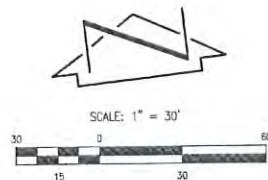


ADMINISTRATIVE AMENDMENT

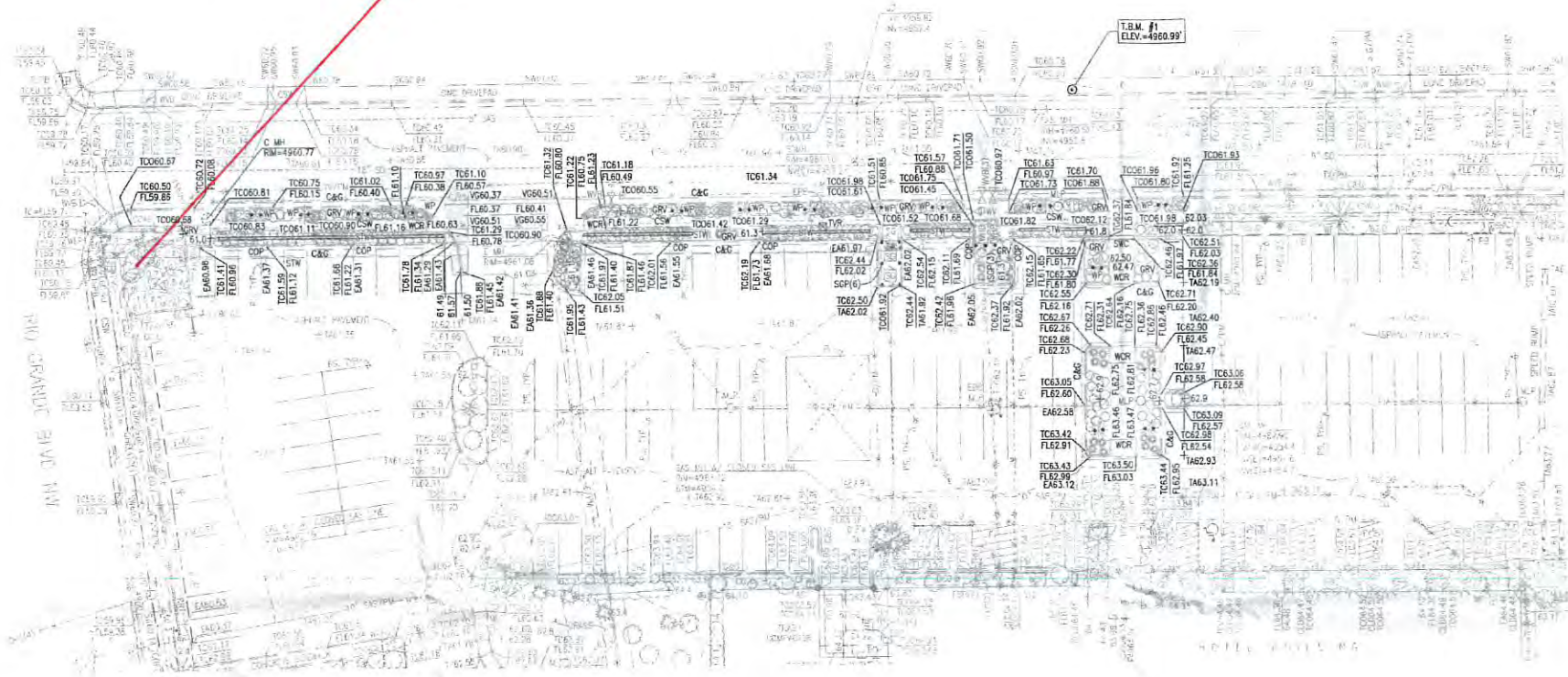
FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



Proposed Signage Location



BENCHMARKS

PROJECT BENCHMARK

AN AGRS BRASS DISK STAMPED "5-J13A", SET FLUSH WITH TOP OF CURB, AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF MOUNTAIN ROAD N.W. AND NINETEENTH STREET N.W. ELEVATION = 4960.499 FEET (NAVD 1988)

TEMPORARY BENCHMARK #1 (T.B.M.)

A MAG NAIL SET IN CONCRETE, IN THE NORTHEASTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET. ELEVATION = 4960.99 FEET (NAVD 1988)

TEMPORARY BENCHMARK #2 (T.B.M.)

A NAIL WITH TIN STAMPED "LS 11808", SET IN CONCRETE SIDEWALK IN THE NORTHEAST CORNER OF THE INTERSECTION OF 19th ST NW AND BELLAMAH AVE NW, NOT SHOWN. ELEVATION = 4960.66 FEET (NAVD 1988)

NOTES

1. A PARTIAL TOPOGRAPHIC SURVEY UPDATE WAS PERFORMED IN FEBRUARY, 2018. THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN IS FOR INFORMATION ONLY AND IS BASED UPON THE SURVEY EFFORT PREPARED BY THIS FIRM AND SIGNED NOVEMBER 06, 2013.
2. SCREEENED INFORMATION TAKEN FROM THE 2013 SURVEY EFFORT PREPARED BY THIS FIRM AND IS FOR INFORMATION PURPOSES ONLY.
3. ALL DISTANCES ARE GROUND DISTANCES.
4. SITE LOCATED WITHIN PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
5. THIS TOPOGRAPHIC AND UTILITY SURVEY HAS BEEN PREPARED BASED UPON NAVD 88 DATUM. PREVIOUS SURVEYS AND ABCWJA/CITY OF ALBUQUERQUE RECORD DRAWINGS OF THIS AREA HAVE BEEN CONDUCTED BASED UPON NGVD 29 DATUM. SPECIAL CARE SHOULD BE EXERCISED WHEN COMPARING ELEVATIONS FROM THIS SURVEY TO CURRENT AND PREVIOUS SURVEYS, PLANS AND AS-BUILT DOCUMENTS.
9. THE MAJORITY OF THE PROPERTY SURVEYED HEREON HAS A SHADED ZONE X DESIGNATION WHICH IS FURTHER DESCRIBED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD"; ALSO, ALONG THE EASTERN PROPERTY LINE OF TRACTS B AND D, SHERATON OLD TOWN INN COMPLEX, THERE IS A ZONE AH (EL 4959) DESIGNATION WHICH IS FURTHER DESCRIBED AS "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED" BASED UPON REVIEW OF THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAPS, PANEL 331 OF 825, DATED AUGUST 16, 2012.

CONTROL SURVEY NOTE

A CONTROL SURVEY WAS CONDUCTED AT AN ADJACENT SITE ON SEPTEMBER 10, 2013 AND VERIFIED ON FEBRUARY 01, 2018. CONTROL WAS PROJECTED ONTO THE SUBJECT SITE UTILIZING RTK GPS OBSERVATIONS COMBINED WITH GEOID COADJULOS TO ESTABLISH HORIZONTAL POSITIONS BASED UPON NAD 83/NAVD 88 DATUM. THE RTK OBSERVATIONS WERE USED TO ESTABLISH THE TEMPORARY BENCHMARKS AT THE PROJECT SITE. THE POINTS OBSERVED HAVE BEEN QUALITY CONTROLLED FOR RELATIVE ACCURACY. AN AGRS CONTROL STATION AND A SEPARATE HORIZONTAL CONTROL STATION IN THE VICINITY OF THE PROJECT WERE OBSERVED IN ORDER TO PROVIDE REFERENCE TIES TO THE SITE. THE CONTROL STATION USED TO PROJECT FROM GRID TO GROUND FOR THIS PROJECT IS THE PROJECT BENCHMARK "5-J13A".

