

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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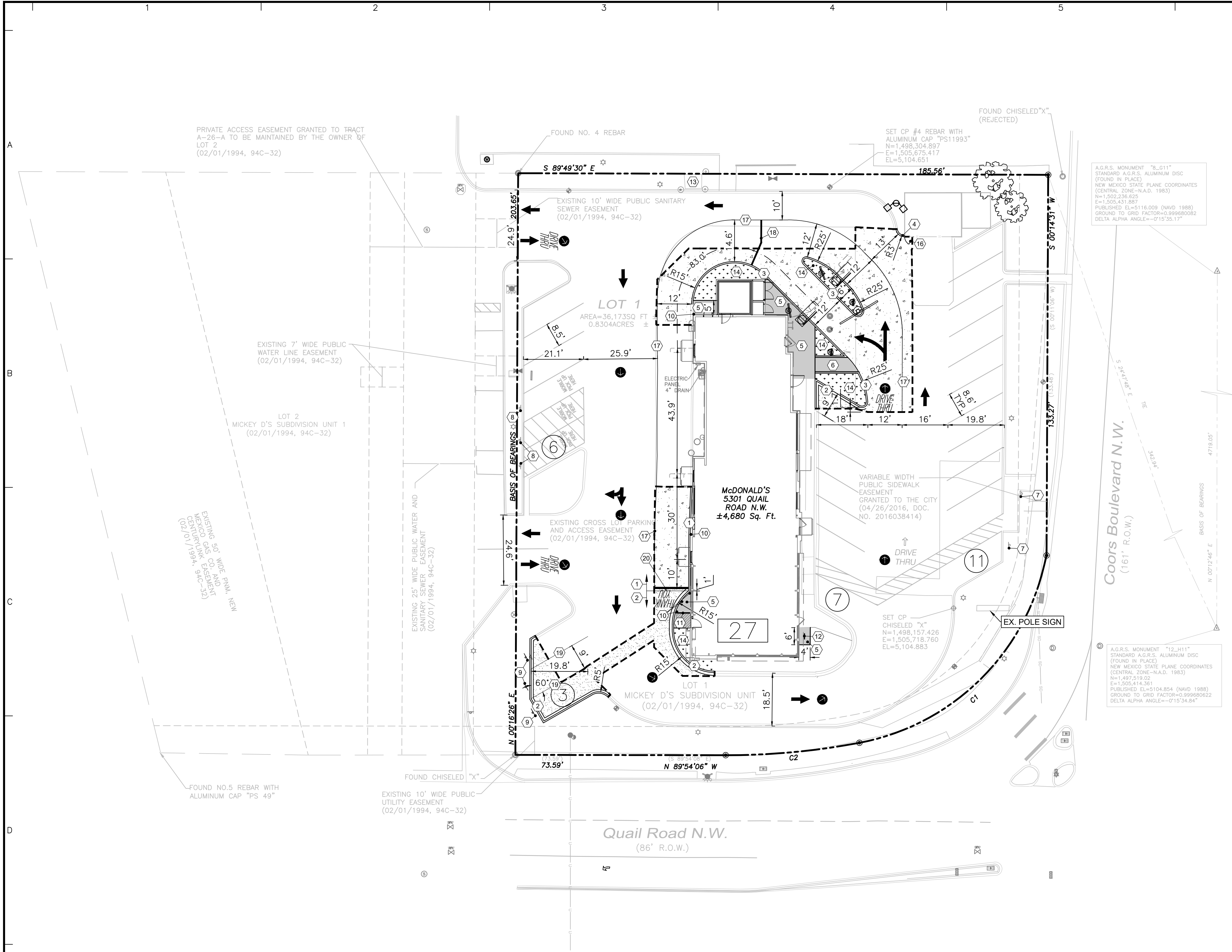
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APPROVED BY

\_\_\_\_\_  
DATE





KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C6.2 STANDARD DETAILS)
2	SEPARATE CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C6.2 STANDARD DETAILS)
3	MONOLITHIC CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C6.2 STANDARD DETAILS)
4	TURN DOWN CURB (RE: C6.3 STANDARD DETAILS)
5	REINFORCED CONCRETE SIDEWALK (RE: C6.3 STANDARD DETAILS)
6	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C6.1 STANDARD DETAILS)
7	EXISTING McDONALD'S OOSP/MOBILE ORDER SIGN
8	EXISTING McDONALD'S OOSP/MOBILE ORDER SIGN
9	McDONALD'S OOSP / MOBILE ORDER SIGN (RE: C6.4 STANDARD DETAILS)
10	BOLLARD (RE: C6.1 STANDARD DETAILS)
11	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C6.1 STANDARD DETAILS)
12	BIKE RACK (RE: C6.5 STANDARD DETAILS)
13	EXISTING PAD MOUNTED TRANSFORMER
14	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
15	NOT USED
16	RELOCATED MAN DOOR (RE: ARCHITECTURAL PLANS FOR DETAILS)
17	6" DRIVE-THRU STRIPING - COLOR : YELLOW
18	6" MERGE POINT - COLOR : YELLOW
19	4" OOSP STRIPING - COLOR : YELLOW
20	8" OOSP STRIPING - COLOR : YELLOW

PAVING LEGEND	
	REINFORCED CONCRETE SIDEWALK, MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
	LANDSCAPE AREA
	HEAVY DUTY CONCRETE PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	SAWCUT LINE
*REFER TO GEOTECH REPORT PROVIDED BY SHB AGRA, INC. IN REPORT NO. E93-149 FOR ALL PAVING SPECIFICATIONS.	

PAVING SPECIFICATION

VERIFY W/ McDONALD'S:

ASPHALT:

CONCRETE:

CONTRACTOR TO BID:

ASPHALT:

CONCRETE:

CONCRETE PAVEMENT RECOMMENDATIONS

PAVEMENT MATERIALS	HEAVY DUTY
PORTLAND CEMENT CONCRETE PAVEMENT	6"
COMPACTED SUBGRADE	12"

ASPHALT PAVEMENT RECOMMENDATIONS

PAVEMENT MATERIALS	HEAVY DUTY
ASPHALT CONCRETE SURFACE COURSE	5.5" OR 4"
AGGREGATE BASE	6"
COMPACTED SUBGRADE	12" 12"

PAVEMENT NOTES:

1. PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY SHB AGRA, INC. DATED AUGUST 25, 1993. (E93-149)

2. SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 1557) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE. SEE PAGE C-2 OF GEOTECH REPORT.

