



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST


### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

### LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:		Date:
Printed Name:		<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS****\_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Archaeological Compliance Form with property information section completed
- \_\_\_ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**\_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ ACCELERATED EXPIRATION OF SITE PLAN**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 6) Site Plan to be Expired

**\_ ALTERNATIVE SIGNAGE PLAN**

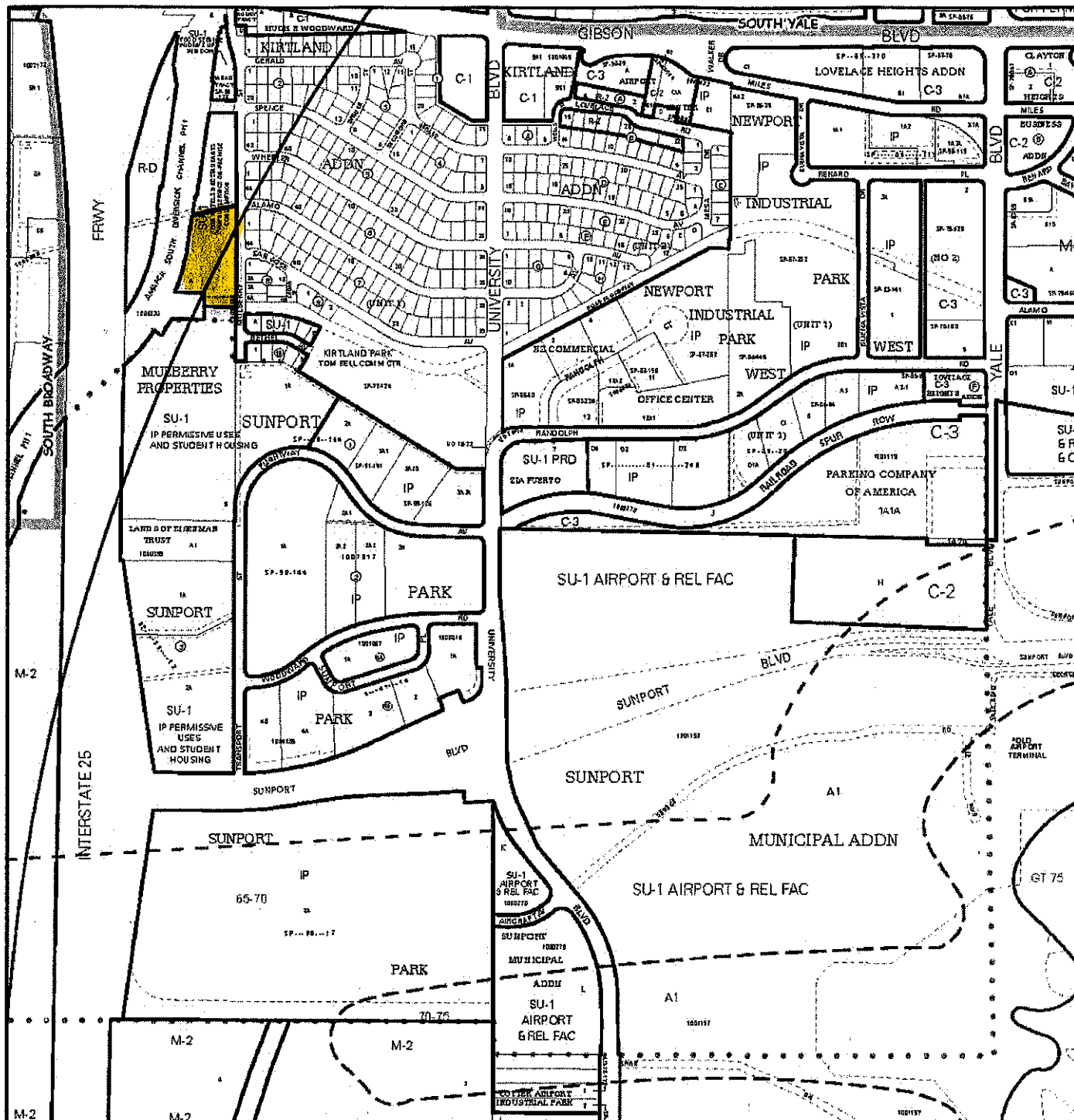
A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- \_\_\_ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 7) Sign Posting Agreement
- \_\_\_ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
  - \_\_\_ Office of Neighborhood Coordination notice inquiry response
  - \_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
  - \_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

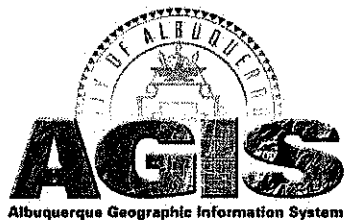
**\_ ALTERNATIVE LANDSCAPING PLAN**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

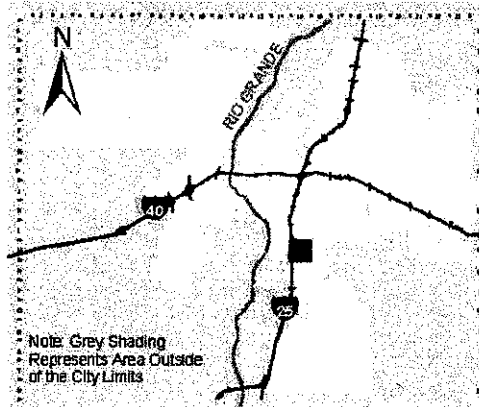
- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- \_\_\_ 6) Landscape Plan



