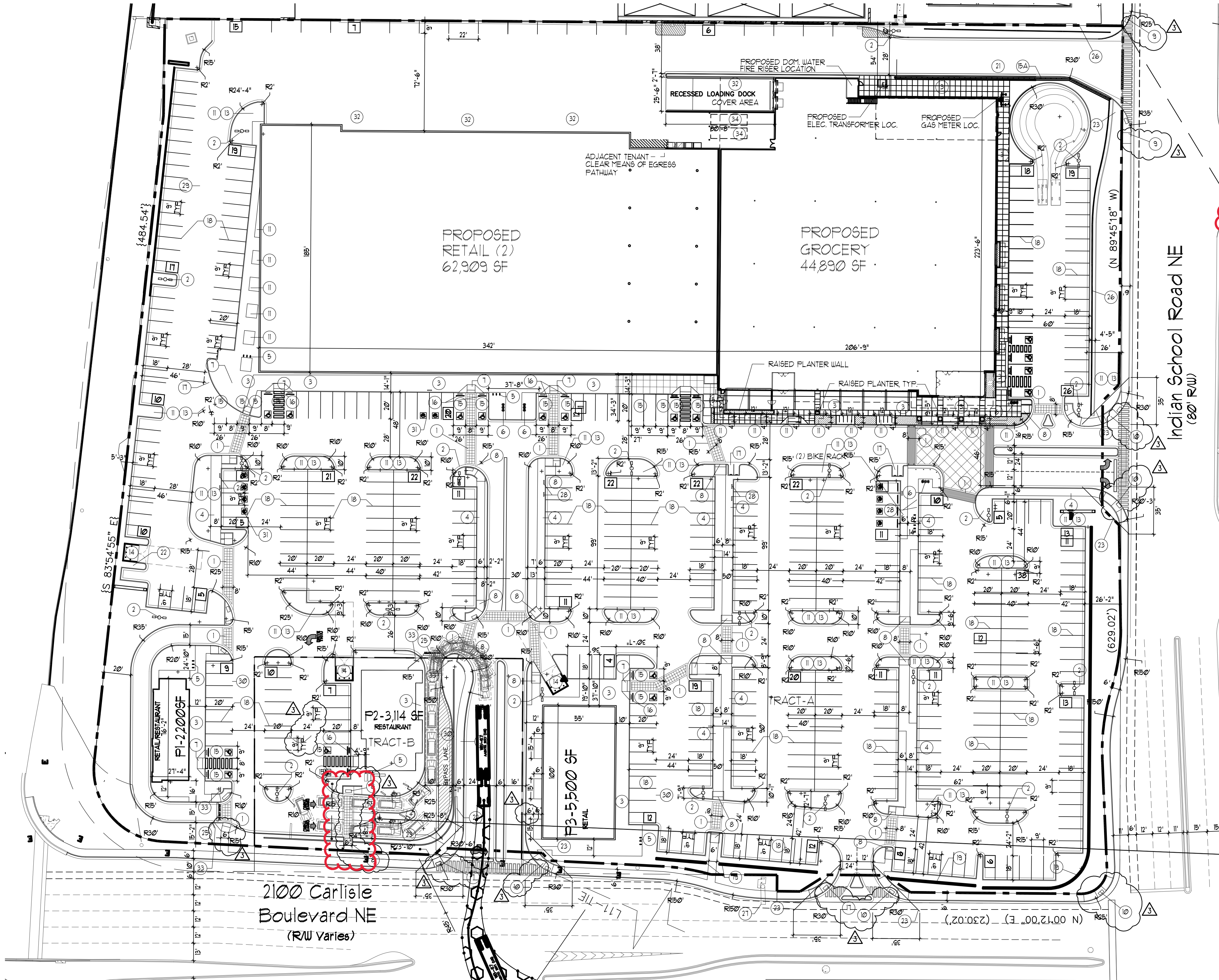


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



- KEYED NOTE:
- 8' OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL C5/A11.
 - LIGHT POLE LOCATION RE: DETAIL A5/A11.
 - CONC. SIDEWALK ADJACENT BLDG RE: DET B2/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - CONC. SIDEWALK RE: DET B3/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL B1/A12.
 - INDICATES BIKE RACK LOCKER LOCATION (5 BIKE CAPACITY)
 - BENCH LOCATION RE: DETAIL 10/A12
 - HANDICAP RAMP RE: A3/A11.
 - HANDICAP RAMP RE: A1/A11.
 - HANDICAP RAMP RE: A1/A11.
 - HANDICAP RAMP RE: C1/A11.
 - INDICATES LANDSCAPE PLANTING AREA GC TO PROVIDE COORDINATE REQ. SLEEVING FOR EA WELL LOCATION
 - DRIVE AISLE PAINT DETAIL RE: DET C5/A12.
 - 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - REFUSE ENCLOSURE RE: DET B2/A13.
 - H.C. PARKING STALL RE: DET A3/A12.
 - NEW RETAINING WALL PER SECTION 5-T(D) OF THE I.D.O.