3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

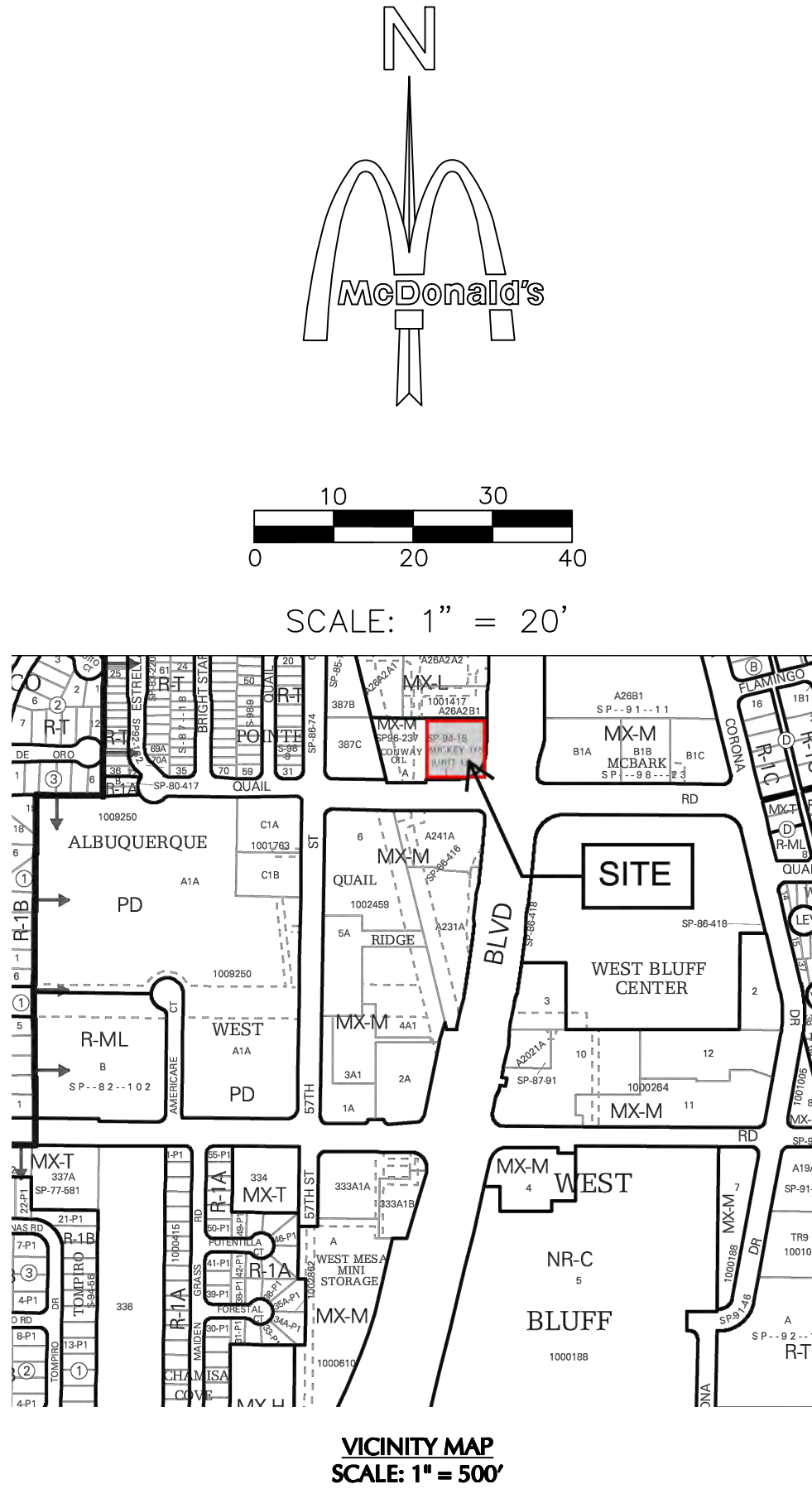
5. WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.

6. REFER TO C6.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.

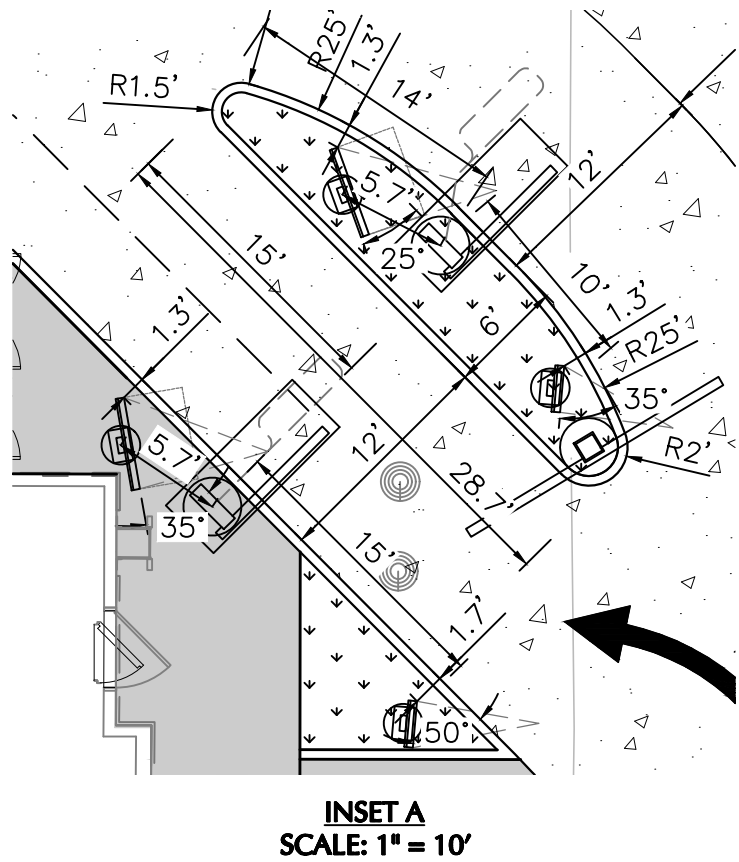
7. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.

8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/GEOTECHNICAL REQUIREMENTS.



LEGEND	
McDONALD'S DIGITAL MENU BOARD	
McDONALD'S ORDER HERE CANOPY	
McDONALD'S DIGITAL PRE-BROWSE BOARD	
McDONALD'S DOUBLE GATEWAY	
DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C6.0 STANDARD DETAILS)	
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW	
"THANK YOU" AT END OF PATH - COLOR : YELLOW	
"CIRCLE / ARROW" - COLOR : YELLOW	
ARROW PATH DIRECTION - COLOR : WHITE	
DOUBLE DRIVE-THRU "ARROW MARKING" - COLOR: YELLOW	



SITE INFORMATION	
LAND AREA:	36,173 SF (0.8304 AC)
CURRENT ZONING:	MX-M
EXISTING USE:	DRIVE-THRU RESTAURANT
PROPOSED USE:	DRIVE-THRU RESTAURANT
BUILDING AREA (APPROXIMATE):	4,680 SF
BUILDING LOT COVERAGE:	4,680 SF/36,173 SF = 12.9%
PARKING REQUIRED:	1 SPACE PER 4 SEATS
PARKING PROVIDED:	27
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	2
BICYCLE PARKING PROVIDED:	2
EXISTING IMPERVIOUS AREA:	29,537 SF
PROPOSED IMPERVIOUS AREA:	29,496 SF
EXISTING LANDSCAPE PERCENTAGE:	18.34%
PROPOSED LANDSCAPE PERCENTAGE:	18.45%