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 9/2/2014



Note: Grey Shading  
Represents Area Outside  
of the City Limits

Zone Atlas Page:

**M-15-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





**Supporting Veteran Families**  
***"Beyond the Battlefield"***  
Since 2005

October 6, 2023

**RE: VETERANS INTEGRATION CENTER**  
**PROJECT #2171**

City of Albuquerque  
**Planning and zoning Department**

I Jerry Becker, hereby authorize Architect Rick Bennett, from RBA Architecture, to make decisions and update any information required to complete the **Minor Amendment to Site Development Plan Approved prior to the Effective date of the IDO.** He is authorized to make the necessary arrangements and submit documents and related forms to your department in our behalf.

Thanks.

Sincerely,

Jerry Becker  
VIC Board Chairperson

**Headquarters**  
2115 Wyoming Blvd NE  
Albuquerque, NM 87112  
P: 505-269-0800  
F: 505-266-2609

**Central Office**  
13032 Central Avenue SE  
Albuquerque, NM 87123  
P: 505-296-0800  
F: 505-266-2609

**Brandon Tree Office**  
1335-3 Ortiz Drive SE  
Albuquerque, NM 87108  
P: 505-265-0512  
F: 505-332-8092

**Alamogordo Office**  
1900 23<sup>rd</sup> Street  
Alamogordo, NM 88310  
P: 575-551-6659  
F: 505-266-2609



October 9, 2023

**RE: VETERANS INTEGRATION CENTER**  
PROJECT #2171

City of Albuquerque  
**Planning and zoning Department**  
Development services division

We request an Administrative Amendment to develop a project on lot: **Tract A plat of Tracts A and B Mulberry Properties, Albuquerque, Bernalillo County New Mexico at the same shown and designated on the plat Thereof, filled in the office of the County Clerk of Bernalillo County, New Mexico on January 29,2003 in Map Book 2009C Folio 22.**

There is an approved Site plan, signed by DRB, as well as an Administrative Amendment AA-00134-00000-01253, approved on April 7, 2000. This Administrative Amendment was to modify the parking and access to this lot. The project on tract B (the South property) was never developed. Tract A (the North lot) is developed. Building A, and site facilities located in the Tract B was never developed.

We are now working on a totally different project to be developed on Tract B, (the South lot) for the Veterans Integration Center. This development is within the 10% rule. The Square footage of the approved buildings is 38,040 sf. The proposed for the new construction is 35,495 sf. Which is 9.3 % less. The approved parking for the site was 80 spaces and the proposed is 91 parking spaces which is 9%.

We request the Administrative Amendment, to approve the new site plan. We will submit to the EPC for the new site plan approval.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Rick Bennett', with a long, sweeping horizontal line extending to the right.

Rick Bennett  
Architect



# DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a framework to assist developers and designers to understand the City's goals and objectives for high quality development. These standards address the issues of landscape, site plan, building design, screening, lighting, signage, and circulation. The City of Albuquerque Comprehensive City Plan for the City of Albuquerque is used as a supplement to the City of Albuquerque Comprehensive City Plan, City Zoning Code and other pertinent City ordinances. These standards shall apply to all properties within the Park.

## LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual site within the Park. To achieve a fully unified development, all areas of design need to be coordinated and responsive to the overall concept. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:  
A minimum of 20 percent of the site area (not including the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with street-level exposure.

Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The area and percentage is calculated based on the mature canopy size of all plant materials.  
A minimum of 20 percent of the provided landscape area shall be covered with turf grasses. Areas of turf should be located at prominent visual points to create visual corridors into specific sites.

As planting areas are covered with turf, a ground covering of crushed rock, river rock, shredded bark, or similar material which extends completely under the plant material.  
Appropriate landscape bricks shall be used to separate the turf and groundcover areas. Hedges shall be either 6" x 6" concrete, brick (set by side), or 1/8" x 4" steel construction.

The landscape treatment at prominent entries and intersections should change in terms of intensity, pattern, texture, scale, or form to highlight these areas.  
One tree is required for each thirty linear feet of roadway. The required trees should be informally clustered with no more than a fifty foot gap between groupings and each have a 60/40 mix of deciduous to evergreen trees.

In addition to the street trees, one tree for every thirty linear feet of the remaining site perimeter is required. Included in this area are the rear and side yard setbacks.  
To shade and mitigate the negative visual impact of large exposures of pavement, off-street parking areas shall have one tree for each ten parking stalls with no stall being more than 35 feet from a tree.

Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least twenty-five feet.  
An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.

All plant material, including trees, shrubs, groundcovers, turf, and flowers, etc. shall be maintained by the owner in a living, attractive condition. All trees shall be maintained free of weeds from the use of chemical spray or herbicide filter material and shall be of the size, quantity, and species in the City of Albuquerque's Landscape Ordinance.

## SCREENING/WALLS AND FENCES

To encourage and enhance the pedestrian nature of the Park, sidewalks and/or bike ways are required in certain areas as an integral element of the site plan. All streets within the site are required to have sidewalks on at least one side of the street. Two pedestrian crossings are identified on the site plan to physically connect the business park to the surrounding neighborhoods.

