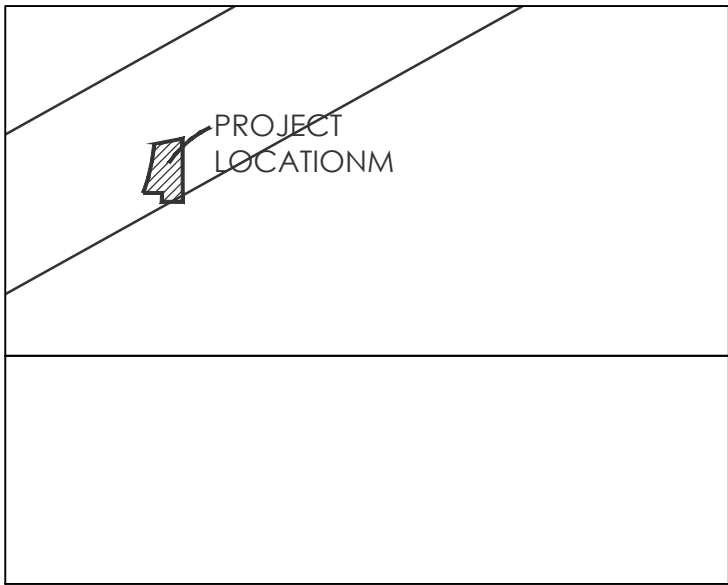


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



VICINITY MAP DESCRIPTION

TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22, 2.8718 ACRES

UPC # 10105511141420220

PHASE 1 - BUILDING AREAS

1ST FLOOR AREA = 10,072 S.F.
2ND FLOOR AREA = 9,889 S.F.
TOTAL HEATED AREA = 19,961 S.F.
COVERED AREA = 494 S.F.
TOTAL PHASE 1 AREA = 20,455 S.F.

PHASE 2 (FUTURE) - BLDG. AREAS

1ST FLOOR AREA = 3,768 S.F.
2ND FLOOR AREA = 3,768 S.F.
TOTAL PHASE 2 AREA = 7,536 S.F.

PHASE 3 (FUTURE) - BLDG. AREAS

TOTAL AREA = 7,500 S.F.

TOTAL PHASE 1, 2 AND 3 BLDG. AREAS

TOTAL AREA = 35,491 S.F.

PARKING REQUIREMENTS PER THE IDO - ZONE: MX-L

REQUIRED:
OFFICES = 3.5 SPACES/1,000 S.F. = 7,716 S.F./1000 = 27 SPACES
DORMITORY = 1 SPACE/3 UNITS = 44 UNITS / 3 = 14 SPACES
TOTAL PARKING REQUIRED = 80 SPACES REQUIRED (3 ADA SPACES)
TOTAL PARKING PROVIDED = 91 SPACES PROVIDED (INCLUDES 4 ADA)
MOTOR CYCLE PARKING REQUIRED: 26-50 SPACES = 2 SPACES (PROVIDED 2 MC SPACES)
BICYCLE PARKING:
DORMITORY 1 SPACE @ 3 UNITS = 42 UNITS/3 = 14 SPACES

LANDSCAPE CALCULATIONS:

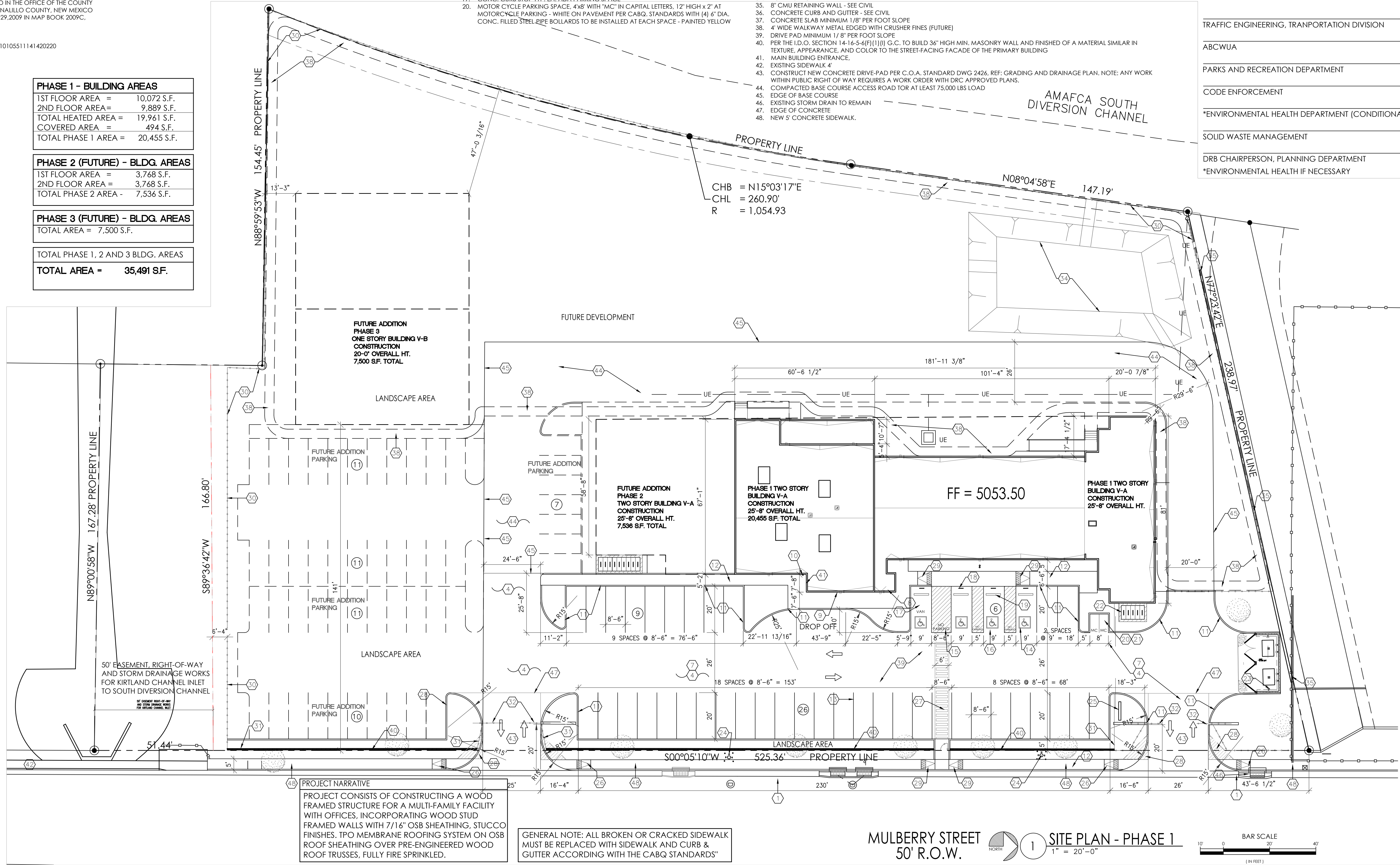
GROSS LOT AREA: 125,098 S.F. (2.87 ACRES)
BUILDING AREA PH.1&2: 14,471 S.F.
NET LOT AREA: 110,627 S.F.

REQUIRED LS: 16,594 S.F.
PROVIDED LS: 14,769 S.F. ON SITE
1,827 S.F. OFF SITE

TOTAL PROVIDED: 16,596 S.F.
TOTAL ASPHALT: 22,389 S.F.

KEYED NOTES:

- NEW 8" WATER LINE TO TIE INTO EXISTING 8" WATER LINE LOCATED IN STREET
- 6" WATER LINE TO FIRE HYDRANTS AND FIRE RISER ROOM
- 2" DOMESTIC WATER LINE
- PAVED PARKING AND STREET PAVING SHALL HAVE ENGINEERING DATA CAPABLE OF IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS
- N/A
- FIRE APPARATUS ACCESS ROAD 20 TO 26" SHALL HAVE A FIRE LANE MARKED ON BOTH SIDES OF THE ROAD SHALL BE PAINTED RED WITH "FIRE LANE NO PARKING" IN WHITE LETTERS
- FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE
- FIRE DEPARTMENT CONNECTION (SIAMSE FITTING) MOUNTED 18" TO 48" A.F.G. CONTRACTOR TO VERIFY WITH FIRE MARSHAL
- PREMISE ID ADDRESS NUMBER LEGIBLE AND VISIBLE FROM STREET
- CONTRACTOR TO INSTALL SURFACE MOUNTED "KNOX BOX" 4" A.F.F. CONTRACTOR TO VERIFY LOCATION AND HEIGHT WITH FIRE MARSHAL.
- 6" HIGH CURB AND GUTTER - SEE CIVIL
- 4'6" WIDE EXISTING CONC. SIDEWALK - SEE CIVIL
- 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBQ. STANDARDS
- HANDICAP SYMBOL PER CITY OF ALBQ. STANDARDS
- HANDICAP ACCESSIBLE AISLE PER CITY OF ALBQ. STANDARDS SEE DTL. A7/AS-2.0
- STANDARD HANDICAP PARKING STALL PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0.
- STANDARD HANDICAP VAN PARKING SPACE PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0
- HANDICAP ACCESSIBLE SIGNAGE PER CITY OF ALBQ. STANDARDS TYPICAL EACH STALL SEE DTL. A9, A10/AS-2.0
- CONC. CURB STOP TYP. EA. ADA PARKING SPACE
- MOTOR CYCLE PARKING SPACE, 4'x8" WITH "MC" IN CAPITAL LETTERS, 12" HIGH x 2" AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ. STANDARDS WITH (4) 6" DIA. CONC. FILLED STEEL PIPE BOLLARDS TO BE INSTALLED AT EACH SPACE - PAINTED YELLOW
- MOTORCYCLE PARKING SIGNAGE ON BOLLARD PER CABQ. STANDARDS.
- BIKE RACK FOR (3) BICYCLES. SPACES SHALL BE 6' LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE. REF. DETAIL A12-A13/AS-2.0
- 30" TALL x 18" WIDE.
- BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
- THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION
- THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED
- THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BIKE RACK.
- EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BIKE
- THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD
- TRASH ENCLOSURE WITH TWO SLAB DRAINS MIN. 1/8" PER FOOT SLOPE - SEE DETAILS - FINISH TO MATCH BUILDING. SEE DTLs. A1-A2, A3/AS-2.0
- NEW FIRE HYDRANT
- MONUMENT SIGN
- PARALLEL CURB RAMP PER CABQ. STANDARDS 2446, SEE DTL. A11/AS-2.0
- ADA PASSAGEWAY STRIPPING PER CABQ. STANDARDS, SEE DTL. A14/AS-2.0
- CLEAR SIGHT DISTANCE. "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA"
- HANDICAP RAMP, SEE DTL. A8/AS-2.0
- 6" CHAIN LINK FENCE @ LOT LINE
- 6" WROUGHT IRON FENCE (AT THE GATES SIDES ONLY)
- 26" DOUBLE SLIDING WROUGHT IRON GATE
- CHAIN LINK DOUBLE SWINGING GATE
- POND - SEE CIVIL
- 8" CMU RETAINING WALL - SEE CIVIL
- CONCRETE CURB AND GUTTER - SEE CIVIL
- CONCRETE SLAB MINIMUM 1/8" PER FOOT SLOPE
- 4" WIDE WALKWAY METAL EDGED WITH CRUSHER FINES (FUTURE)
- DRIVE PAD MINIMUM 1/8" PER FOOT SLOPE
- PER THE I.D.O. SECTION 14-16-5-6(F)(1)(I) G.C. TO BUILD 36" HIGH MIN. MASONRY WALL AND FINISHED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FACADE OF THE PRIMARY BUILDING
- MAIN BUILDING ENTRANCE.
- EXISTING SIDEWALK 4'
- CONSTRUCT NEW CONCRETE DRIVE-PAD PER C.O.A. STANDARD DWG-2426, REF: GRADING AND DRAINAGE PLAN. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- COMPACTED BASE COURSE ACCESS ROAD TOR AT LEAST 75,000 LBS LOAD
- EDGE OF BASE COURSE
- EXISTING STORM DRAIN TO REMAIN
- EDGE OF CONCRETE
- NEW 5" CONCRETE SIDEWALK.



