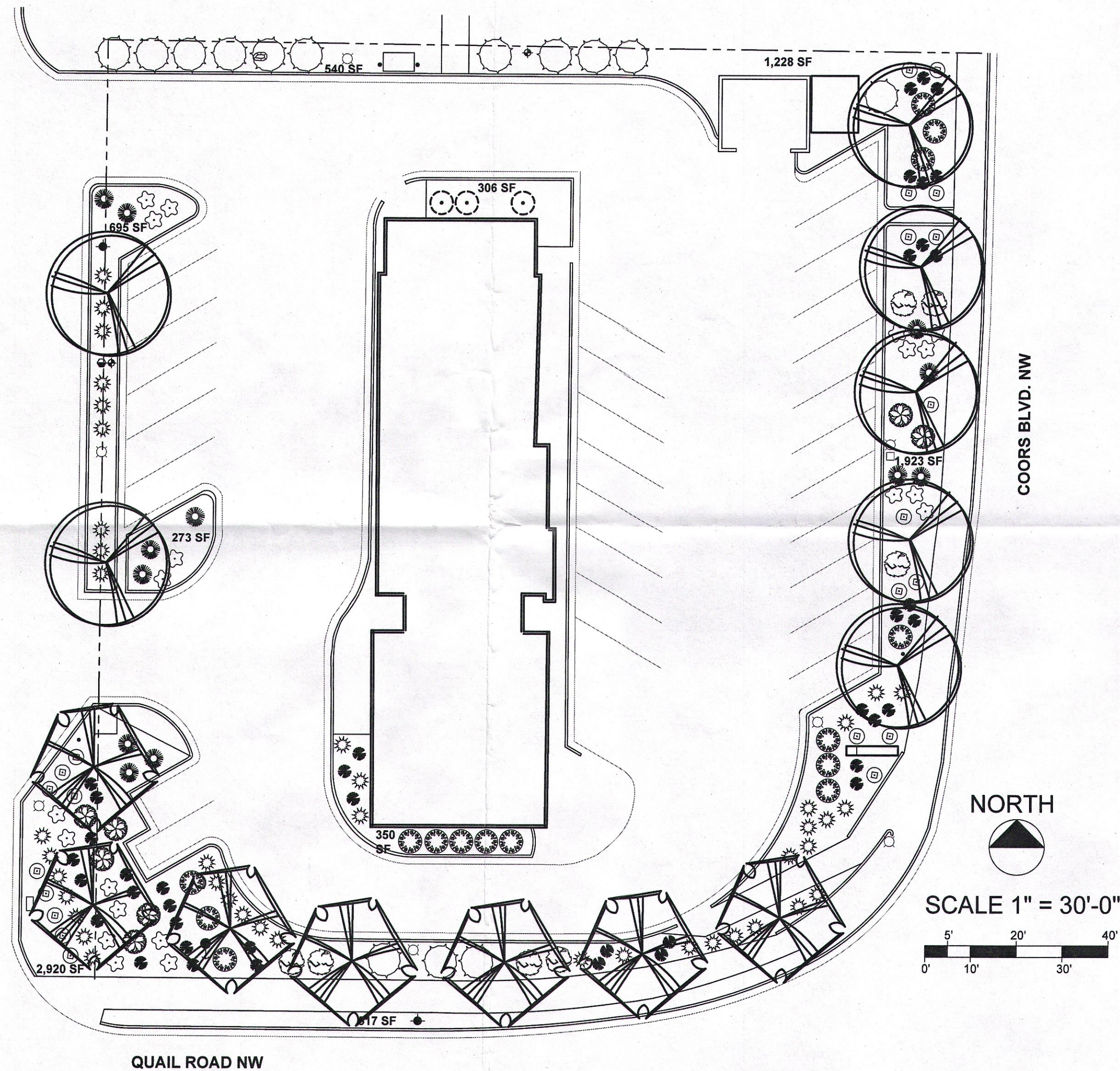
Z-93-103



McDonald's

GENERAL NOTES

- 1.) CONTRACTOR WILL NOTIFY NEW MEXICO 811 PRIOR TO CONSTRUCTION TO LOCATE EXISTING UTILITIES.
- 2.) CONTRACTOR WILL NOT PAY FOR THE RELOCATION OF ANY UTILITIES.
- 3.) CONTRACTOR SHALL PROTECT ALL EXISTING PLANTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- 4.) SOUTHWEST DESIGNWORKS WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION PRACTICES PERFORMED BY ANOTHER COMPANY OR PERSONS.
- 5.) OWNERS INTEND TO REUSE EXISTING GRAVEL TO MULCH THE RENOVATED LANDSCAPE.
- 6.) ALL PLANTING AREAS SHALL RECEIVE NEW LANDSCAPE FABRIC THROUGHOUT.
- 7.) THE NET LOT AREA IS 8,235 SF.
- 8.) THE EXISTING COMPANY MAINTAINING THE LANDSCAPE AT THIS BUSINESS IS: ART SPRINKLERS.
CONTACT INFORMATION: ART LUJAN #(505) 307-4999



EXISTING SITE AMENITIES LEGEND

SYMBOL	DESCRIPTION
□	EXISTING PARKING LOT LIGHT POLE
●	EXISTING POWER POLE
+	EXISTING FIRE HYDRANT
◆	EXISTING IRRIGATION VALVE
□	EXISTING McDONALD'S TRASH RECEPTACLE
•	EXISTING McDONALD'S FLAG HOLDERS
●	EXISTING PRESSURE VACUUM BREAKER

DEMOLITION NOTES

- 1.) REMOVE AND STOCKPILE EXISTING GRAVEL FOR REUSE.
- 2.) REMOVE AND DISPOSE OF ANY REMAINING LANDSCAPE FABRIC.
- 3.) REMOVE AND DISPOSE OF SUBGRADE WHERE NECESSARY.
ALL SUBGRADE SHALL BE -4" BELOW FINISHED HARDSCAPE PRIOR TO PLANTING AND GRAVEL.
- 4.) REMOVE ALL EXISTING TREES AND SHRUBS, INCLUDING ROOTBALLS AND STUMPS TO ACCOMMODATE NEW PLANTING DESIGN. SEE PLAN FOR TREE AND SHRUBS TO REMAIN.
- 5.) REMOVE EXISTING STEEL EDGING ALONG SIDEWALKS AT THE CORNER OF COORS AND QUAIL. REMOVE AND DISPOSE OF SUBGRADE WITHIN THE AREAS OF THESE PLANTERS. SUBGRADE NEEDS TO BE -4" BELOW FINISHED HARDSCAPE. STABILIZE SLOPES WITHIN THESE PLANTERS WITH 2-4" ANGULAR COBBLE (4" DEPTH) (APPROXIMATELY 625 SF).

IRRIGATION NOTES

- 1.) ALL NEW AND EXISTING TREE AND SHRUB PLANTINGS SHALL RECEIVE NEW AUTOMATIC DRIP IRRIGATION. IRRIGATION LINES AND EMISSION DEVICES SHALL BE DESIGNED TO DISTRIBUTE WATER AT RATES APPROPRIATE FOR THE NEEDS OF INDIVIDUAL PLANT SPECIES. SEE "GALLONS PER HOUR" UNDER PLANT LEGEND BELOW.
- 2.) DRIP POLYLINE SHALL BE A MIN. OF 3/4" THROUGHOUT.

PLANT LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QNTY.	MATURE DIMS. (HT. x WIDTH)	DESCRIPTION	PLANT CONTAINER SIZE	GALLONS PER HOUR
●	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	07	5' x 5'	DECIDUOUS SHRUB	5 GALLON	4 GALLONS
●	RHUS AROMATICA 'GRO-LOW' GRO-LOW SUMAC	07	2' x 6'	DECIDUOUS SHRUB	5 GALLON	4 GALLONS
●	COTONEASTER BUXIFOLIUS GREYLEAF COTONEASTER	14	2' x 9'	EVERGREEN SHRUB	5 GALLON	4 GALLONS
●	ROSMARINUS OFFICINALIS UPRIGHT ROSEMARY	15	4' x 6'	EVERGREEN SHRUB	5 GALLON	4 GALLONS
●	JUNIPERUS COMMUNIS 'ALPINE CARPET' ALPINE CARPET JUNIPER	22	8' x 4'	EVERGREEN GROUNDCOVER	5 GALLON	4 GALLONS
●	ERICAMERIA LARICIFOLIA TURPENTINE BUSH	20	3' x 4'	EVERGREEN SHRUB	1 GALLON	2 GALLONS
●	HESPERALOE PARVIFLORA RED YUCCA	40	3' x 3'	DESERT ACCENT	1 GALLON	2 GALLONS
●	NOLINA TEXANA BEAR GRASS	12	4' x 5'	DESERT ACCENT	1 GALLON	2 GALLONS
●	MISCANTHUS SINENSIS MAIDEN HAIR GRASS	42	5' x 4"	ORNAMENTAL GRASS	1 GALLON	4 GALLONS
●	PISTACIA CHINESIS CHINESE PISTACHE	07	40' x 60'	DECIDUOUS TREE	2" CALIPER	10 GALLONS
●	GLEDITSIA TRICANTHOS VAR. INERMIS THORNLESS HONEYLOCUST	07	40' x 60'	DECIDUOUS TREE	2" CALIPER	10 GALLONS

ADMINISTRATIVE AMENDMENT
FILE # 10004 PROJECT # 1010340
REVISED LANDSCAPE PLAN
(RESULT OF NOV)
APPROVED BY [Signature] DATE 11/23/2015