LEGEND

- AC AIR CONDITIONER
- AL AREA LIGHT
- ASPH ASPHALT PAVEMENT
- BLDG BUILDING
- BOH BUILDING OVERHANG
- C&G CURB & GUTTER
- C COMMUNICATIONS LINE
- C/PM COMMUNICATIONS LINE BY PAINT MARK
- CCAB COMMUNICATIONS CABINET
- CO COMMUNICATIONS CONDUIT
- COP CONCRETE DRIVE PAD
- CP CRUSHER FINES
- CHC CONCRETE HEADER CURB
- CLD CENTERLINE DOOR
- CLDD CENTERLINE DOUBLE DOOR
- CMU CONCRETE MASONRY UNIT WALL
- CO SANITARY SEWER CLEANOUT
- COP CURB OPENING
- CSW CONCRETE SIDEWALK
- DDO DOUBLE SANITARY SEWER CLEANOUT
- E/PM ELECTRIC LINE BY PAINT MARK
- EA EDGE OF ASPHALT
- EBB ELECTRIC BREAKER BOX
- EC ELECTRIC CONDUIT
- EPB ELECTRIC PULLBOX
- FH FIRE HYDRANT
- FL FLOWLINE
- FLC FIRE LINE CONNECTION
- G/PM GAS LINE BY PAINT MARK
- G GAS LINE
- GLM GAS LINE MARKER
- GPR GAS PRESSURE REGULATOR
- GRV GRAVEL
- GS GAS SERVICE
- GS GAS VALVE BOX
- HCS HANDICAPPED PARKING SIGN
- ICB IRRIGATION CONTROL BOX
- INV INVERT
- IVB IRRIGATION VALVE BOX
- LV LAUNDRY VENT
- MH MANHOLE
- MLP METAL LIGHT POLE
- MR METAL RAMP
- ONCH(1) OVERHEAD COMMUNICATIONS (# OF LINES)
- ONCH(3) OVERHEAD ELECTRIC (# OF LINES)
- PB WHEEL STOP
- PI PAINTED PARKING LOT ISLAND
- PRV PRESSURE RELIEF VALVE
- PS PAINTED PARKING STRIPE
- RR RIVER ROCKS
- RRT LANDSCAPING RAILROAD TIES
- SAS SANITARY SEWER
- SD STORM DRAIN
- SDI STORM DRAIN INLET
- SDMH STORM DRAIN MANHOLE
- SGP STEEL GUARD POST
- SG ELECTRIC SWITCH GEAR
- SWC SIDEWALK CULVERT
- SPO SPEED BUMP
- STW STUCCO WALL
- SW SIDEWALK
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TO TOP OF CONCRETE
- TG TOP OF GRATE
- TPB TRAFFIC PULLBOX
- TRN ELECTRIC TRANSFORMER
- TSG TRAFFIC SIGNAL
- TSPB TRAFFIC SIGNAL PULLBOX
- TYP TYPICAL
- TV/PM CABLE TELEVISION LINE BY PAINT MARK
- TVC CABLE TELEVISION CABINET
- TVR CABLE TELEVISION RISER
- UNK UNKNOWN
- W/PM WATER LINE BY PAINT MARK
- WFCM CONCRETE WHEELCHAIR RAMP
- WDF WOOD FENCE
- WF WATER FAUCET
- WHB WATER HOT BOX
- WLP WOOD LIGHT POLE
- WMB WATER METER BOX
- WP WOOD POLE
- WPP WOOD POWER POLE
- WVB WATER VALVE BOX
- WDB TREE TRUNK DIAMETER

- DECIDUOUS TREE
- SMALL DECIDUOUS TREE
- CONIFEROUS TREE
- SMALL CONIFEROUS TREE
- SHRUB
- SMALL SHRUB
- BOULDER
- PAINTED UTILITY MARKER
- STUMP
- YUCCA
- IRRIGATION VALVE BOX



VICINITY MAP

SCALE: 1" = 750'

J-13

FEDERAL EMERGENCY MANAGEMENT AGENCY



F.I.R.M.

SCALE: 1" = 500'

PANEL 331 of 825

DATED 08-16-2012

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Partial Topographic Survey Update and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr., NMPS 11184



2/5/2018

Date

HIGH MESA Consulting Group
6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

PARTIAL TOPOGRAPHIC SURVEY UPDATE
TRACTS A, B AND D, SHERATON OLD TOWN INN COMPLEX

NO.	DATE	BY	REVISIONS		JOB NO.
			DESCRIPTION	DATE	
1	2-5-2018	EJS	ADMINISTRATIVE AMENDMENT: PARKING LOT IMPROVEMENTS		2017.060.2
2		EJS			02-2018
3		C.G.C.			VF-101

Proposed Signage Location

LEGEND

AC	AIR CONDITIONER	TA	TOP OF ASPHALT
AL	AREA LIGHT	TC	TOP OF CURB
ASPH	ASPHALT PAVEMENT	TCO	TOP OF CONCRETE
BLDG	BUILDING	TO	TOP OF GRADE
BOH	BUILDING OVERHANG	TPB	TRAFFIC PULLBOX
C&G	CURB & GUTTER	TRN	ELECTRIC TRANSFORMER
C	COMMUNICATIONS LINE	TSG	TRAFFIC SIGNAL
C/PM	COMMUNICATIONS LINE BY PAINT MARK	TSBP	TRAFFIC SIGNAL PULLBOX
CCAB	COMMUNICATIONS CABINET	TYP	TYPICAL
CC	COMMUNICATIONS CONDUIT	TV/PM	CABLE TELEVISION LINE BY PAINT MARK
CDP	CONCRETE DRIVE PAD	TVC	CABLE TELEVISION CABINET
CF	CRUSHER FINES	TVCAB	CABLE TELEVISION CABINET
CHC	CONCRETE HEADER CURB	TWR	CABLE TELEVISION RISER
CLD	CENTERLINE DOOR	UNK	UNKNOWN
CLDD	CENTERLINE DOUBLE DOOR	W	WITH
CMU	CONCRETE MASONRY UNIT WALL	W/PM	WATER LINE BY PAINT MARK
CO	SANITARY SEWER CLEANOUT	WCR	CONCRETE WHEELCHAIR RAMP
COP	CURB OPENING	WDF	WOOD FENCE
CSW	CONCRETE SIDEWALK	WF	WATER FAUCET
DCO	DOUBLE SANITARY SEWER CLEANOUT	WHB	WATER HOT BOX
E/PM	ELECTRIC LINE BY PAINT MARK	WLP	WOOD LIGHT POLE
EA	EDGE OF ASPHALT	WMB	WOOD METER BOX
EBB	ELECTRIC BREAKER BOX	WP	WOOD POLE
EC	ELECTRIC CONDUIT	WPP	WOOD POWER POLE
EPB	ELECTRIC PULLBOX	WVB	WATER VALVE BOX
FL	FIRE HYDRANT	0.5"	TREE TRUNK DIAMETER
FLC	FIRE LINE CONNECTION		
G/PM	GAS LINE BY PAINT MARK		
G	GAS LINE		
GLM	GAS LINE MARKER		
GRV	GAS PRESSURE REGULATOR		
GS	GAS SERVICE		
GVB	GAS VALVE BOX		
HCS	HANDICAPPED PARKING SIGN		
IB	IRRIGATION CONTROL BOX		
INV	INVERT		
IVB	IRRIGATION VALVE BOX		
LV	LAUNDRY VENT		
MH	MANHOLE		
MLP	METAL LIGHT POLE		
MR	METAL RAMP		
OHC(1)	OVERHEAD COMMUNICATIONS (# OF LINES)		
OHC(3)	OVERHEAD ELECTRIC (# OF LINES)		
PB	PAINTED STOP		
PI	PAINTED PARKING LOT ISLAND		
PRV	PRESSURE RELIEF VALVE		
PS	PAINTED PARKING STRIPE		
RR	RIVER ROCKS		
RRT	LANDSCAPING RAILROAD TIES		
SAS	SANITARY SEWER		
SD	STORM DRAIN		
SDI	STORM DRAIN INLET		
SDMH	STORM DRAIN MANHOLE		
SGP	STEEL GUARD POST		
SG	ELECTRIC SWITCH GEAR		
SWC	SIDEWALK CULVERT		
SPD	SPEED BUMP		
STW	STUCCO WALL		
SW	SIDEWALK		