The following are standards to ensure effective screening of negative elements:  
Areas for the storage of high profile delivery/truck vehicles shall be screened from adjacent streets and properties with a masonry wall of no less than 6 feet in height above adjacent grade.

All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure which is large enough to contain all refuse generated during collections.  
The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

When security fencing is required, it should be a combination of masonry pillars or short solid wall segments combined with decorative wrought iron or similar decorative fencing. (The use of chain link fencing is not acceptable).  
Barbed wire or concertina wire will not be allowed.

## LIGHTING STANDARDS

In order to enhance the safety, security and visual aesthetics of the Park, careful consideration must be given to lighting design and features. To ensure a quality development, it is important to consider the daytime appearance of lighting fixtures. The lighting element is another site feature which contributes to the overall character of the development.

The following are a few general guidelines to consider for the design of the lighting system:  
Placement of fixtures and standards shall conform to state and local safety and illumination requirements.  
Individual site lighting standards should blend with the architectural character of the building and other site features.

A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection.  
The height of parking area lights may range from 20 to 30 feet. Area lighting standards may range from 10 to 15 feet in height. The use of roadway level lighting, such as bollard lights or wall post lights, is encouraged to accent pedestrian zones.

Additional landscape lighting is encouraged to enhance certain landscape features. Such lighting should be either ground level "bollard" lights constructed of painted materials, flush mounted "can" lights with waterproof enclosures, or be mounted in trees to "moonlight" areas.

## SIGNAGE STANDARDS

These signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within the Park. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide direction requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

The following are general guidelines for signage design and placement:  
All elements of a sign shall be maintained in a visually appealing manner.  
Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices and shall be limited to 20' in height.

No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.  
All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.  
No sign shall overhang into the public right-of-way or extend above the building roof line.

Each building site is limited to one free-standing monument-type sign no greater than 150 square feet per foot and be limited to 20' in height.  
Individual buildings are allowed one facade mounted sign whose area shall not exceed 15% of the area of the facade to which it is applied.

## SITE/ARCHITECTURAL OBJECTIVES

The creation of an active pedestrian environment in the Park is dependent upon creative site and architectural design. It is the Owner's desire to have the individual sites within the Park linked together as well as the surrounding neighborhoods. Important to the formation of a pedestrian-oriented development is the relationship between the buildings and the street. Too often buildings are placed in the center of the site and surrounded by parking with no pedestrian connection between the structure and the street.

Parking areas shall be designed so that pedestrians walk parallel to moving cars. Minimize the need for pedestrians to cross parking areas and highlighted with enhanced paving and/or signage.  
Pedestrian linkages shall be clearly visible and highlighted with enhanced paving and/or signage.  
Long structures of parking facilities adjacent to the streets should be avoided whenever possible.

Structures should be sited, keeping in mind the creation of "outdoor rooms" which may be used for pedestrian activities.  
All pedestrian paths shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).

## Architecture

The architectural objective is to create a site that is visually integrated through the use of a few select architectural styles. The recommended styles have many similarities of scale, proportion, material, and color. Each style has common design and plan form that is related to the environmental design requirements of the region.

Common elements and preferred features of these styles include: smooth textured stucco on exterior walls; treatment of the use of earth tones, such as white, beige, tan, and sand; and the limited use of accent colors along with life or brick.  
Additionally, all buildings shall conform to the following requirements:

Buildings and structures erected within the site shall comply with all applicable City of Albuquerque zoning and building code requirements as well as other local applicable codes.  
Building design and construction shall be used to create a structure with attractive slopes of high quality, rather than placing an emphasis on the front elevation of the structure and neglecting the aesthetic appeal of the side and rear elevations. Finished building materials shall be applied to all exterior sides of buildings and structures. Any accessory buildings and enclosures, whether situated or detached from the main building, shall be of similar compatible design and materials.

Entries to structures should portray a quality appearance while being architecturally tied into the overall mass and building composition.  
Windows and doors are key elements of any structure's form and should relate to the scale of the elevation on which they appear. The use of recessed openings help to provide depth and contrast an elevation planes.

Sensitive alteration of colors and materials can produce diversity and enhance architectural forms.  
Wall materials should be chosen that will withstand abuse by vandals, easily repaired, or occluded damage by machinery.  
All rooftop equipment shall be screened from the public view by materials of the same nature as the building's basic materials. Roof treatment for all buildings shall be complementary; building roofs shall have one or more common elements including similar colors, materials and/or pitch angles.

Utilities  
To mitigate the negative visual impact presented by some utility equipment and to ensure the overall aesthetic quality of the Park:  
All electric distribution lines within the Park shall be placed underground.

Transformers, utility poles, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.

# SITE DATA-PARCEL 1 (RED ROOF INN) PHASE I

PROPOSED USAGE: HOTEL

LOT AREA: 84,128 SF (1.9313 ACRES)

BUILDING AREA: 13,468 SF 1ST FLOOR (41,955 SF TOTAL)

BUILDING TYPE: V-1

PARKING/DRIVEWAY: 46,122 SF ±

LANDSCAPE AREA: 21,507 SF ±

LANDSCAPING REQUIRED: 10,594 SF ±

PARKING PROVIDED: 80 SPACES

PARKING REQUIRED: 1/UNIT 74 SPACES

HC PARKING PROVIDED: 4 SPACES

HC PARKING REQUIRED: 1 SPACES VAN ACCESSIBLE

FLOOR/AREA RATIO= 0.37

0.30

ASPHALT PAVING 6"

6" EXPOSED AGGREGATE 4000 P.S.I.