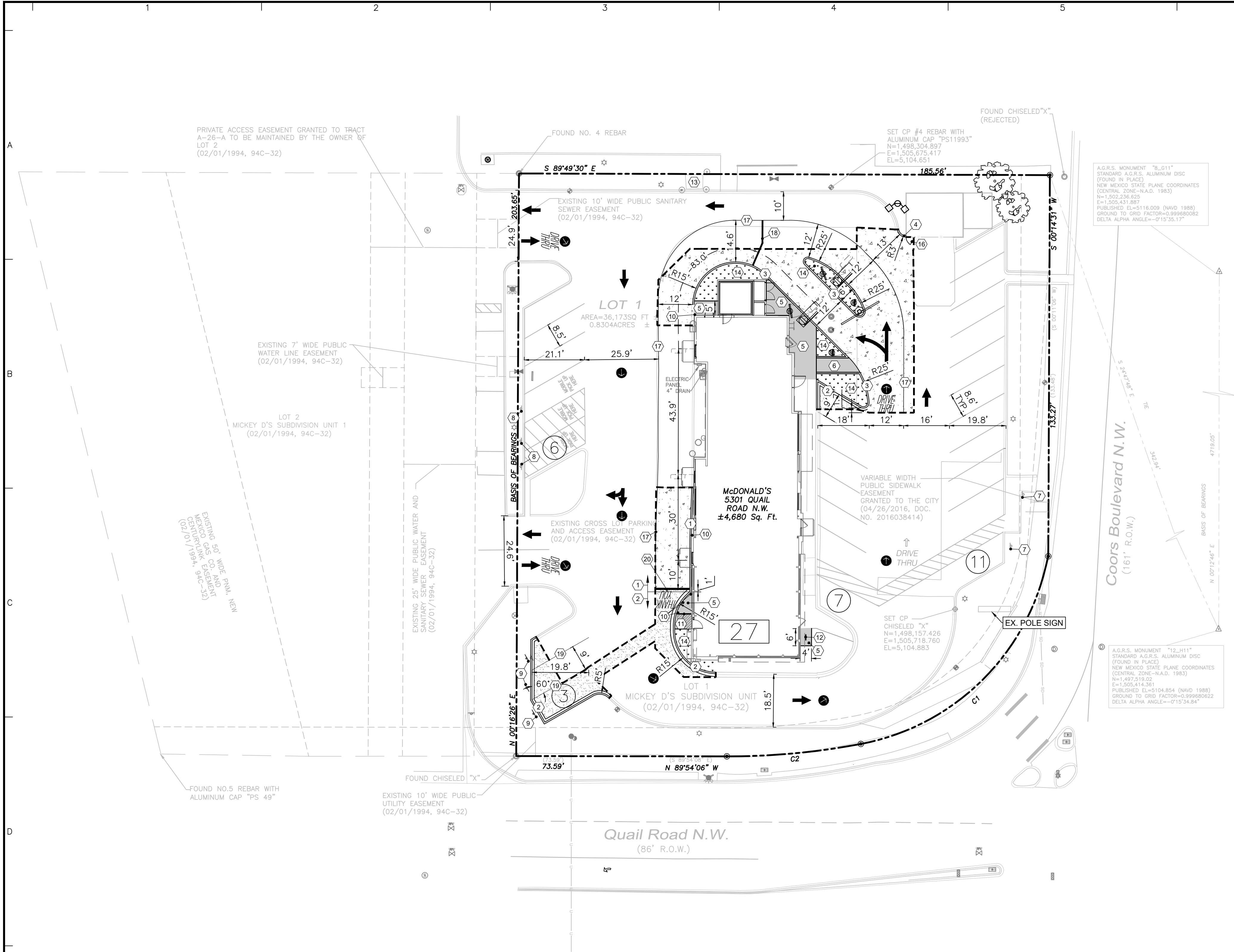


MCDONALD'S PLANTING PLAN
5301 QUAIL ROAD NW, ALBUQUERQUE, NM 87120
NEAREST CROSS STREETS: COORS BLVD. AND QUAIL RD. NW

date
01/06/2015

drawing by
CRP

sheet no.
SHEET
1 OF 1



KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C6.2 STANDARD DETAILS)
2	SEPARATE CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C6.2 STANDARD DETAILS)
3	MONOLITHIC CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C6.2 STANDARD DETAILS)
4	TURN DOWN CURB (RE: C6.3 STANDARD DETAILS)
5	REINFORCED CONCRETE SIDEWALK (RE: C6.3 STANDARD DETAILS)
6	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C6.1 STANDARD DETAILS)
7	EXISTING McDONALD'S OOSP/MOBILE ORDER SIGN
8	EXISTING McDONALD'S OOSP/MOBILE ORDER SIGN
9	McDONALD'S OOSP / MOBILE ORDER SIGN (RE: C6.4 STANDARD DETAILS)
10	BOLLARD (RE: C6.1 STANDARD DETAILS)
11	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C6.1 STANDARD DETAILS)
12	BIKE RACK (RE: C6.5 STANDARD DETAILS)
13	EXISTING PAD MOUNTED TRANSFORMER
14	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
15	NOT USED
16	RELOCATED MAN DOOR (RE: ARCHITECTURAL PLANS FOR DETAILS)
17	6" DRIVE-THRU STRIPING - COLOR : YELLOW
18	6" MERGE POINT - COLOR : YELLOW
19	4" OOSP STRIPING - COLOR : YELLOW
20	8" OOSP STRIPING - COLOR : YELLOW

PAVING LEGEND	
	REINFORCED CONCRETE SIDEWALK, MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
	LANDSCAPE AREA
	HEAVY DUTY CONCRETE PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	SAWCUT LINE
*REFER TO GEOTECH REPORT PROVIDED BY SHB AGRA, INC. IN REPORT NO. E93-149 FOR ALL PAVING SPECIFICATIONS.	

PAVING SPECIFICATION

VERIFY W/ McDONALD'S:

ASPHALT:

CONCRETE:

CONTRACTOR TO BID:

ASPHALT:

CONCRETE:

CONCRETE PAVEMENT RECOMMENDATIONS

PAVEMENT MATERIALS	HEAVY DUTY
PORTLAND CEMENT CONCRETE PAVEMENT	6"
COMPACTED SUBGRADE	12"

ASPHALT PAVEMENT RECOMMENDATIONS

PAVEMENT MATERIALS	HEAVY DUTY
ASPHALT CONCRETE SURFACE COURSE	5.5" OR 4"
AGGREGATE BASE	6"
COMPACTED SUBGRADE	12" 12"

PAVEMENT NOTES:

1. PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY SHB AGRA, INC. DATED AUGUST 25, 1993. (E93-149)

2. SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 1557) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE. SEE PAGE C-2 OF GEOTECH REPORT.

3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

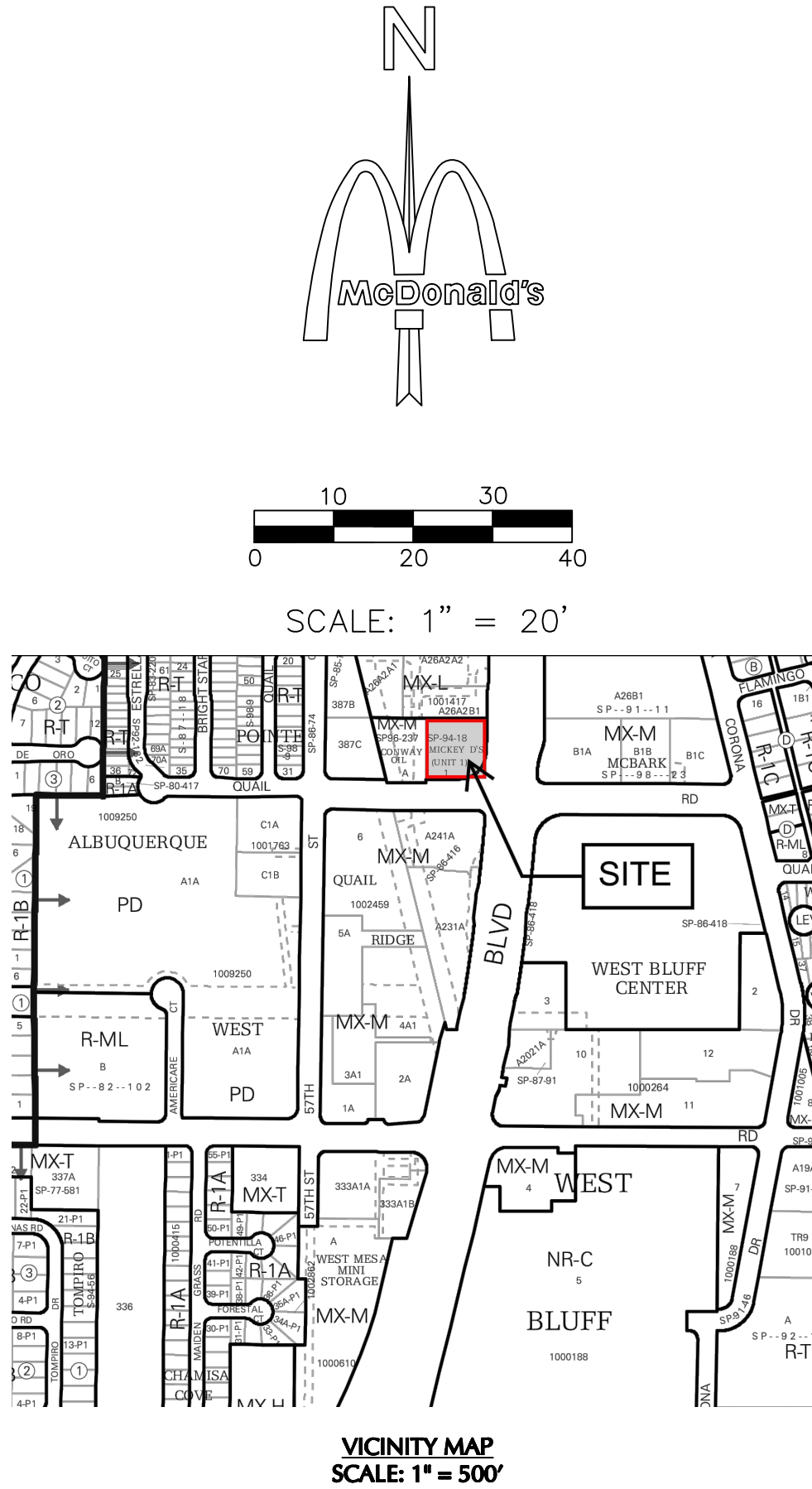
5. WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.

6. REFER TO C6.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.

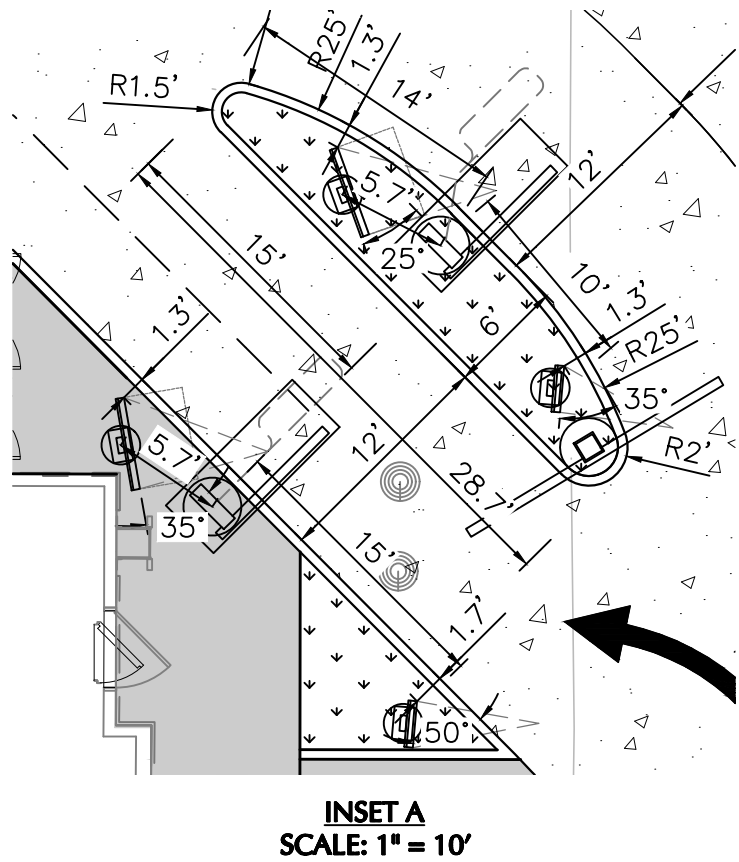
7. ALL CONCRETE PAVEMENT SHALL BE 4000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.