KEYED NOTES

- EXISTING CURB AND GUTTER TO REMAIN
- CONSTRUCT 6" (STANDARD) CURB AND GUTTER PER TYPICAL SECTION, SHEET C-103
- CONSTRUCT 6" (DEPRESSED) CURB AND GUTTER PER TYPICAL SECTION, SHEET C-103
- TRANSITION BETWEEN STANDARD AND DEPRESSED CURB AND GUTTER
- PAIN 4" WIDE WHITE PAVEMENT MARKINGS WITH WHITE TRAFFIC PAINT, MINIMUM 2 COATS
- PAIN 4" WIDE YELLOW PAVEMENT MARKING "X" AS SHOWN WITH YELLOW TRAFFIC PAINT AND STENCIL "NO PARKING", MIN. 2 COATS
- PAIN 4" WIDE CROSSHATCH PAVEMENT MARKING @ 45 DEG, 2" C-C WITH RED TRAFFIC PAINT AND STENCIL "NO PARKING", MINIMUM 2 COATS
- SAWCUT, REMOVE / PULVERIZE EXISTING ASPHALT PAVEMENT IN PLACE; REPLACE WITH 3" ASPHALT PAVEMENT PER TYPICAL SECTION, SHEET C-103. MIX PULVERIZED ASPHALT PAVEMENT WITH EXISTING SUBGRADE AND COMPACT TO SERVE AS BASECOURSE FOR NEW PAVEMENT.
- EXISTING ASPHALT PAVEMENT TO REMAIN (LIMITS TO BE VERIFIED WITH OWNER)
- REPAINT 4" WHITE PAVEMENT MARKINGS TO MATCH EXISTING STRIPING ALIGNMENT, WITH WHITE TRAFFIC PAINT, MINIMUM 2 COATS
- CONSTRUCT 12" WIDE CURB OPENING PER TYPICAL SECTION, SHEET C-103
- EXISTING ELECTRICAL BOX TO REMAIN; REMOVE EXISTING BOLLARDS
- EXISTING LIGHT POLE TO BE REMOVED AND DISPOSED
- NEW LIGHT POLE, SEE ELECTRICAL PLAN
- STENCIL "COMPACT" WITH WHITE TRAFFIC PAINT, MINIMUM 2 COATS
- INSTALL "MOTORCYCLE ONLY" SIGN AND POST, TYP.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

BENCHMARKS

PROJECT BENCHMARK

AN AGRS BRASS DISK STAMPED "5-J13A", SET FLUSH WITH TOP OF CURB, AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF MOUNTAIN ROAD N.W. AND NINETEENTH STREET N.W. ELEVATION = 4960.499 FEET (NAVD 1988)

TEMPORARY BENCHMARK #1 (T.B.M.)

A MAG NAIL SET IN CONCRETE, IN THE NORTHEASTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET. ELEVATION = 4960.99 FEET (NAVD 1988)

06-22-2018



03-07-2018

04-02-2018

2017.060.2

DATE

03-2018

SHEET

C-101

TOTAL SITE PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:
1 SPACE PER GUEST ROOM = 188 SPACES

2014 APPROVED SDP PARKING CALCULATIONS

TOTAL 2014 SDP EXISTING PARKING:	TRACTS A & B
STANDARD CAR SPACES	504
ACCESSIBLE SPACES	19
TOTAL CAR SPACES	523
MOTORCYCLE SPACES	10

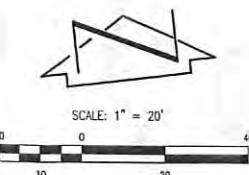
TOTAL 2014 SDP PROPOSED PARKING:	TRACTS A & B
STANDARD CAR SPACES	478
ACCESSIBLE SPACES	16
TOTAL CAR SPACES	494
MOTORCYCLE SPACES	10

EXCESS 2014 SDP PARKING ON SITE: 306 SPACES

2018 SDP ADMINISTRATIVE AMENDMENT PARKING CALCULATIONS

TOTAL 2018 PROPOSED PARKING:	TRACTS A & B
STANDARD CAR SPACES	469
ACCESSIBLE SPACES	16
TOTAL CAR SPACES	485
MOTORCYCLE SPACES	8
BICYCLE SPACES	4

HOTEL BUILDING



4 EXISTING BICYCLE PARKING SPACES

NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 11/06/2013 (2013.002.2). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE "TOPOGRAPHIC SURVEY" PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 11/06/2013 (2013.002.2), AND SUPPLEMENTED BY "PARTIAL TOPOGRAPHIC SURVEY" DATED 02/05/2018 (2017.060.2).

HIGH MESA Consulting Group
CONSULTING ENGINEERS & ARCHITECTS

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

PAVING SITE PLAN/TRAFFIC CIRCULATION LAYOUT HOTEL ALBUQUERQUE NORTHWEST PARKING LOT IMPROVEMENTS

DESIGNED BY

J.D.S.

DRAWN BY

S.C.C.

APPROVED BY

G.M.