 - WHEELSTOP RE: DET B5/A12.
 - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. B2/A12.
 - PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL
 - EXISTING SIDEWALK TO REMAIN
 - NEW RAMP
 - 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - INDICATES CLEAR SIGHT TRIANGLE: NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERFAN.
 - BOLLARD PAINTED SAFETY YELLOW RE: DET D1/A12.
 - "DO NOT ENTER" RE: DET 8/A12
 - EXISTING RETAINING WALL TO REMAIN
 - EXISTING DOT SIGN TO REMAIN
 - ELECTRIC VEHICLE CHARGING STATION
 - INDICATES EXISTING BUILDING FOOTPRINT AREA
 - INDICATES CONSTRUCTION PHASE LINE
 - ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - PROPOSED 40 cu yd ROLL OFF CONTAINER
 - "DO NOT ENTER" SIGN RE: DET B3/A12.
 - DASHED LINE INDICATES TRASH COMPACTOR BY TENANT.

PROJECT NUMBER: _____

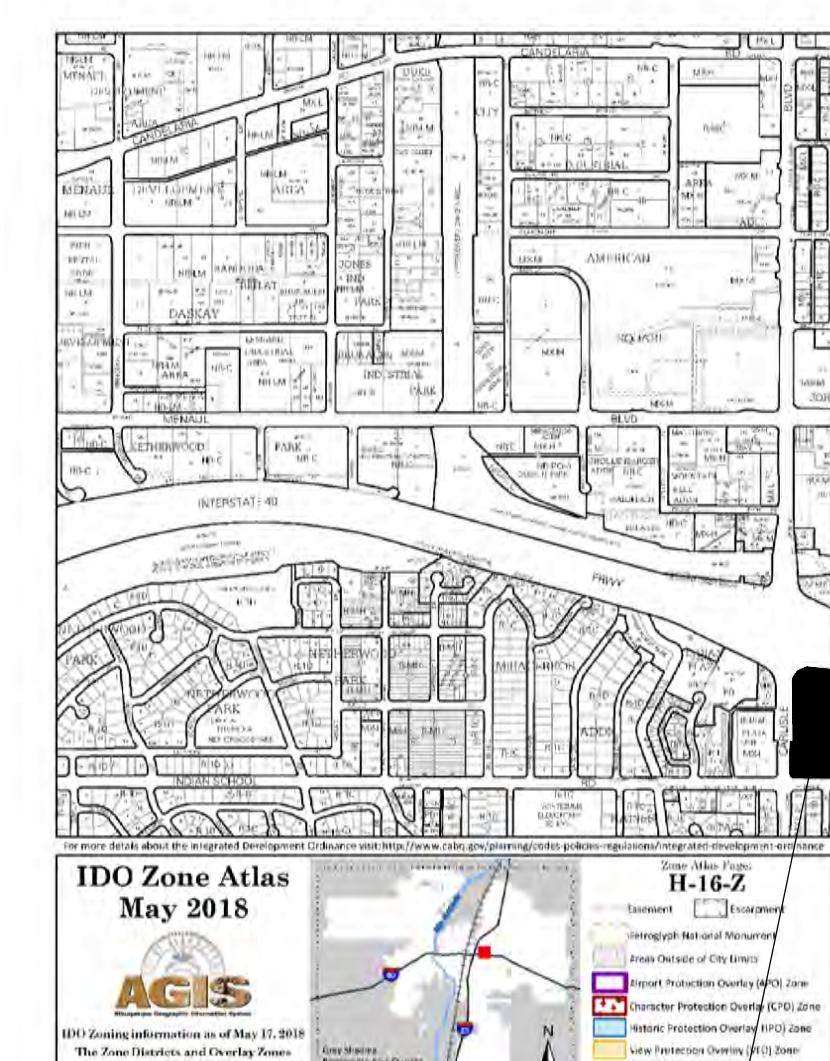
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

