

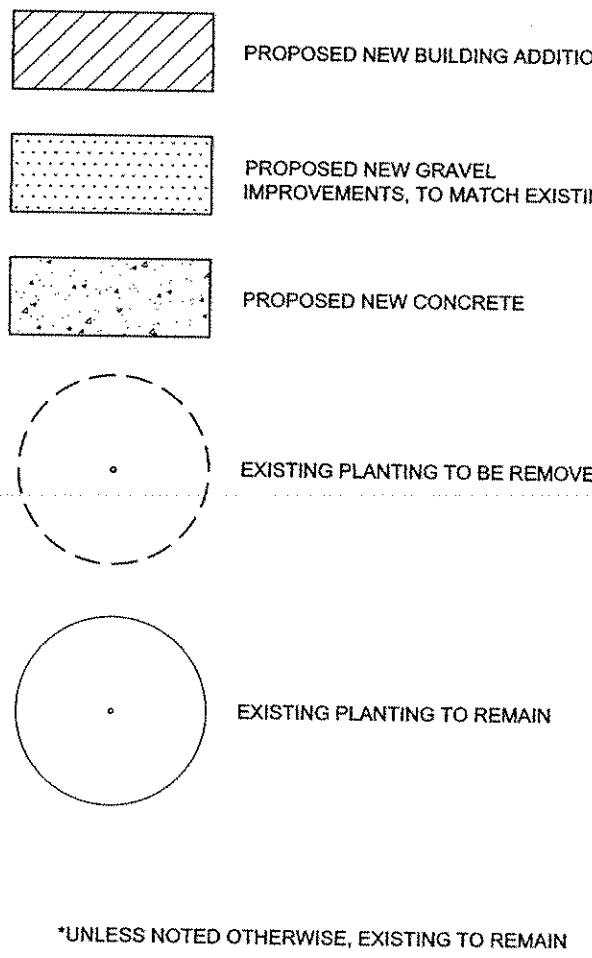
ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

SITE PLAN LEGEND



PROJECT DATA DRB#1000591

ADDRESS:
5100 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION:
LOT 4AA-5A-1, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO

UPC: 101-706-341-014-740-235

ZONING: IP

ZONE ATLAS MAP: D-17-Z

BUILDING DATA:
OCCUPANCY GROUP: E - EDUCATION
EXISTING STRUCTURE: ONE STORY - 29,520 SF 35,468 SF
PROPOSED NEW CONSTRUCTION: ONE STORY - 3,948 SF 2,500 SF
PROPOSED NEW BUILDING: 35,468 SF 37,968 SF
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SITE AREA: 143,748 SF
BUILDING-TO-LOT COVERAGE (TOTAL): 24.6% 26.4%

PARKING:
PROVIDED PARKING SPACES: 111 (INCLUDING 8 ACCESSIBLE SPACES,
83 NOT INCLUDING 3 MOTORCYCLE PARKING SPACES)
REQUIRED PARKING SPACES: 104 (3 SPACES FOR EACH CLASSROOM, 20 CLASSROOMS 31 CLASSROOMS,
Per 14-16-3-1 Off-Street Parking Regulations, Part 3-A, (29)

PROVIDED BICYCLE PARKING: 20 PROVIDED
REQUIRED BICYCLE PARKING: 19 REQUIRED
PER 14-16-5-5(E)(1) BICYCLE PARKING TABLE 5-5-5: 5 SPACES OR 20% OF
REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER.

FIRE FLOW REQUIREMENTS:
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SQUARE FOOTAGE: 35,468 SF
EXISTING FIRE HYDRANTS: 2
FIRE FLOW: 2,000 GPM (PER IFC APPENDIX B)

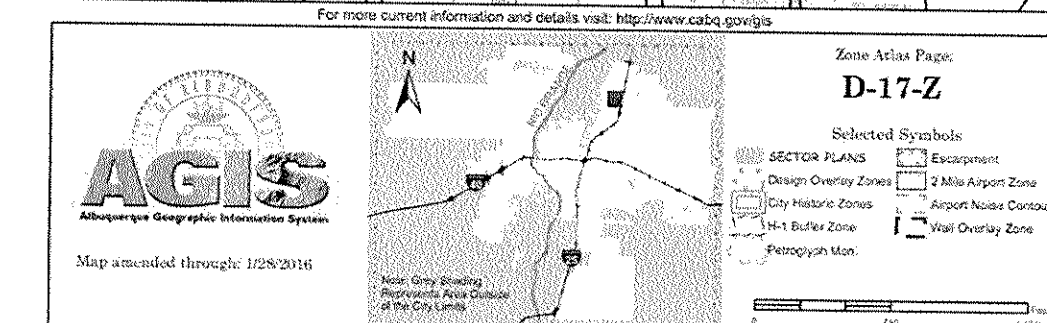
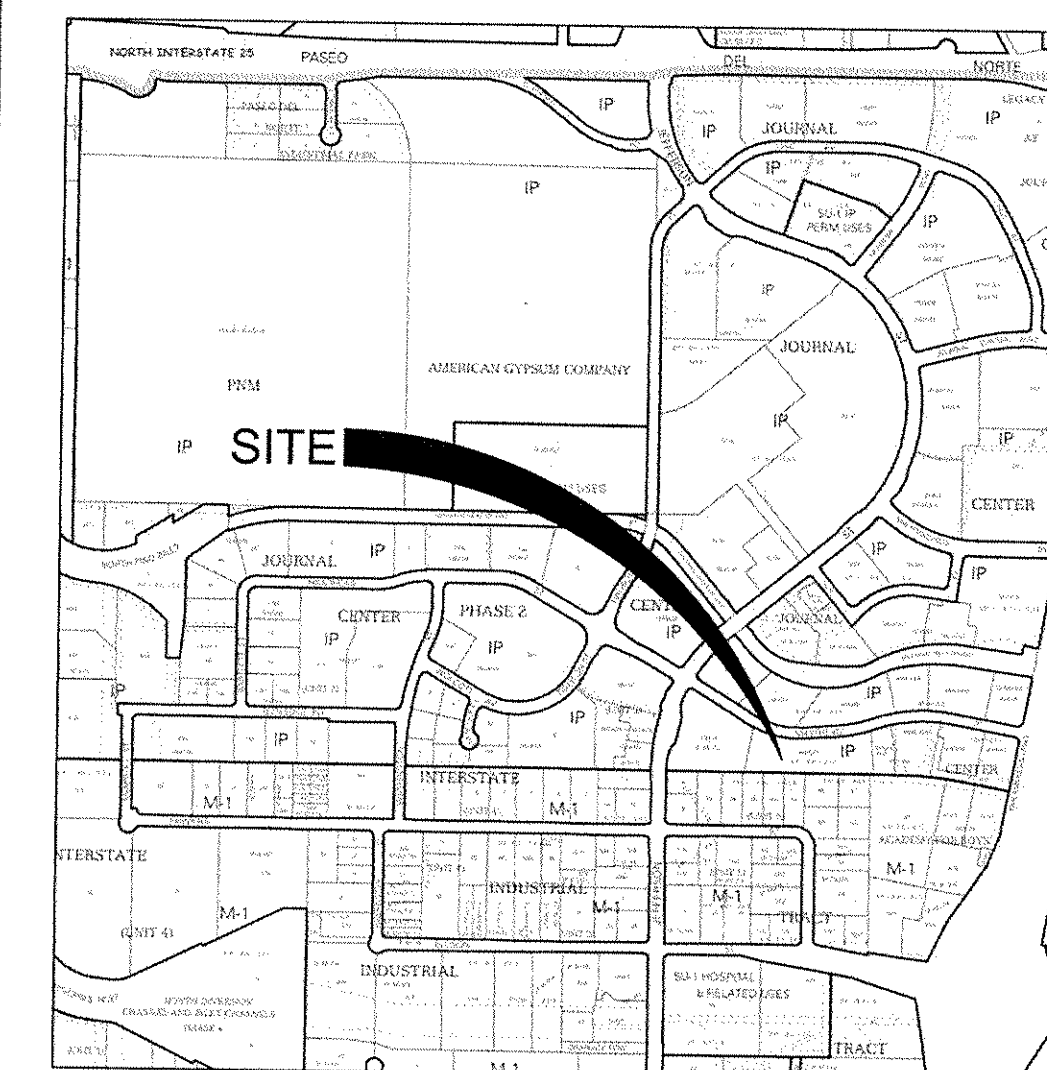
FIRE APPARATUS ACCESS AND LOADING:
NEW FIRE APPARATUS ACCESS ROAD AND ANY REPAIRS TO EXISTING FIRE APPARATUS
ACCESS ROADS (DUE TO NEW FOUNDATION WORK) TO BE 3" MIN ASPHALT CONCRETE
OVER 8" MIN COMPACTED SUB-GRADE AND WILL BE CAPABLE OF SUPPORTING 75,000
POUNDS MIN. NOT TO EXCEED 10% GRADE.