DATE

4/18

DATE

6/18

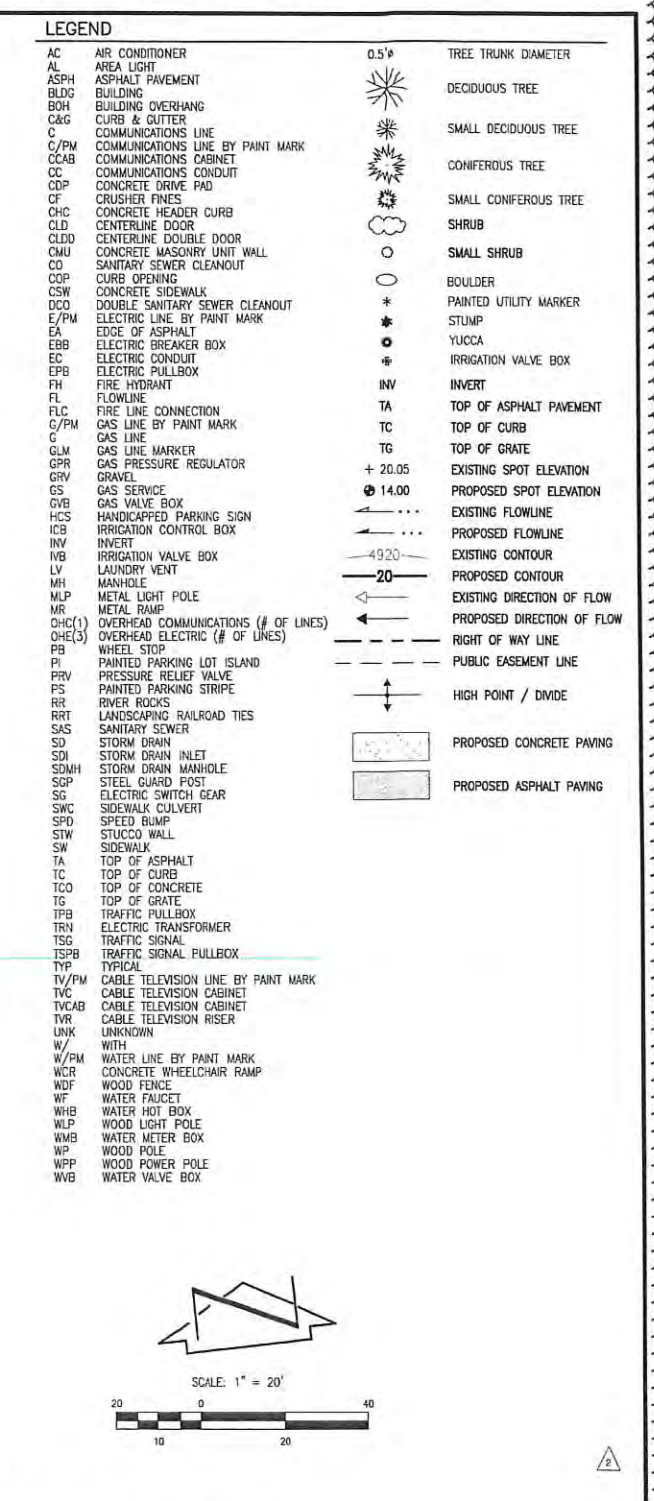
DATE

DATE

REVISIONS

NEW LIGHT POLE LOCATIONS; ADD TWO COMPACT SPACES

ADMINISTRATIVE AMENDMENTS-PARKING LOT IMPROVEMENTS



06-22-2018

J. GRAEME MEANS
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
(13676)

03-07-2018
04-02-2018

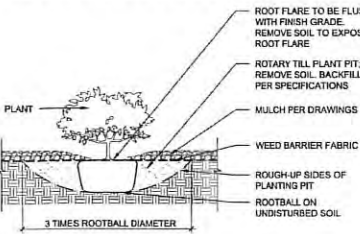
PLANT SCHEDULE

TREES (SEE E4 LP501)	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	CHLOPSIS LINEARIS	DESERT WILLOW	25 GAL MIN / MULTI-TRUNK	30'	25'	LOW	4
	POPULUS FREMONTII WISLIZENI	RIO GRANDE COTTONWOOD	3" CAL. CLUMP	50'	35'	MEDIUM	1
	ULMUS PROPINQUA 'EMERALD SUNSHINE'	EMERALD SUNSHINE ELM	3" CAL.	35'	40'	MEDIUM	6
	ULMUS X 'FRONTIER'	FRONTIER ELM	3" CAL.	35'	25'	MEDIUM	8
SHRUBS (SEE D4 LP501)	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	BACCHARIS X 'STARN' THOMPSON	THOMPSON BROOM	5 GAL	4'	4'	LOW	64
	CHRYSACTINIA MEXICANA	DAMIANITA	5 GAL	2'	2'	LOW	69
	SALVIA X JAMENSIS 'IGNITION PURPLE'	VIBE IGNITION PURPLE SAGE	1 GAL	2'	2'	LOW	81
	TEUCRIUM CHAMAEDRYS	WALL GERMANDER	1 GAL	1'	2'	LOW	24
GRASSES (SEE D4 LP501)	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	BOULELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	3'	3'	LOW	96
	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	1 GAL	1'	1'	LOW	19
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	4'	4'	LOW	18
SUCCULENTS	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL	3'	3'	LOW	23
	NOLINA MICROCARPA	BEARGRASS	5 GAL	3'	4'	LOW	21

SITE DEVELOPMENT

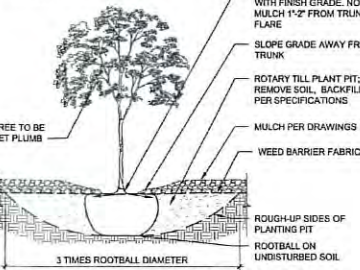
SYMBOL	NOTES	EST QTY
	ROCK MULCH 7/16" Ø ROCK MULCH OVER FILTER FABRIC, 3" DEPTH MIN. COLOR: MOUNTAINAIR BROWN	3,865 SF
	ROCK MULCH 2-4" Ø ROCK MULCH OVER FILTER FABRIC COLOR: MOUNTAINAIR BROWN	1,722 SF

NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



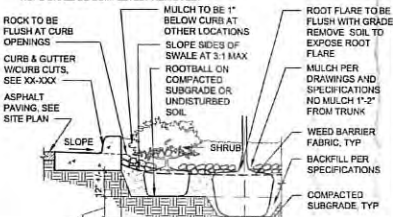
E4 SHRUB IN BED
3/4" = 1'-0"

NOTE:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



D4 TREE IN PLANTING BED
3/4" = 1'-0"

NOTES:
1. PLANTER BACKFILL TO BE USED AROUND SHRUB AND TREE PLANTINGS - TYPICALLY TO WITHIN 3'-6" MIN OF ROOTBALLS.
2. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



D5 WATER HARVESTING AREA
1/2" = 1'-0"

PLANTING NOTES

1. COTTONWOOD SHALL BE A CLUMP FORM WITH THREE TRUNKS.
2. COTTONWOOD SOURCES: PLANTS OF THE RIO GRANDE, LEMITAR, NM. PAYNE'S NURSERIES, SANTA FE, NM; TREES OF CORRALES, CORRALES, NM.