8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/ARTHWORk REQUIREMENTS.



LEGEND	
McDONALD'S DIGITAL MENU BOARD	
McDONALD'S ORDER HERE CANOPY	
McDONALD'S DIGITAL PRE-BROWSE BOARD	
McDONALD'S DOUBLE GATEWAY	
DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C6.0 STANDARD DETAILS)	
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW	
"THANK YOU" AT END OF PATH - COLOR : YELLOW	
"CIRCLE / ARROW" - COLOR : YELLOW	
ARROW PATH DIRECTION - COLOR : WHITE	
DOUBLE DRIVE-THRU "ARROW MARKING" - COLOR: YELLOW	



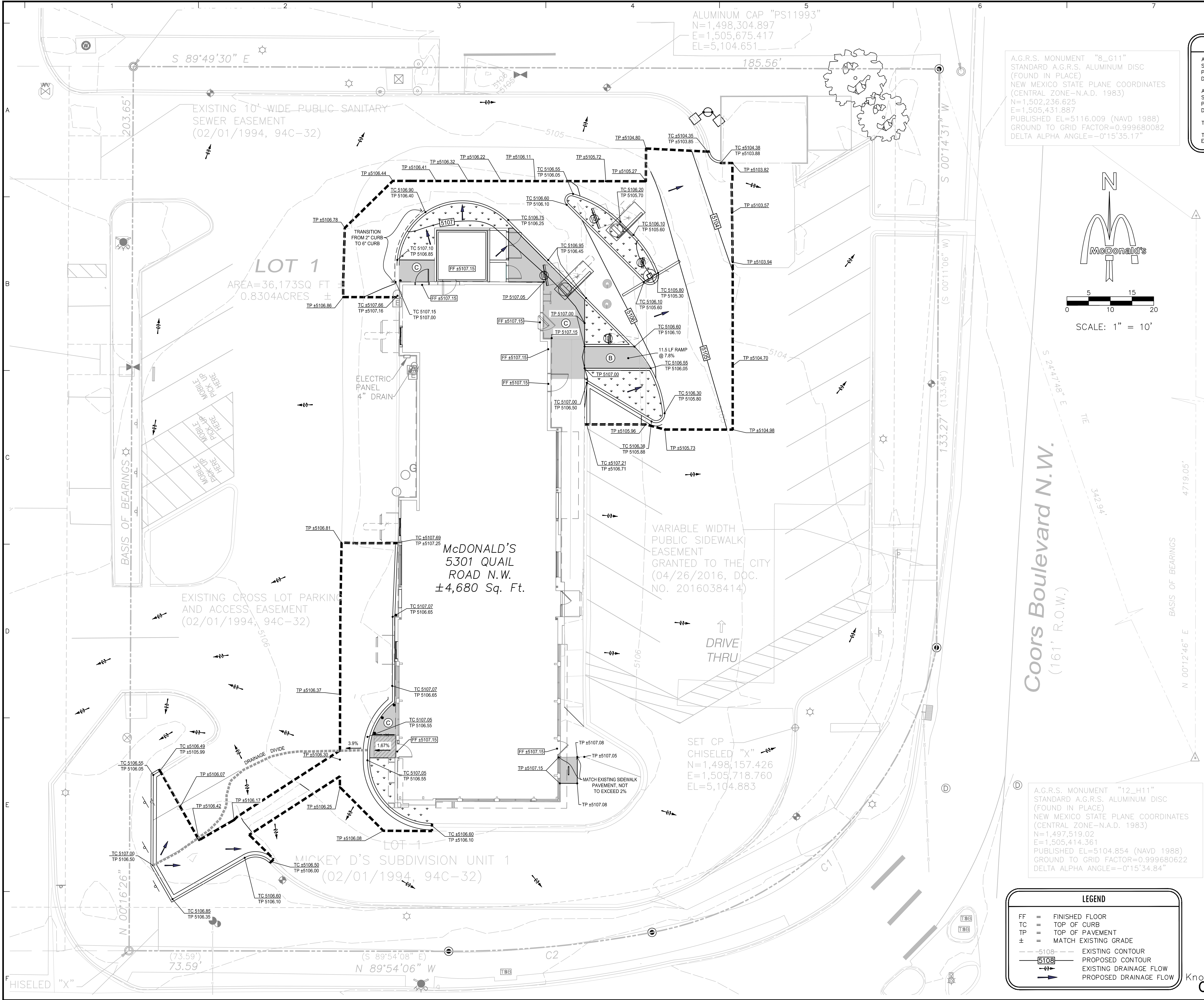
SITE INFORMATION	
LAND AREA:	36,173 SF (0.8304 AC)
CURRENT ZONING:	MX-M
EXISTING USE:	DRIVE-THRU RESTAURANT
PROPOSED USE:	DRIVE-THRU RESTAURANT
BUILDING AREA (APPROXIMATE):	4,680 SF
BUILDING LOT COVERAGE:	4,680 SF/36,173 SF = 12.9%
PARKING REQUIRED:	1 SPACE PER 4 SEATS
PARKING PROVIDED:	27
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	2
BICYCLE PARKING PROVIDED:	2
EXISTING IMPERVIOUS AREA:	29,537 SF
PROPOSED IMPERVIOUS AREA:	29,496 SF
EXISTING LANDSCAPE PERCENTAGE:	18.34%
PROPOSED LANDSCAPE PERCENTAGE:	18.45%

**** NOTE TO CONTRACTOR - LOT RE-STRIPING ****

ALL AREAS, INCLUDING THOSE NOT AFFECTED BY ADA, DRIVE-THRU, OR OTHER SITE IMPROVEMENTS, SHALL BE RE-STRIPED.



Date	Description	No.
Revisions		
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LANGAN Langan Engineering and Environmental Services, Inc. 8951 Cypress Waters Blvd, Suite 150 Dallas, TX 75019 T: 817.328.3200 www.langan.com		
Project McDonald's LC# 030-0105 Major Remodel Project 5301 Quail Rd. NW ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO		
Drawing Title SITE & PAVING PLAN		
Project No. 520055701	Drawing No. C3.0	
Date 02/28/2023	Drawn By IDC	
Checked By HJM	Sheet 5 of 12	



BENCHMARKS	
A.G.R.S. MONUMENT "8_G11" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,502,236.625 E=1,505,431.887 PUBLISHED EL=5116.009 (NAVD 1988) GROUND TO GRID FACTOR=0.999680082 DELTA ALPHA ANGLE=-0°15'35.17"	
A.G.R.S. MONUMENT "12_H11" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,497,519.02 E=1,505,414.361 PUBLISHED EL=5104.854 (NAVD 1988) GROUND TO GRID FACTOR=0.999680622 DELTA ALPHA ANGLE=-0°15'34.84"	
TBM - SET CP CHISELED "X" N=1,498,157.426 E=1,505,718.760 EL=5,104.883	
TBM - SET CP No. 4 REBAR WITH ALUMINUM CAP"PS11993" N=1,498,304.897 E=1,505,675.417 EL=5,104.651	

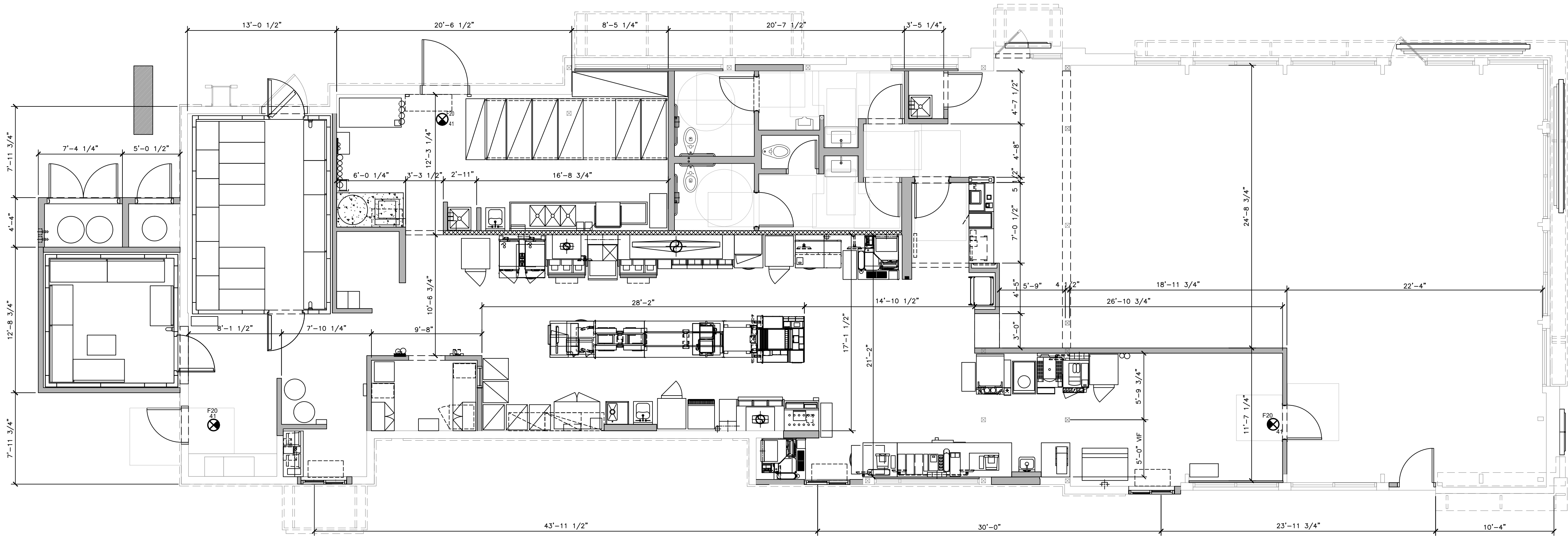
STANDARD ACCESSIBILITY REQUIREMENTS	
A. PARKING:	ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 80' WIDE OR A MIN. 132' WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS) ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE. EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 80' (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT. ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60' WIDE MINIMUM.
B. RAMPS:	RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS. IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE). LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS). RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30' VERTICAL RISE. RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).
C. SIDEWALKS AND ACCESSIBLE ROUTES:	SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%). LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