LANDSCAPE:
ALL NEW LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF
ALBUQUERQUE WATER CONSERVATION ORDINANCE

LANDSCAPE AREA REQUIREMENT: 143,748 SF (SITE AREA) - 35,468 SF (BUILDING AREA) =
108,280 SF X 15% = 16,242 SF 15,867 SF
TOTAL LANDSCAPE AREA PROVIDED: 19,750 SF (18%) 18,600 SF (17.6%)

LANDSCAPE MAINTAINED BY: LEECO GROUNDS MANAGEMENT, INC
PLAYFIELD WATERING SYSTEM: EXISTING SPRINKLER SYSTEM (2" MAINLINE)
ALL OTHER LANDSCAPE AREAS: EXISTING DRIP IRRIGATION SYSTEM

VICINITY MAP Zone Atlas Page: D-17



APPROVALS

PROJECT NUMBER: 1000591
APPLICATION NUMBER: 18DRB-70070

Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans
with a work order is required for any construction within Public Right-of-Way or for
construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:	
<i>Raquel M. Wood</i>	3/21/18
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Rich Lade</i>	03-27-18
ABCWUA	DATE
<i>Spiffy</i>	3/21/18
PARKS AND RECREATION DEPARTMENT	DATE
<i>Janet D. Taylor</i>	3/21/2018
CITY ENGINEER	DATE
N/A	
SOLID WASTE MANAGEMENT	DATE
N/A	
FIRE MARSHAL	DATE
<i>22</i>	3/21/18
CODE ENFORCEMENT	DATE
<i>My</i>	3.27.18
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

**EXPLORE ACADEMY
RENOVATION/ADDITION**
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

REVISIONS	
△	02/07/2023 AA-001
△	
△	
△	

DRAWN BY

REVIEWED BY

DATE 03/14/2018

PROJECT NO. 16-0150.006

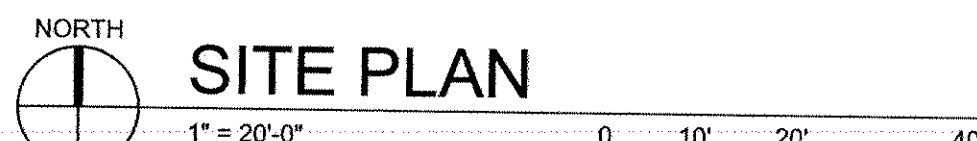
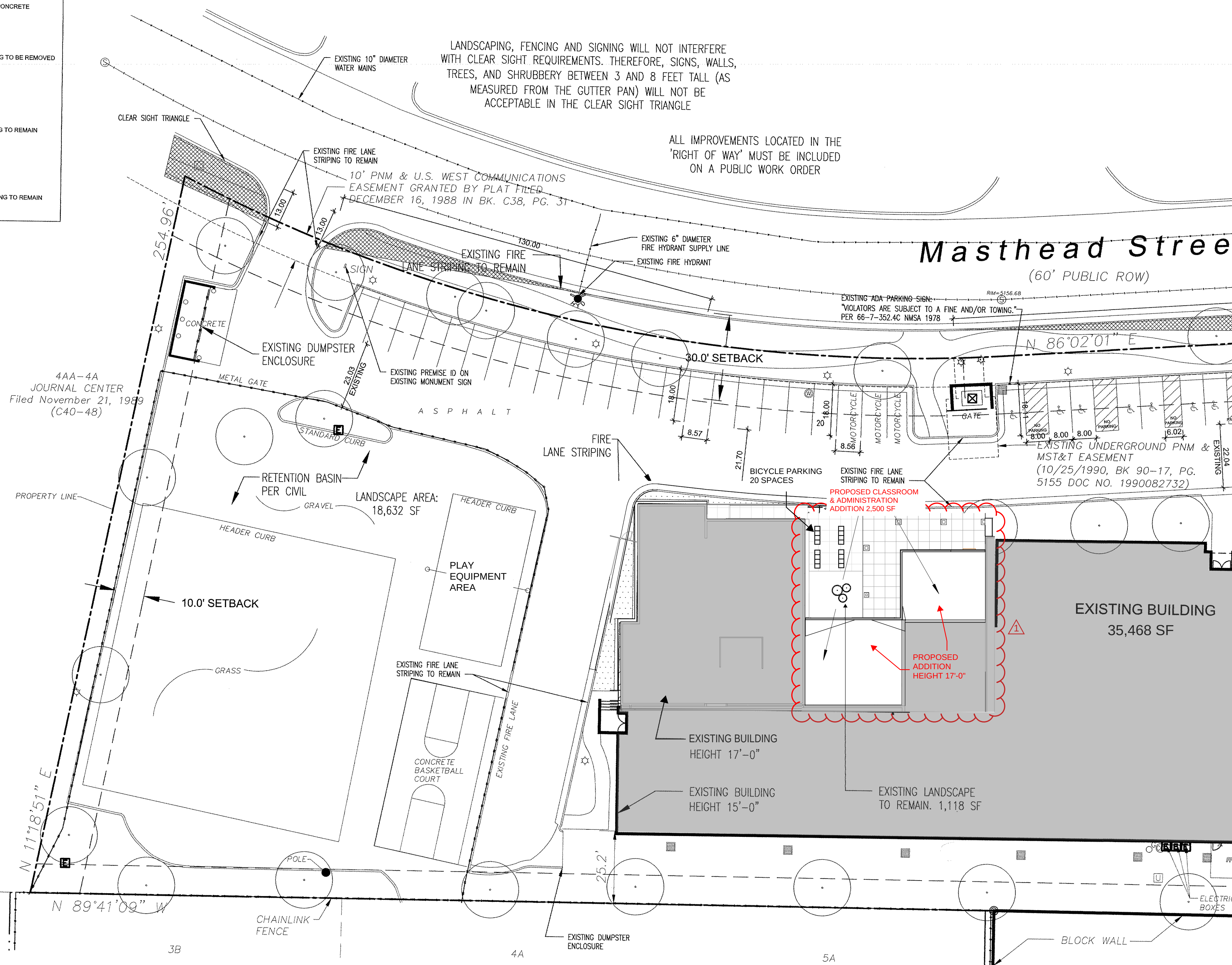
DRAWING NAME