LANDSCAPE CALCULATIONS

PARKING LOT SITE AREA = 53,976 SF
REQUIRED LANDSCAPE AREA IS 15% OF SITE AREA = 8,096 SF
PROVIDED LANDSCAPE AREA = 9,672 SF

TREES PER PARKING SPACES REQUIRED = 1 TREE / 10 PARKING SPACES
NUMBER OF PARKING SPACES: 110
REQUIRED NUMBER OF TREES: 11
PROVIDED NUMBER OF TREES: 19

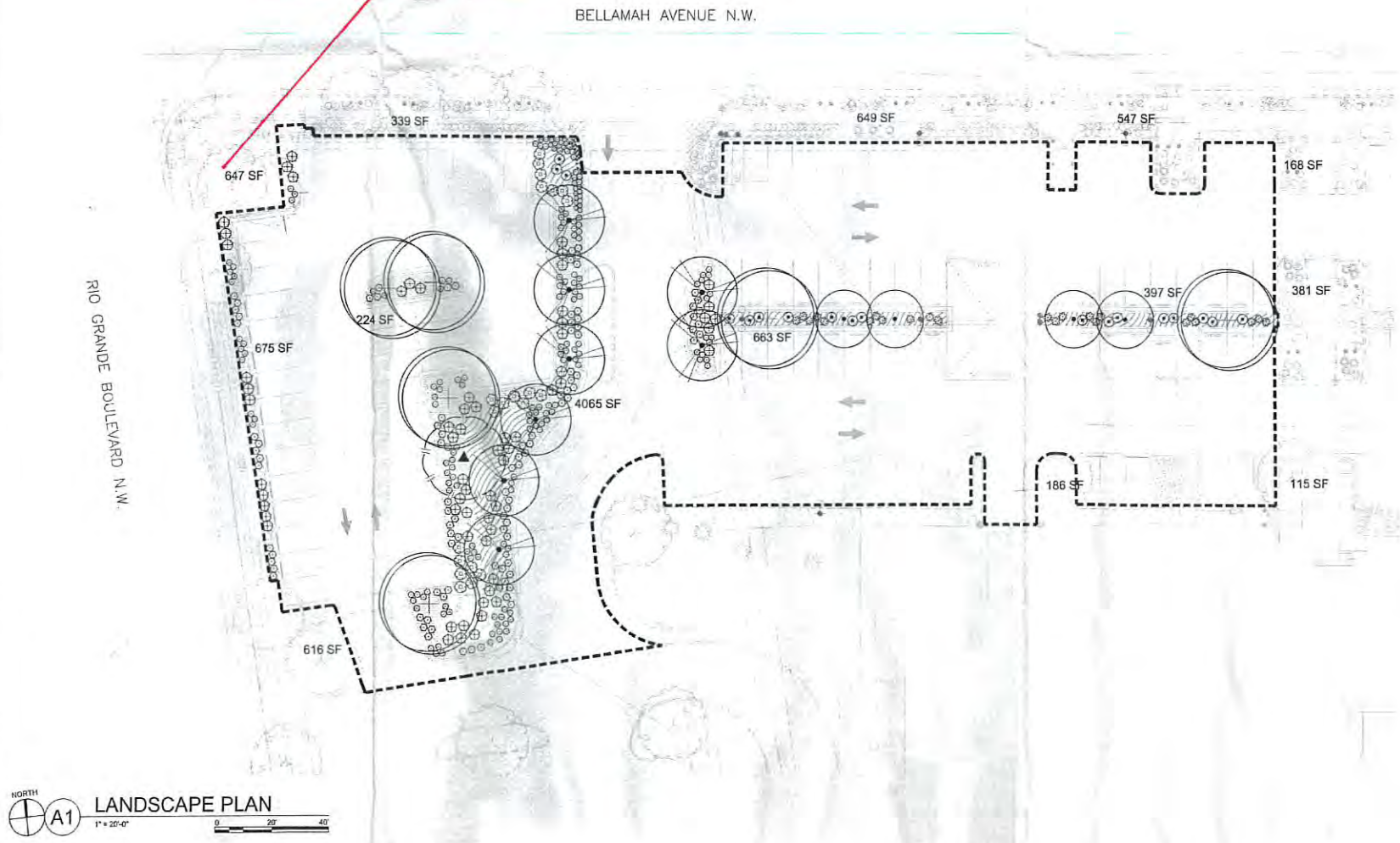
LEGEND

- LIMITS OF WORK
- PROPERTY LINE
- ○ ○ ○ ○ EXISTING POLE LIGHT
- ○ ○ ○ ○ EXISTING TREE TO REMAIN
- ○ ○ ○ ○ EXISTING PLANTS TO REMAIN

KEYPLAN



Proposed Signage Location



A1 LANDSCAPE PLAN
1" = 20'-0"