**\*\* NOTE TO CONTRACTOR - LOT RE-STRIPING \*\***

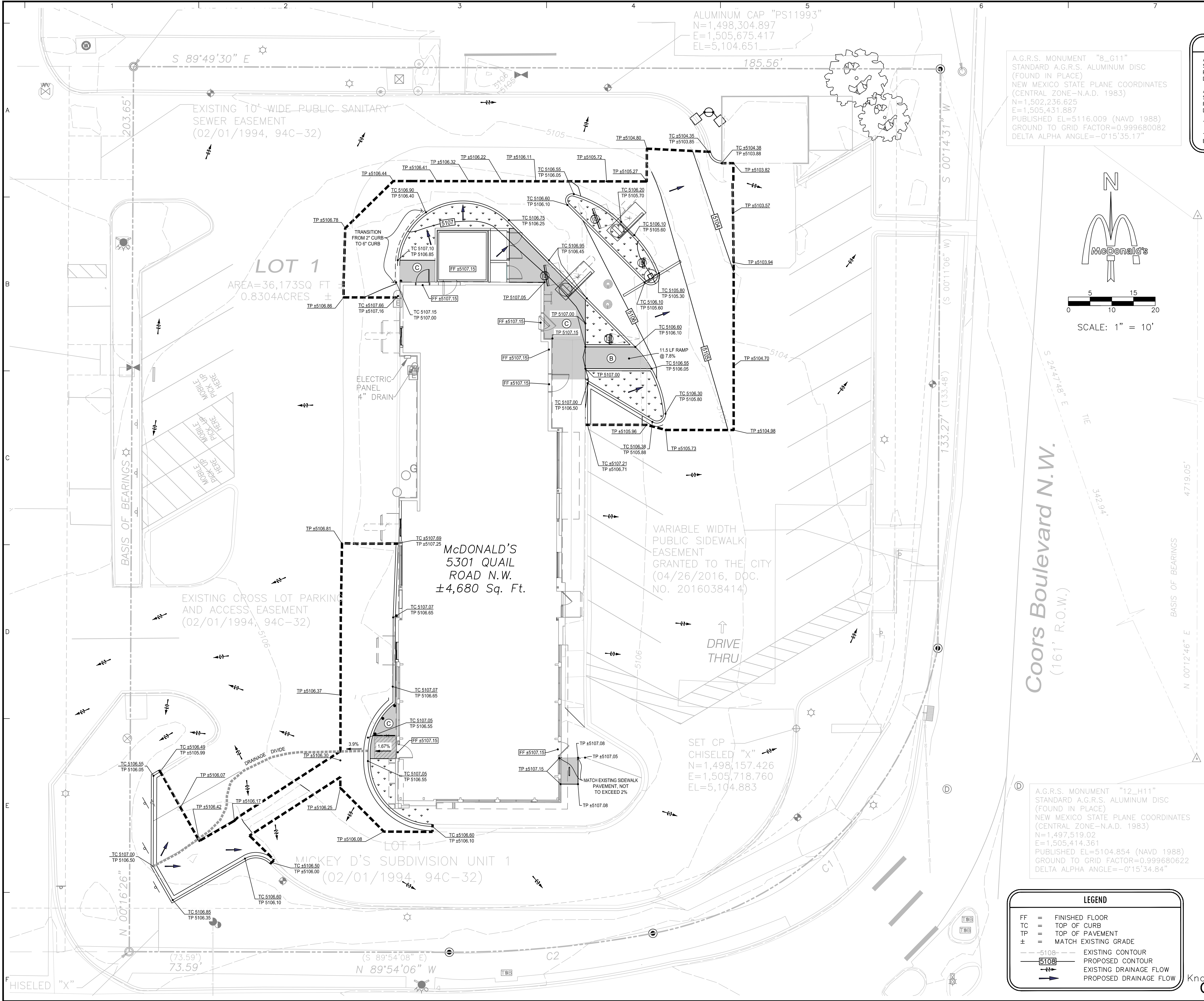
ALL AREAS, INCLUDING THOSE NOT AFFECTED BY ADA, DRIVE-THRU, OR OTHER SITE IMPROVEMENTS, SHALL BE RE-STRIPED.

**811**

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Date	Description	No.
Revisions		
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 MATTHEW DAVID KORTE NEW MEXICO 25909 PROFESSIONAL ENGINEER		
<b>LANGAN</b> Langan Engineering and Environmental Services, Inc. 8951 Cypress Waters Blvd, Suite 150 Dallas, TX 75019 T: 817.328.3200 www.langan.com		
Project <b>McDonald's LC# 030-0105</b> <b>Major Remodel Project</b> <b>5301 Quail Rd. NW</b> <b>ALBUQUERQUE</b> BERNALILLO COUNTY NEW MEXICO		
Drawing Title <b>SITE &amp; PAVING PLAN</b>		
Project No. <b>520055701</b>	Drawing No. <b>C3.0</b>	
Date <b>02/28/2023</b>	Drawn By <b>IDC</b>	
Checked By <b>HJM</b>	Sheet <b>5</b> of <b>12</b>	





BENCHMARKS	
A.G.R.S. MONUMENT "8_G11" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,502,236.625 E=1,505,431.887 PUBLISHED EL=5116.009 (NAVD 1988) GROUND TO GRID FACTOR=0.999680082 DELTA ALPHA ANGLE=-0°15'35.17"	
A.G.R.S. MONUMENT "12_H11" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,497,519.02 E=1,505,414.361 PUBLISHED EL=5104.854 (NAVD 1988) GROUND TO GRID FACTOR=0.999680622 DELTA ALPHA ANGLE=-0°15'34.84"	
TBM - SET CP CHISELED "X" N=1,498,157.426 E=1,505,718.760 EL=5,104.883	
TBM - SET CP No. 4 REBAR WITH ALUMINUM CAP"PS11993" N=1,498,304.897 E=1,505,675.417 EL=5,104.651	

STANDARD ACCESSIBILITY REQUIREMENTS	
<b>A) PARKING:</b> ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 80" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS) ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE. EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT. ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.	
<b>B) RAMPS:</b> RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS. IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE). LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS). RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" VERTICAL RISE. RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).	
<b>C) SIDEWALKS AND ACCESSIBLE ROUTES:</b> SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%). LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).	

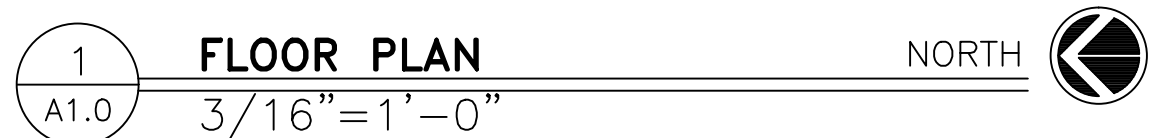
Date	Description	No.
Revisions		
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<b>LANGAN</b> Langan Engineering and Environmental Services, Inc. 8951 Cypress Waters Blvd, Suite 150 Dallas, TX 75019 T: 817.328.3200      www.langan.com		
Project <b>McDonald's LC# 030-0105</b> <b>Major Remodel Project</b> <b>5301 Quail Rd. NW</b> <b>ALBUQUERQUE</b> BERNALILLO COUNTY      NEW MEXICO		
Drawing Title <b>GRADING PLAN</b>		
Project No. <b>520055701</b>	Drawing No. <b>C5.0</b>	
Date <b>02/28/2023</b>	Drawn By <b>ELP</b>	
Checked By <b>HJM</b>	Sheet <b>7</b> of <b>12</b>	

A.G.R.S. MONUMENT "12\_H11" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,497,519.02 E=1,505,414.361 PUBLISHED EL=5104.854 (NAVD 1988) GROUND TO GRID FACTOR=0.999680622 DELTA ALPHA ANGLE=-0°15'34.84"

LEGEND	
FF	= FINISHED FLOOR
TC	= TOP OF CURB
TP	= TOP OF PAVEMENT
±	= MATCH EXISTING GRADE
-5108	= EXISTING CONTOUR
5108	= PROPOSED CONTOUR
→	= EXISTING DRAINAGE FLOW
→	= PROPOSED DRAINAGE FLOW

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A — PARTITION TYPE TAG SEE 2/A1.0