Date	Description	No.
Revisions		
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MATTHEW DAVID KORTE NEW MEXICO 25909 PROFESSIONAL ENGINEER		
LANGAN		
Langan Engineering and Environmental Services, Inc. 8951 Cypress Waters Blvd, Suite 150 Dallas, TX 75019 T: 817.328.3200 www.langan.com		
Project		
McDonald's LC# 030-0105 Major Remodel Project 5301 Quail Rd. NW ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO		
Drawing Title		
GRADING PLAN		
Project No.		Drawing No.
520055701		C5.0
Date		02/28/2023
Drawn By		ELP
Checked By		HJM
Sheet 7 of 12		

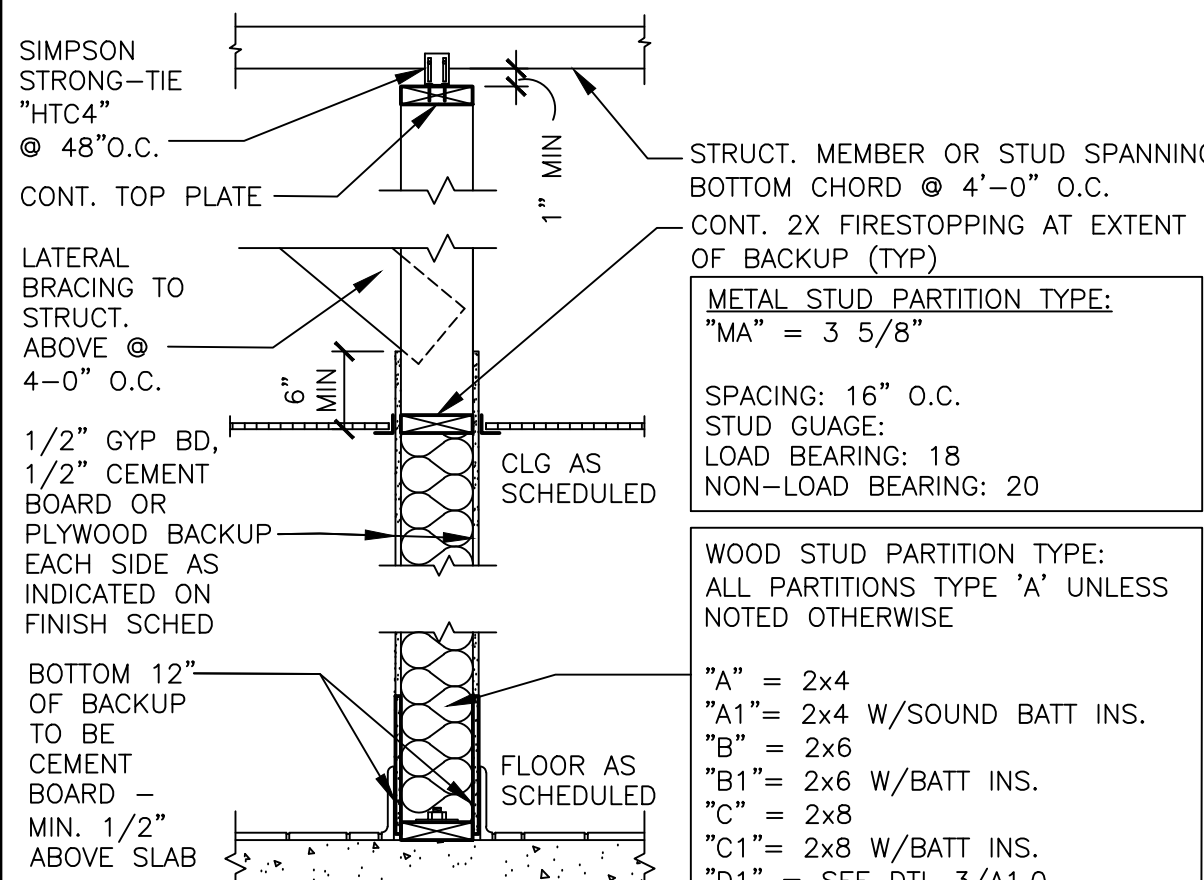


Know what's below.
Call before you dig.

LEGEND	
FF	= FINISHED FLOOR
TC	= TOP OF CURB
TP	= TOP OF PAVEMENT
±	= MATCH EXISTING GRADE
-5108	= EXISTING CONTOUR
5108	= PROPOSED CONTOUR
→	= EXISTING DRAINAGE FLOW
→	= PROPOSED DRAINAGE FLOW



1 FLOOR PLAN
3/16"=1'-0" NORTH



2 INTERIOR PARTITION
3/4"=1'-0"

GENERAL NOTES

- EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF MASONRY UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF INTERIOR WALL BOARD.
- SEE 4/A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
- SEE SHEET A6.0 FOR DOOR AND ROOM FINISH SCHEDULES
- SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FRANKIE S2K 9255 DEERING AVENUE CHATSWORTH, CA 91311 www.s2kgraphics.com
- MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
- ALL HANDSINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
- GC TO COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVES, ETC. FOR PROPER INSTALLATION HEIGHTS.
- KNOX BOX TO BE INSTALLED PER LOCAL CODE AS REQUIRED. MODEL AND LOCATION TO BE COORDINATED WITH FIRE MARSHALL.

KEY NOTES

- ALUMINUM CANOPY SYSTEM ABOVE — SEE A3.0 FOR NOTES — SEE ROOF PLAN FOR DIMENSIONS
- EXISTING COLUMN. PROTECT AND PRESERVE.
- MENU BOARDS
- NEW ADA COMPLIANT PLUMBING FIXTURES, REF MEP
- RELOCATED KITCHEN EQUIPMENT. REFERENCE KITCHEN PLANS FOR EXACT LOCATION.
- ROOF LADDER (EXISTING)
- NEW STOREFRONT SYSTEM — SEE A3.0 FOR ASSEMBLY NOTES — SEE ELEVATIONS
- ALUMINUM TRELLIS SYSTEM ABOVE — SEE A3.0 FOR NOTES — SEE ROOF PLAN FOR DIMENSIONS

SYMBOL LEGEND

- PARTITION TYPE TAG SEE 2/A1.0
- DOOR TAG — SEE DOOR SCHEDULE ON A6.0
- KEY NOTE

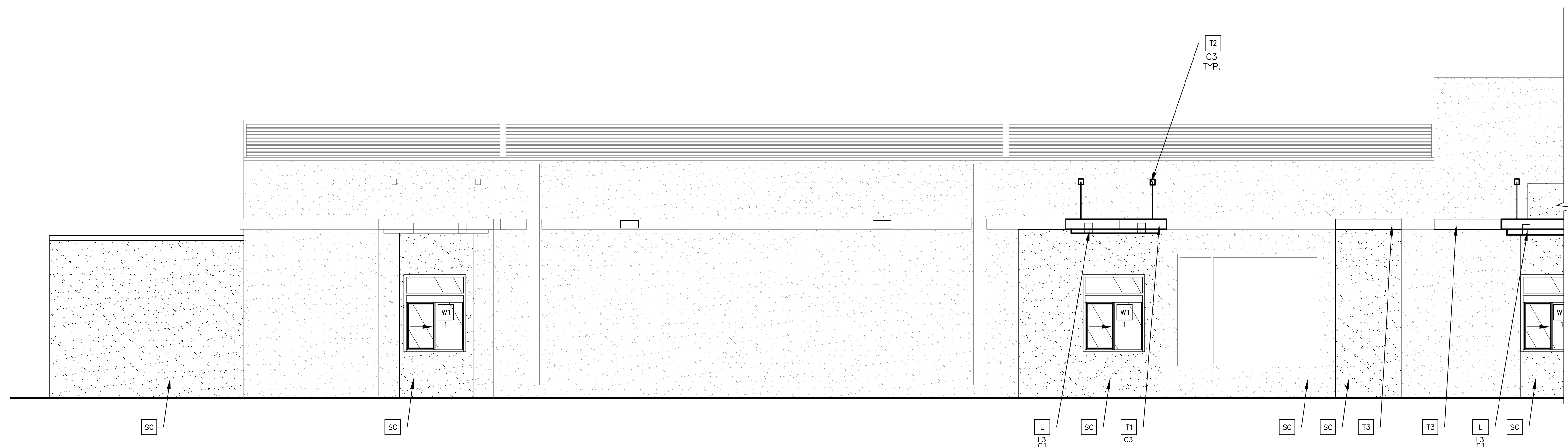
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513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
(817) 820-0433

