

LEGAL DESCRIPTION	VARIES: REFER TO DESCRIPTION BELOW							
TRACT NUMBER	BLDG - A	BLDG - B	BLDG - C	BLDG - D	BLDG - E	BLDG - F	BLDG - G-1	BLDG - G-2
TOTAL ACREAGE:	AREA= 1.1368 AC	AREA= 1.4355AC	AREA= 1.0251 AC	AREA= .9140 AC	AREA= .9444 AC	AREA= 1.131AC	AREA= 0.4143 AC	AREA= 0.9035 AC
EXISTING ZONING:	NR-C							
PROPOSED ZONING:	NR-C							
BLDG. SIZE/ REQ. DINING SEATS	3,366 SF	3,459 SF	6,601 SF / 341 SEATS	2,788 SF / 142 SEATS	5,225 SF	10,054 SF	5,773 SF	6,823SF
FAR:	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX
PROPOSED # OF STRUCTURES:	1	1	1	1	1	1	1	1
PROPOSED USE:	GROCERY STORE	GROCERY STORE	RESTAURANT	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	GROCERY STORE	SHOPS/RETAIL-FOOD-OFF.	SHOPS/RETAIL-FOOD-OFF.
TOTAL PARKING PROVIDED:	48 SPACES	48 SPACES	53 SPACES	24 SPACES	40 SPACES	16 SPACES	16 SPACES	41 SPACES
TOTAL PARKING REQ (INC. ENFL.):	53 SPACES (41,000)	53 SPACES (41,000)	53 SPACES (51,000)	21 SPACES (51,000)	21 SPACES (41,000)	41 SPACES (41,000)	23 SPACES (41,000)	21 SPACES (41,000)
HC PROVIDED:	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	6 HC (INC. 6 VAN ACCESSIBLE)	6 HC (INC. 6 VAN ACCESSIBLE)
HC REQUIRED:	2 HC SPACE	2 HC SPACE	4 HC SPACE	1 HC SPACE	1 HC SPACE	3 HC SPACES	4 HC SPACES	4 HC SPACES
BIKE SPACES PROVIDED:	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	5 BIKE SPACES	8 BIKE SPACES	8 BIKE SPACES
BIKE SPACES REQUIRED:	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	5 BIKE SPACES	8 BIKE SPACES	8 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACE	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES
MOTORCYCLE SPACES REQUIRED:	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	1 MOTORCYCLE SPACE	1 MOTORCYCLE SPACE	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES
MAX BUILDING HEIGHT:	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET
TOTAL PARKING REQUIRED:	249 SPACES X 2% = 5 (4.98) ELECTRIC VEHICLE CHARGING STATIONS REQUIRED, 5 PROVIDED							

KEYED NOTES

- 1

8' INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2

PROPOSED LIGHT POLE LOCATION RE: 8/A1.3 FOR POLE DETAIL
- 3

EXISTING 6' SIDEWALK
- 4

EXISTING ASPHALT BIKE PATH / SIDEWALK
- 5

INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ) SEE DETAIL 1/A1.3
- 6

OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- 7

HANDICAP RAMP PER COA DIAG #2441
- 8

INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPLIT FACE CMU TO MATCH OTHER SCREEN WALLS
- 9

LANDSCAPE AREA
- 10

PROPOSED 3'-0" HIGH 8" INTEGRALLY COLORED SPLIT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 9/A1.3 FOR DETAIL
- 11

INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- 12

INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS WITH MOTORCYCLE SIGNAGE, SEE DETAIL 1/A1.3
- 13

INDICATES MONUMENT SIGN - SEE 1/A1.2
- 14

INDICATES DUMPSTER LOCATION RE: DETAIL 2#3/A1.3 -INCLUDING SANITARY DRAIN FOR FOOD SERVICES
NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- 15

INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES
NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPLIT FACE CMU
- 16