PEDESTRIAN CROSSING DETAIL

LINE TABLE

LINE	LENGTH	BEARING
L1	9.93	S79°40'46"E
L2	20.72	S27°58'37"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	261.48	1035.32	131.44	14°28'12"

PARCEL 2 (HOTEL 'A')

70' AMAFCA ROW

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

# SITE DATA-PARCEL 2 PHASE I

PROPOSED USAGE: HOTEL

LOT AREA: 130,985 SF (3.0373 ACRES)

BUILDING AREA: 12,880 SF 1ST FLOOR (38,040 SF TOTAL)

BUILDING TYPE: V-N

PARKING/DRIVEWAY: 82,807 SF ±

LANDSCAPE AREA: 34,878 SF ±

LANDSCAPING REQUIRED: 17,853 SF ±

PARKING PROVIDED: 150 SPACES

PARKING REQUIRED: 1/UNIT 100 SPACES

HC PARKING PROVIDED: 8 SPACES

HC PARKING REQUIRED: 8 SPACES

1 SPACES VAN ACCESSIBLE

FLOOR/AREA RATIO= 0.10

ASPHALT PAVING 6"

6" EXPOSED AGGREGATE 4000 P.S.I.

PEDESTRIAN CROSSING DETAIL

LINE TABLE

LINE	LENGTH	BEARING
L1	9.93	S79°40'46"E
L2	20.72	S27°58'37"E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	261.48	1035.32	131.44	14°28'12"

PARCEL 1 (RED ROOF INN)

70' AMAFCA ROW

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH

NEW FH



The concept of "basic design" outlined by Le Corbusier is a foundation to modern design and architecture. It is a concept that has been widely adopted and has led to the development of modern design and architecture. The concept of "basic design" is a concept that has been widely adopted and has led to the development of modern design and architecture. The concept of "basic design" is a concept that has been widely adopted and has led to the development of modern design and architecture.

and the fact that the only way to get the best results is to use the best materials and the best methods. The only way to get the best results is to use the best materials and the best methods. The only way to get the best results is to use the best materials and the best methods.

[illegible][illegible]

The article, as an active participant in the past is dependent upon creative use and effective communication. The author's use of the past is not only a means of communication, but also a means of self-expression. The author's use of the past is not only a means of communication, but also a means of self-expression. The author's use of the past is not only a means of communication, but also a means of self-expression.

[illegible]

All electric distribution lines within the Part shall be placed underground. Transformers, utility poles, and telephone bases shall be appropriately screened with walls and/or vegetation when viewed from the north, east, and west.

PHASE 1	
SITE DATA (RED ROOF IN)	
PERMITTED SQUARE FEET	HOTEL
114,274 SF (2,738Z ACRES)	
13,005 SF 1ST FLOOR (4,196 SF TOTAL)	
V-1	
89,768 SF ±	
34,525 SF ±	
13,704 SF ±	
72 SPACES	
74 SPACES	
4 SPACES	
16 PARKING REQUIRED	
5 SPACES AVAILABLE	
0.12	

<b>PROJECT DATA</b>	
1. <b>KLELAND ADDITION, UNIT #1, (AN UNPLATTED TRACT OF LAND LOCATED IN THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 3 NORTH, RANGE 3 EAST, NEPA, LOCATED IN THE SOUTHEAST QUARTER OF THE 800 AC BOLLINGER ACRE(7-1) SUPERHIGHWAY, CONTAINING APPROXIMATELY 200 ACRES)</b>	
2. <b>PROPOSED SITE DATE: (FEBRUARY)</b>	
<b>HOTELS</b>	
214,962 SF (4,928 ACRES)	
BUILDING FOOTPRINT AREA:	26,605 SF
PARKING/DREYFAHRT:	128,093 SF ±
LANDSCAPE ASSESSMENT:	59,304 SF ±
LANDSCAPING REQUIRED:	25,624 SF ±

**PARKING REQUIRED:** 175 SPACES  
12 SPACES  
FOR ACCESSIBLE  
2 SPACE VAN ACCESSIBLE  
0.15

**FLOOR AREA RATIO=**

3. LIGHTING: EXISTING LIGHTING IS METAL HALIDE MULTI-WAYOR LAMPS ON 10' HIGH POLES NEAR RESIDENTIAL LAMP POSTS LOCATED TOWARDS THE WEST OF THE PROJECT THROUGH THE PARKING LOT.

4. BUILDINGS: EXISTING AND NEWER WILL BE CLIMMATED TO EPC SINCE THE ZONE CHANGE IS APPROVED.  
APPROXIMATE HEIGHT OF HOTEL BUILDING WILL BE 3 STORY AND 54' HIGH.