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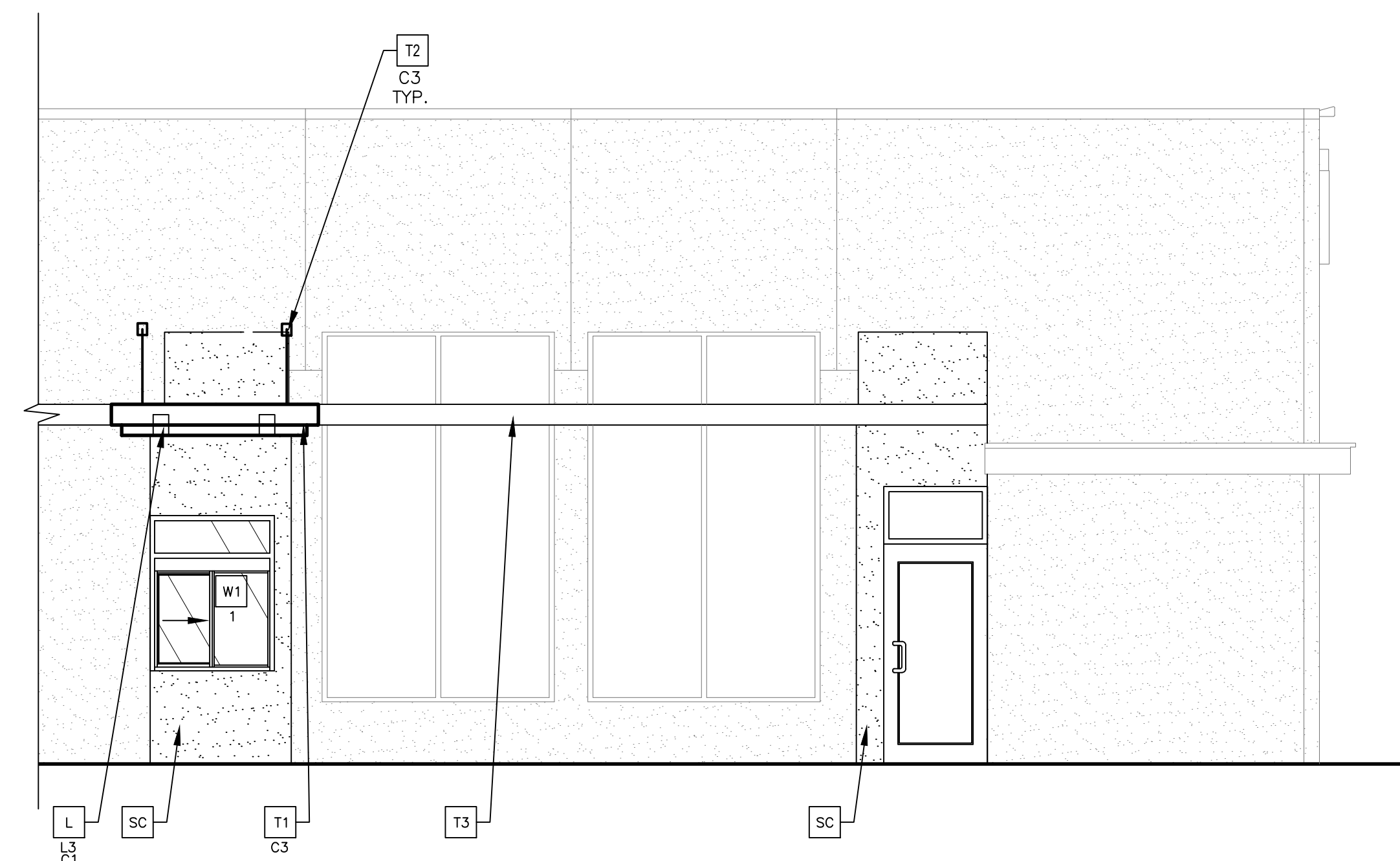
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MR	MR	22-0469	042-3356.00.0	5301 NW QUAL RD., ALBUQUERQUE, NM 87120
TITLE		DESCRIPTION	DATE ISSUED	
McDONALD'S MAJOR REMODEL		EXISTING 2X4 WOOD WALL FRAMING	DATE ISSUED	
SHEET NO.		EXISTING WOOD ROOF FRAMING MEMBERS	DATE ISSUED	
A1.0		EXISTING WOOD ROOF FRAMING MEMBERS	DATE ISSUED	
FLOOR PLAN		EXISTING WOOD ROOF FRAMING MEMBERS	DATE ISSUED	
REV		DATE	DESCRIPTION	
BY		DATE	DESCRIPTION	



DRIVE-THRU ELEVATION
 $1/4" = 1'-0"$





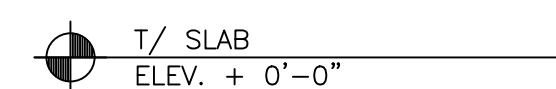
2 FRONT ELEVATION
A2.0 $1/4'' = 1'-0''$



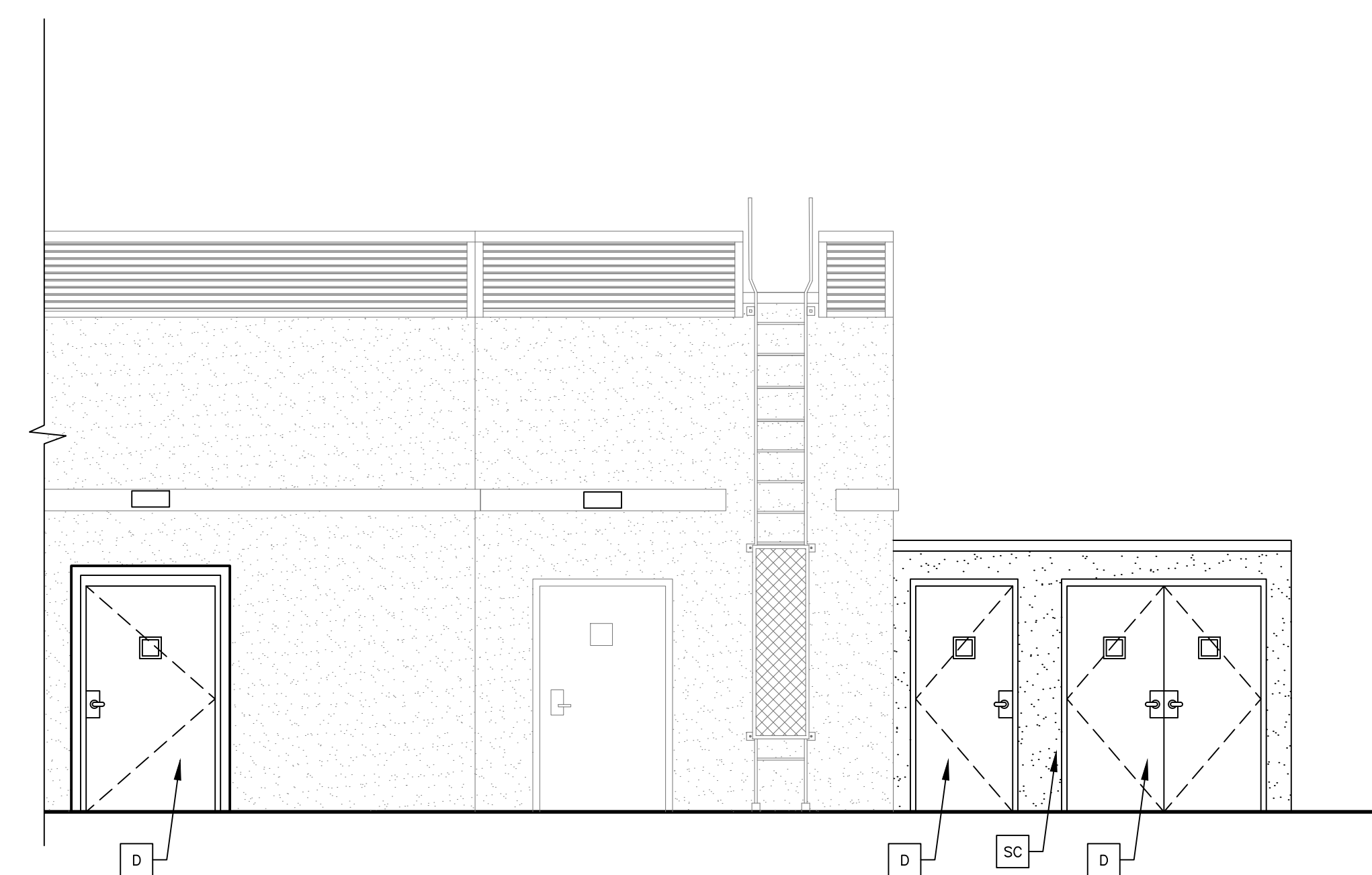
1
A20 DRIVE-THRU ELEVATION - CONT.
1'4" = 1'-0"

SC	STUCCO INFILL PAINTED TO MATCH ADJACENT
T1 XX	ALUMINUM TRELLIS SYSTEM COLOR: C1 = CITYSCAPE C2 = WHITE C3 = CHARCOAL C4 = GOLD
T2 XX	ALUMINUM TRELLIS TIE-BACK SYSTEM COLOR: C3 = CHARCOAL
T3	ALUMINUM TRELLIS 2" X 8" WALL FASCIA SYSTEM COLOR: CITYSCAPE
W1 X	NEW STOREFRONT AND GLAZING 1 = NEW STOREFRONT AND GLAZING – SEE ASSEMBLY NOTES 2 = EXISTING WINDOW TO REMAIN

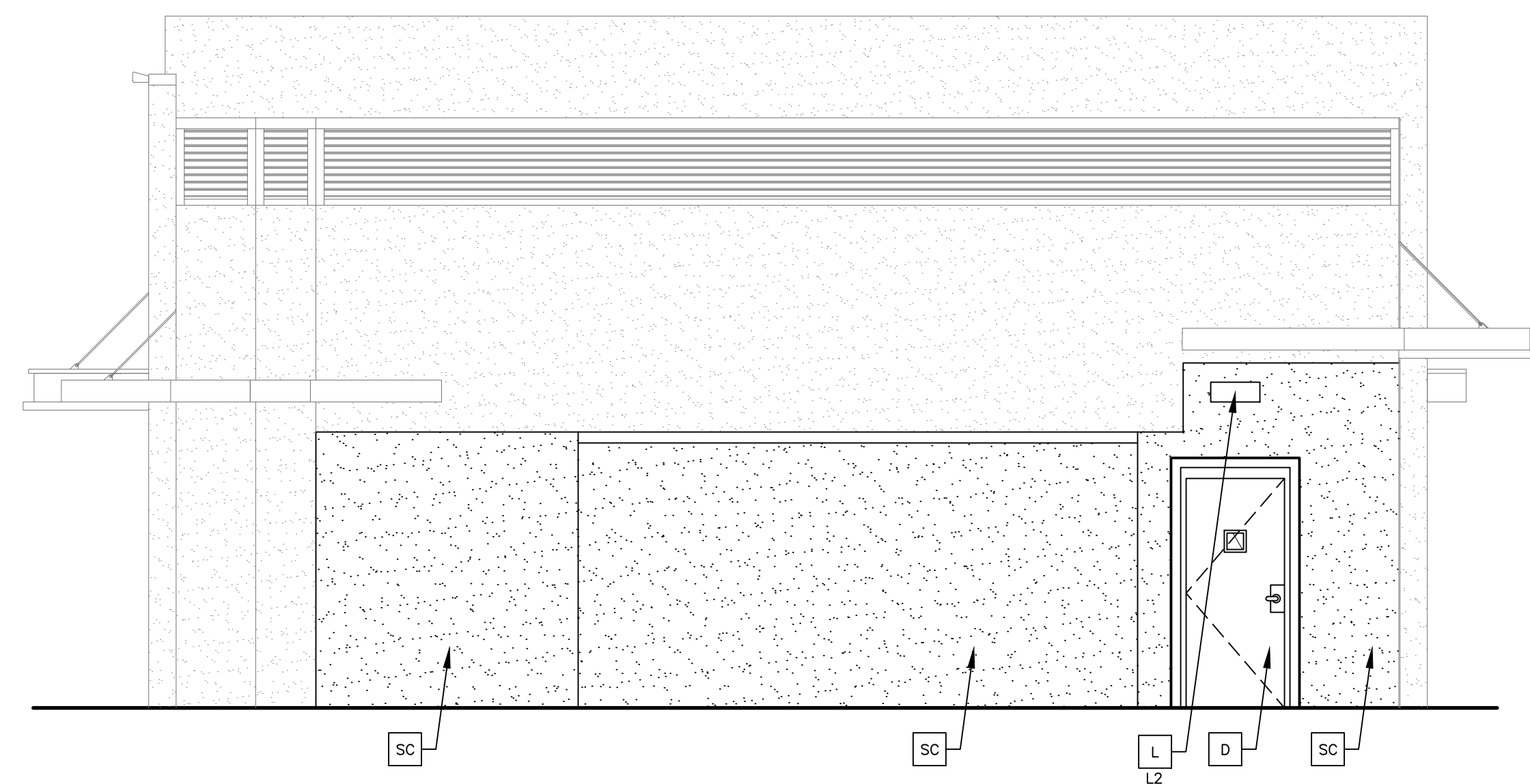
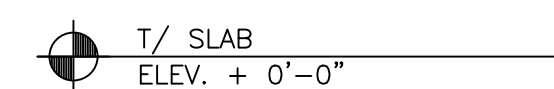
SHEET NO.	TITLE	DRAWN BY —	PREPARED FOR:  McDonald's USA, LLC	© 2022 McDonald's USA, LLC	PREPARED BY:
A2.0 ELEVATIONS	McDONALD'S MAJOR REMODEL	REVIEWED BY MR	 McDonald's USA, LLC These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. They are not to be reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings and specifications on any other project without the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.		THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF ROGUE ARCHITECTS. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
		ARCH. PROJ. NO. 1600			
		EXISTING 2X4 WOOD WALL FRAMING			
		DATE ISSUED 2022..01			
DESCRIPTION EXISTING 2X4 WOOD WALL FRAMING EXISTING WOOD ROOF FRAMING MEMBERS	SITE ID	SITE ADDRESS	REV	DATE	BY
042-3356.00.0	A2.0	5301 NW QUAIL RD., ALBUQUERQUE, NM 87120			