	DATE
Traffic Engineering, Transportation Division	
DRB AECUWA ENGINEER	
Parks and Recreation Department	
City Engineer	
Environmental Health Department	
Solid Waste Management	
DRB Chairperson, Planning Department	
Code Enforcement	

* Environmental Health, if necessary



Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

THRU
RAMP
SF.

LEGAL DESCRIPTION	SITE DATA TABLE	RETAIL USES	GROCERY	RESTAURANT	ALL USES
LEGAL DESCRIPTION-TRACT-A A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2021, IN BOOK A18, PAGE 2183, AS DOCUMENT NO. 2001003108.	PROPOSED USES: BUILDING SIZE: TOTAL PARKING REQ. TOTAL PARKING PROV. HC PROVIDED: HC REQUIRED: BIKE SPACES PROVIDED: BIKE SPACES REQUIRED: MOTORCYCLE SPACES PROVIDED: MOTORCYCLE SPACES REQUIRED: ELECTRIC CHARGING STATION SPACES PROVIDED: ELECTRIC STATION REQUIRED: BURGER KING BURGER KING HC REQUIRED:	RETAIL USES 68,409 SF 213 SPACES	GROCERY 44,890 SF 180 SPACES	RESTAURANT 5,314 SF 24 SPACES	ALL USES (MAJOR-1/MAJOR-2/F-1/F-3) TOTAL SPACES REQ= 469 SPACES 499 SPACES PROVIDED 28 HC (INCLUDING 20 VAN ACCESSIBLE) 9 HC SPACES 46 BIKE SPACES 46 BIKE SPACES 6 MOTO SPACES 6 MOTO SPACES 10 ELEC. CHARGING STATION PARKS 9 ELEC. CHARGING STATION PARKS TOTAL SPACES REQ= 19 SPACES 1 HC SPACES

MODULUS ARCHITECTS

100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE
CARLISLE CROSSING
2100 CARLISLE BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.
9