SITE
PLAN

SHEET NO.

DRB01A

OF



SITE PLAN

ADDRESS:
5100 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION:
LOT 4AA-5A-1, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO

UPC: 101-706-341-014-740-235

ZONING: IP

ZONE ATLAS MAP: D-17-Z

BUILDING DATA

OCCUPANCY GROUP: E - EDUCATION

EXISTING STRUCTURE: ONE STORY - 25,540 SF - 35,468 SF

PROPOSED NEW CONSTRUCTION: ONE STORY - 9,948 SF - 2,500 SF

PROPOSED NEW BUILDING: 35,468 SF - 37,968 SF

PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED

SITE ACREAGE: 3.3 ACRES

SITE AREA: 143,748 SF

BUILDING-TO-LOT COVERAGE (TOTAL): 24.6% - 26.4%

PARKING:

PROVIDED PARKING SPACES: 111 (INCLUDING 8 ACCESSIBLE SPACES, NOT INCLUDING 3 MOTORCYCLE PARKING SPACES)

REQUIRED PARKING SPACES: 84.3 SPACES FOR EACH CLASSROOM, 28 CLASSROOMS - 31 CLASSROOMS
Per 14-16-3-1 Off-Street Parking Regulations, Part 3 - A, (29)

PROVIDED BICYCLE PARKING: 20 PROVIDED

REQUIRED BICYCLE PARKING: 19 REQUIRED
PER 14-16-5-5(E)(1) BICYCLE PARKING TABLE 5-5-5: 5 SPACES OR 20% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER

FIRE FLOW REQUIREMENTS:

PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED

SQUARE FOOTAGE: 35,468 SF

EXISTING FIRE HYDRANTS: 2

FIRE FLOW: 2,000 GPM (PER IFC APPENDIX B)

FIRE APPARATUS ACCESS AND LOADING:

NEW FIRE APPARATUS ACCESS ROAD AND ANY REPAIRS TO EXISTING FIRE APPARATUS ACCESS ROADS (DUE TO NEW FOUNDATION WORK) TO BE 3" MIN ASPHALT CONCRETE OVER 8" MIN COMPACTED SUB-GRADE AND WILL BE CAPABLE OF SUPPORTING 75,000 POUNDS MIN. NOT TO EXCEED 10% GRADE.

LANDSCAPE:

ALL NEW LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE.