CASE NUMBER: Z-98-14
APPLICATION NUMBER:

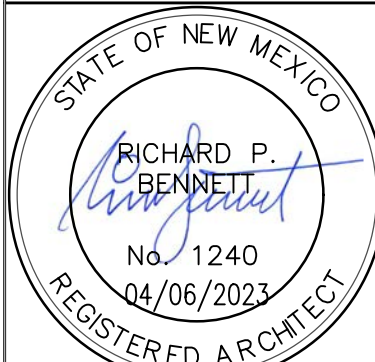
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OF FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH IF NECESSARY	

VETERANS INTERGATION CENTER
ARCH SITE PLAN
2701 MULBERRY ST S.E.
ALBUQUERQUE, NM 87106
PROJECT #2171

REVISION DATE
09/20/2023



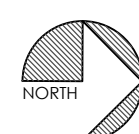
RBA
ARCHITECTURE PC
ARCHITECTURE
PLANNING
DESIGN
1000 1st Ave. SW
Albuquerque, NM 87102
www.rba.com

DATE
02-28-2023

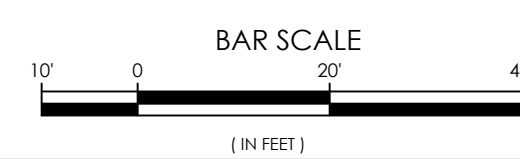
SHEET NUMBER

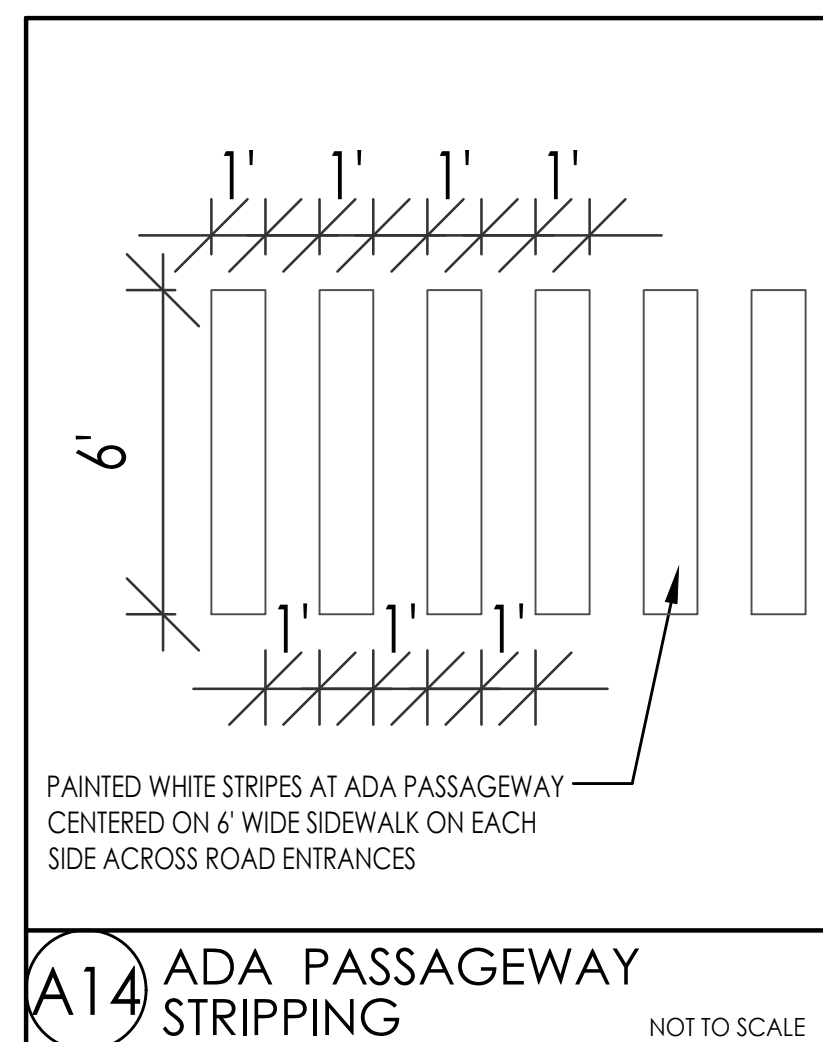
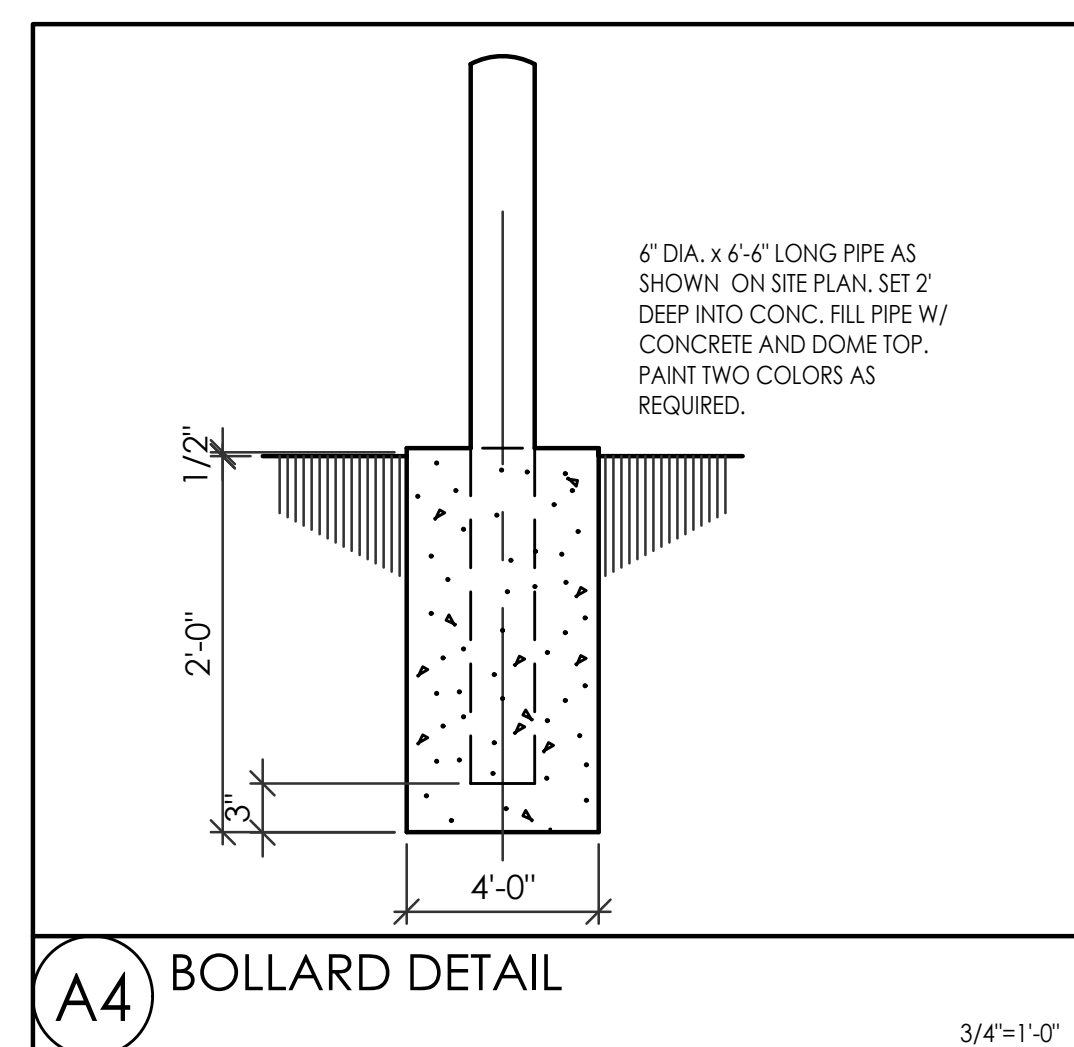
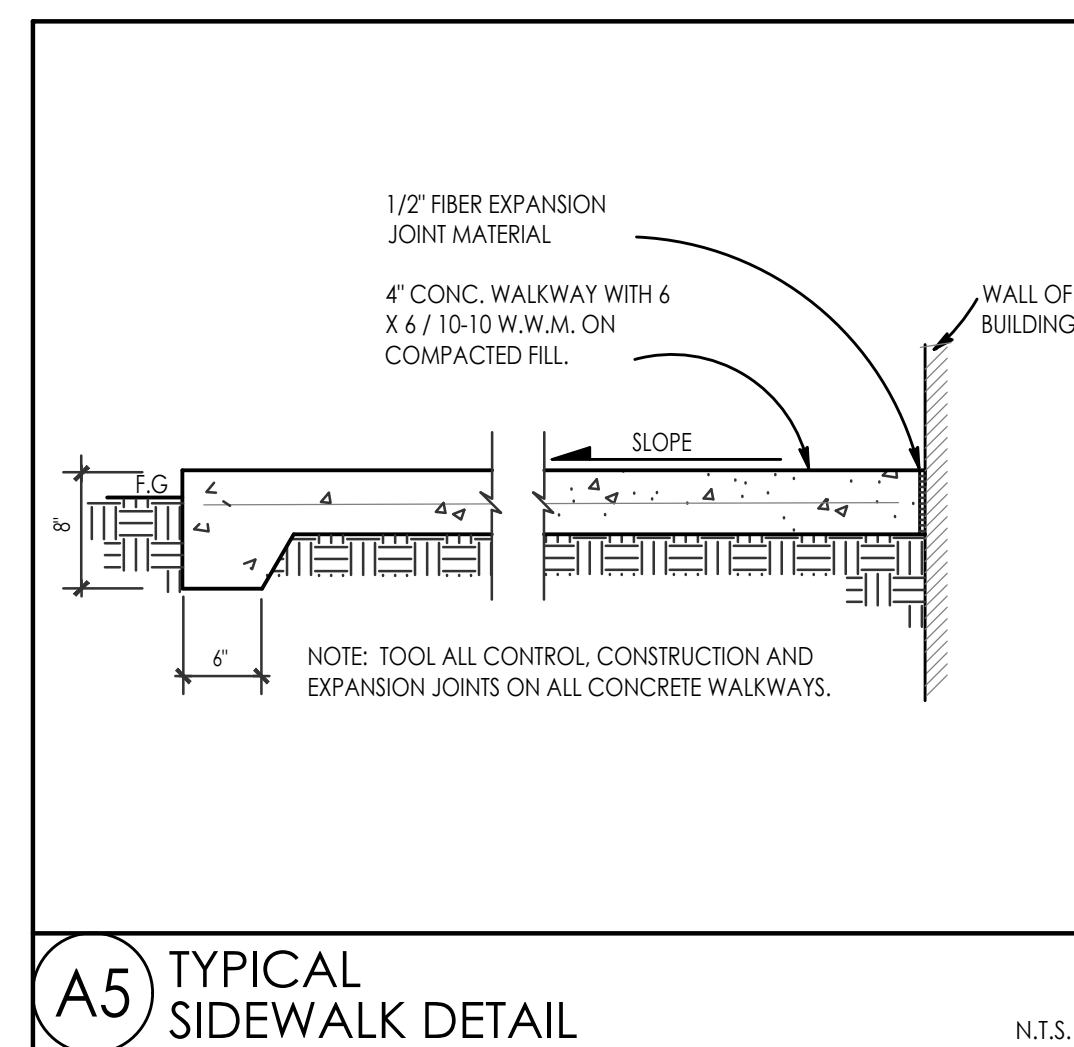
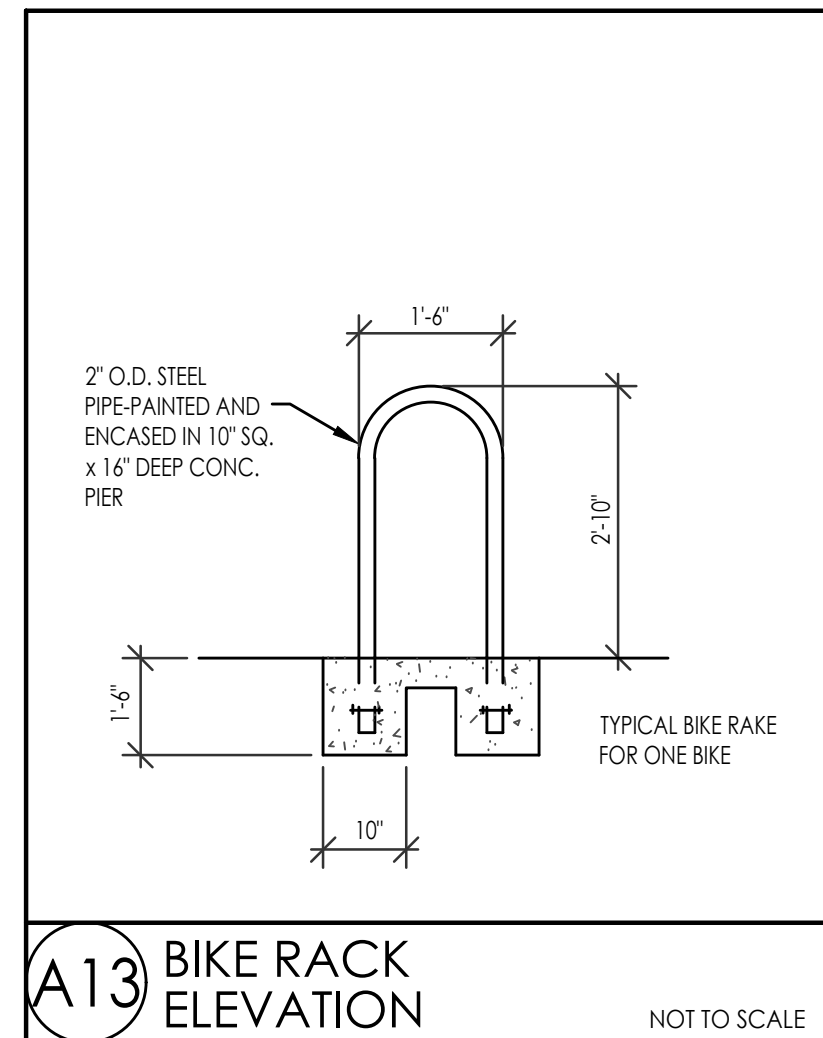
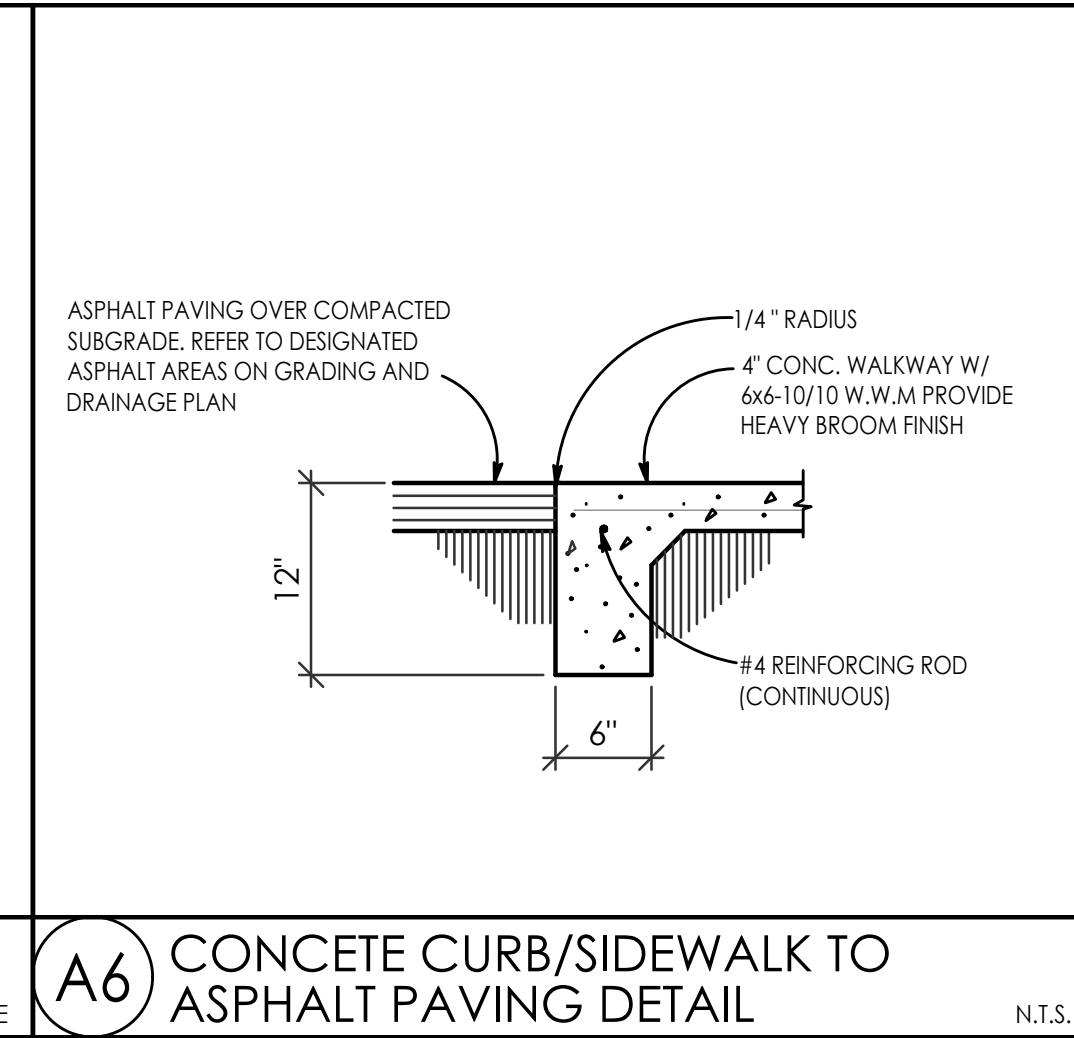
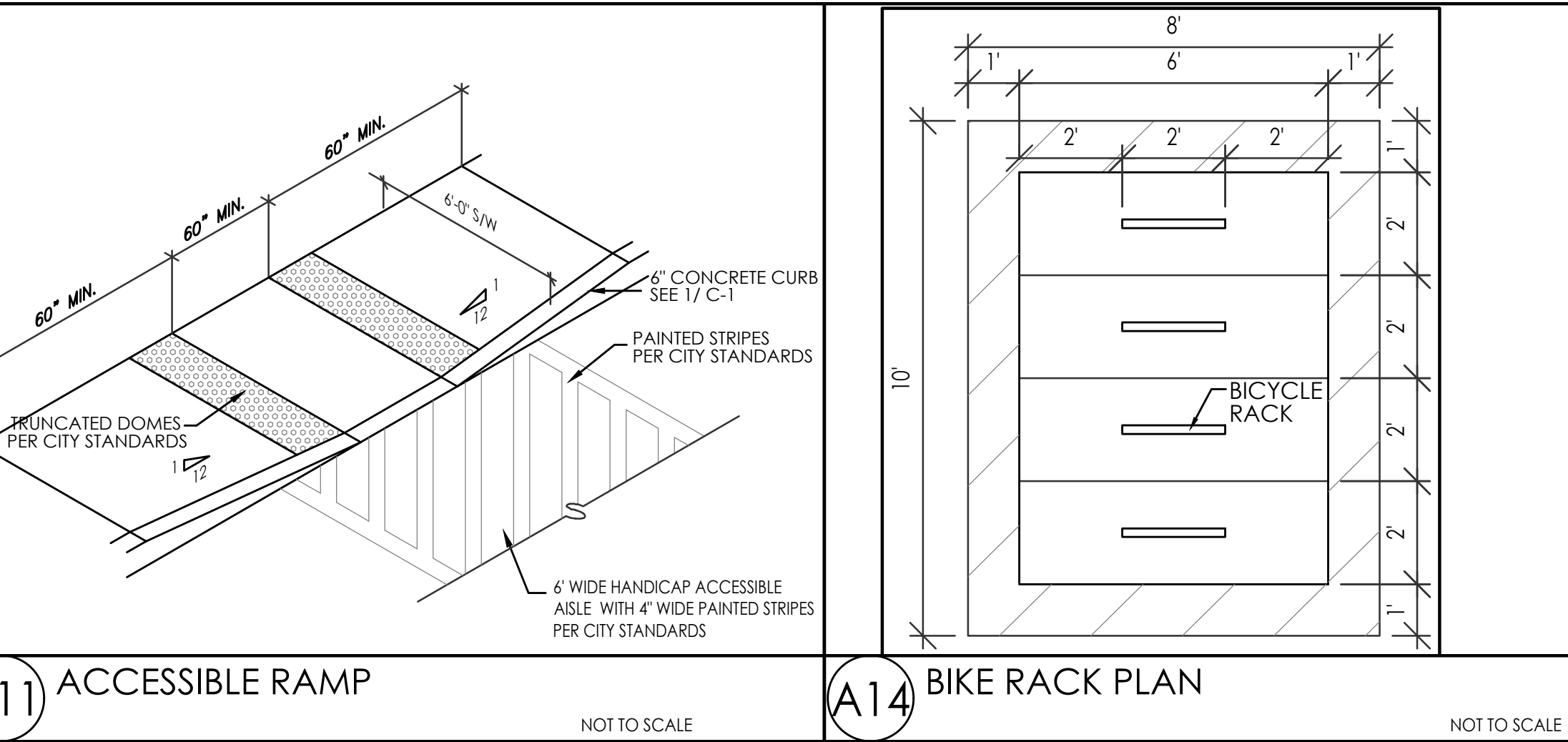
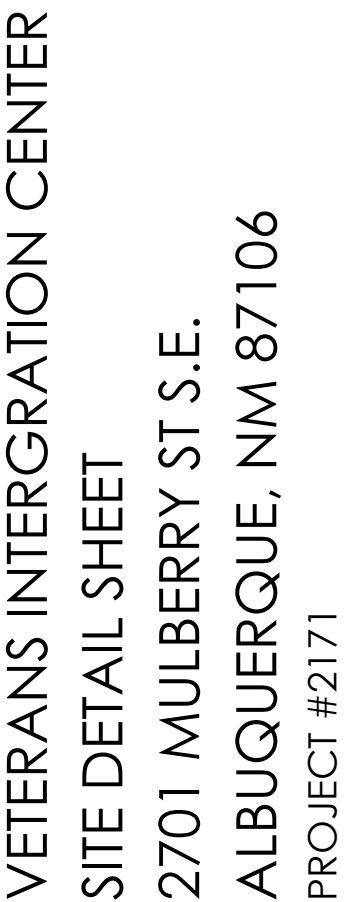
AS-1.00