DRAWN BY:
S

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

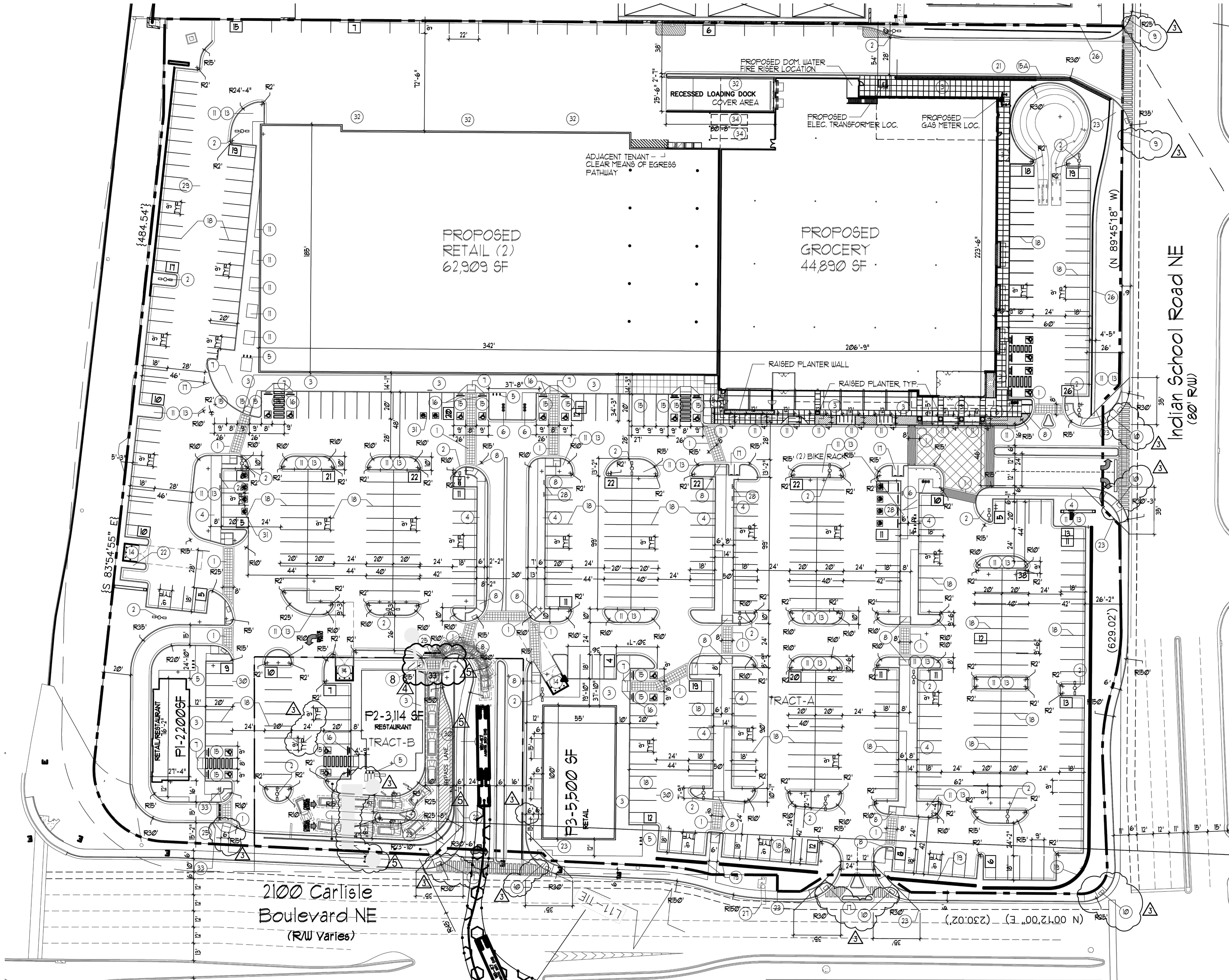
DATE:
29 June 2021

SCALE:
RE: BAR SCALE

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		

REGISTERED ARCHITECT OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
15 JULY 2021



- KEYED NOTE:
- 1 8' , OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL C5/A11.
 - 2 LIGHT POLE LOCATION RE: DETAIL A5/A11.
 - 3 CONC. SIDEWALK ADJACENT BLDG RE: DET B2/A11 RE: SITE PLAN FOR JOINT LAYOUT
 - 4 CONC. SIDEWALK RE: DET B3/A11. RE: SITE PLAN FOR JOINT LAYOUT
 - 5 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL B1/A12.
 - 5A INDICATES BIKE RACK LOCKER LOCATION. (5 BIKE CAPACITY)
 - 6 BENCH LOCATION RE: DETAIL 10/A12
 - 7 HANDICAP RAMP RE: A3/A11.
 - 8 HANDICAP RAMP RE: A1/A11.
 - 9 HANDICAP RAMP RE: A4/A11.
 - 10 HANDICAP RAMP RE: C1/A11.
 - 11 INDICATES LANDSCAPE PLANTING AREA GC TO PROVIDE COORDINATE REQ. SLEEVING FOR EA WELL LOCATION
 - 12 DRIVE AISLE PAINT DETAIL RE: DET C5/A12.
 - 13 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
 - 14 REFUSE ENCLOSURE RE: DET B2/A13.
 - 15 H.C. PARKING STALL RE: DET A3/A12.
 - 15A NEW RETAINING WALL PER SECTION 5-T(D) OF THE I.D.O.
 - 16 WHEELSTOP RE: DET B5/A12.
 - 17 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. B2/A12.
 - 18 PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - 19 INDICATES SPLIT FACE 3'-0" HIGH PAINTED PATIO KNEE WALL
 - 20 EXISTING SIDEWALK TO REMAIN
 - 21 NEW RAMP
 - 22 300 SF PYLON SIGN TO MATCH ADJACENT BUILDING RE: DETAIL 8/A13 FOR INFO
 - 23 INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERFAN.
 - 24 BOLLARD PAINTED SAFETY YELLOW RE: DET. D1/A12.
 - 25 "DO NOT ENTER" RE: DET 8/A12
 - 26 EXISTING RETAINING WALL TO REMAIN
 - 27 EXISTING DOT SIGN TO REMAIN
 - 28 ELECTRIC VEHICLE CHARGING STATION
 - 29 INDICATES EXISTING BUILDING FOOTPRINT AREA
 - 30 INDICATES CONSTRUCTION PHASE LINE
 - 31 ELECTRIC VEHICLE PARKING SPACE, TYPICAL OF 10
 - 32 PROPOSED 40 cu yd ROLL OFF CONTAINER
 - 33 "DO NOT ENTER" SIGN RE: DET B3/A12.
 - 34 DASHED LINE INDICATES TRASH COMPACTOR BY TENANT.