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

ARCHITECT



ENGINEER

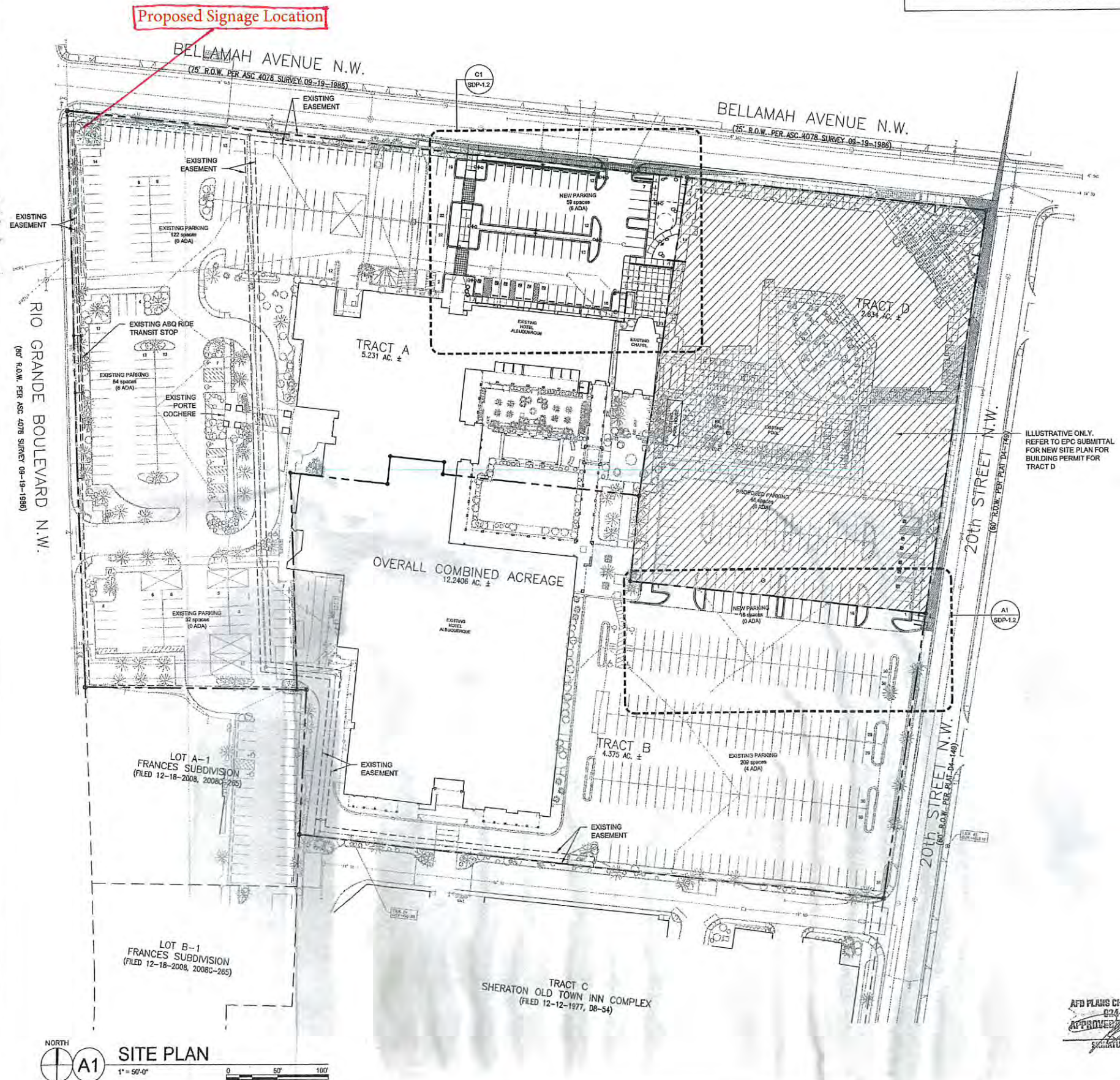
PROJECT

HOTEL ALBUQUERQUE
NORTHWEST PARKING LOT IMPROVEMENTS
800 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104

REVISIONS
6/4/2018 ADMINISTRATIVE REVISIONS
6/21/2018 ADMINISTRATIVE REVISIONS

DRAWN BY TC
REVIEWED BY MB
DATE 05/04/2018
PROJECT NO. 18-0018
DRAWING NAME
LANDSCAPE PLAN

SHEET NO.
LP101
OF



LEGEND	
---	PROPERTY LINE
---	EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
○ 4' ○	24'-0" MAX HT. POLE LIGHT, DOUBLE. FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES
○ 3' ○	24'-0" MAX HT. POLE LIGHT, SINGLE. FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES

PROJECT NUMBER:	1000316
APPLICATION NUMBER:	DRB Amendment to Existing Site Development Plan
Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>[Signature]</i>	07-09-14 DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	<i>[Signature]</i> 07/09/14 DATE
UTILITIES DIVISION	<i>[Signature]</i> 09-03-14 DATE
PARKS AND RECREATION DEPARTMENT	<i>[Signature]</i> 7-9-14 DATE
CITY ENGINEER	<i>[Signature]</i> 07-23-14 DATE
SOLID WASTE MANAGEMENT	<i>[Signature]</i> 9-4-14 DATE
FIRE MARSHALL	<i>[Signature]</i> 9-4-14 DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	<i>[Signature]</i> 9-4-14 DATE

- GENERAL SHEET NOTES**
- THIS SUBMITTAL IS TO AMEND THE EXISTING SITE DEVELOPMENT PLAN FOR THE SHERATON OLD TOWN INN COMPLEX (#1000316).
 - IN A SEPARATE EPC SUBMITTAL, TRACT D WILL BE REMOVED FROM THE OVERALL SITE DEVELOPMENT PLAN ASSOCIATED WITH THE EXISTING HOTEL ALBUQUERQUE. THE PRIMARY REASON FOR REMOVING TRACT D IS TO ESTABLISH SEPARATE ZONING THAT IS MORE ALIGNED WITH THE NEW HOTEL OBJECTIVES. SEE SITE DEVELOPMENT PLAN FOR TRACT D FOR MORE INFORMATION.
 - IT IS ANTICIPATED THAT THERE WILL BE A SHARED PARKING AGREEMENT BETWEEN THE EXISTING HOTEL (TRACTS A & B) AND TRACT D TO SUPPORT PARKING DEMAND ON TRACT D, BEYOND WHAT IS PROVIDED ON THE TRACT.
 - PHASES OF DEVELOPMENT: THE MODIFICATIONS TO THE PARKING AREA WILL BE MADE IN ONE PHASE IN ASSOCIATION WITH DEVELOPMENT OF TRACT D.

PROJECT DATA

ADDRESS: 800 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104

LEGAL DESCRIPTION: TRACTS A, B, AND D OF SHERATON OLD TOWN INN COMPLEX, IN THE CITY OF ALBUQUERQUE, NEW MEXICO

ZONE ATLAS PAGE: J-13

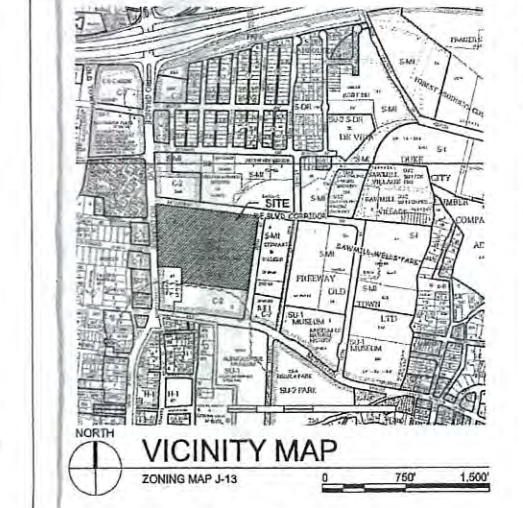
SITE AREA:
TRACTS A & B: 9.896 AC
TRACT D: 2.634 AC

ZONING: C-2

EXISTING BUILDING FOOTPRINT:
HOTEL TOWER / BALLROOM: 93,628 SF
CHAPEL: 2,496 SF
POOL HOUSE: 624 SF

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

PARKING CALCULATIONS		
TOTAL PARKING SPACES REQUIRED PER CODE: 1 SPACE PER GUEST ROOM = 186 SPACES		
TOTAL EXISTING PARKING:	TRACTS A & B	TRACT D
STANDARD CAR SPACES	504	0
ACCESSIBLE SPACES	19	0
TOTAL CAR SPACES	523	0
MOTORCYCLE SPACES	10	0
TOTAL PROPOSED PARKING:	TRACTS A & B	*TRACT D IS TO BE REMOVED FROM THIS SITE DEVELOPMENT PLAN IN A SEPARATE ACTION
STANDARD CAR SPACES	478	
ACCESSIBLE SPACES	16	
TOTAL CAR SPACES	494	
MOTORCYCLE SPACES	10	
EXCESS PARKING ON SITE:	306 SPACES	



architecture
interiors
landscape
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ARCHITECT

Gensler

ENGINEER

PROJECT

**AMENDMENT
TO EXISTING
SITE DEVELOPMENT PLAN**

Hotel Albuquerque
800 Rio Grande Blvd. NW
Albuquerque, New Mexico

DRB
SUBMITTAL
June 24, 2014

REVISIONS

△	6-24-14	Revised Per EPC Conditions 5-5-14
△		
△		
△		

DRAWN BY	CM
REVIEWED BY	MB / WG
DATE	6.24.2014
PROJECT NO.	13-0020
DRAWING NAME	SITE PLAN

SHEET NO.