MULBERRY STREET
50' R.O.W.

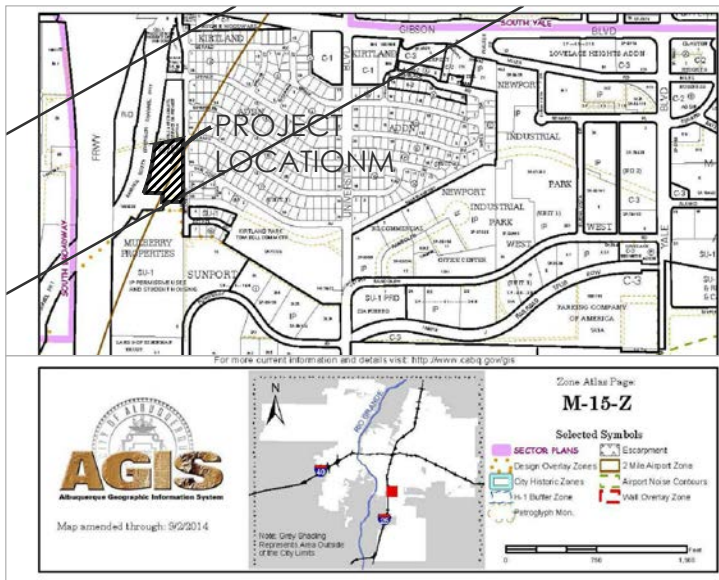


1 SITE PLAN - PHASE 1
1" = 20'-0"



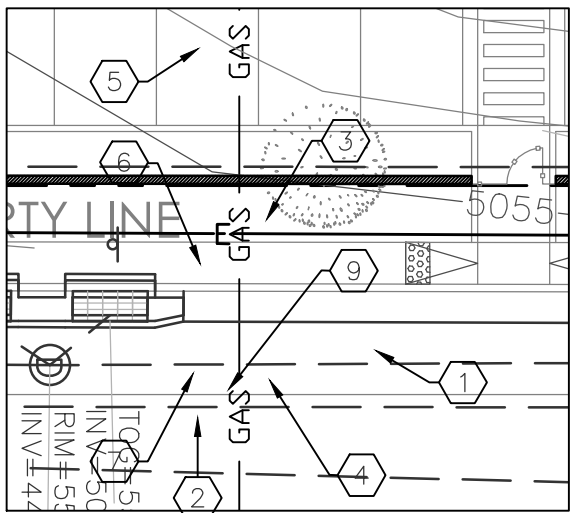


REVISION DATE	
	
	
DATE 02-28-2023	
SHEET NUMBER AS-2.00	

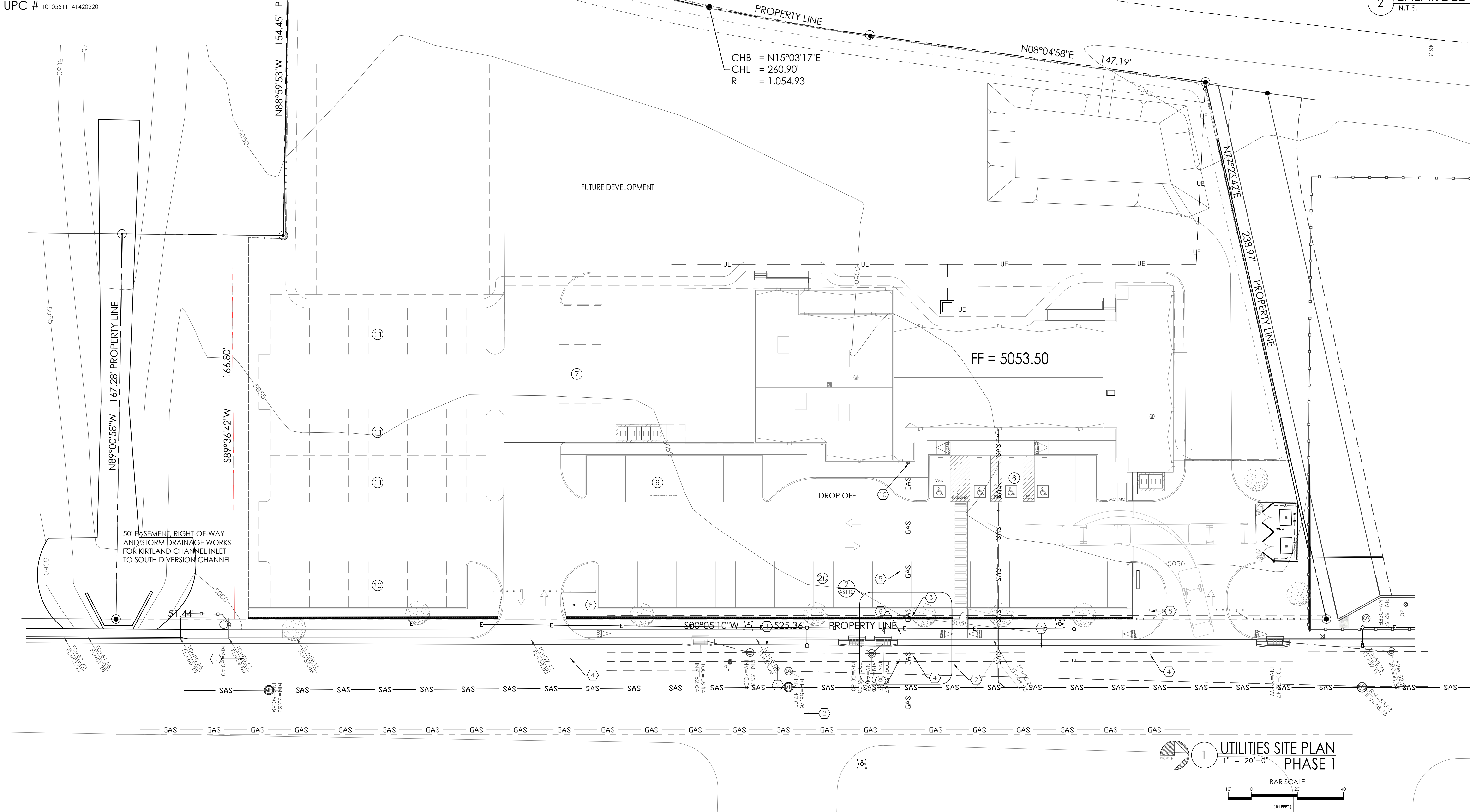


VICINITY MAP DESCRIPTION
TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22 2.8718 ACRES
UPC # 10105511141420220

- KEYED NOTES
1. EXISTING 20" WATER LINE
 2. EXISTING 6" WATER LINE
 3. NEW 6" WATER LINE
 4. NEW 6" WATER LINE VALVE TIE-IN TO EXISTING 6" LINE
 5. NEW 2" WATER LINE TO METER
 6. NEW WATER METER FOR 2" WATER LINE
 7. NEW 2" WATER LINE VALVE TO TIE-IN TO EXISTING 6" LINE
 8. NEW 6" WATER LINE TO NEW FIRE HYDRANT