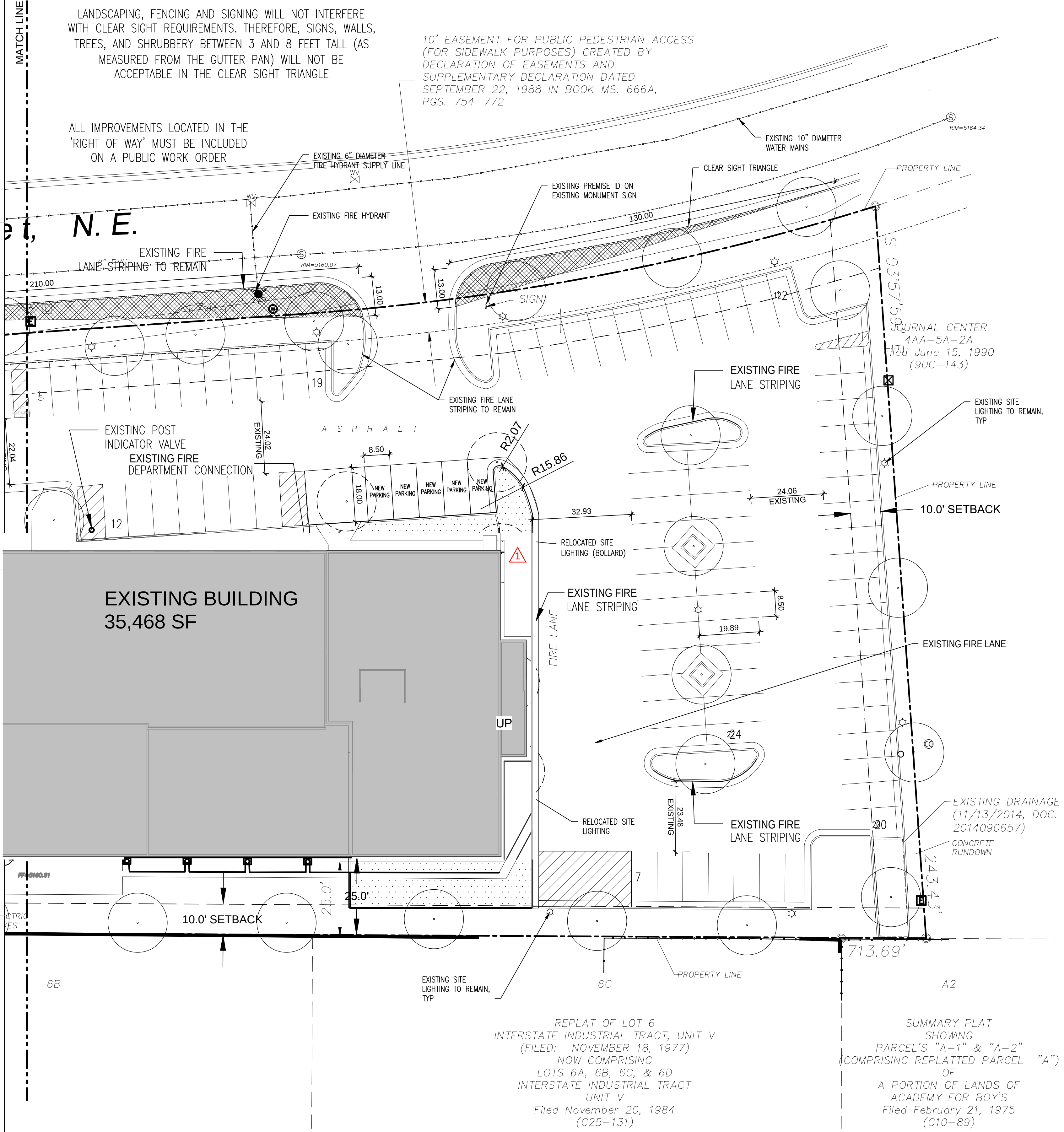
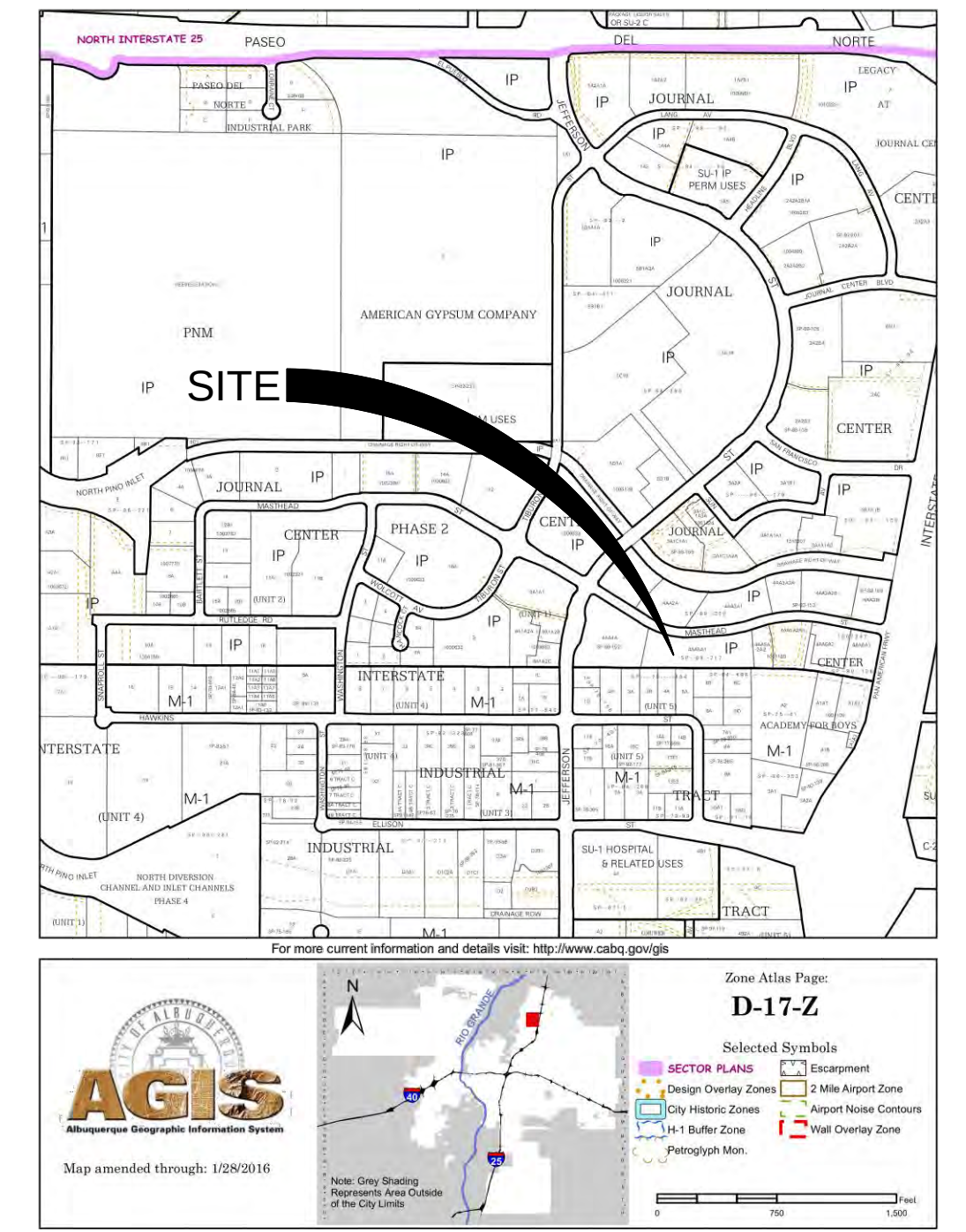
LANDSCAPE AREA REQUIREMENT: 143,748 SF (SITE AREA) - 37,968 SF (BUILDING AREA) = 105,780 SF

LANDSCAPE MAINTAINED BY: LEECO GROUNDS MANAGEMENT, INC

PLAYFIELD WATERING SYSTEM: EXISTING SPRINKLER SYSTEM (2" MAINLINE)

ALL OTHER LANDSCAPE AREAS: EXISTING DRIP IRRIGATION SYSTEM

VICINITY MAP Zone Atlas Page: D-17



SITE PLAN LEGEND

- PROPOSED NEW BUILDING ADDITION
- PROPOSED NEW GRAVEL IMPROVEMENTS, TO MATCH EXISTING
- PROPOSED NEW CONCRETE
- EXISTING PLANTING TO BE REMOVED
- EXISTING PLANTING TO REMAIN

*UNLESS NOTED OTHERWISE, EXISTING TO REMAIN

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

EXPLORE ACADEMY
RENOVATION/ADDITION
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE 03/14/2018

PROJECT NO. 16-0150.006

DRAWING NAME

SITE
PLAN

SHEET NO.