SDP-1.1

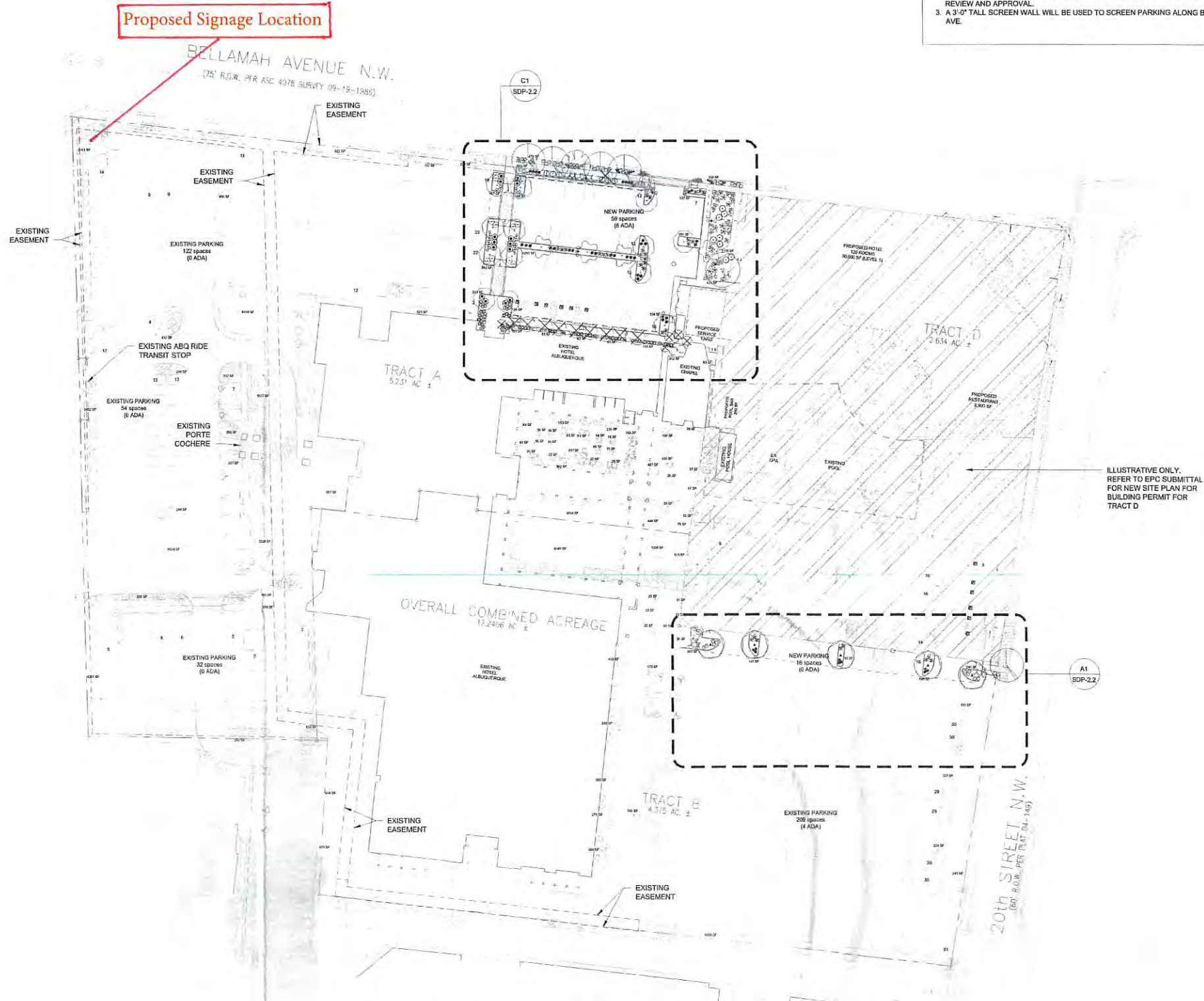
OF



OVERALL LANDSCAPE PLAN

1" = 50'-0"

0 50' 100'



GENERAL SHEET NOTES

1. NEW LANDSCAPE AND IRRIGATION WORK ON TRACTS A AND B IS LIMITED TO PARKING LOT RENOVATIONS ASSOCIATED WITH NEW DEVELOPMENT ON TRACT D.
2. TRACT D SITE DEVELOPMENT PLAN IS BEING SUBMITTED SEPARATELY FOR REVIEW AND APPROVAL.
3. A 3'-0" TALL SCREEN WALL WILL BE USED TO SCREEN PARKING ALONG BELLAMAH AVE.

PLANTING NOTES

1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
2. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10. THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT.
3. EXISTING PLANT MATERIALS: THE PLANT MATERIAL ON THE MAJORITY OF THE PROPERTY WILL NOT BE AFFECTED BY THE PROPOSED CHANGES TO TRACTS A AND B. IN THE NORTH PARKING LOT, A FEW TREES WILL NEED TO BE REMOVED TO ACCOMMODATE THE NEW DESIGN. THESE TREES WILL BE REPLACED BY NEW STREET TREES.
4. STREET TREE PLAN: STREET TREES ARE PLANTED 25' ON CENTER OR LESS AS INDICATED ON THE PLANS. STREET TREES WILL BE PLANTED IN A CONTINUOUS TREE TRENCH IN ORDER TO MAXIMIZE THE AMOUNT OF SPACE AVAILABLE FOR TREE ROOT GROWTH. STREET TREE PLACEMENT HAS BEEN COORDINATED WITH ON-STREET PARKING STRIPING IN ORDER TO ALLOW EASY ACCESS TO THE SIDEWALK AND TO PROTECT THE TREES.
5. TURF AREA: GRASS TURF AREAS ARE NOT INCLUDED IN THIS PLAN.
6. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE TRACT D BUILDING'S OCCUPANCY. LANDSCAPE IMPROVEMENTS WILL BE PHASED IN ASSOCIATION WITH THE PHASED SITE DEVELOPMENT INDICATED FOR THE TRACT D SITE DEVELOPMENT PLAN.
7. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION, MULCH OR SEED.
8. VEGETATION: A MINIMUM OF 40% OF INSTALLED SHRUBS, ACCENT PLANTS AND ORNAMENTAL GRASSES WILL BE EVERGREEN IN ORDER TO PROVIDE SIGNIFICANT WINTER INTEREST AND VISUAL IMPACT.
9. WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE PLANS. SEE IRRIGATION NOTES.
10. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN '3' AND '6' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

IRRIGATION NOTES

1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION INSTALLATION DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
2. STATE OF COMPLIANCE WITH WATER CONSERVATION REGULATIONS: THE IRRIGATION DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
3. IRRIGATION DESIGN DESCRIPTION: A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE PLANTS IN THE PROJECT AREA. IRRIGATION MAY BE DESIGNED IN PART OR IN TOTAL AS AN EXTENSION OF THE EXISTING IRRIGATION SYSTEM FOR THE EXISTING HOTEL. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO WATER REQUIREMENTS. ON AVERAGE, EACH TREE SHALL RECEIVE THREE (3) - TWO (2) GPH EMITTERS EACH AND ALL OTHER PLANT MATERIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS EACH.
4. WATER SOURCE AND PROTECTION: THE WATER SOURCE FOR PROJECT IRRIGATION WILL BE CITY WATER. IF THE EXISTING IRRIGATION SYSTEM DESIGN IS INSUFFICIENT TO ACCOMMODATE THE LANDSCAPING FOR THE NEW HOTEL, IRRIGATION WATER SUPPLY WILL BE PROVIDED OFF OF THE HOTEL DOMESTIC SUPPLY LINE. A NEW BACKFLOW PREVENTER AND MASTER VALVE WILL BE PROVIDED PER COA STANDARD DETAIL 2701.
5. WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE ENLARGEMENT PLANS (SEE SHEET SDP-2.2). THE NEW HOTEL WILL DIRECT ROOF STORMWATER TO CISTERNS IN ORDER TO MANAGE OFF-SITE STORMWATER FLOWS. THE WATER IN THE CISTERNS WILL BE USED FOR IRRIGATION PURPOSES IN ORDER TO REDUCE POTABLE WATER USE FOR IRRIGATION.