 9. THE EIGHT-INCH EXTENSION SHALL CONNECT TO THE 20-INCH TRANSMISSION LINE AND GATE VALVES SHALL BE INSTALLED ON THE EIGHT-INCH EXTENSION BETWEEN THE EXISTING LINES AND ON THE SIX-INCH DISTRIBUTION LINE SOUTH OF THE NEW CONNECTION.
 10. GAS METER, CONNECT AND INSTALL NEW NATURAL GAS PIPING TO THE EXISTING UTILITY SERVICE PIPING SYSTEM. CONTRACTOR SHALL VERIFY EXISTING PRESSURE CONDITIONS AND MAKE ARRANGEMENTS WITH GAS COMPANY OF NEW MEXICO FOR THE SIZING AND INSTALLATION OF ANY NEW HIGH PRESSURE SERVICE GAS PIPING-VALVES, GAS PRESSURE REGULATOR AND GAS METER AS REQUIRED.

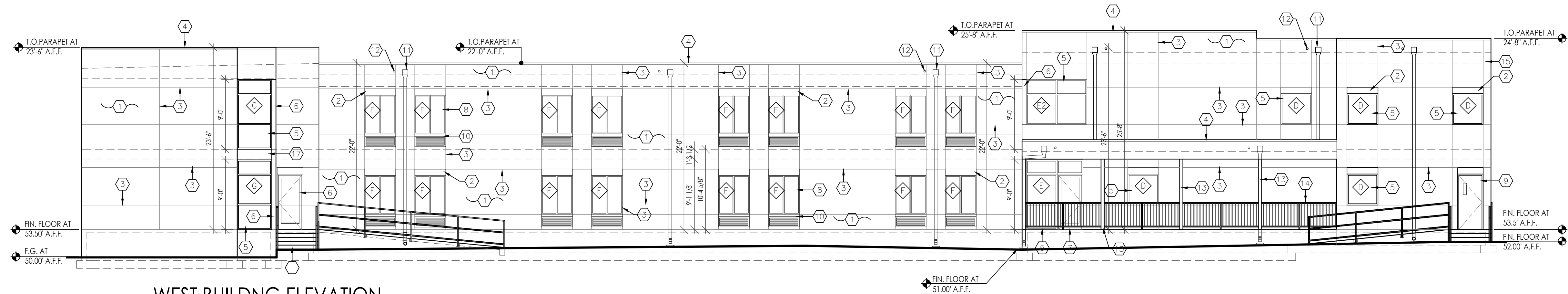


2 ENLARGED WATER PLAN
N.T.S.

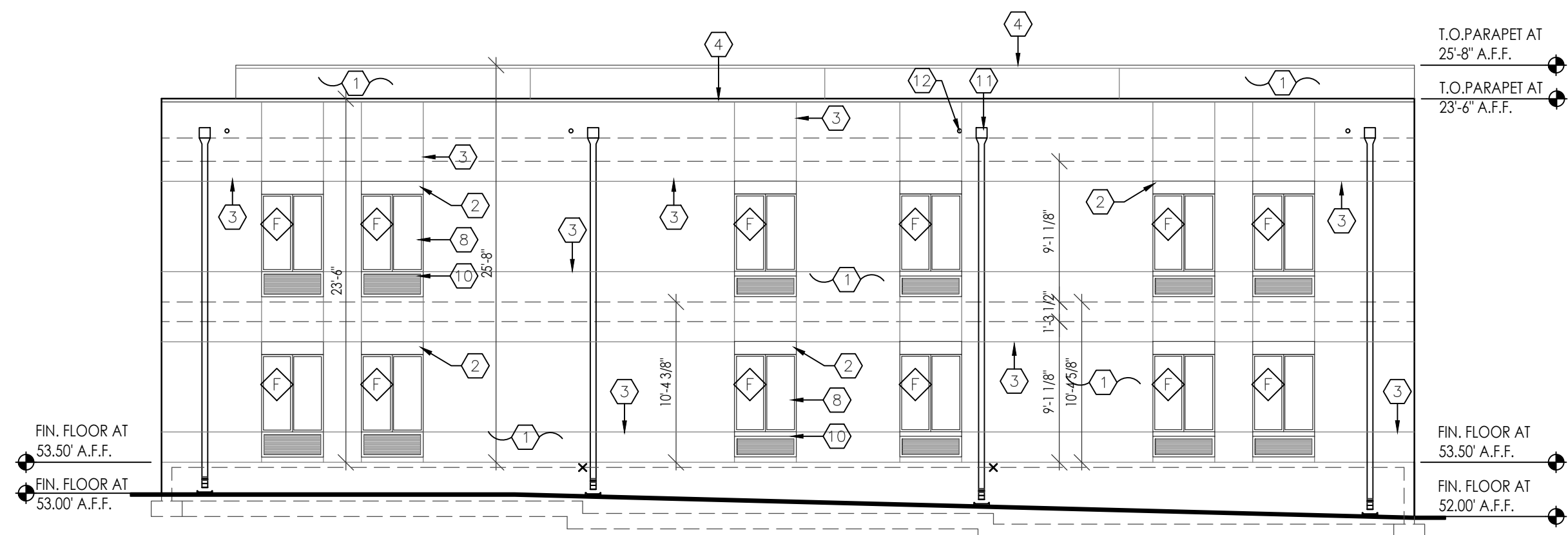


VETERANS INTERGRATION CENTER
UTILITY SITE PLAN
2701 MULBERRY ST S.E.
ALBUQUERQUE, NM 87106
PROJECT #2171

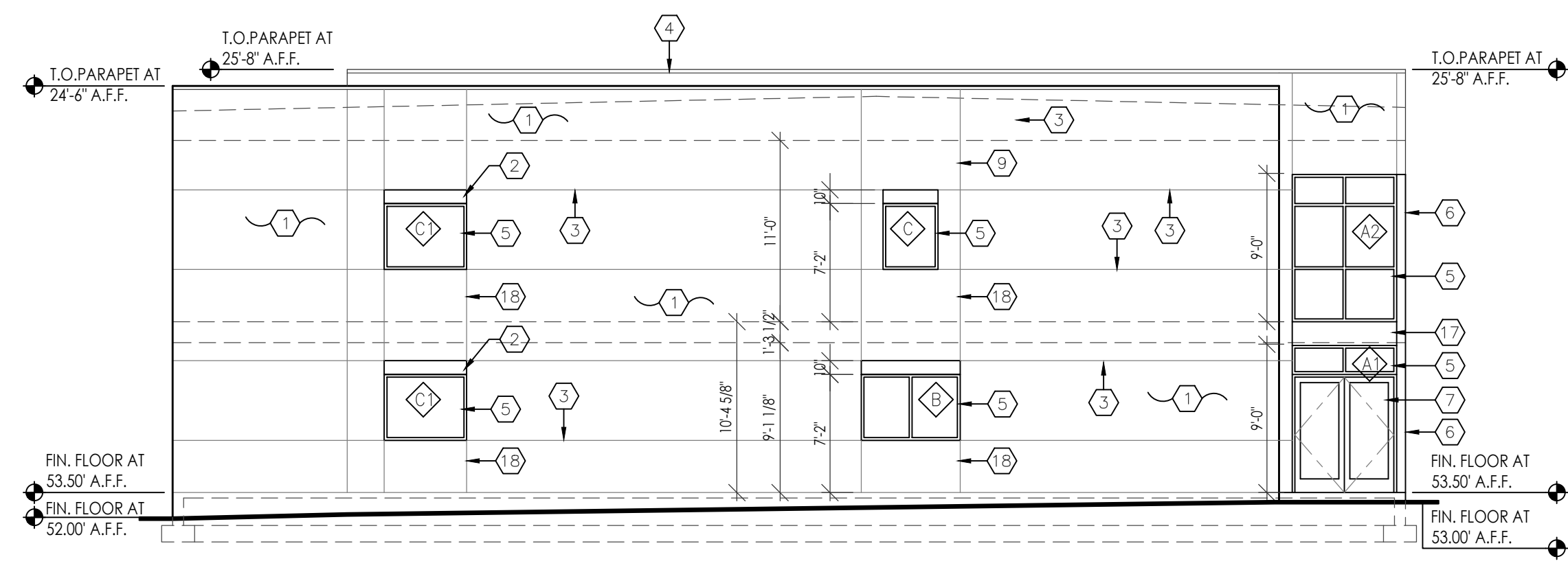
REVISION DATE 08/21/2022
DATE 02-28-2023
SHEET NUMBER AS-1.10