1
A2.1 NON-DRIVE-THRU ELEVATION
1/4" = 1'-0"



1
A2.1 NON-DRIVE-THRU ELEVATION CONT.
1/4" = 1'-0"

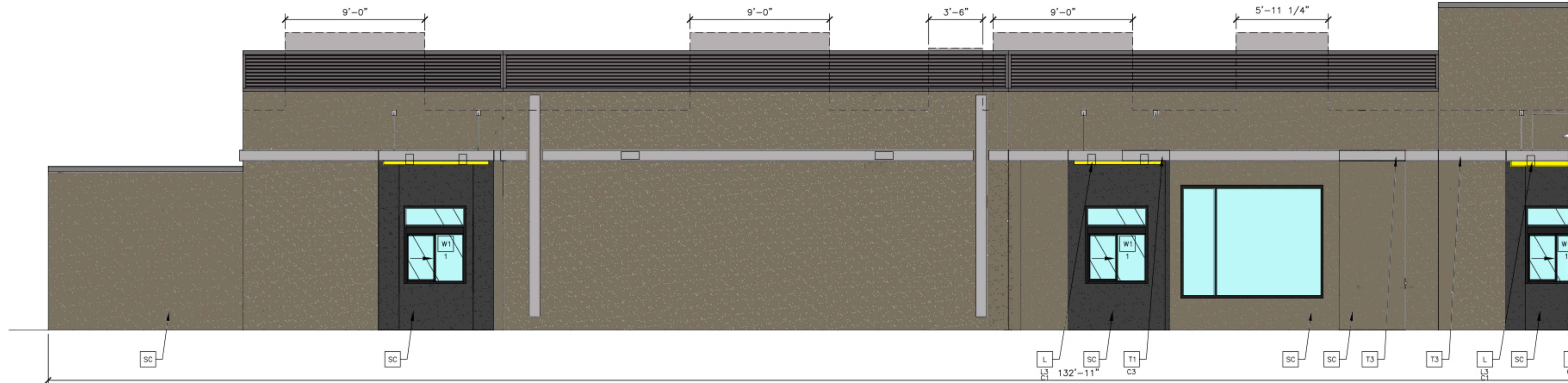


2 REAR ELEVATION
A2.1 1/4" = 1'-0"

W1 NEW STOREFRONT AND GLAZING
X 1 = NEW STOREFRONT AND GLAZING -
SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN

[illegible]

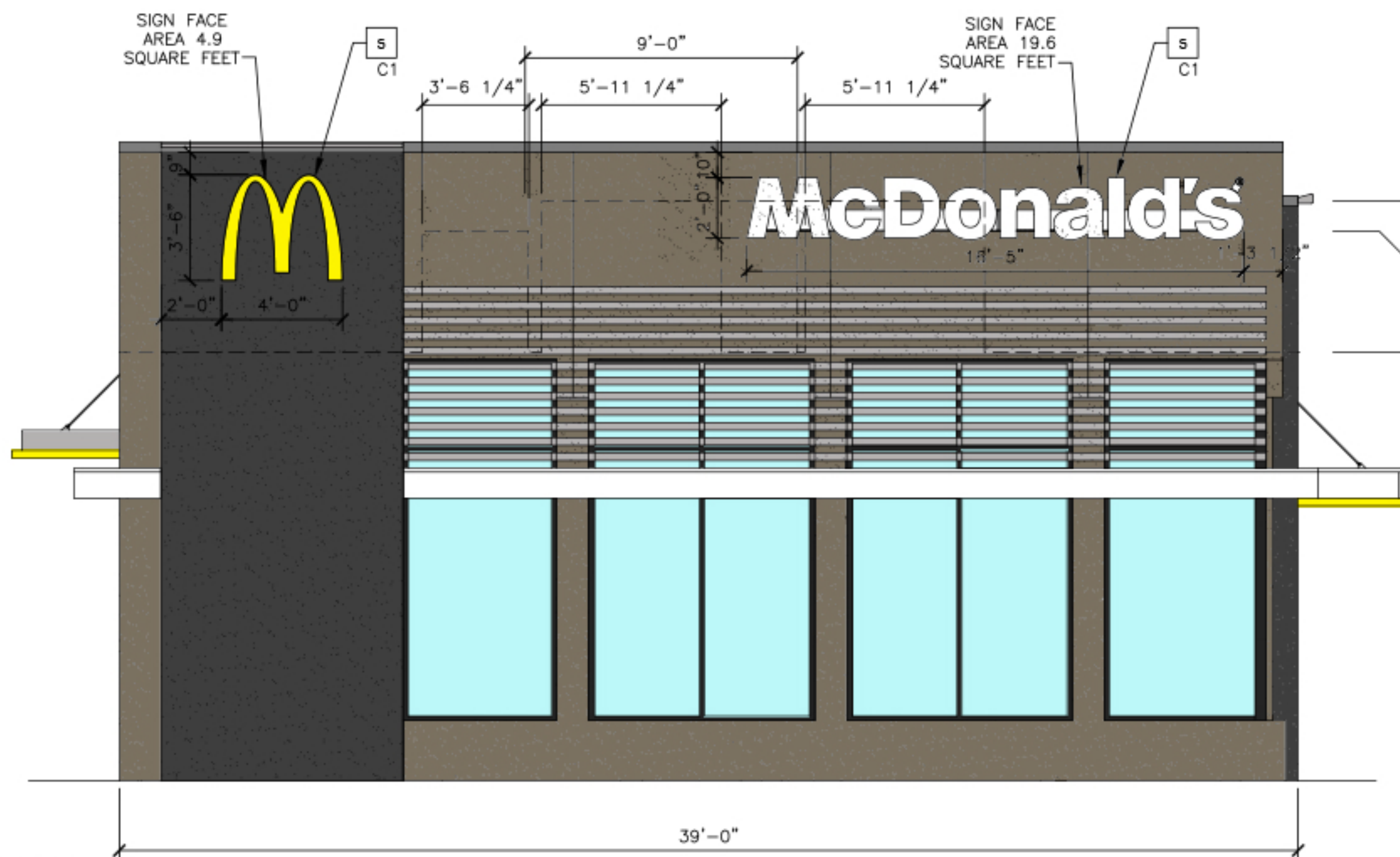
- T/ PARAPET BLOCKING
T/ BRAND WALL
ELEV. + 21'-1 1/4"
- T/ PARAPET BLOCKING
ELEV. + 18'-0"
- B/ CORRUGATED METAL
ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS
(UNDERSORE)
ELEV. + 10'-8"
- T/ STOREFRONT
ELEV. + 9'-4 3/4" VIF
- T/ DRIVE THRU WINDOW
ELEV. + 7'-5" VIF
- T/ SLAB
ELEV. + 0'-0"