INDICATES LOCATION OF TRASH RECEPTACLES
- 17

INDICATES LOCATION OF BENCH
- 18

LOADING DOCK
- 19

LOADING AREA
- 20

CLEAR SITE TRIANGLE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 21

"DO NOT ENTER" SIGN. SEE DETAIL 1/A1.3
- 22

6" CONCRETE CURB
- 23

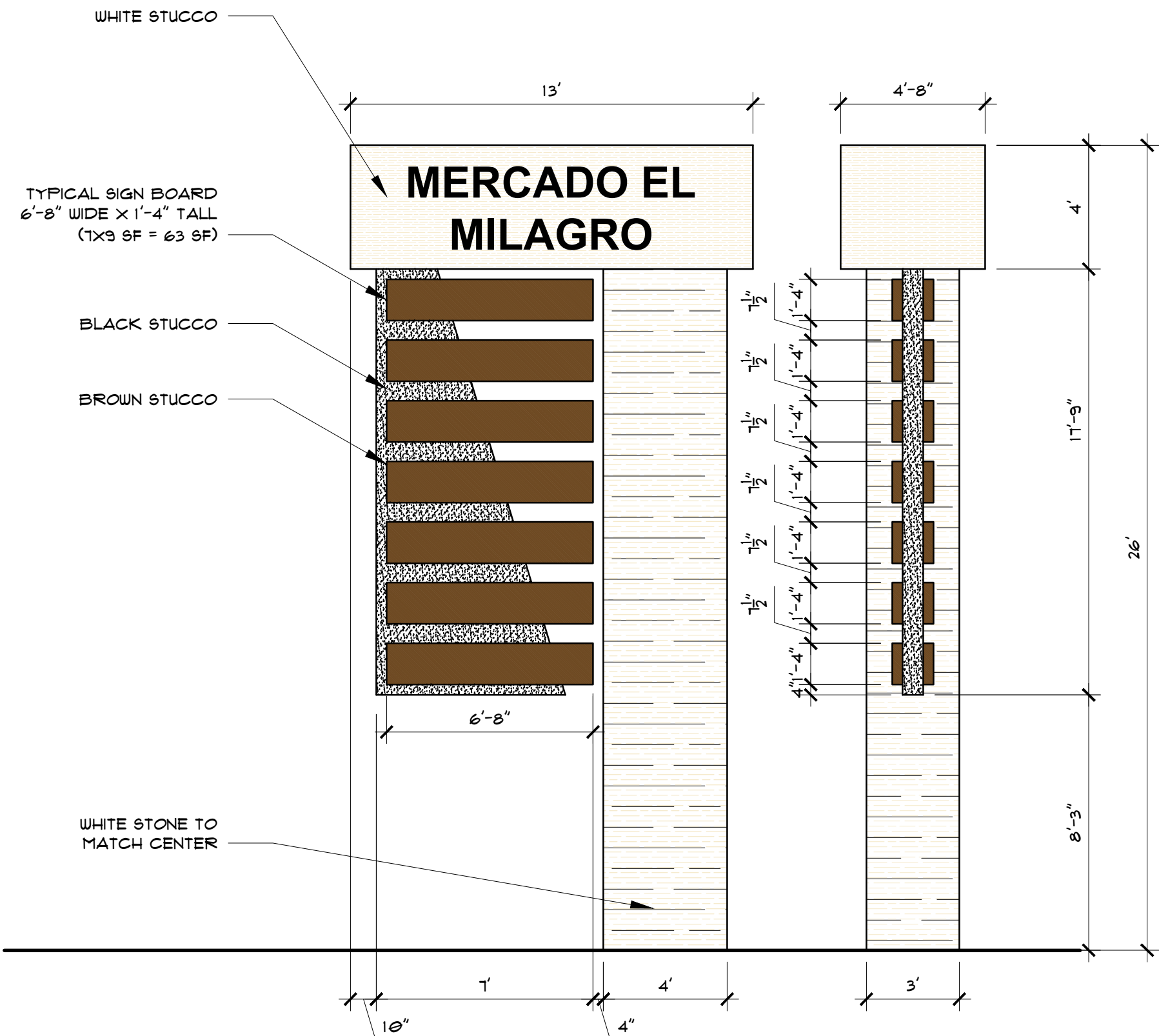
ASPHALT DRIVE AND PARKING
- 24

NEW CURB AND GUTTER
- 25

RIGHT IN / RIGHT OUT ONLY DRIVEWAY
- 26

ELECTRIC VEHICLE CHARGING STATION (TYP OF 5)
- 27

UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED



PYLON SIGN ELEVATIONS

1 / 4 " = 1 ' - 0 "