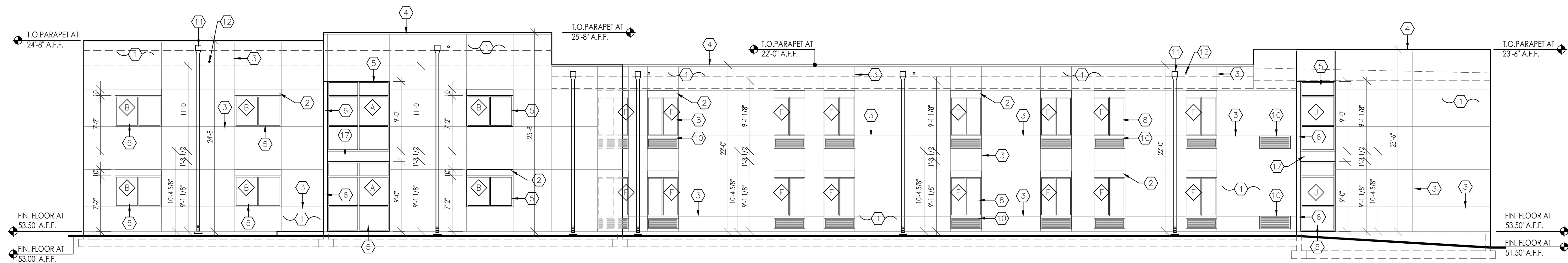
WEST BUILDNG ELEVATION
1/8"=1'-0"



NORTH BUILDNG ELEVATION
1/8"=1'-0"



SOUTH BUILDNG ELEVATION
1/8"=1'-0"

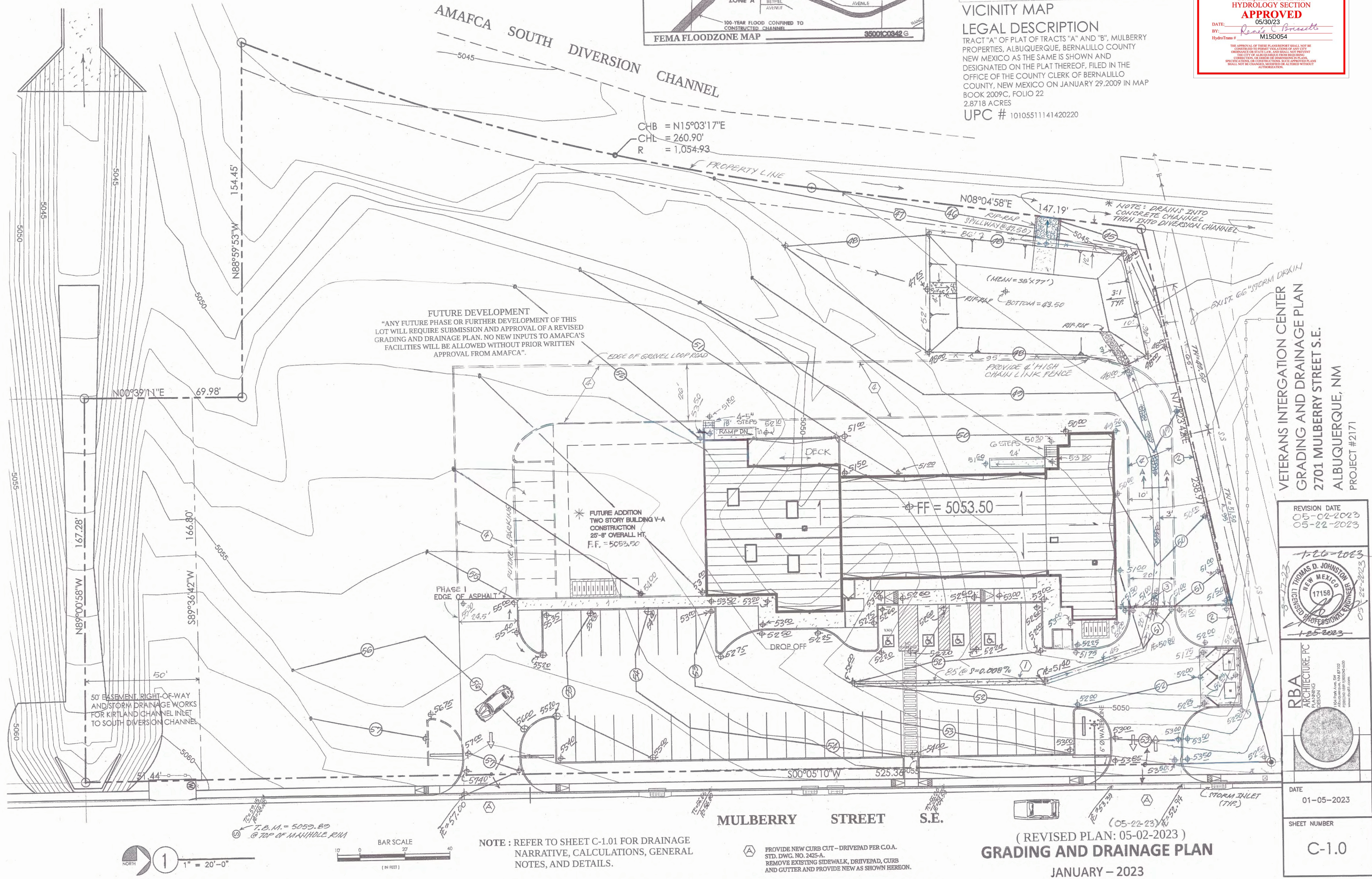


EAST BUILDNG ELEVATION
1/8"=1'-0"

- | KEYED NOTES | |
|-------------|--|
| 1. | TWO COAT STUCCO OVER 20 GA. METAL LATH OVER TYVEX WEATHER BARRIER ON 7/16" OSB WALL SHEATHING, REF: WALL SECTIONS. |
| 2. | STUCCO HEADER WITH STUCCO CONTROL JOINTS, TYP., REF: WINDOW DETAILS. |
| 3. | STUCCO CONTROL JOINTS, TYP. |
| 4. | CONT. METAL COPING CAP, PRE-FINISHED OR PAINT TO MATCH STUCCO COLOR, TYP. |
| 5. | ALUM. MIL FINISH STOREFRONT WINDOW WITH INSULATED GLAZING AND LOW E, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET, TYP. |
| 6. | ALUM. MIL FINISH BREAK METAL AT CORNER OF STOREFRONT WINDOW, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET. |
| 7. | STOREFRONT DOOR WITH TEMPERED GLAZING AS REQUIRED, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET. |
| 8. | DOUBLE GLAZED VINYL WINDOW WITH LOW E, WINDOW TO BE OPERABLE FOR EMERGENCY EGRESS, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET, TYP. |
| 9. | HOLLOW METAL INSULATED FLUSH DOOR IN H.M. FRAME, REF: FLOOR PLAN AND DOOR SCHEDULE. |
| 10. | PTAC AND PTAC GRILL, REF: MECHANICAL PLANS. |
| 11. | 8x8 GALV. METAL SCUPPER WITH COLLECTION BOX AND DOWN SPOUT, PAINT TO MATCH STUCCO COLOR, G.C. TO PROVIDE CONC. SPLASH BLOCK. |
| 12. | 3" PVC OVERFLOW DRAIN, PAINT TO MATCH STUCCO COLOR, TYP. |
| 13. | T.S. 5x5x1/4" COLUMN, REF: FLOOR PLAN AND STRUCTURAL PLANS. |
| 14. | 42" HIGH 1 1/4" DIA. PAINTED STEEL TOP, BOTTOM AND POST GUARDRAIL WITH 3/4" DIA. PAINTED STEEL VERTICAL AT 4' MAX. EDGE TO EDGE, NOT USED. |
| 15. | ALUM. MIL FINISH STOREFRONT DOOR WITH TEMPERED GLAZING AND LOW E, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET, TYP. |
| 16. | ALUM. MIL FINISH BREAK METAL BETWEEN TOP OF 1ST FLOOR STOREFRONT AND BOTTOM OF 2ND FLOOR STOREFRONT WINDOW. |
| 17. | NOTE: NO BREAK METAL BETWEEN WINDOW TAGGED E AND E2 AT WEST BUILDING ELEVATION (AT COVERED PATIO). |
| 18. | FUTURE OPENING INTO PHASE TWO 2 STORY ADDITION, WINDOW TO BE REMOVED. |