DRB01B

OF



SITE PLAN

1" = 20'-0"

0 10' 20' 40'

	PROPOSED NEW BUILDING ADDITION
	PROPOSED NEW GRAVEL IMPROVEMENTS, TO MATCH EXISTING
	PROPOSED NEW CONCRETE
	EXISTING PLANTING TO BE REMOVED
	EXISTING PLANTING TO REMAIN

*UNLESS NOTED OTHERWISE, EXISTING TO REMAIN

ADDRESS:
5100 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION:
LOT 44A-341, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO

UPC: 101-706-341-014-740-235

ZONING: IP

ZONE ATLAS MAP: D-17-Z

BUILDING DATA:
OCCUPANCY GROUP: E - EDUCATION
EXISTING STRUCTURE: ONE STORY - 25,520 SF
PROPOSED NEW CONSTRUCTION: ONE STORY - 9,848 SF
PROPOSED NEW CONSTRUCTION: 35,468 SF
PROPOSED NEW CONSTRUCTION TYPE: I+B SPRINKLED
SITE ACREAGE: 3.3 ACRES
SITE AREA: 143,748 SF
BUILDING-TO-LOT COVERAGE (TOTAL): 24.6%

**DEKKER
PERICH
SABATINI**

5.761.9700 / DPSDESIGN.ORG

ARCHITECT

GINEER

PROJECT _____

EXPLORE ACADEMY
RENOVATION/ADDITION
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

PROJECT NUMBER: 1000591	
APPLICATION NUMBER: 18DRB-70070	
Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
SITE DEVELOPMENT PLAN APPROVAL:	
<i>Raguel M. [Signature]</i>	3/21/18
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Kristi Cade</i>	03-27-18
ABCWUA	DATE
<i>[Signature]</i>	3/21/18
PARKS AND RECREATION DEPARTMENT	DATE
<i>Janet D. [Signature]</i>	3/21/2018
CITY ENGINEER	DATE
N/A	
SOLID WASTE MANAGEMENT	DATE
N/A	
FIRE MARSHAL	DATE
<i>z z</i>	3/21/18
CODE ENFORCEMENT	DATE
<i>[Signature]</i>	3.27.18
DRC CHAIRPERSON, PLANNING DEPARTMENT	DATE

SIONS

OWN BY _____

REVIEWED BY

03/14/2018

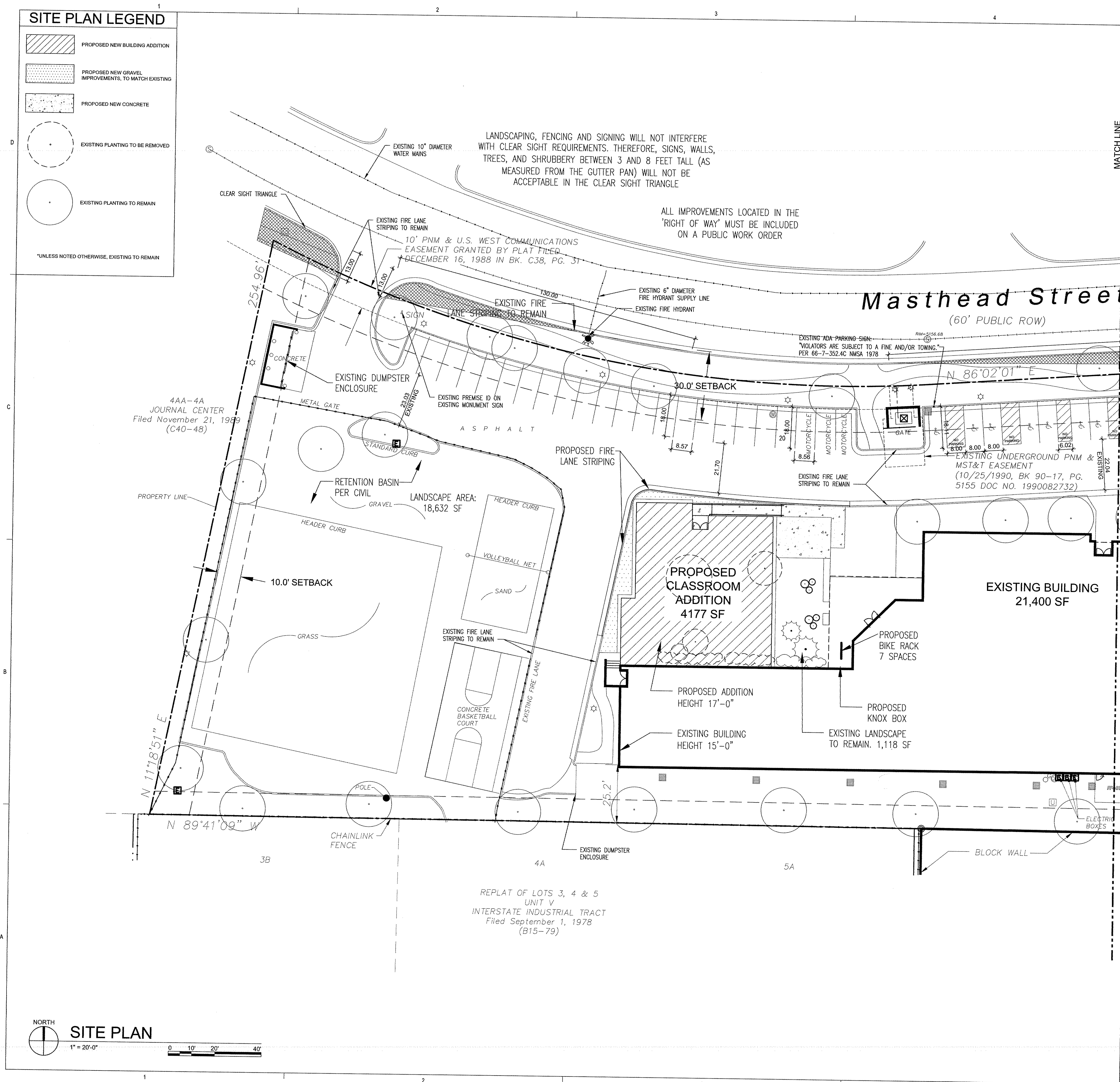
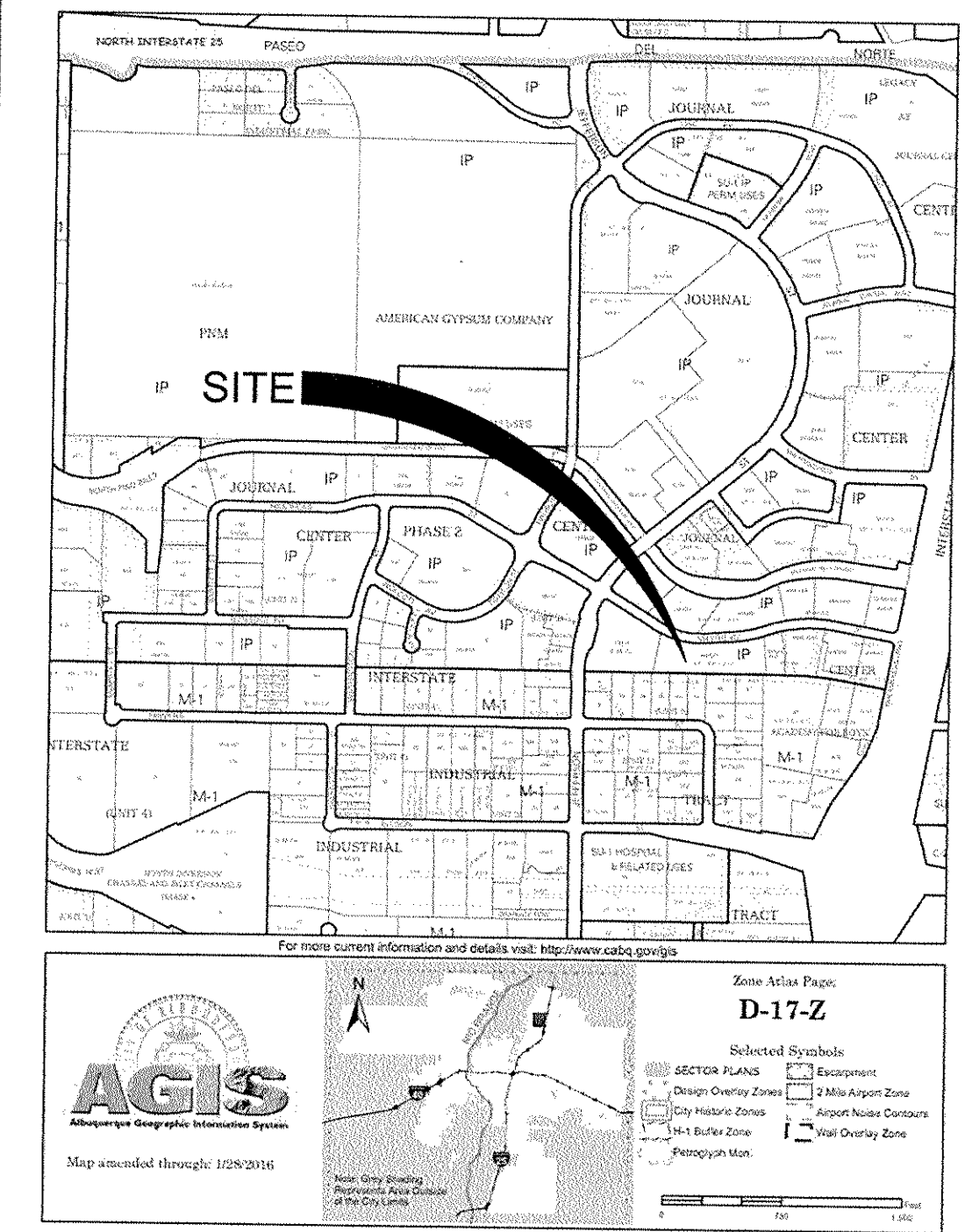
ECT NO. 16-0150.006