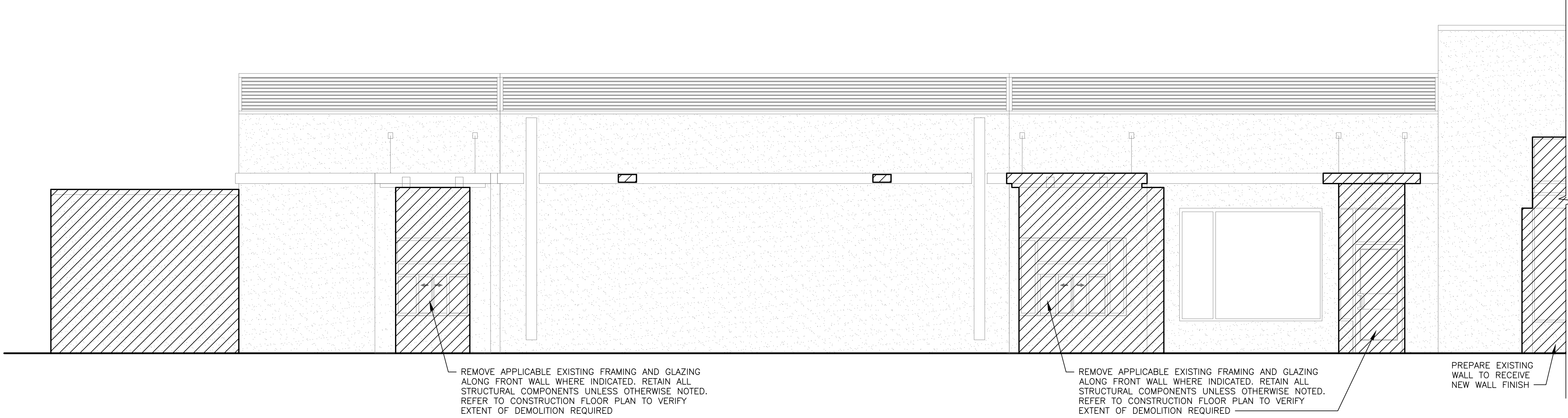
7 DOOR TAG — SEE DOOR SCHEDULE ON A6.0

X KEY NOTE

SHEET NO.	TITLE	DRAWN BY TJB	REVIEWED BY MR	ARCH. PROJ. NO 2022_01	STD ISSUE DATE 2022_01	DATE ISSUED	SITE ADDRESS	SITE ID 5301	SITE ADDRESS 5301 QUIL RAIL, ALBUQUEQUE, NM 87120	BY
A1.0	McDONALD'S MAJOR REMODEL									
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513 MAIN STREET, SUITE 300 FORT WORTH, TEXAS 76102 (817) 820-0433										
PREPARED BY:										
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- T/ PARAPET BLOCKING  
T/ BRAND WALL  
ELEV. + 21'-1 1/4"
- T/ PARAPET BLOCKING  
ELEV. + 18'-0"
- B/ CORRUGATED METAL  
ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS  
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS  
(UNDERSOFT)  
ELEV. + 10'-8"
- T/ STOREFRONT  
ELEV. + 9'-4 3/4" VIF
- T/ DRIVE THRU WINDOW  
ELEV. + 7'-5" VIF
- T/ SLAB  
ELEV. + 0'-0"

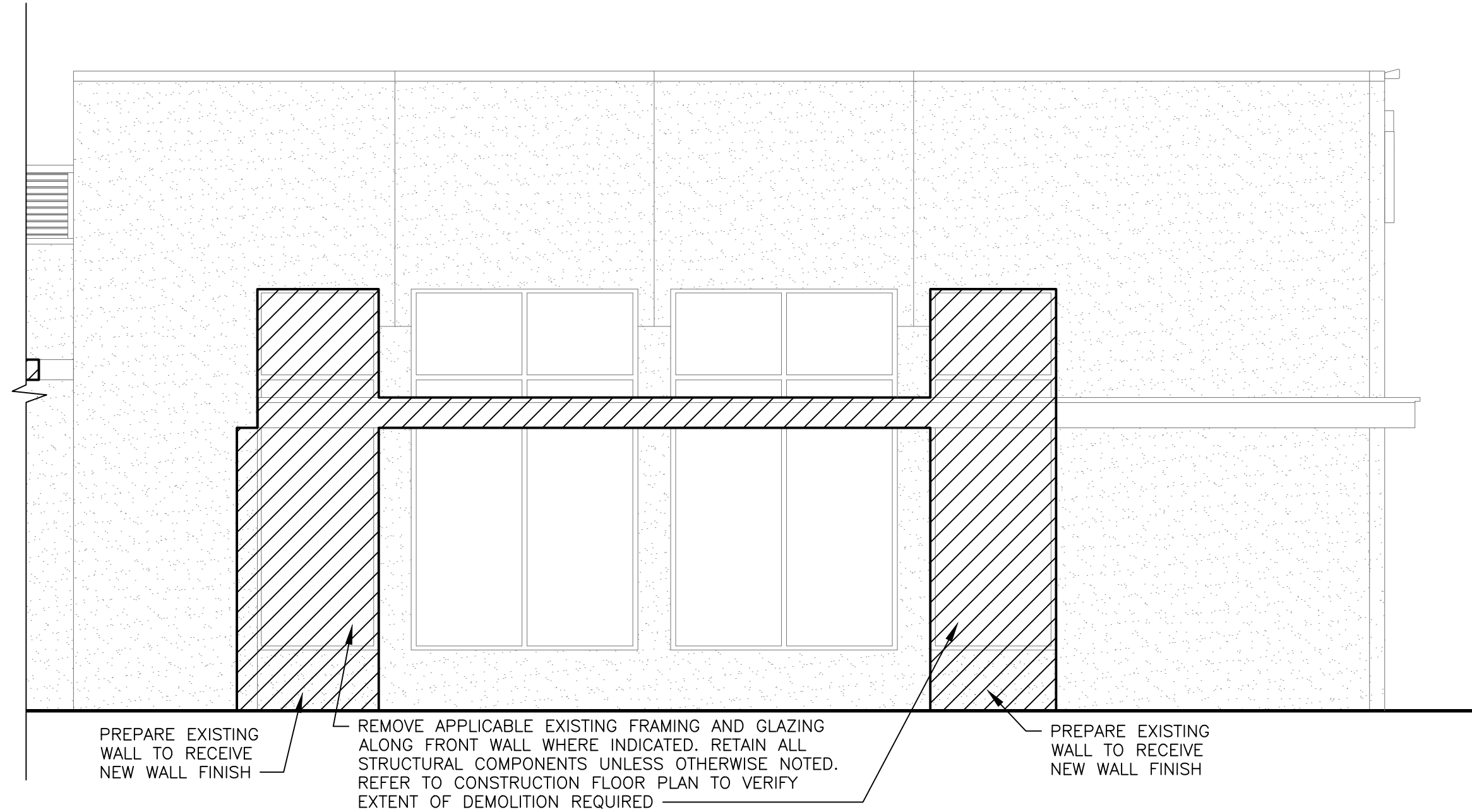


1 DRIVE-THRU ELEVATION  
D1.1 1/4" = 1'-0"

- T/ PARAPET BLOCKING  
T/ BRAND WALL  
ELEV. + 21'-1 1/4"
- T/ STOREFRONT  
ELEV. + 13'-11" VIF
- B/ DRIVE THRU TRELLIS  
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS  
(UNDERSOFT)  
ELEV. + 10'-8"
- B/ CANOPY  
ELEV. + 9'-4" VIF
- T/ SLAB  
ELEV. + 0'-0"



2 FRONT ELEVATION  
D1.1 1/4" = 1'-0"

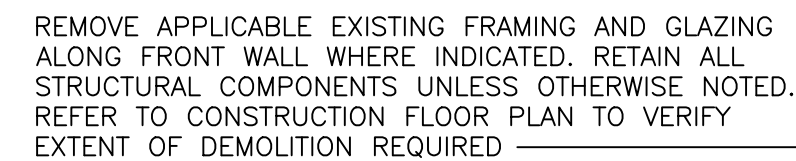
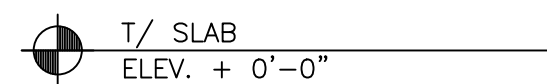