PROJECT NUMBER: _____

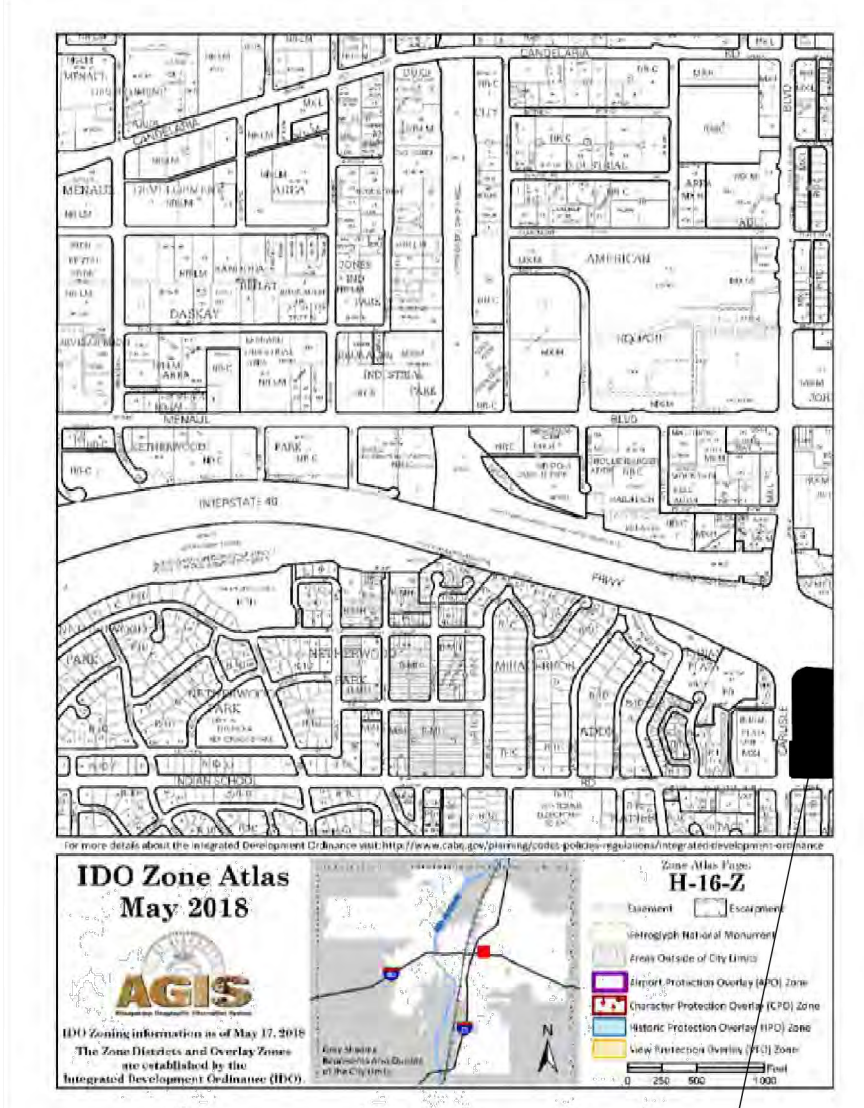
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