	#	SQ FT	% TOTAL
STAIRS	1	108	1.6%
ELEVATOR	2	108	1.6%
HALLWAYS	3	108	1.6%
RESTROOMS	4	108	1.6%
KITCHEN	5	108	1.6%
BREAKFAST ROOM	6	108	1.6%
MEETING ROOM	7	108	1.6%
CONFERENCE ROOM	8	108	1.6%
OFFICE	9	108	1.6%
RECEPTION AREA	10	108	1.6%
LOBBY	11	108	1.6%
ENTRANCE	12	108	1.6%
PARKING GARAGE	13	108	1.6%
TOTAL	14	108	1.6%

[illegible][illegible][illegible]

LINE TABLE	
REMARKS	
9.0.3	279.40.18
20.72	287.56.17.7

Figure 1 is a schematic diagram of a channel cross-section. The diagram shows a channel with a central 'CHANNEL' and side 'DITCHES'. A 'LEGEND' box on the left defines symbols for 'ROADWAY', 'DITCH', 'CHANNEL', and 'DITCH'. A 'SCALE' bar at the bottom indicates distances from 0 to 100 feet. The diagram is labeled 'FIGURE 1' and 'CHANNEL'.

40.132'

WHEELER AVE.

PROVIDE DRIVEWAY  
ACCESS TO DRIVEWAY

KIRTLAND ADDITION  
ZONED R-1

INDEX TO DRAWING

1. SITE PLAN  
OVERALL  
2.

000000 = 00012

Use development plan for evaluation  
 including Certification (DC)

Official notation indication of  
 approval and approved by the

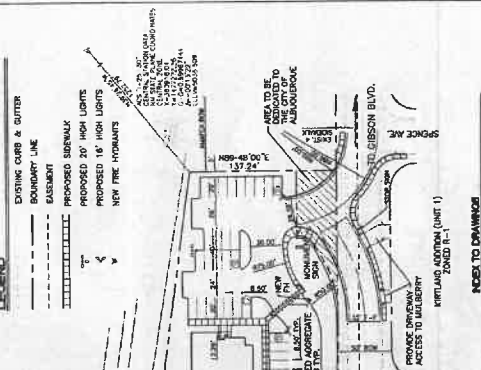
Division \_\_\_\_\_

Date 11-27-00

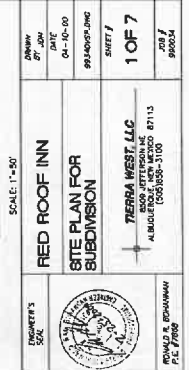
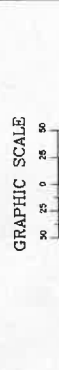
Time 4:20 PM

Area 4-17-00

6-2291a- / AMANCA Date	4-25-00 DATE
CE as specified by the -16/00 Date	
ernallo	



1. SITE PLAN FOR SUBDIVISION
2. OVERALL LANDSCAPING PLAN
3. OVERALL GRADING AND DRAINAGE PLAN
4. SITE PLAN FOR BUILDING PERMIT
5. LANDSCAPING PLAN
6. GRADING AND DRAINAGE PLAN
7. BUILDING ELEVATIONS



h1-86-Z

City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: April 17, 1998

## OFFICIAL NOTIFICATION OF DECISION

Home and Hearth Inc.  
14643 Dallas Parkway  
Suite 675  
Dallas, TX 75240

FILE: Z-98-14

LEGAL DESCRIPTION: for a portion Kirkland Addition, Unit 1 (lands of Eisenman--Nancy J.), zoned SU-1 for Hotels and Restaurants, located on Mulberry Street SE between Spence Avenue and San Jose Avenue and to the east of Interstate 25, containing approximately 10.16 acres. (M-15) Bob Paulsen, Staff Planner  
(DEFERRED FROM JANUARY 15, 1998.)

On April 16, 1998, the Environmental Planning Commission voted to approve Z-98-14, a request for site development plan for subdivision based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request for amendment to an approved site development plan for subdivision for a 10.16-acre site which is zoned SU-1 for Hotels and Restaurants and is located on Mulberry Street SE south of Gibson Boulevard.
2. Modifications to the plan address many of the concerns raised at the EPC hearing on February 19, 1998.
3. The submitted plan indicates significant modifications to vehicular and pedestrian circulation from the plan submitted for EPC approval on February 19, 1998; the revised version indicates a satisfactory overall circulation plan
4. With modifications specified in the conditions of approval this submittal can meet the requirements of applicable City plans and policies, including the design-related policies contained in the *Comprehensive Plan*.

### CONDITIONS:

1. Circulation, access and parking shall be approved by the City Traffic Engineer prior to final DRB sign-off.

OFFICIAL NOTICE OF DECISION

APRIL 2, 1998

Z-98-14

PAGE 2

2. The applicant must obtain approval of the connection to the I-25 north bound frontage road from the State Highway and Transportation Department prior to development of the western portion of the site (west of the Diversion Channel).
  3. All necessary approvals by AMAFCA are required.
  4. *The Trails and Bikeways Facilities Plan* designates the South Diversion Channel as having a proposed secondary trail in this location. The Site Development Plan shall accommodate this trail.
  5. A Transportation Management Plan (or participation in a Transportation Management Association), containing several elements applicable to a hotel development, shall be approved by the Transit Department in coordination with the Planning Department prior to final sign-off of the site plan.
  6. Pathways (including the jogging trail) which cross drive aisles shall be 6-feet wide at minimum and shall be highly visible and shall be slightly raised and/or textured.
  7. The six-foot wide pedestrian/jogging pathway shall be tree-lined, with trees planted at intervals of 25 feet on center; where planters are needed they shall be a minimum of 5 feet by 5 feet.
  8. Parking shall be limited to the number of spaces required by the *Zoning Code* plus 10%.
  9. Parking lot lighting shall be uniform throughout the development
  10. The landscape palate including ground-covers shall be integrated throughout the development
  11. All parking spaces shall be within 50 feet of a tree trunk.
  12. Freestanding signage, limited to monument type only, shall be limited to a height of 20 feet and area of 150 square feet. No off-premise signs are allowed; building-mounted signage shall be limited to channel letters, either internally or externally illuminated.
  13. Roof treatment for all buildings shall be complementary; building roofs shall have one or more common elements including similar colors, materials and/or pitch angle.
  14. No standard, generic franchise design building elevations are permitted.
  15. All buildings shall have usable outdoor areas for recreation and/or dining which are adjacent to the pedestrian circulation/jogging pathways.
  16. No freestanding cell towers or similar antennae are allowed; antennae shall be integrated into building architecture.
  17. All site plans for building permit must be approved by the EPC.
-