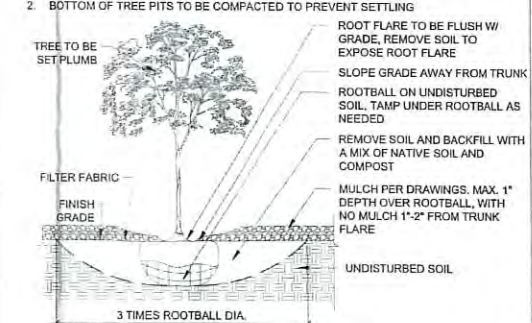
LANDSCAPE CALCULATIONS

TRACTS A & B
TOTAL AREA OF THE LOT (TRACT A & B) = 9,606 AC = 418,437 SF
AREA OF LOT COVERED BY BUILDING = 96,748 SF
NON-PARKING AREA W/ NO LANDSCAPING AND MIN. 6' TALL SCREEN = 2,137 SF
NET LOT AREA = 319,652 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 47,933 SF
PROVIDED LANDSCAPE AREA = 53,777 SF = 16.8%

TREES PER PARKING SPACES - IN RENOVATION AREA
REQUIRED = 1 TREE / 10 PARKING SPACES
NUMBER OF PARKING = 59
REQUIRED NUMBER OF TREES = 6 TREES
PROVIDED NUMBER OF TREES = 16 TREES

- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.



A5 TREE
3/4" = 1'-0"

0 1' 2' 3'



**Dekker
Perich
Sabatini**

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fax 761-4222
dps@dpsdesign.org

ARCHITECT

Gensler

ENGINEER

**AMENDMENT
TO EXISTING
SITE DEVELOPMENT PLAN**

PROJECT

Hotel Albuquerque
800 Rio Grande Blvd. NW
Albuquerque, New Mexico

**DRB
SUBMITTAL**
June 24, 2014

REVISIONS
6-24-14 Revised Per EPC Conditions 5-6-14

△
△
△
△

DRAWN BY CM

REVIEWED BY MB / WG

DATE 6.24.2014

PROJECT NO. 13-0020

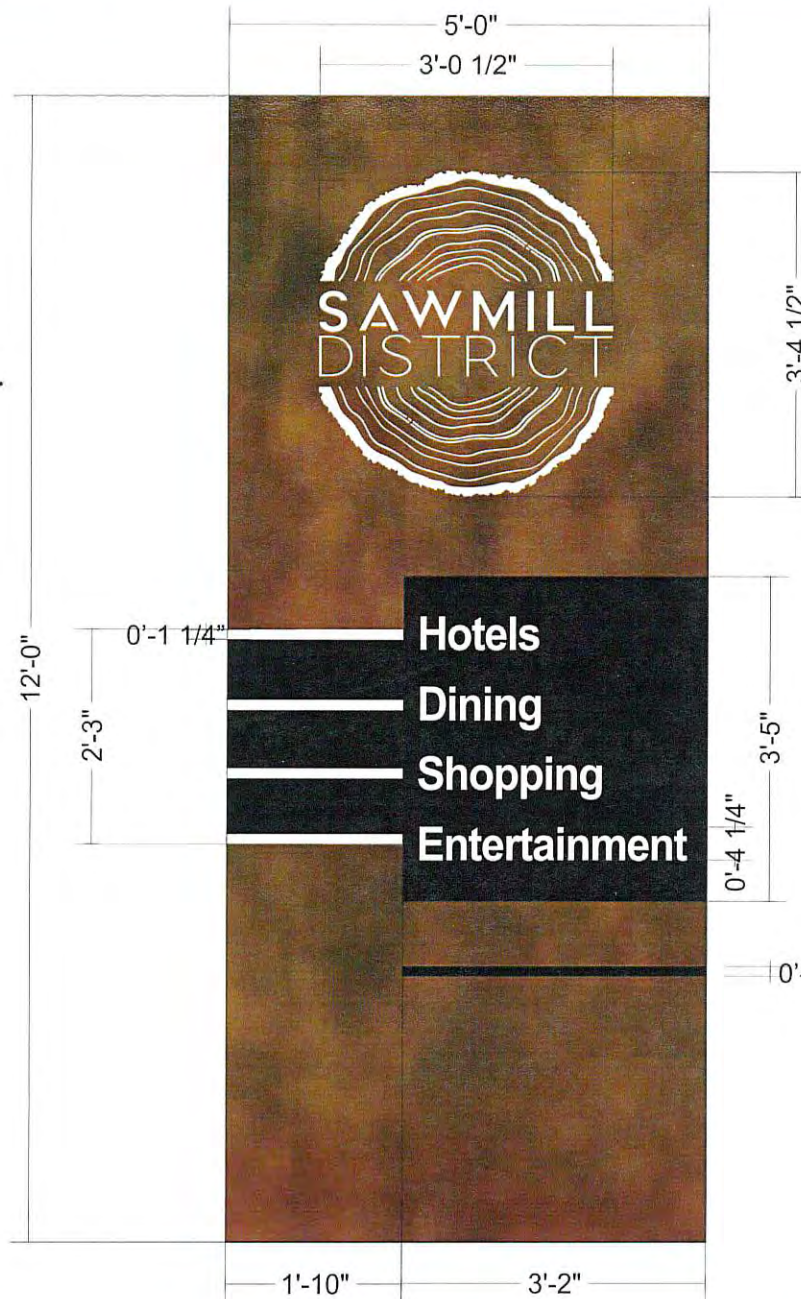
DRAWING NAME

LANDSCAPING

PLAN

SHEET NO.

SDP-2.1
OF



DOUBLE SIDED RUSTED STEEL CABINET

ROUTED LOGO (WATERJET)
WITH WHITE PLEX BACKER
L.E.D. INTERIOR ILLUMINATED

MATTE BLACK POWDER COATED ALUMINUM PANELS
ADHERED TO CABINET
ROUTED STRIPES AND TEXT
WITH WHITE PLEX BACKER
L.E.D. INTERIOR ILLUMINATED

0'-1 1/4" MATTE BLACK POWDER COATED ALUMINUM ACCENT PIECE
ADHERED TO CABINET

amah

PRESENTATIONAL ONLY. SEE MATERIAL SAMPLES FOR ACTUAL COLORS.
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SignArt
OF NEW MEXICO INC.
505-344-0872

SCALE: 1/2"=1'
SKETCH NO: 63866 5-20-22
SALES: MICAH
APPROVAL:



District Entrance:
(60"W x 144"H)
Rio Grande & Bellamah



Rusted metal, wood, frosted acrylic lettering