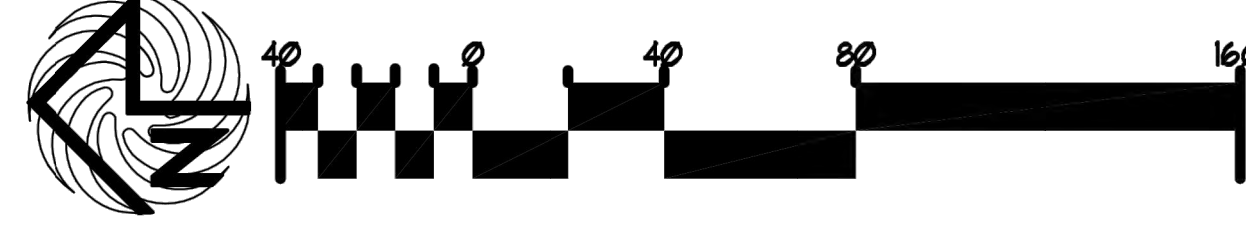
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCUMA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary



SITE PLAN FOR BUILDING PERMIT



- 4 MOVE LOCATION OF ADA SITE ACCESS TO LEVEL GRADE PER KEYED NOTE 8
- 5 EXISTING ADA PATH WE CONNECT TO WITH THIS AA

LEGAL DESCRIPTION	SITE DATA TABLE			
LEGAL DESCRIPTION-TRACT-A A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "A" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT A, AKA PARCELS 2-3-A AND 2-3, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 20, 2020, IN BOOK A18, PAGE 2183, AS DOCUMENT NO. 2001003393.				
LEGAL DESCRIPTION-TRACT-B A CERTAIN TRACT OF LAND DESIGNATED AS TRACT "B" OF "THE CARLISLE AND INDIAN SCHOOL SUBDIVISION", AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 3, 1934, IN PLAT BOOK 94C, FOLIO 65, LESS AND EXCEPTING A PORTION OF TRACT B, AKA PARCEL 2-4, CONVEYED TO NM DEPARTMENT OF TRANSPORTATION (NMDOT), AS THE SAME IS SHOWN ON THE RIGHT-OF-WAY MAP, HAVING PROJECT NUMBER TPU-040-3/19/160, DATED NOVEMBER 13, 1931, AND DESCRIBED ON THE STIPULATED JUDGEMENT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 11, 2020, IN BOOK A14, PAGE 2183, AS DOCUMENT NO. 2001003393.				
	RETAIL USES	GROCERY	RESTAURANT	ALL USES
	PROPOSED USES:			
	BUILDING SIZE:	68,409 SF	5,314 SF	
	TOTAL PARKING REQ:	213 SPACES	180 SPACES	24 SPACES
	TOTAL PARKING PROV:			499 SPACES PROVIDED
	HC PROVIDED:			28 HC (INCLUDING 20 VAN ACCESSIBLE)
	HC REQUIRED:			9 HC SPACES
	BIKE SPACES PROVIDED:			46 BIKE SPACES
	BIKE SPACES REQUIRED:	10% OF TOTAL	10% OF TOTAL	10% OF TOTAL
	MOTORCYCLE SPACES PROVIDED:	2 SPACES	2 SPACES	2 SPACES
	MOTORCYCLE SPACES REQUIRED:	2 SPACES	2 SPACES	2 SPACES
	ELECTRIC CHARGING STATION SPACES PROVIDED:	6 SPACES	4 SPACES	-
	ELECTRIC STATION REQUIRED:	5 SPACES	4 SPACES	-
	BURGER KING			2:1000
	BURGER KING HC REQUIRED:			
				TOTAL SPACES REQ = 19 SPACES
				1 HC SPACES

THRU RAMP 5F.

Lot 30-A, Block 1
Miraceros Addition
(03/13/1998, 98C-69)

MODULUS ARCHITECTS

100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218
15 JULY 2021

PROJECT TITLE
CARLISLE CROSSING
2100 CARLISLE BLVD NE
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR, AIA

JOB NO.

DRAWN BY:
5

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

DATE:
29 June 2021

SCALE:
RE: BAR SCALE

SHEET NO.
DP-1