OFFICIAL NOTICE OF DECISION  
APRIL 2, 1998  
Z-98-14  
PAGE 3

On April 16, 1998, the Environmental Planning Commission voted to approve Z-98-14, a request for site development plan for building permit based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit for a hotel located on a 2.6-acre parcel which is zoned SU-1 for Hotels and Restaurants and is located on Mulberry Street SE.
2. The submitted plan shows a three-story extended stay hotel with approximately 66,000 square feet of building area with access from Mulberry Street.
3. With modifications specified in the conditions of approval it would appear that this submittal can meet the requirements of applicable City plans and policies including the design-related policies of the *Comprehensive Plan*.
4. The landscape plan and site plan are inconsistent.

**CONDITIONS:**

1. A 6-foot wide Landscape Buffer is required on premise west side. Front Landscape Buffer is required to be 13 feet wide.
2. The perimeter sidewalk shall be 6 feet in width.
3. The following conditions recommended by the Transportation Planning and Transportation Development offices shall be met to the satisfaction of the Traffic Engineer:
  - A. Demonstration of adequate street access to and from the south for the Hotel "A" site as determined by the City's Traffic Engineer.
  - B. Demonstration of satisfactory access to and from the site area west of the South Diversion Channel and Interstate 25 as determined by the New Mexico State Highway Department.
  - C. Dedication of appropriate right of way, as determined by the Trails Coordinator, along the South Diversion Channel for a secondary trail consistent with the *Trails Map*.
  - D. Implementation of appropriate transportation infrastructure required by the Traffic Impact Study.
  - E. Previous EPC requirements must be complied with and implemented.
  - F. Provision of cross-access easements.
4. The outdoor patio at the southwest corner of the building must be a minimum of 600 square feet of usable area, including outdoor seating; it must be landscaped and shaded with trees and/or a canopy which blends with building.

OFFICIAL NOTICE OF DECISION

APRIL 2, 1998

Z-98-14

PAGE 4


5. The pedestrian connection from the porte cochere to Mulberry Street shall have a slightly raised and patterned paving treatment that leads to a gate along Mulberry Street; a second crossing shall be placed from the entrance of the south wing of the building across the drive aisle with the type of paving treatment described above. These pathways are designed to slow traffic and clearly designate pedestrian zones.
6. The site plan and landscape plan need to be revised to be consistent. Landscaping shall be provided in planters and strips with a minimum width of 5 feet along the north, south, and east building elevations running parallel to sidewalks.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY MAY 1, 1998 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

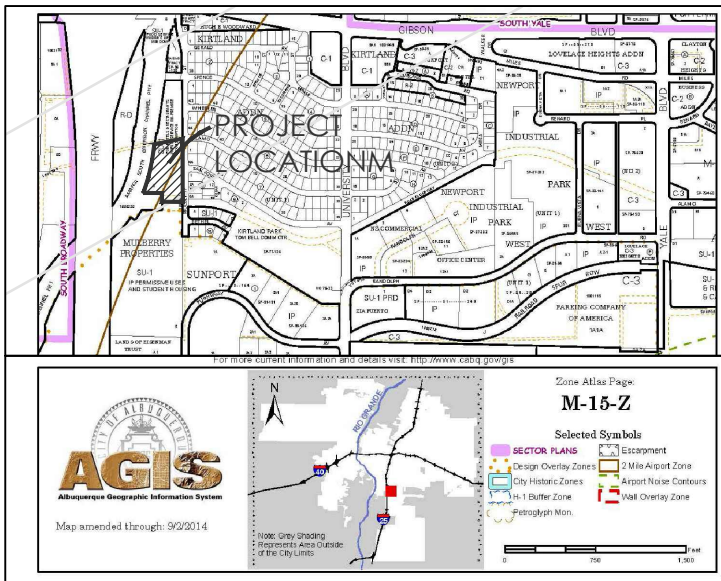
Sincerely,

  
for Robert R. McCabe  
Planning Director

BM/BP/ac

cc: Tierra West LLC, 4421 McLeod NE, Suite D, Albuquerque, NM 87109  
Valerie Jaramillo, 1525 Wheeler SE, Albuquerque, NM 87106  
Dwight Washington, 1604 Wheeler SE, Albuquerque, NM 87106  
Sr. Bernice Garcia, 2401 Broadway SE, Albuquerque, NM 87102  
Dolores Herrera, 2401 Broadway SE, Albuquerque, NM 87102  
Virginia Tull, c/o Budgetel, 1511 Gibson Blvd. SE, Albuquerque, NM 87106  
Virginia Regensberg, c/o Comfort Inn, 2300 Yale Blvd. SE, Albuquerque, NM 87106





### VICINITY MAP DESCRIPTION

TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22, 2.8718 ACRES

UPC # 1010551114120220

#### PHASE 1 - BUILDING AREAS

1ST FLOOR AREA	=	10,072 S.F.
2ND FLOOR AREA	=	9,889 S.F.
TOTAL HEATED AREA	=	19,961 S.F.
COVERED AREA	=	494 S.F.
TOTAL PHASE 1 AREA	=	20,455 S.F.