VETERANS INTERGRATION CENTER
BUILDING ELEVATIONS
2701 MULBERRY ST S.E.
ALBUQUERQUE, NM 87106
PROJECT #2171

REVISION	DATE
DATE	02-24-2023
SHEET NUMBER	A-6.00



EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

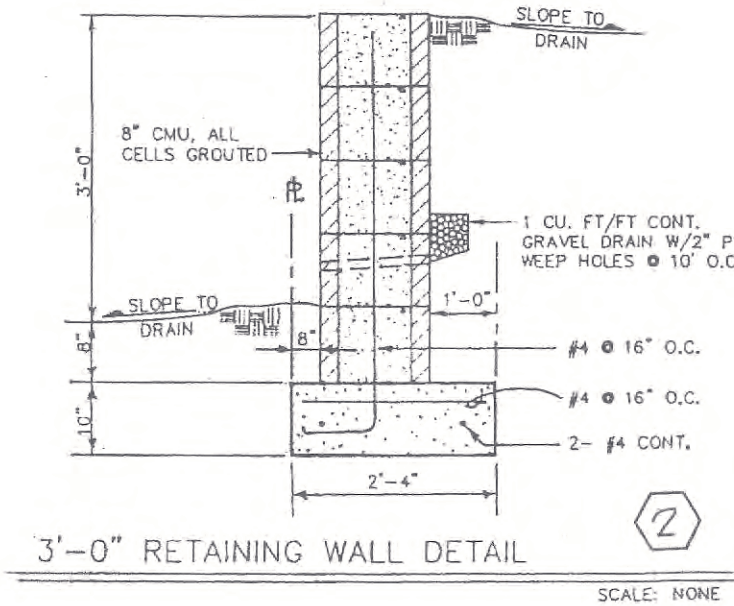
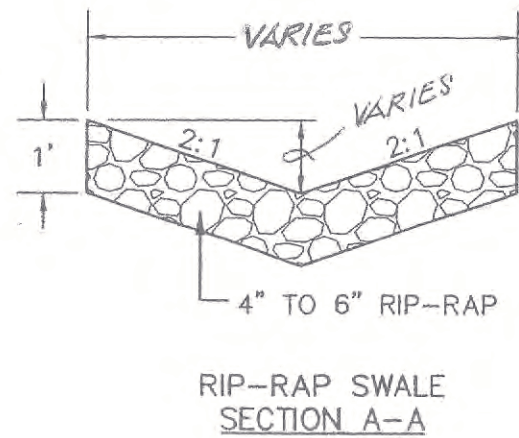
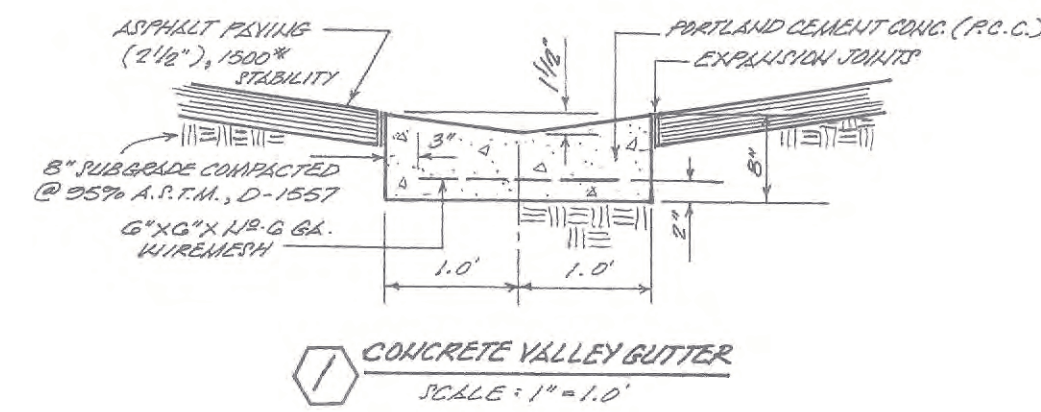
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 250-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION = $TC = 57.65$
CURB FLOWLINE ELEVATION = $FE = 57.00$
EXISTING SPOT ELEVATION = $+ 5055$
EXISTING CONTOUR ELEVATION = 5055
PROPOSED SPOT ELEVATION = $+ 55.40$
PROPOSED CONTOUR ELEVATION = 53
PROPOSED OR EXISTING CONCRETE SURFACE = $---$
EXISTING FENCE LINE = $---$

GENERAL NOTES:

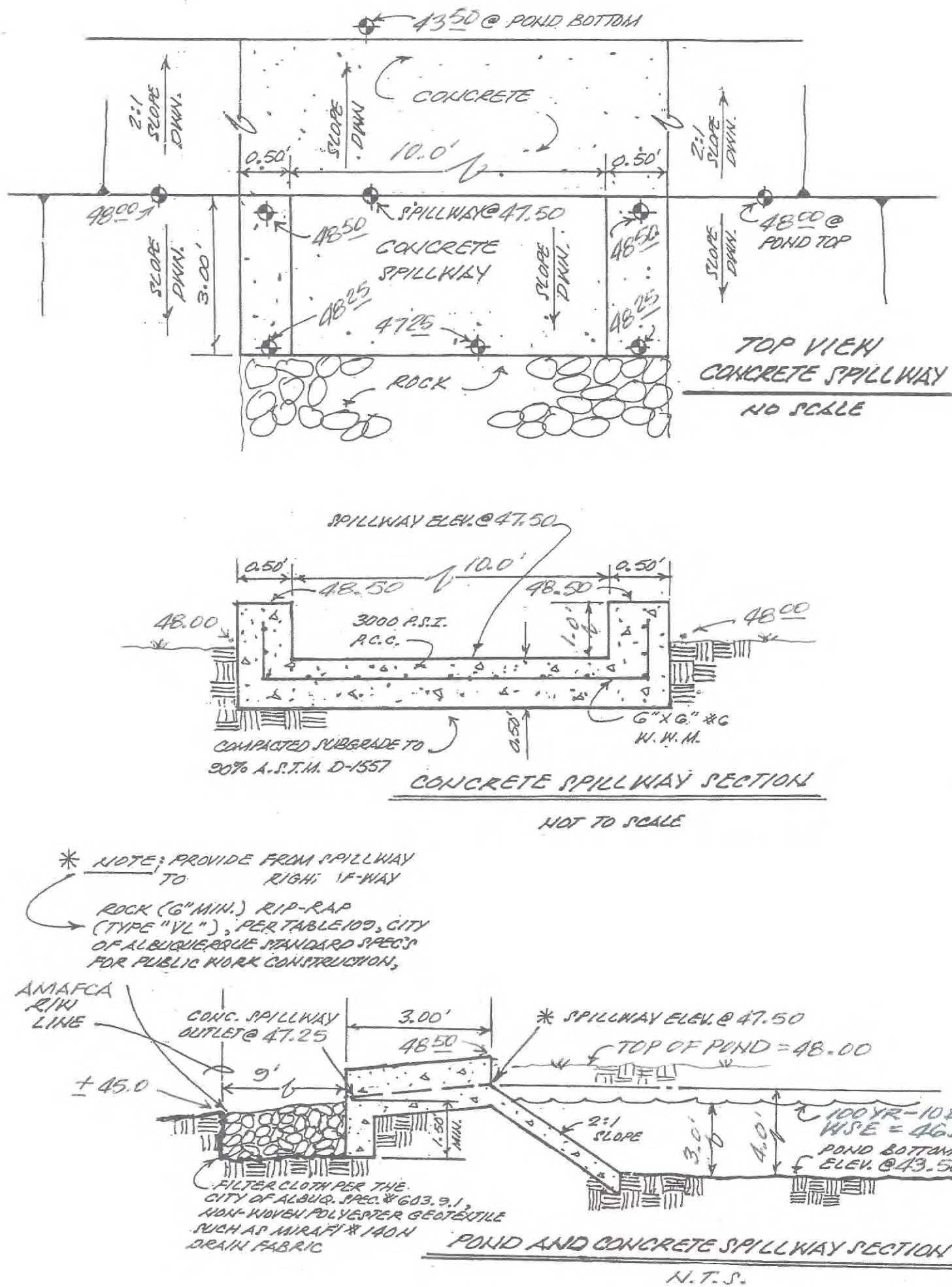
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HERON.



GENERAL NOTES:

- ALL WALLS ARE TO HAVE 12" CMU PLASTERS @ 12'-0" O.C. PLACE NO. 4'S IN EACH CELL. FILL ALL CELLS WITH CONCRETE.
- ALL CONCRETE IS TO BE 3000 PSI.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12". MOISTURE CONTENT IS TO BE $\geq 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.

GEORGE T. RODRIGUEZ
LAND USE, DEVELOPMENT AND
REDEVELOPMENT CONSULTANT
ALBUQUERQUE, NEW MEXICO
(505)610-0593



Section 6-2(A)(5) Peak Discharge Rate for Small Watersheds

The peak discharge rate is given in TABLE 6.2.14 for small watersheds, less than or equal to 40 acres, where the time of concentration is assumed to be 12 minutes.

Zone	A	B	C	D
1	1.54	2.16	2.87	4.12
2	1.71	2.36	3.05	4.34
3	1.84	2.49	3.17	4.49
4	2.09	2.73	3.41	4.78

The 6-hour excess precipitation, E, by zone and treatment is summarized in TABLE 6.2.13

Zone	A	B	C	D
1	0.55	0.73	0.95	2.24
2	0.62	0.80	1.03	2.33
3	0.67	0.86	1.09	2.58
4	0.76	0.95	1.20	3.34

NOTES:

BUILDING PAD COMPACTION TO BE PER SOILS ENGINEER'S TEST RESULTS AND RECOMMENDATIONS.

CONTRACTOR TO PROVIDE ROOF GUTTERS AND DOWNSPOUTS (AS SHOWN) WITH SPLASH BOXES TO DISSIPATE DRAIN FLOW ENERGY.

CONTRACTOR TO PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM STRUCTURE.

PROJECT T.B.M. : AS SHOWN ON THE PLAN HEREON.