1 DRIVE-THRU ELEVATION - CONT.  
D1.1 1/4" = 1'-0"

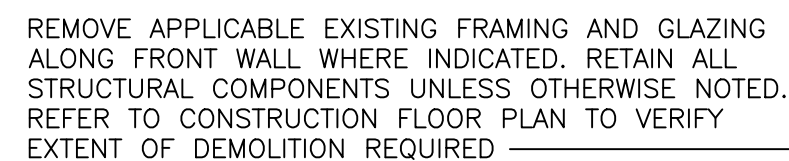
- DEMOLITION KEY NOTES:**
1. REMOVE EXISTING BUILDING SIGNAGE  
EXTEND REUSE EXISTING SUPPORTS
- DEMOLITION NOTES:**  
AS NECESSARY:  
REMOVE EXISTING EXTERIOR PLAYPLACE FENCING AND EXISTING SAFETY SURFACE  
REMOVE EXISTING EXTERIOR TABLES AND CHAIRS  
REMOVE EXISTING CONCRETE CURBS AS NECESSARY  
REMOVE EXISTING EXTERIOR DECORATIVE WOOD TRIM  
REMOVE EXISTING ASPHALT PARKING LOT GUARDRAILS AND BOLLARDS AS REQUIRED TO ACCOMMODATE NEW WORK
1. THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
2. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
3. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
4. ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
5. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
7. SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENINGS. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
9. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
10. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
11. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE MCDONALD'S AREA CONSTRUCTION MANAGER BEFORE PROCEEDING.
12. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
13. THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
14. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP, PLUG ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
15. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

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ROGUE ARCHITECTS	
513 MAIN STREET, SUITE 300 FORT WORTH, TEXAS 76102 (817) 620-0433	
PREPARED BY:	© 2022 McDonald's USA, LLC
PREPARED FOR:	McDonald's USA, LLC
DRAWN BY:	MR.
REVIEWED BY:	22-0469
ARCH PROJ NO:	22-0469
SID ISSUE DATE:	22-0469
DATE ISSUED:	22-0469
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McDonald's MAJOR REMODEL	
DESCRIPTION EXISTING 2X4 WOOD WALL FRAMING EXISTING WOOD ROOF FRAMING MEMBERS	
SITE ADDRESS 5301 NW QUAIL RD., ALEBUQUE, NM 87120	
SHEET NO. 042-3356.00.0	
D1.1	
DEMO ELEVATIONS	

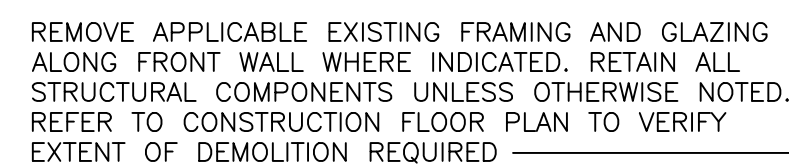
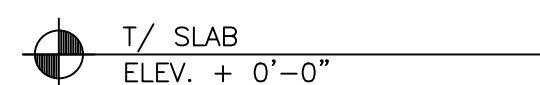




1  
D1.2



1 NON-DRIVE-TH  
D1.2 1/4" = 1'-0"



2 REAR ELEVATION  
D1.2  $1/4'' = 1'-0''$

1 REMOVE EXISTING BUILDING SIGNAGE  
EXTEND REUSE EXISTING SUPPORTS

AS NECESSARY:  
 REMOVE EXISTING EXTERIOR PLAYPLACE FENCING AND EXISTING SAFETY SURFACE  
 REMOVE EXISTING EXTERIOR TABLES AND CHAIRS  
 REMOVE EXISTING CONCRETE CURBS AS NECESSARY  
 REMOVE EXISTING EXTERIOR DECORATIVE WOOD TRIM  
 REMOVE EXISTING ASPHALT PARKING LOT GUARDRAILS AND BOLLARDS AS  
 REQUIRED TO ACCOMMODATE NEW WORK

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3. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.

5. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.

6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.

8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.

9. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.

10. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.

12. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.

13. THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.

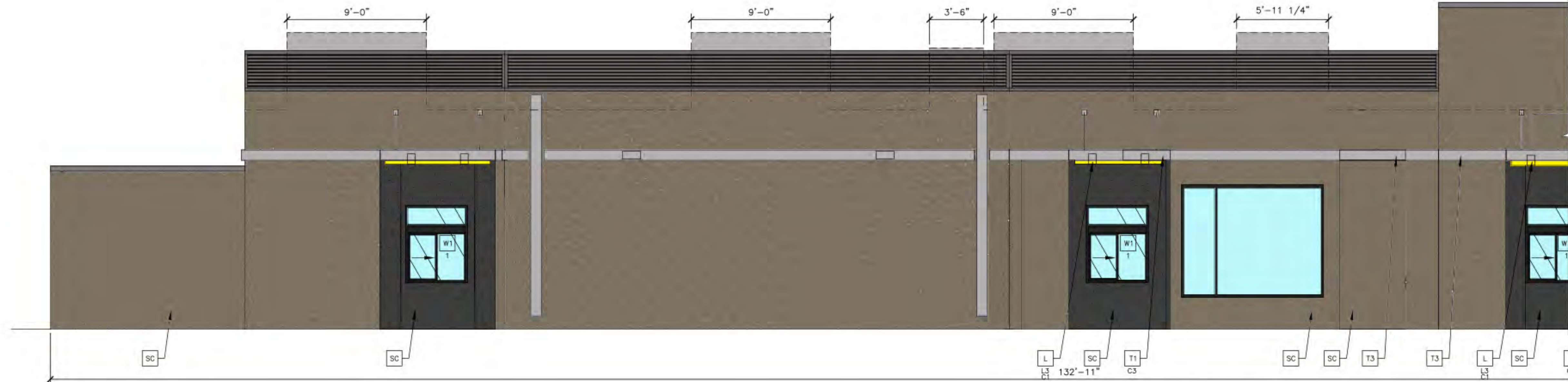
14. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP, PLUG ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.

15. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

SHEET NO.	TITLE	DRAWN BY REVIEWED BY MR.	ARCH PROJ NO 22-0469	STD ISSUE DATE DATE ISSUED	SITE ID 5301 NM QUAL RD, ALBUQUEQUE, NM 87120
D1.2	McDONALD'S MAJOR REMODEL	DESCRIPTION			
		EXISTING 2X4 WOOD WALL FRAMING EXISTING WOOD ROOF FRAMING MEMBERS			
042-3356.00.0					
DEMO ELEVATIONS					