#### PHASE 2 (FUTURE) - BLDG. AREAS

1ST FLOOR AREA	=	3,768 S.F.
2ND FLOOR AREA	=	3,768 S.F.
TOTAL PHASE 2 AREA	=	7,536 S.F.

#### PHASE 3 (FUTURE) - BLDG. AREAS

TOTAL AREA = 7,500 S.F.

TOTAL PHASE 1, 2 AND 3 BLDG. AREAS

TOTAL AREA = 35,491 S.F.

### PARKING REQUIREMENTS PER THE IDO - ZONE: MX-L

REQUIRED:  
OFFICES = 3.5 SPACES/1,000 S.F. = 7,716 S.F./1000 = 27 SPACES  
DORMITORY = 1 SPACE/3 UNITS = 44 UNITS / 3 = 14 SPACES  
TOTAL PARKING REQUIRED = 80 SPACES REQUIRED (3 ADA SPACES)  
TOTAL PARKING PROVIDED = 91 SPACES PROVIDED (INCLUDES 4 ADA)  
MOTOR CYCLE PARKING REQUIRED: 26-50 SPACES = 2 SPACES (PROVIDED 2 MC SPACES)  
BICYCLE PARKING:  
DORMITORY 1 SPACE @ 3 UNITS = 42 UNITS/3 = 14 SPACES

### LANDSCAPE CALCULATIONS:

GROSS LOT AREA: 125,098 S.F. (2.87 ACRES)

BUILDING AREA PH.1&2: 14,471 S.F.

NET LOT AREA: 110,627 S.F.

REQUIRED LS: 16,594 S.F.