1
A2.0 WEST/DRIVE-THRU ELEVATION
1/4" = 1'-0"

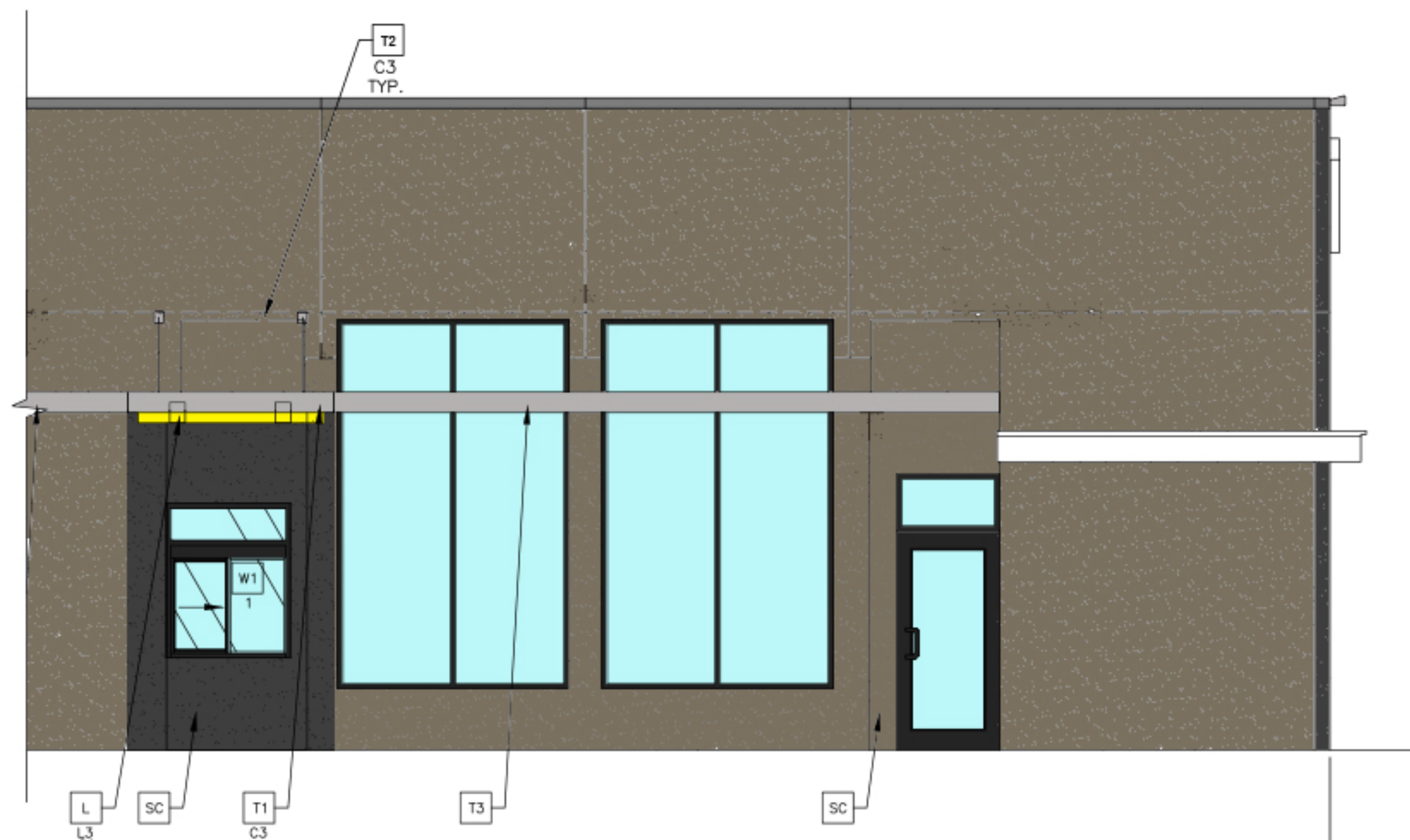
0 3 6 9 12 15 FT

- T/ PARAPET BLOCKING
T/ BRAND WALL
ELEV. + 21'-1 1/4"
- T/ STOREFRONT
ELEV. + 13'-11" VIF
- B/ DRIVE THRU TRELLIS
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS
(UNDERSORE)
ELEV. + 10'-8"
- B/ CANOPY
ELEV. + 9'-4" VIF
- T/ SLAB
ELEV. + 0'-0"



2
A2.0 SOUTH/FRONT ELEVATION
1/4" = 1'-0"

0 3 6 9 12 15 FT



1
A2.0 WEST/DRIVE-THRU ELEVATION - CONT.
1/4" = 1'-0"

0 3 6 9 12 15 FT

OTES:

- C ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- D HOLLOW METAL DOOR PAINT TO MATCH
COLOR OF SURROUNDING MATERIAL
- L LIGHT FIXTURE - SEE ELECTRICAL
XX TYPE:
L1 = UP AND DOWN SCONCE
L2 = DOWN ONLY SCONCE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
- LE ACCENT LIGHTING - SEE ELECTRICAL
XX LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- RL EXISTING ROOF LADDER PAINT TO MATCH
BASE BUILDING

- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1 COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- SC STUCCO INFILL PAINTED TO MATCH ADJACENT
- T1 ALUMINUM TRELLIS SYSTEM
XX COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T2 ALUMINUM TRELLIS TIE-BACK
SYSTEM
XX COLOR:
C3 = CHARCOAL
- T3 ALUMINUM TRELLIS 2" X 8"
WALL FASCIA SYSTEM
COLOR: CITYSCAPE

- W1 NEW STOREFRONT AND GLAZING
X 1 = NEW STOREFRONT AND GLAZING -
SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN

"DESERT" COLOR SCHEME

- METAL PANEL SYSTEM
REVEAL PANEL: WEATHERED ZINC BY METAL ERA
- SERVICE DOORS AND FRAMES:
PAINT TO MATCH SCHEME
- FEATURE WALL
STUCCO: SHERWIN WILLIAMS 7069 "IRON ORE"
FINISH: HYDROPHOBIC/FINESSE
- BASE BUILDING FINISH
STUCCO: BENJAMIN MOORE HC-85 FAIRVIEW TAUPE
FINISH: HYDROPHOBIC/ FINESSE

- PARAPET FINISH SYSTEM
ANCHOR-TITE PARAPET FASCIA: WEATHERED ZINC
BY METAL ERA

IDO SIGNAGE STANDARDS RESTRICTIONS FOR MX-M ZONE DISTRICT

WALL SIGN:
MAXIMUM NUMBER: N/A
MAXIMUM AREA: SHALL NOT EXCEED 25% OF FACADE AREA,
INCLUSIVE OF DOOR AND WINDOW OPENINGS.
LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2
ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS,
NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE
SHARED EDGE OF THE FRONTAGE.

FREESTANDING SIGN:
MAXIMUM NUMBER: 1/PREMISES/STREET FRONTAGE. A
FREESTANDING SIGN IS ALLOWED ONLY WHERE THERE IS AT LEAST
100 FEET OF STREET FRONTAGE OR 1 JOINT SIGN PREMISES,
PURSUANT SUBSECTION 14-16-5 12(F)(2)(b).
MAXIMUM AREA: 100 SQ.FT. AT ALLOWABLE LOCATIONS ABUTTING A
LOCAL OR COLLECTOR STREET, 200 SQ.FT. AT ALLOWABLE
LOCATIONS ABUTTING AN ARTERIAL STREET OR INTERSTATE
HIGHWAY, 300 SQ.FT. AT ALLOWABLE LOCATIONS WITHIN 200 FEET
OF A THROUGH LANE OF AN INTERSTATE HIGHWAY AND VISIBLE
FROM THE INTERSTATE HIGHWAY.
MAXIMUM HEIGHT: 26 FEET.

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PREPARED BY:

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McDonald's USA, LLC

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PREPARED FOR:

DRAWN BY

REVIEWED BY

ARCH PROJ NO

22-0469

STD ISSUE DATE

2022-01

DATE ISSUED

-

SITE ADDRESS

SITE ID

000-0105

5301 NW QUAL RD., ALBUQUERQUE, NM 87120

TITLE

McDONALD'S MAJOR REMODEL

SHEET NO.

042-3356.00.0

A2.0

ELEVATIONS

DESCRIPTION

EXISTING 2X4 WOOD WALL FRAMING

EXISTING WOOD ROOF FRAMING MEMBERS

REV

DATE

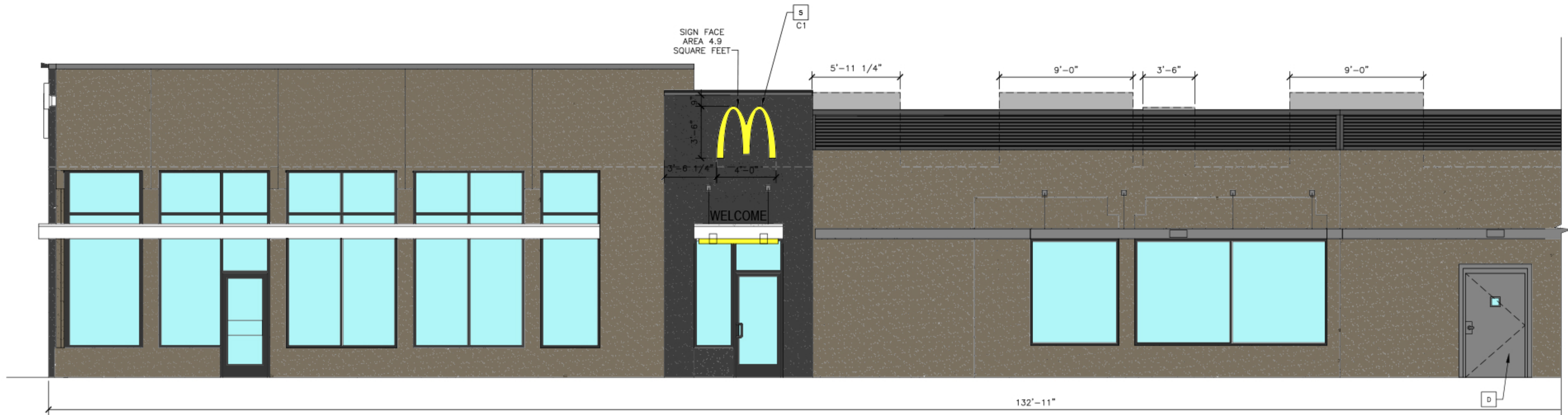
DESCRIPTION

BY

- T/ PARAPET BLOCKING
T/ BRAND WALL
ELEV. + 21'-1 1/4"
- T/ BRAND WALL
ELEV. + 19'-4"
- T/ PARAPET BLOCKING
ELEV. + 18'-0"
- B/ CORRUGATED METAL
ELEV. + 15'-4"
- T/ STOREFRONT
ELEV. + 13'-11" VIF

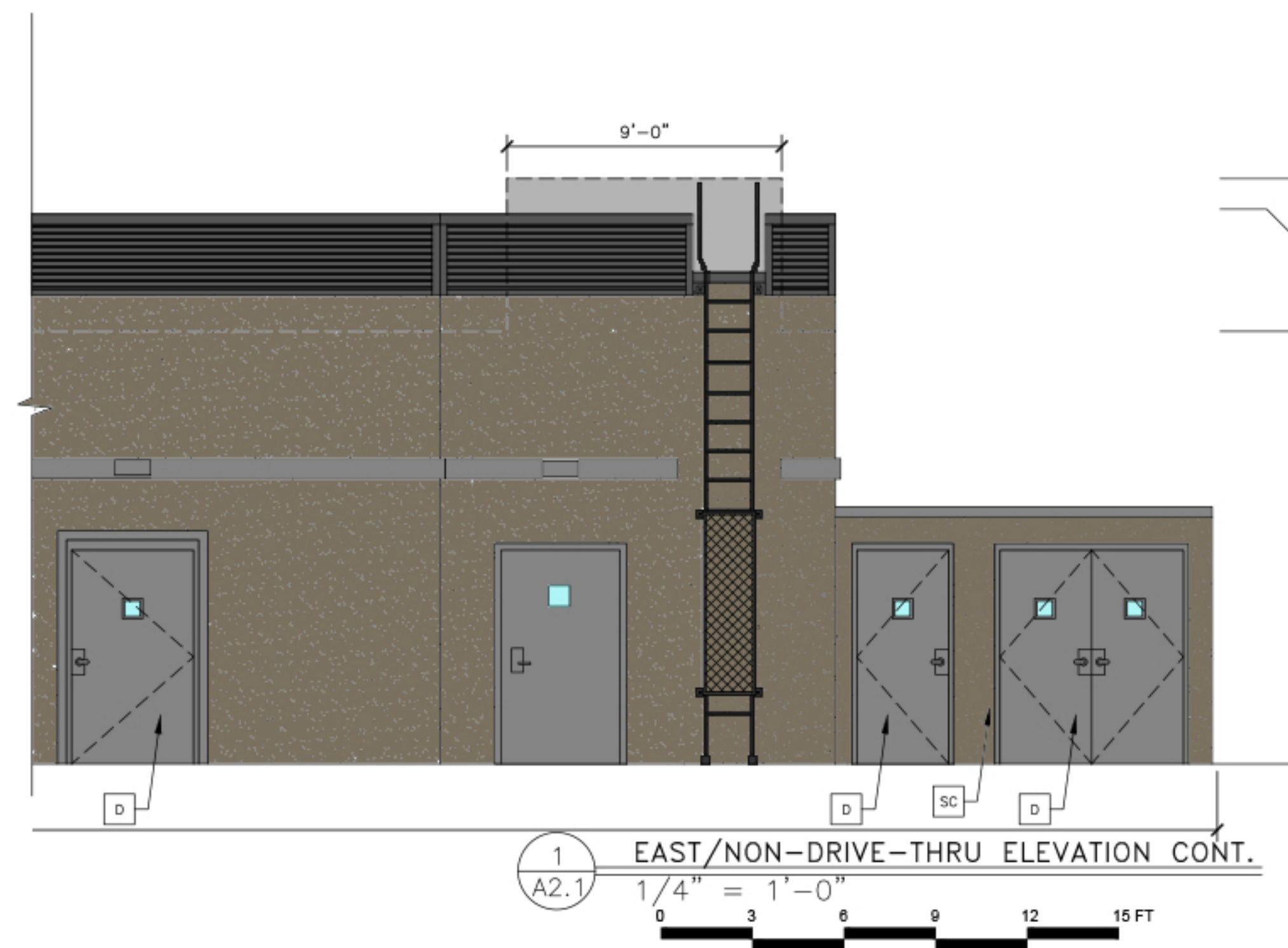
- B/ CANOPY
B/ TRELLIS
T/ STOREFRONT
ELEV. + 9'-4" VIF