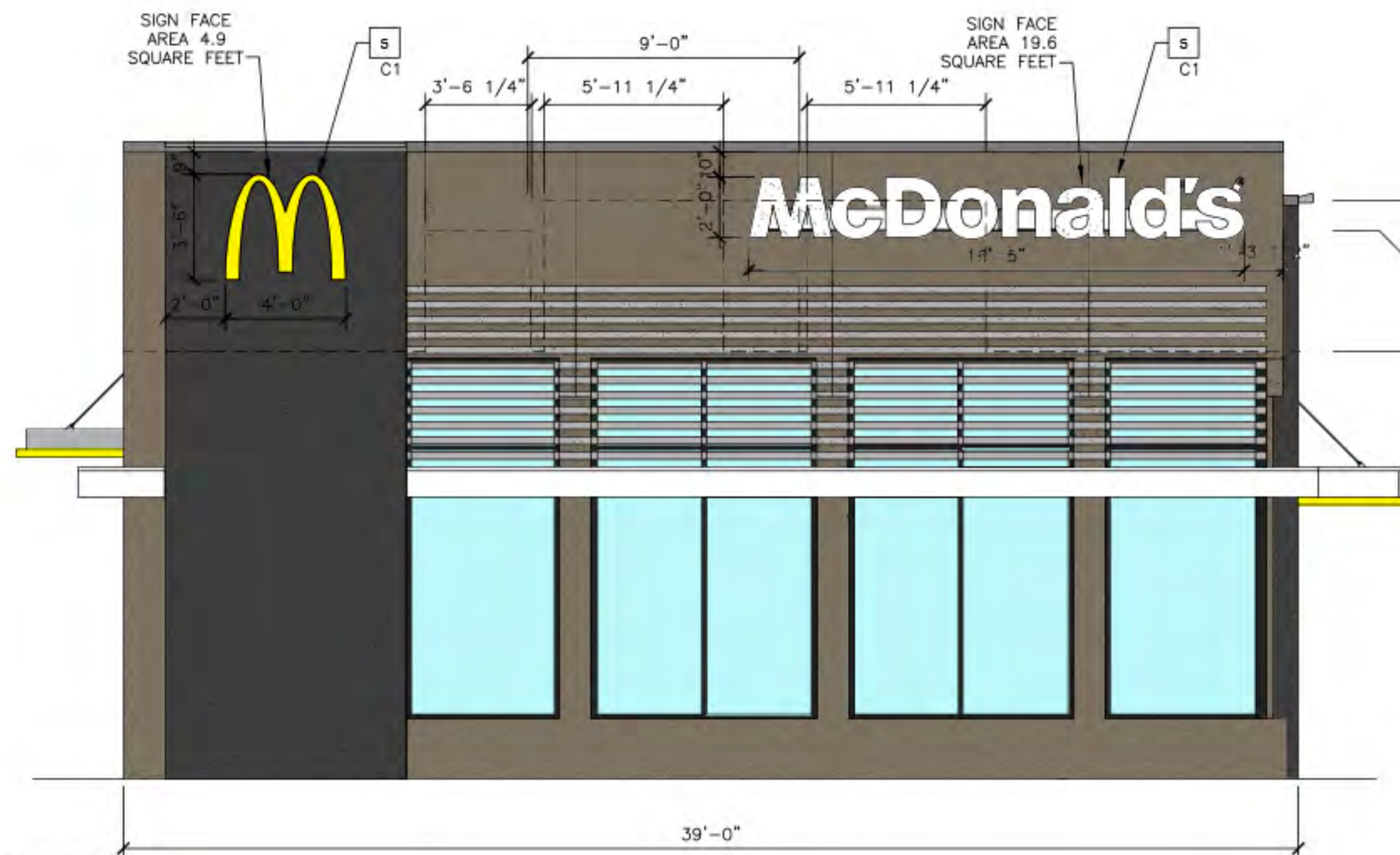


- T/ PARAPET BLOCKING  
T/ BRAND WALL  
ELEV. + 21'-1 1/4"
- T/ PARAPET BLOCKING  
ELEV. + 18'-0"
- B/ CORRUGATED METAL  
ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS  
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS  
(UNDERSORE)  
ELEV. + 10'-8"
- T/ STOREFRONT  
ELEV. + 9'-4 3/4" VIF
- T/ DRIVE THRU WINDOW  
ELEV. + 7'-5" VIF
- T/ SLAB  
ELEV. + 0'-0"

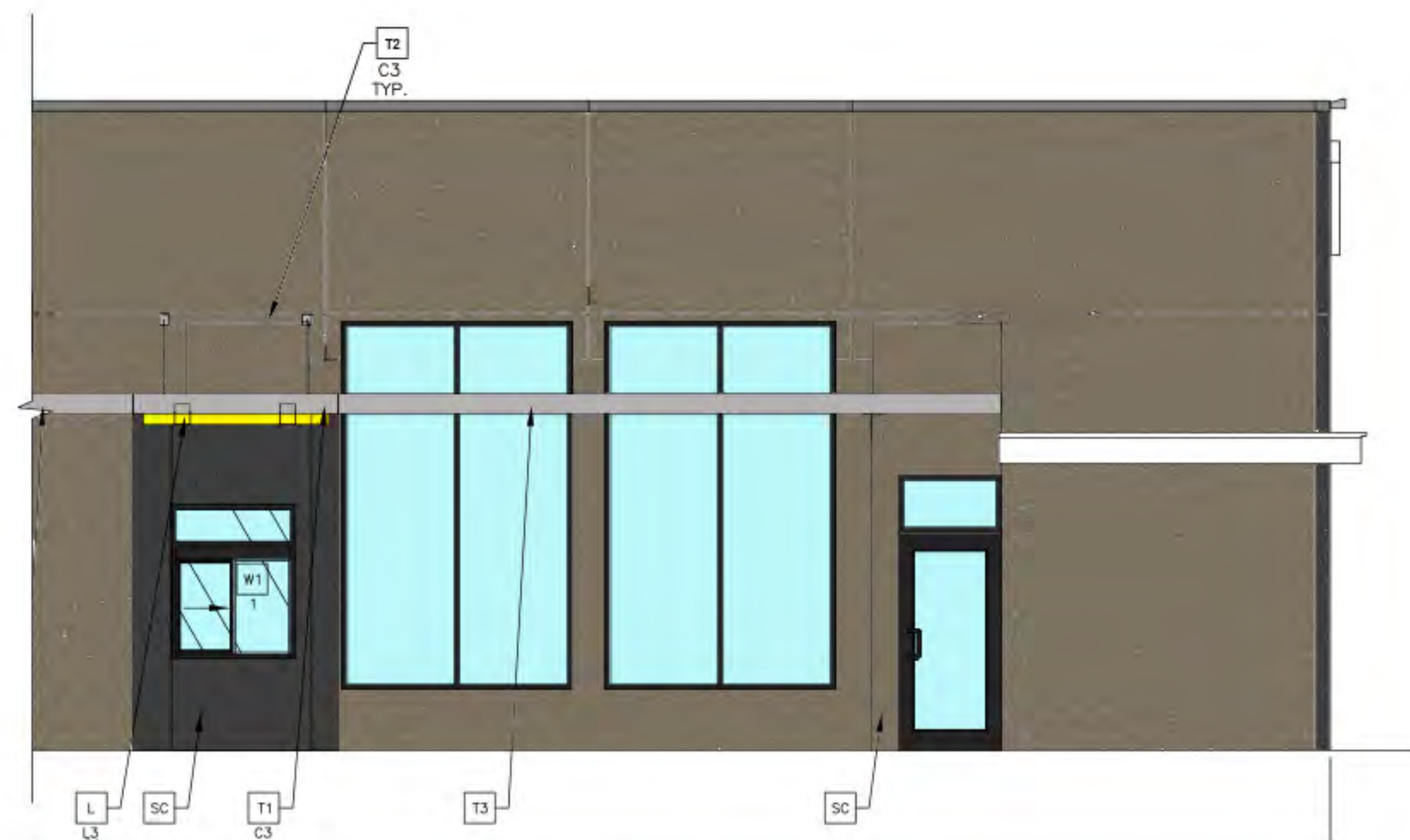


1  
A2.0 WEST/DRIVE-THRU ELEVATION  
1/4" = 1'-0"

- T/ PARAPET BLOCKING  
T/ BRAND WALL  
ELEV. + 21'-1 1/4"
- T/ STOREFRONT  
ELEV. + 13'-11" VIF
- B/ DRIVE THRU TRELLIS  
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS  
(UNDERSORE)  
ELEV. + 10'-8"
- B/ CANOPY  
ELEV. + 9'-4" VIF
- T/ SLAB  
ELEV. + 0'-0"



2  
A2.0 SOUTH/FRONT ELEVATION  
1/4" = 1'-0"



1  
A2.0 WEST/DRIVE-THRU ELEVATION - CONT.  
1/4" = 1'-0"

#### OTES:

- C ALUMINUM CANOPY FASCIA SYSTEM  
COLOR: WHITE
- D HOLLOW METAL DOOR PAINT TO MATCH  
COLOR OF SURROUNDING MATERIAL
- L LIGHT FIXTURE - SEE ELECTRICAL
- XX TYPE:  
L1 = UP AND DOWN SCONCE  
L2 = DOWN ONLY SCONCE  
L3 = RECESSED DOWN FIXTURE  
COLOR:  
C1 = SILVER  
C2 = WHITE
- LE ACCENT LIGHTING - SEE ELECTRICAL
- XX LED LIGHT:  
L1 = UP AND DOWN FIXTURE  
L2 = DOWN ONLY FIXTURE  
L3 = INTEGRAL CANOPY FIXTURE  
L4 = FLOOD LIGHT
- RL EXISTING ROOF LADDER PAINT TO MATCH  
BASE BUILDING

- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- C1 COLOR:  
C1 = WEATHERED ZINC RACEWAY  
C2 = RAL 7022 RACEWAY
- SC STUCCO INFILL PAINTED TO MATCH ADJACENT
- T1 ALUMINUM TRELLIS SYSTEM
- XX COLOR:  
C1 = CITYSCAPE  
C2 = WHITE  
C3 = CHARCOAL  
C4 = GOLD
- T2 ALUMINUM TRELLIS TIE-BACK  
SYSTEM
- XX COLOR:  
C3 = CHARCOAL
- T3 ALUMINUM TRELLIS 2" X 8"  
WALL FASCIA SYSTEM  
COLOR: CITYSCAPE

- W1 NEW STOREFRONT AND GLAZING
- X 1 = NEW STOREFRONT AND GLAZING -  
SEE ASSEMBLY NOTES
- 2 = EXISTING WINDOW TO REMAIN

#### "DESERT" COLOR SCHEME

- METAL PANEL SYSTEM  
REVEAL PANEL: WEATHERED ZINC BY METAL ERA
- SERVICE DOORS AND FRAMES:  
PAINT TO MATCH SCHEME
- FEATURE WALL  
STUCCO: SHERWIN WILLIAMS 7069 "IRON ORE"  
FINISH: HYDROPHOBIC/FINESSE
- BASE BUILDING FINISH  
STUCCO: BENJAMIN MOORE HC-85 FAIRVIEW TAUPE  
FINISH: HYDROPHOBIC/ FINESSE

PARAPET FINISH SYSTEM  
ANCHOR-TITE PARAPET FASCIA: WEATHERED ZINC  
BY METAL ERA

#### IDO SIGNAGE STANDARDS RESTRICTIONS FOR MX-M ZONE DISTRICT

WALL SIGN:  
MAXIMUM NUMBER: N/A  
MAXIMUM AREA: SHALL NOT EXCEED 25% OF FACADE AREA,  
INCLUSIVE OF DOOR AND WINDOW OPENINGS.  
LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2  
ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS,  
NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE  
SHARED EDGE OF THE FRONTAGE.

FREESTANDING SIGN:  
MAXIMUM NUMBER: 1/PREMISES/STREET FRONTAGE. A  
FREESTANDING SIGN IS ALLOWED ONLY WHERE THERE IS AT LEAST  
100 FEET OF STREET FRONTAGE OR 1 JOINT SIGN PREMISES,  
PURSUANT SUBSECTION 14-16-5 12(F)(2)(b).  
MAXIMUM AREA: 100 SQ.FT. AT ALLOWABLE LOCATIONS ABUTTING A  
LOCAL OR COLLECTOR STREET, 200 SQ.FT. AT ALLOWABLE  
LOCATIONS ABUTTING AN ARTERIAL STREET OR INTERSTATE  
HIGHWAY, 300 SQ.FT. AT ALLOWABLE LOCATIONS WITHIN 200 FEET  
OF A THROUGH LANE OF AN INTERSTATE HIGHWAY AND VISIBLE  
FROM THE INTERSTATE HIGHWAY.  
MAXIMUM HEIGHT: 26 FEET.

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(817) 820-0433

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DRAWN BY

REVIEWED BY

ARCH PROJ NO

22-0469

STD ISSUE DATE

2022-01

DATE ISSUED

DATE

SITE ADDRESS

SITE ID

030-0105

5301 NW QUAL RD., ALBUQUERQUE, NM 87120

TITLE  
McDONALD'S MAJOR REMODEL

DESCRIPTION  
EXISTING 244 WOOD WALL FRAMING  
EXISTING WOOD ROOF FRAMING MEMBERS

042-3356.00.0

A2.0  
ELEVATIONS

BY

DESCRIPTION

REV DATE



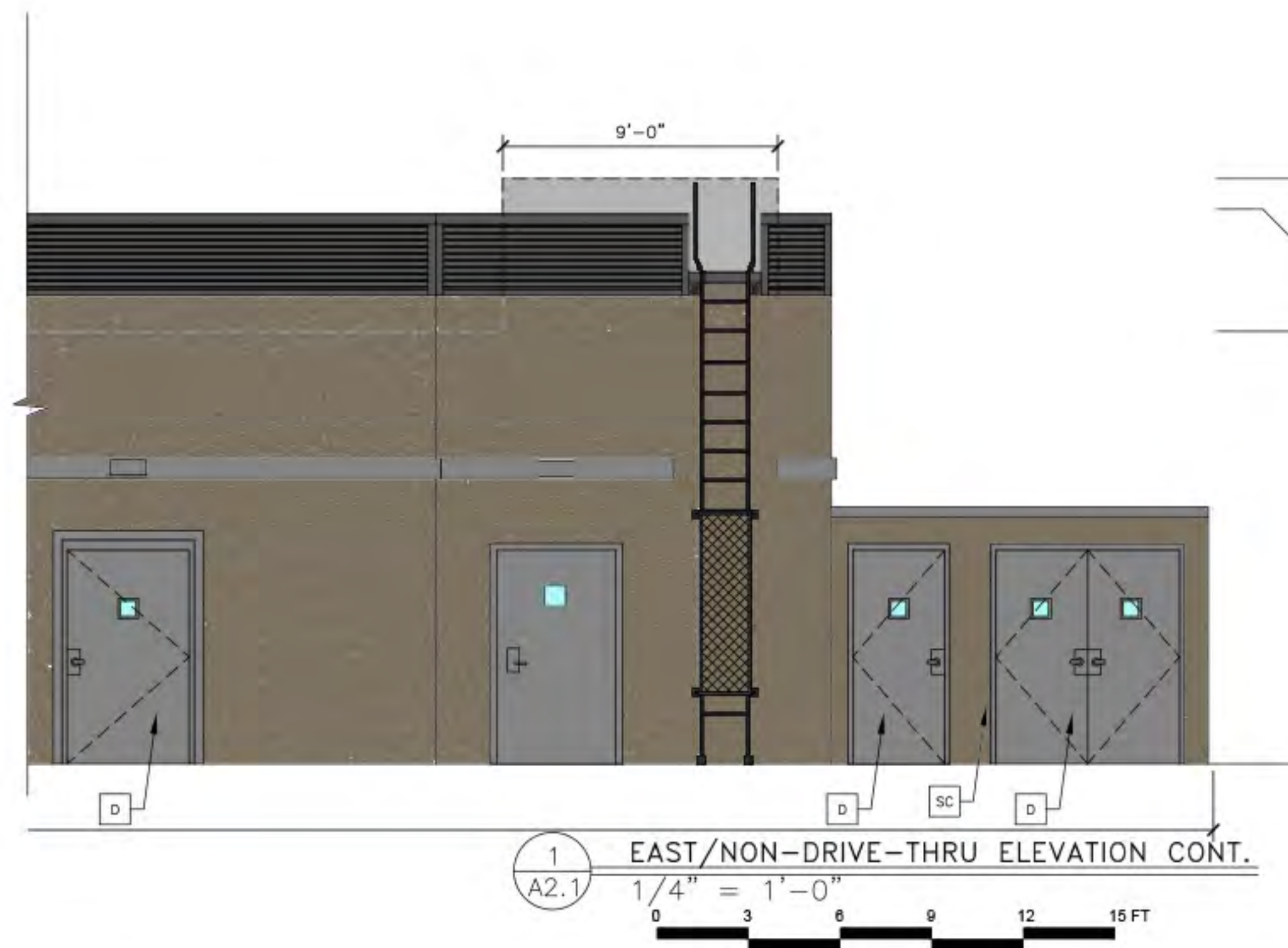
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- T/ PARAPET BLOCKING  
ELEV. + 18'-0"
- B/ CORRUGATED METAL  
ELEV. + 15'-4"
- T/ STOREFRONT  
ELEV. + 13'-11" VIF