RADIUS INFORMATION

- 1

RADIUS = 1'-0"
- 2

RADIUS = 2'-0"
- 4

RADIUS = 4'-0"
- 5

RADIUS = 5'-0"
- 6

RADIUS = 6'-0"
- 9

RADIUS = 9'-0"
- 15

RADIUS = 15'-0"
- 20

RADIUS = 20'-0"
- 25

RADIUS = 25'-0"
- 28

RADIUS = 28'-0"
- 30

RADIUS = 30'-0"
- 33

RADIUS = 33'-0"
- 45

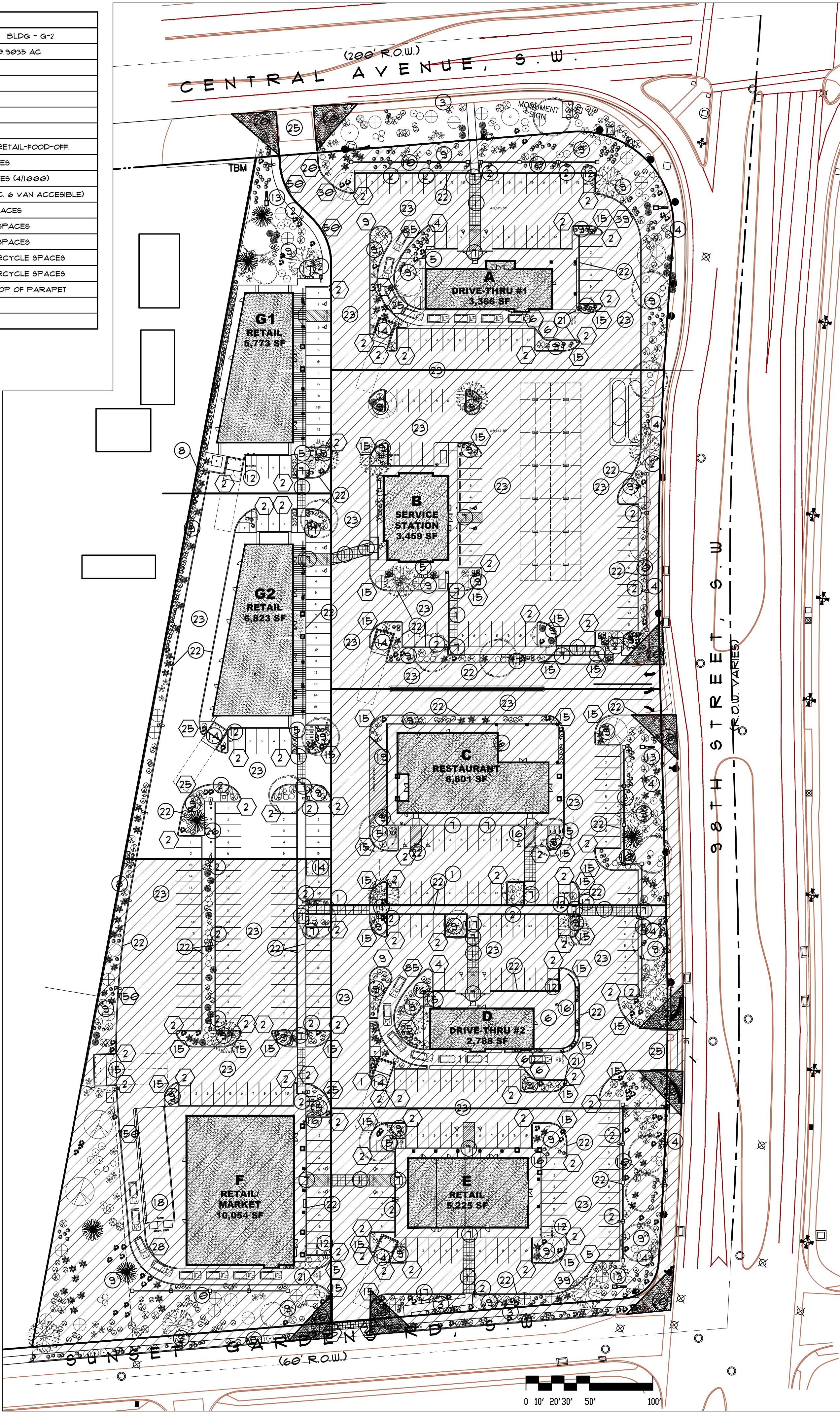
RADIUS = 45'-0"
- 60

RADIUS = 50'-0"
- 85

RADIUS = 85'-0"
- 150

RADIUS = 150'-0"

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER



SITE PLAN

1 " = 5 0 ' 0 "

MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

PETERSON
PROPERTIES

AA

MERCADO EL MILAGRO
SHELL BUILDING G-1
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

DATE: 3 OCT 2023
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

SHEET NO:
A1.2