- T/ SLAB
ELEV. + 0'-0"



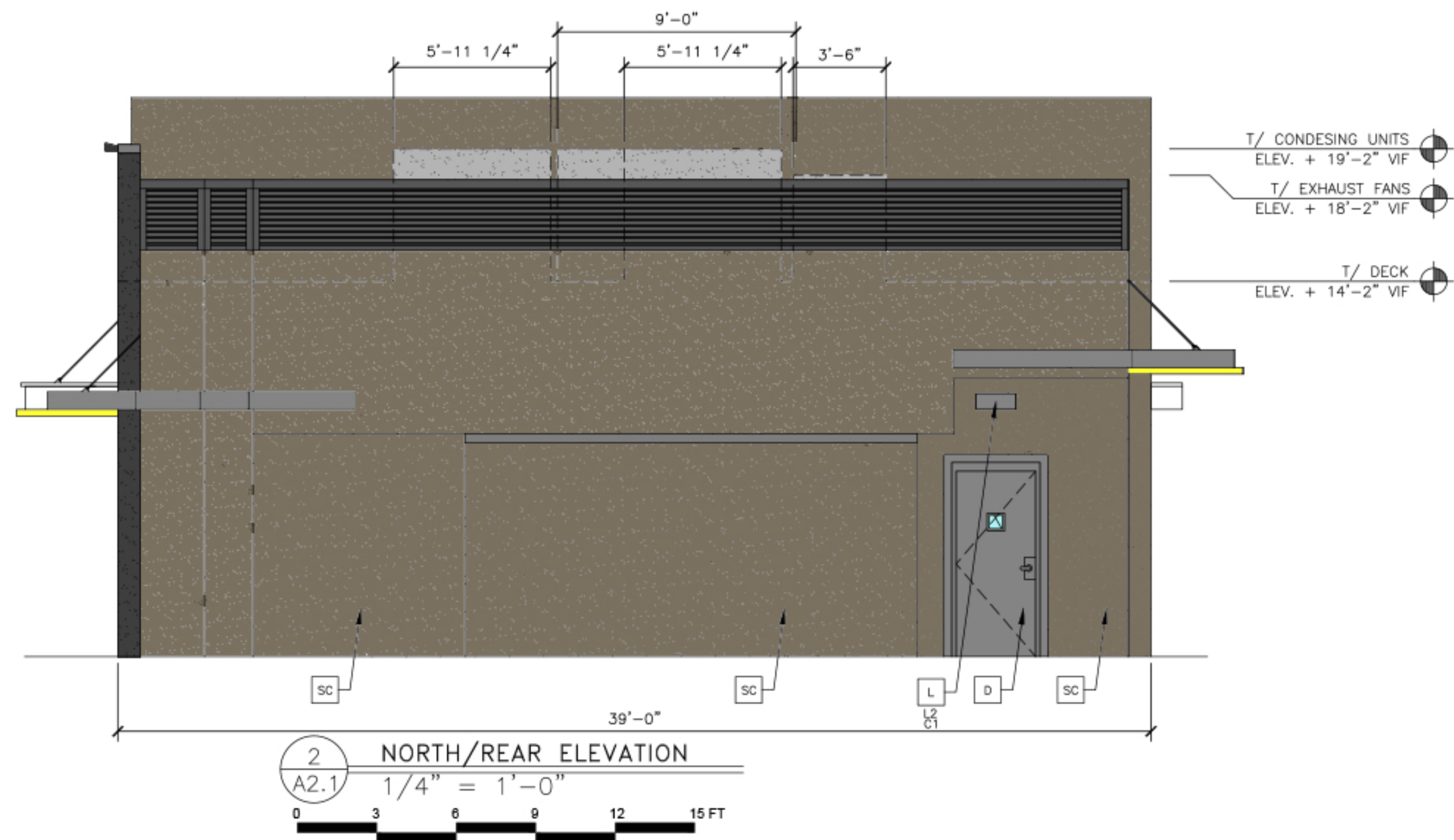
1 EAST/NON-DRIVE-THRU ELEVATION
1/4" = 1'-0"

0 3 6 9 12 15 FT



- T/ CONDENSING UNITS
ELEV. + 19'-2" VIF
- T/ EXHAUST FANS
ELEV. + 18'-2" VIF
- T/ DECK
ELEV. + 14'-2" VIF

- T/ PARAPET BLOCKING
ELEV. + 21'-1 1/4"
- T/ PARAPET BLOCKING
ELEV. + 18'-0"
- B/ CORRUGATED METAL
ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS
(UNDERSCORE)
ELEV. + 10'-8"
- B/ TRELLIS
ELEV. + 9'-4" VIF
- T/ SLAB
ELEV. + 0'-0"



- T/ CONDENSING UNITS
ELEV. + 19'-2" VIF
- T/ EXHAUST FANS
ELEV. + 18'-2" VIF
- T/ DECK
ELEV. + 14'-2" VIF

KEY NOTES:

- C ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- D HOLLOW METAL DOOR PAINT TO MATCH
COLOR OF SURROUNDING MATERIAL
- L LIGHT FIXTURE - SEE ELECTRICAL
- XX TYPE:
L1 = UP AND DOWN SCONCE
L2 = DOWN ONLY SCONCE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
- LE ACCENT LIGHTING - SEE ELECTRICAL
- XX LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- RL EXISTING ROOF LADDER PAINT TO MATCH
BASE BUILDING

- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1 COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY

- SC STUCCO INFILL PAINTED TO MATCH ADJACENT

- T1 ALUMINUM TRELLIS SYSTEM
XX COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD

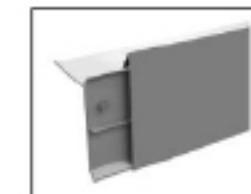
- T2 ALUMINUM TRELLIS TIE-BACK
SYSTEM
XX COLOR:
C3 = CHARCOAL

- T3 ALUMINUM TRELLIS 2" X 8"
WALL FASCIA SYSTEM
COLOR: CITYSCAPE

- W1 NEW STOREFRONT AND GLAZING
X 1 = NEW STOREFRONT AND GLAZING -
SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN

"DESERT" COLOR SCHEME

- METAL PANEL SYSTEM
REVEAL PANEL: WEATHERED ZINC BY METAL ERA
- SERVICE DOORS AND FRAMES:
PAINT TO MATCH SCHEME
- FEATURE WALL
STUCCO: SHERWIN WILLIAMS 7069 "IRON ORE"
FINISH: HYDROPHOBIC/FINESSE
- BASE BUILDING FINISH
STUCCO: BENJAMIN MOORE HC-85 FAIRVIEW TAUPE
FINISH: HYDROPHOBIC/ FINESSE



- PARAPET FINISH SYSTEM
ANCHOR-TITE PARAPET FASCIA: WEATHERED ZINC
BY METAL ERA

IDO SIGNAGE STANDARDS RESTRICTIONS FOR MX-M ZONE DISTRICT

WALL SIGN:
MAXIMUM NUMBER: N/A
MAXIMUM AREA: SHALL NOT EXCEED 25% OF FACADE AREA,
INCLUSIVE OF DOOR AND WINDOW OPENINGS.
LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2
ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS,
NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE
SHARED EDGE OF THE FRONTAGE.

FREESTANDING SIGN:
MAXIMUM NUMBER: 1/PREMISES/STREET FRONTAGE. A
FREESTANDING SIGN IS ALLOWED ONLY WHERE THERE IS AT LEAST
100 FEET OF STREET FRONTAGE OR 1 JOINT SIGN PREMISES,
PURSUANT SUBSECTION 14-16-5 12(F)(2)(b).
MAXIMUM AREA: 100 SQ.FT. AT ALLOWABLE LOCATIONS ABUTTING A
LOCAL OR COLLECTOR STREET. 200 SQ.FT. AT ALLOWABLE
LOCATIONS ABUTTING AN ARTERIAL STREET OR INTERSTATE
HIGHWAY. 300 SQ.FT. AT ALLOWABLE LOCATIONS WITHIN 200 FEET
OF A THROUGH LANE OF AN INTERSTATE HIGHWAY AND VISIBLE
FROM THE INTERSTATE HIGHWAY.
MAXIMUM HEIGHT: 26 FEET.

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PREPARED BY:

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PREPARED FOR:

DRAWN BY:

REVIEWED BY:

ARCH PROJ NO:

22-0469

STD ISSUE DATE:

2022-01

DATE ISSUED:

-

TITLE
McDONALD'S MAJOR REMODEL

DESCRIPTION
EXISTING 2X4 WOOD WALL FRAMING
EXISTING WOOD ROOF FRAMING MEMBERS

SHEET NO.
A2.1
ELEVATIONS

042-3356.00.0

000-0105

SITE ADDRESS
5301 NW QUAIL RD., ALBUQUERQUE, NM 87120

BY