- B/ CANOPY  
B/ TRELLIS  
T/ STOREFRONT  
ELEV. + 9'-4" VIF

- T/ SLAB  
ELEV. + 0'-0"

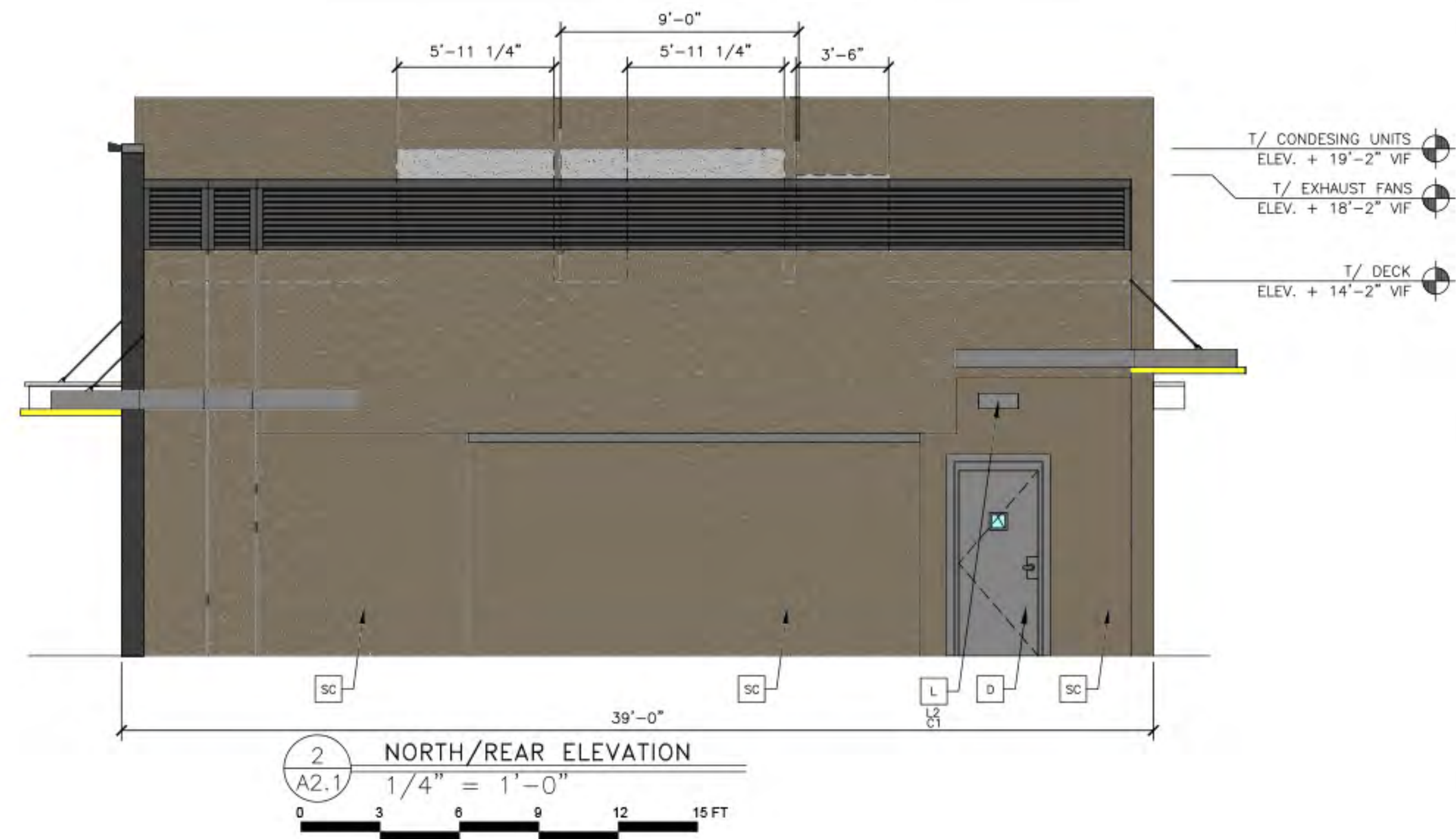


1  
A2.1 EAST/NON-DRIVE-THRU ELEVATION  
1/4" = 1'-0"  
0 3 6 9 12 15 FT



1  
A2.1 EAST/NON-DRIVE-THRU ELEVATION CONT.  
1/4" = 1'-0"  
0 3 6 9 12 15 FT

- T/ PARAPET BLOCKING  
ELEV. + 21'-1 1/4"
- T/ PARAPET BLOCKING  
ELEV. + 18'-0"
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ELEV. + 15'-4"
- B/ DRIVE THRU TRELLIS  
ELEV. + 10'-11"
- B/ DRIVE THRU TRELLIS  
(UNDERSOFT)  
ELEV. + 10'-8"
- B/ TRELLIS  
ELEV. + 9'-4" VIF
- T/ SLAB  
ELEV. + 0'-0"
- T/ CONDENSING UNITS  
ELEV. + 19'-2" VIF
- T/ EXHAUST FANS  
ELEV. + 18'-2" VIF
- T/ DECK  
ELEV. + 14'-2" VIF



2  
A2.1 NORTH/REAR ELEVATION  
1/4" = 1'-0"  
0 3 6 9 12 15 FT

#### KEY NOTES:

- C** ALUMINUM CANOPY FASCIA SYSTEM  
COLOR: WHITE
- D** HOLLOW METAL DOOR PAINT TO MATCH  
COLOR OF SURROUNDING MATERIAL
- L** LIGHT FIXTURE - SEE ELECTRICAL
- XX** TYPE:  
L1 = UP AND DOWN SCONCE  
L2 = DOWN ONLY SCONCE  
L3 = RECESSED DOWN FIXTURE  
COLOR:  
C1 = SILVER  
C2 = WHITE
- LE** ACCENT LIGHTING - SEE ELECTRICAL
- XX** LED LIGHT:  
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- RL** EXISTING ROOF LADDER PAINT TO MATCH  
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C1 = CITYSCAPE  
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SYSTEM  
XX COLOR:  
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- T3** ALUMINUM TRELLIS 2" X 8"  
WALL FASCIA SYSTEM  
COLOR: CITYSCAPE

- W1** NEW STOREFRONT AND GLAZING  
X 1 = NEW STOREFRONT AND GLAZING -  
SEE ASSEMBLY NOTES  
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HIGHWAY. 300 SQ.FT. AT ALLOWABLE LOCATIONS WITHIN 200 FEET  
OF A THROUGH LANE OF AN INTERSTATE HIGHWAY AND VISIBLE  
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REVIEWED BY:

ARCH PROJ NO:

22-0469

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2022\_01

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TITLE  
McDONALD'S MAJOR REMODEL

DESCRIPTION

EXISTING 2X4 WOOD WALL FRAMING

EXISTING WOOD ROOF FRAMING MEMBERS

SHEET NO.

042-3356.00.0

A2.1

ELEVATIONS

SITE ADDRESS  
5301 NW QUAIL RD., ALBUQUERQUE, NM 87120

SITE ID

000-0105

DATE

DATE

DATE

DATE

DATE

BY

DATE

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