TABLE 1

AN

NO. _____

DRB01A



ADDRESS:
5100 MASTHEAD STREET NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION:
LOT 4AA-5A-1, BLOCK 0, JOURNAL CENTER, BERNALILLO COUNTY NEW MEXICO

UPC: 101-706-341-014-740-235

ZONING: IP

ZONE ATLAS MAP: D-17-Z

BUILDING DATA:
OCCUPANCY GROUP: E - EDUCATION
EXISTING STRUCTURE: ONE STORY - 25,520 SF
PROPOSED NEW CONSTRUCTION: ONE STORY - 9,948 SF
PROPOSED NEW BUILDING: 35,468 SF
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SITE ACREAGE: 3.3 ACRES
SITE AREA: 143,748 SF
BUILDING-TO-LOT COVERAGE (TOTAL): 24.6%

PARKING:
PROVIDED PARKING SPACES: 111 (INCLUDING 8 ACCESSIBLE SPACES,
NOT INCLUDING 3 MOTORCYCLE PARKING SPACES)
REQUIRED PARKING SPACES: 84 (3 SPACES FOR EACH CLASSROOM, 28 CLASSROOMS
Per 14-16-3-1 Off-Street Parking Regulations, Part 3 - A, (29)
PROVIDED BICYCLE PARKING: 7 PROVIDED
REQUIRED BICYCLE PARKING: 6 PER 14-16-3-1 Off-Street Parking Regulations Part 3 - B, 3 (C);
1 SPACE per 50 STUDENTS @ 300 STUDENTS TOTAL

FIRE FLOW REQUIREMENTS:
PROPOSED NEW CONSTRUCTION TYPE: II-B SPRINKLED
SQUARE FOOTAGE: 35,468 SF
EXISTING FIRE HYDRANTS: 2
FIRE FLOW: 2,000 GPM (PER IFC APPENDIX B)

FIRE APPARATUS ACCESS AND LOADING:
NEW FIRE APPARATUS ACCESS ROAD AND ANY REPAIRS TO EXISTING FIRE APPARATUS
ACCESS ROADS (DUE TO NEW FOUNDATION WORK) TO BE 3" MIN ASPHALT CONCRETE
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108,280 SF X 15% = 16,242 SF
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LANDSCAPE MAINTAINED BY: LEECO GROUNDS MANAGEMENT, INC
PLAYFIELD WATERING SYSTEM: EXISTING SPRINKLER SYSTEM (2" MAINLINE)
ALL OTHER LANDSCAPE AREAS: EXISTING DRIP IRRIGATION SYSTEM