*** PAD CERTIFICATION IS REQUIRED PRIOR TO BUILDING PERMIT RELEASE.

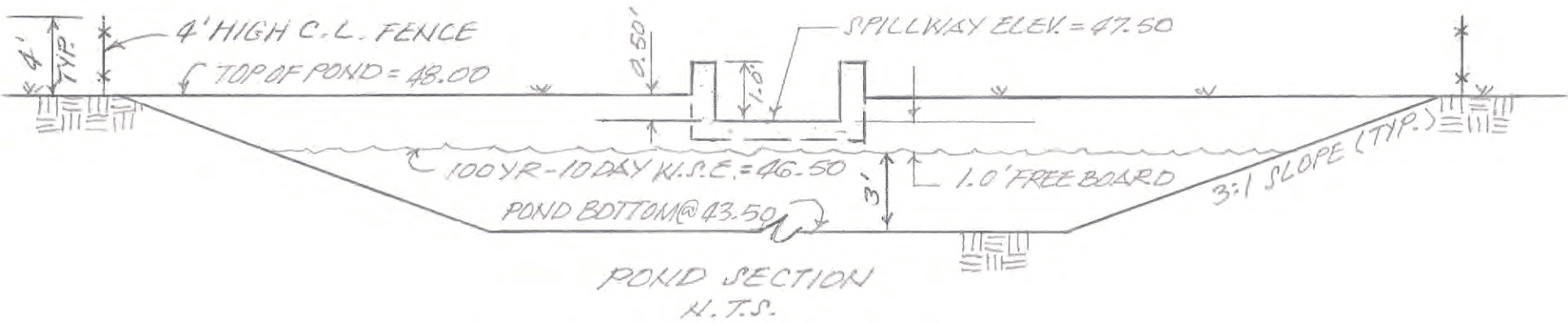
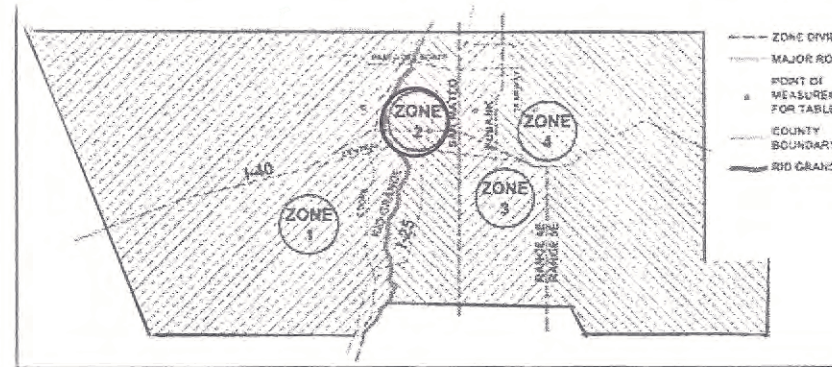
*** ENGINEER'S CERTIFICATION IS REQUIRED FOR "CERTIFICATE OF OCCUPANCY" RELEASE.

TABLE 6.2.7 Precipitation Zones

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40 and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40 and East of the East boundary of Range 4 East, South of Interstate 40

Not including the Cibola National Forest

FIGURE 6.2.3 Precipitation Zones



(MEAN) $38' \times 77' = 2,926.0'$
(PROVIDED) $2,930.0' \times 3.00' \text{ DEPTH} = 8,790.0 \text{ CU. FT.}$
(REQUIRED = $8,575.7 \text{ CU. FT.}$)

NOTE : PROVIDE MINIMUM 4.0' HIGH CHAIN LINK FENCE (OR EQUAL) AROUND POND PERIMETER WITH LOCKED GATE ACCESS FOR MAINTENANCE.

DRAINAGE COMMENTS :

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF MULBERRY STREET S.E. EAST OF INTERSTATE HIGHWAY 25 AND SOUTH OF GIBSON BOULEVARD S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (ZONE ATLAS "M-15-Z").

THE SUBJECT SITE, 1.) IS TO HAVE A VETERANS INTEGRATION CENTER BUILDING AND ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON, (THIS GRADING AND DRAINAGE PLAN WAS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION FOR SAID PROPOSED DEVELOPMENT, 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (DESIGNATED ZONE "X", REFERENCE FEMA PANEL NO. 35001C0342G, EFFECTIVE 09-26-2008), 5.) IS ADJACENT TO THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY SOUTH DIVERSION CHANNEL, 6.) IS TO PROVIDE A RETENTION POND FOR THE DEVELOPED 100 YR. - 10 DAY STORM VOLUME.

PER THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, HYDROLOGY, CHAPTER 6, ARTICLE 6-2(a), EFFECTIVE DATE: JUNE 8, 2020.

SITE AREA = 2.90 ACRES (TOTAL)

NOTE: CALCULATIONS SHOWN HEREON ARE FOR "PHASE ONE (1) DEVELOPMENT", BEING A 1.23 ACRE PORTION OF THE 2.90 ACRE SITE.

PRECIPITATION ZONE : TWO (2)

"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp"

PRECIPITATION : 100-YR./6 HR. = 2.29 IN.

EXCESS PRECIPITATION :	PEAK DISCHARGE :
TREATMENT A 0.62 IN.	1.71 CFS/AC.
TREATMENT B 0.80 IN.	2.36 CFS/AC.
TREATMENT C 1.03 IN.	3.05 CFS/AC.
TREATMENT D 2.33 IN.	4.34 CFS/AC.

EXISTING CONDITIONS :

AREA	AREA
TREATMENT A 1.23 AC.	0.00 AC.
TREATMENT B 0.00 AC.	0.00 AC.
TREATMENT C 0.00 AC.	0.48 AC.
TREATMENT D 0.00 AC.	0.75 AC.

PROPOSED CONDITIONS :

EXISTING EXCESS PRECIPITATION :

WEIGHTED 'E' = $(0.62 \times 1.23) + (0.80 \times 0.00) + (1.03 \times 0.00) + (2.33 \times 0.00) / 1.23 = 0.62 \text{ IN.}$
 $V100-360 = (0.62 \times 0.00) / 12 = 0.05167 \text{ AC. FT.} = 2,251.0 \text{ CU. FT.}$

EXISTING PEAK DISCHARGE :

$Q-100 = (1.71 \times 1.23) + (2.36 \times 0.00) + (3.05 \times 0.00) + (4.34 \times 0.00) = 2.10 \text{ CFS}$

PROPOSED EXCESS PRECIPITATION :

WEIGHTED 'E' = $(0.62 \times 0.00) + (0.80 \times 0.00) + (1.03 \times 0.48) + (2.33 \times 0.75) / 1.23 = 1.82 \text{ IN.}$
 $V100-360 = (1.82 \times 0.75) / 12 = 0.11375 \text{ AC. FT.} = 4,955.0 \text{ CU. FT.}$

PROPOSED PEAK DISCHARGE :

$Q-100 = (1.71 \times 0.00) + (2.36 \times 0.00) + (3.05 \times 0.48) + (4.34 \times 0.75) = 4.72 \text{ CFS}$

INCREASE : $V100-360 = 2,704.0 \text{ CU. FT.}$ $Q-100 = 2.62$

*** 100-YR./10-DAY STORM VOLUME CALCULATION :

$V10-DAYS = V360 + AD \times (P-10 \text{ DAYS} - P 360) / 12 \text{ IN. FT.}$
 $V10-DAYS = 0.11375 + 0.75 \times (3.62 - 2.29) / 12 \text{ IN. FT.} = 0.19687 \text{ AC. FT.} = 8,575.7 \text{ CU. FT.}$

POND SPILLWAY - WEIR SIZE CALCULATION :

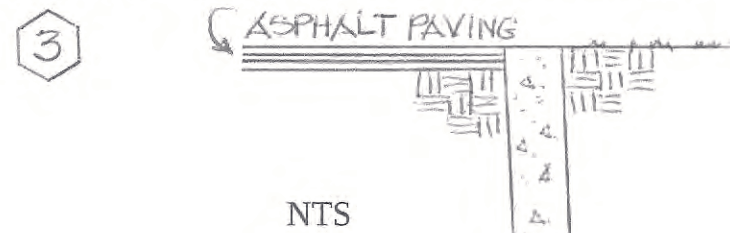
$Q = 4.72 \text{ CFS}$ $BREADTH = 3.0'$ $VALUE \text{ OF } "C" = 2.63$ $"H" = 0.50'$
 $VALUE \text{ OF } "C" = 2.63 \text{ (INTERPOLATED FROM TABLE 5.3, BOOK OF HYDRAULICS, SECTION 5, BRATER & KING, 6th EDITION, 1976).}$

$$L = \frac{Q}{(2.63) (H^{1.5})} = \frac{4.72}{(2.63) (0.50^{1.5})} = 5.05' \text{ (USE } 10.0' \text{)}$$

NOTE : PROVIDED LENGTH "L" = 10.0'

4 COMPACTED BASE COURSE LOOP/ACCESS ROAD FOR AT LEAST 75,000 LBS LOAD.

NOTE : PROVIDE 6" WIDE X 18" DEEP PORTLAND CEMENT CONCRETE (PCC) ' CUT-OF-WALL ' PER C.O.A. STD. DWG. # 2411 (CONSTRUCTION NOTE 'C') AT EDGE OF ASPHALT PAVEMENT.



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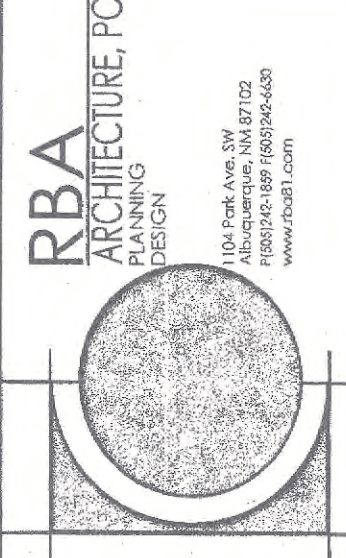
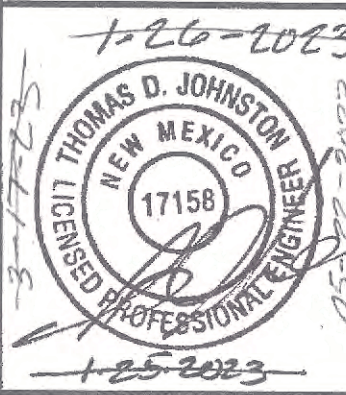
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VETERANS INTERGRATION CENTER
GRADING AND DRAINAGE PLAN
2701 MULBERRY STREET S.E.
ALBUQUERQUE, NM
PROJECT #2171

REVISION DATE
05-02-2023
05-22-2023



DATE
01-05-2023

SHEET NUMBER

C-1.01

(REVISED PLAN: 05-02-2023)