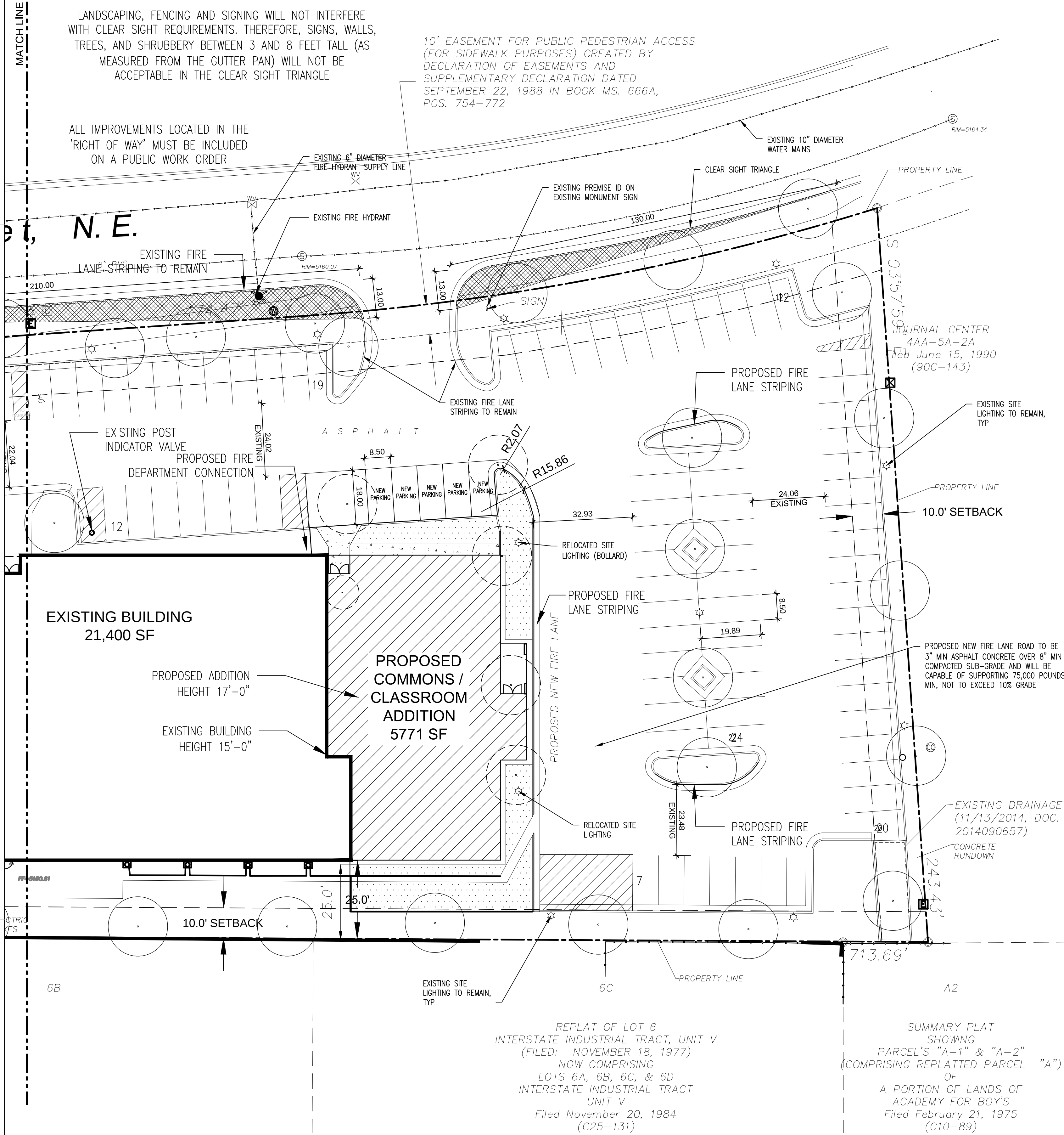
VICINITY MAP Zone Atlas Page: D-17



SITE PLAN LEGEND

- PROPOSED NEW BUILDING ADDITION
- PROPOSED NEW GRAVEL IMPROVEMENTS, TO MATCH EXISTING
- PROPOSED NEW CONCRETE
- EXISTING PLANTING TO BE REMOVED
- EXISTING PLANTING TO REMAIN

*UNLESS NOTED OTHERWISE, EXISTING TO REMAIN



SITE PLAN

1" = 20'-0"

0 10' 20' 40'

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

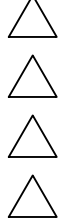
ARCHITECT

ENGINEER

PROJECT

EXPLORE ACADEMY
RENOVATION/ADDITION
5100 MASTHEAD ST. NE
ALBUQUERQUE, NM 87109

REVISIONS



DRAWN BY

REVIEWED BY

DATE 03/14/2018

PROJECT NO. 16-0150.006

DRAWING NAME

SITE
PLAN

SHEET NO.

DRB01B

OF



THE HARTMAN + MAJEWSKI

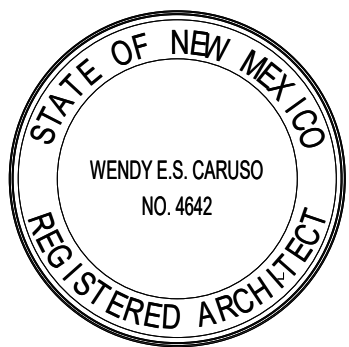
DESIGN GROUP

Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Dr SE Suite 100
Albuquerque New Mexico 87106
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP

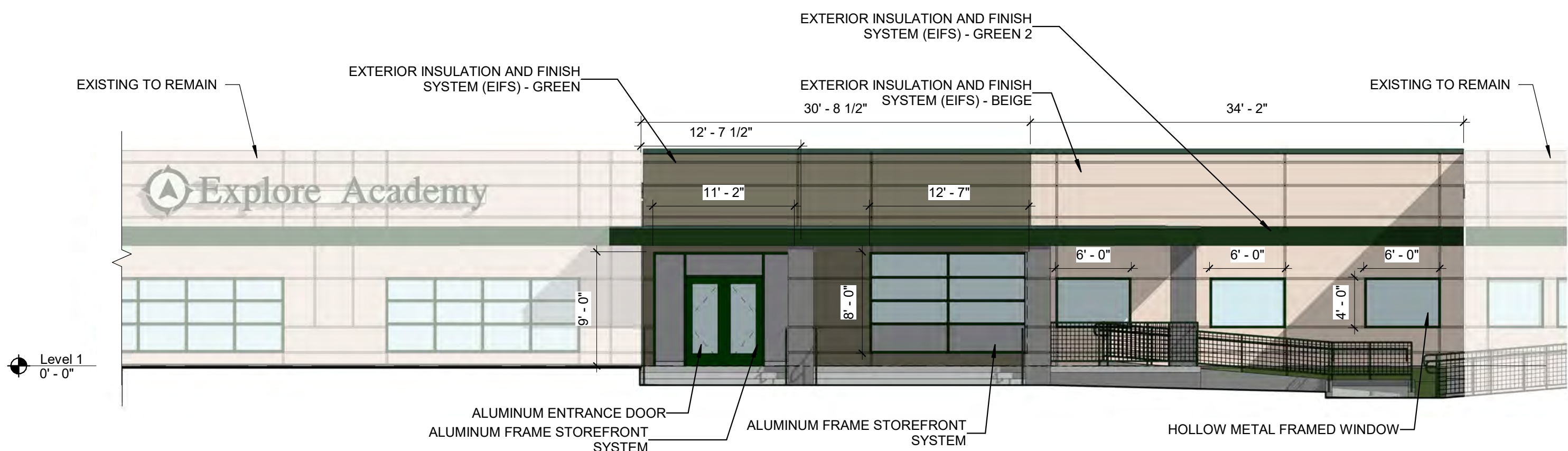


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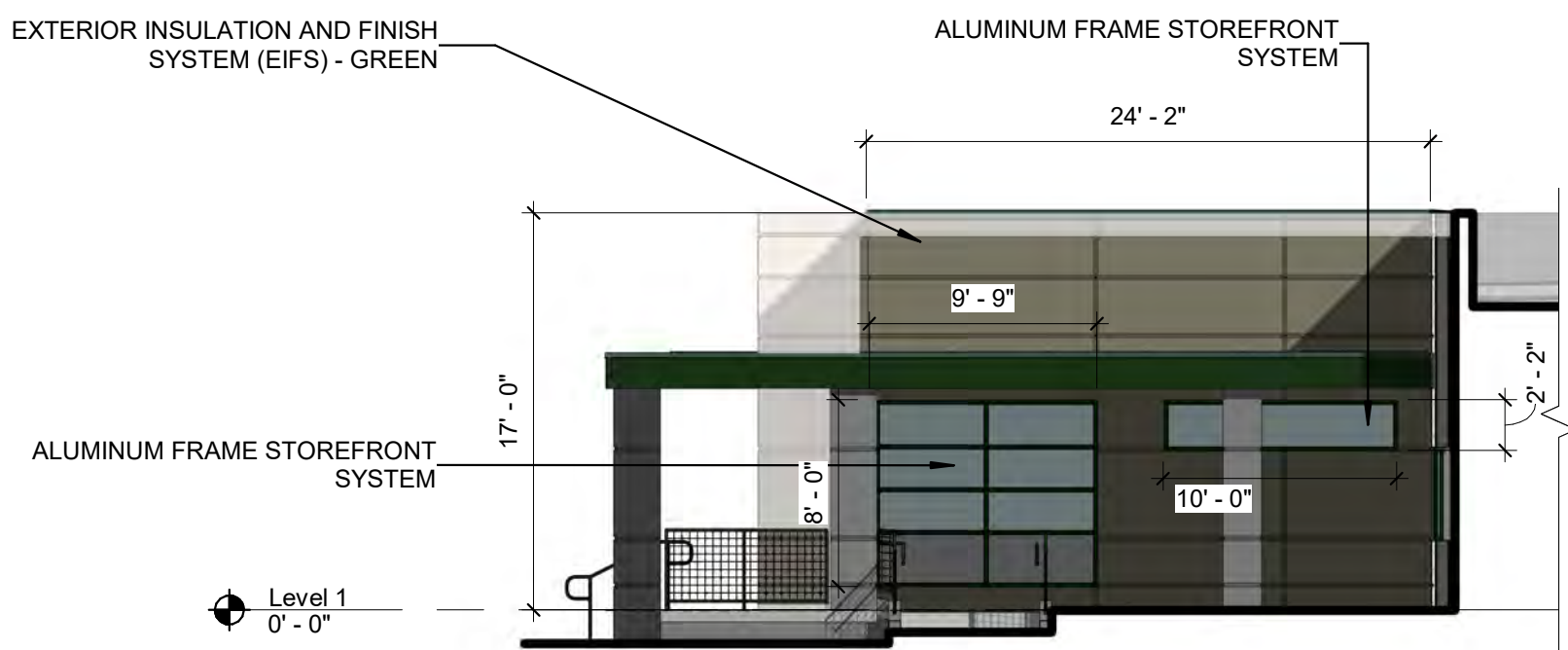
PROJECT NAME
ELEMENTARY
RENOVATION

5100 MASTHEAD ST. NE
ALBUQUERQUE, NEW MEXICO 87109

EXPLORE ACADEMY



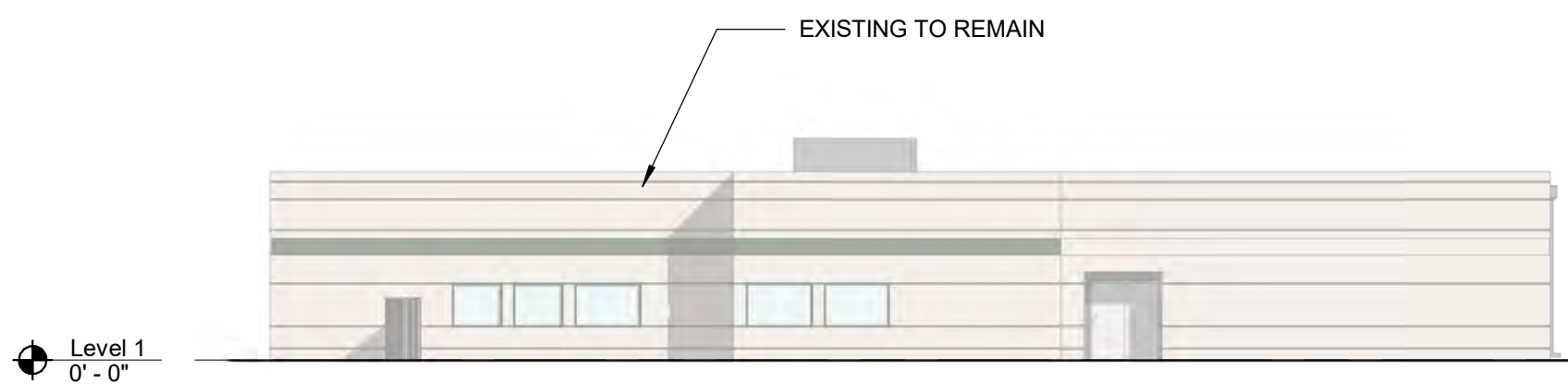
D3 NORTH ELEVATION - ADMINISTRATION
1/8" = 1'-0"



C5 WEST ELEVATION - ADMINISTRATION
1/8" = 1'-0"



A1 NORTH ELEVATION - OVERALL
1/16" = 1'-0"



A5 WEST ELEVATION - OVERALL
1/16" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by VMCMG
Checked by WC
Date APRIL 24, 2023
Project number 3052

SHEET TITLE

BUILDING ELEVATIONS

SHEET NUMBER

201.1