PROVIDED LS: 14,769 S.F. ON SITE

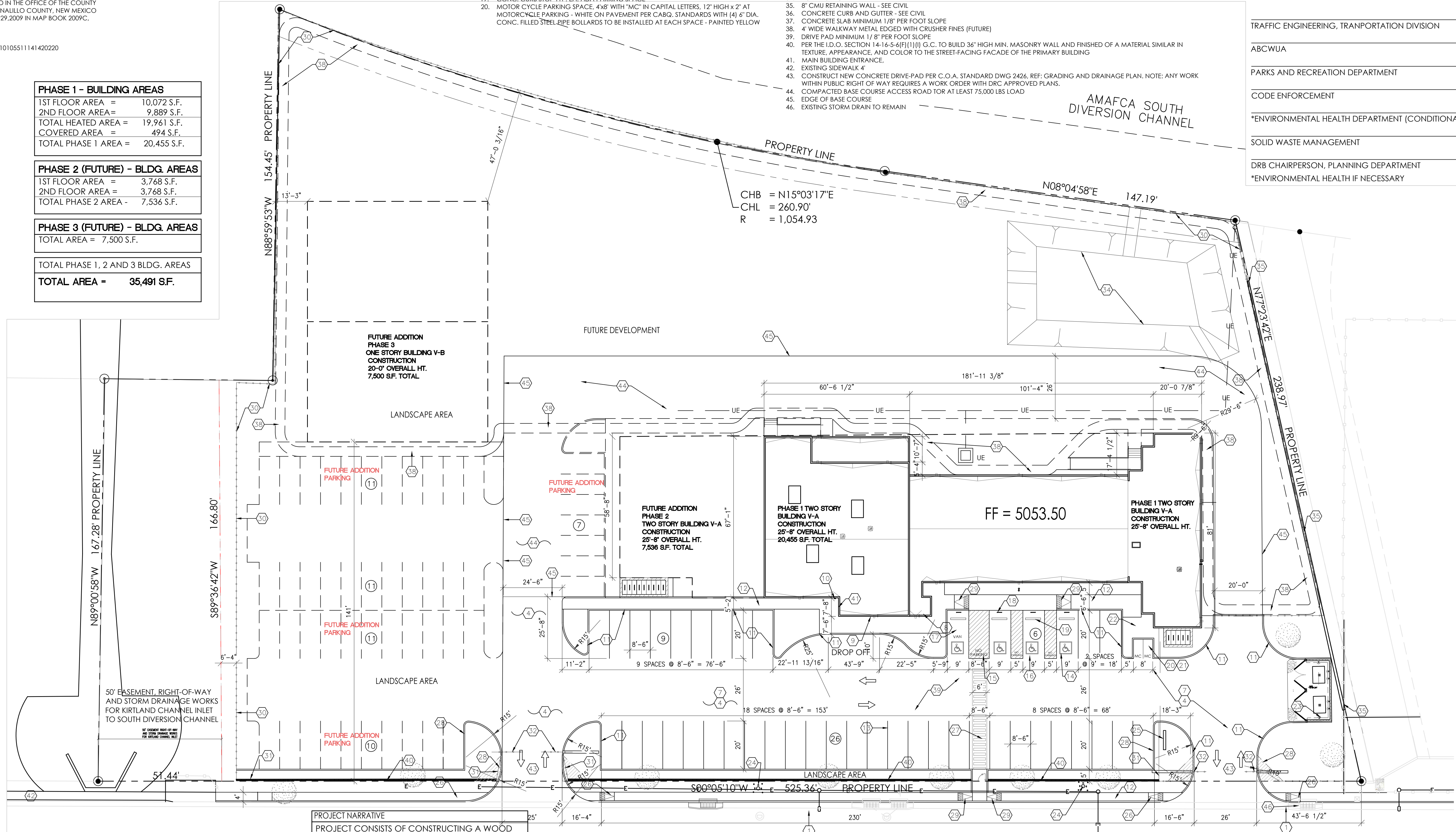
1,827 S.F. OFF SITE

TOTAL PROVIDED: 16,596 S.F.

TOTAL ASPHALT: 22,389 S.F.

### KEYED NOTES:

- NEW 8" WATER LINE TO TIE INTO EXISTING 8" WATER LINE LOCATED IN STREET
- 6" WATER LINE TO FIRE HYDRANTS AND FIRE RISER ROOM
- 2" DOMESTIC WATER LINE
- PAVED PARKING AND STREET PAVING SHALL HAVE ENGINEERING DATA CAPABLE OF IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS
- N/A
- FIRE APPARATUS ACCESS ROAD 20 TO 26" SHALL HAVE A FIRE LANE MARKED ON BOTH SIDES OF THE ROAD SHALL BE PAINTED RED WITH "FIRE LANE NO PARKING" IN WHITE LETTERS
- FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE
- FIRE DEPARTMENT CONNECTION (SIAMSE FITTING) MOUNTED 18" TO 48" A.F.G. CONTRACTOR TO VERIFY WITH FIRE MARSHAL
- PREMISE ID ADDRESS NUMBER LEGIBLE AND VISIBLE FROM STREET
- CONTRACTOR TO INSTALL SURFACE MOUNTED "KNOX BOX" 4" A.F.F. CONTRACTOR TO VERIFY LOCATION AND HEIGHT WITH FIRE MARSHAL
- 6" HIGH CURB AND GUTTER - SEE CIVIL
- 4'6" WIDE EXISTING CONC. SIDEWALK - SEE CIVIL
- 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBQ. STANDARDS
- HANDICAP SYMBOL PER CITY OF ALBQ. STANDARDS
- HANDICAP ACCESSIBLE AISLE PER CITY OF ALBQ. STANDARDS SEE DTL. A7/AS-2.0
- STANDARD HANDICAP PARKING STALL PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0
- STANDARD HANDICAP VAN PARKING SPACE PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0
- HANDICAP ACCESSIBLE SIGNAGE PER CITY OF ALBQ. STANDARDS TYPICAL EACH STALL SEE DTL. A9, A10/AS-2.0
- CONC. CURB STOP TYP. EA. ADA PARKING SPACE
- MOTOR CYCLE PARKING SPACE, 4'x8" WITH "MC" IN CAPITAL LETTERS, 12" HIGH x 2" AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ. STANDARDS WITH (4) 6" DIA. CONC. FILLED STEEL PIPE BOLLARDS TO BE INSTALLED AT EACH SPACE - PAINTED YELLOW
- MOTORCYCLE PARKING SIGNAGE ON BOLLARD PER CABQ. STANDARDS.
- BIKE RACK FOR (3) BICYCLES. SPACES SHALL BE 6' LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE. REF. DETAIL A12-A13/AS-2.0
- 30" TALL x 18" WIDE.
- BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
- THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION
- THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED
- THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BIKE RACK.
- EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BIKE
- THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD
- TRASH ENCLOSURE WITH TWO SLAB DRAINS MIN. 1/8" PER FOOT SLOPE - SEE DETAILS - FINISH TO MATCH BUILDING, SEE DTLs. A1-A2, A3/AS-2.0
- NEW FIRE HYDRANT
- MONUMENT SIGN
- PARALLEL CURB RAMP PER CABQ. STANDARDS 2446, SEE DTL. A11/AS-2.0
- ADA PASSAGEWAY STRIPPING PER CABQ. STANDARDS, SEE DTL. A14/AS-2.0
- CLEAR SIGHT DISTANCE. "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA"
- HANDICAP RAMP, SEE DTL. A8/AS-2.0
- 6" CHAIN LINK FENCE @ LOT LINE
- 6" WROUGHT IRON FENCE (AT THE GATES SIDES ONLY)
- 26" DOUBLE SLIDING WROUGHT IRON GATE
- CHAIN LINK DOUBLE SWINGING GATE
- POND - SEE CIVIL
- 8" CMU RETAINING WALL - SEE CIVIL
- CONCRETE CURB AND GUTTER - SEE CIVIL
- CONCRETE SLAB MINIMUM 1/8" PER FOOT SLOPE
- 4" WIDE WALKWAY METAL EDGED WITH CRUSHER FINES (FUTURE)
- DRIVE PAD MINIMUM 1/8" PER FOOT SLOPE
- PER THE I.D.O. SECTION 14-16-5-6(F)(1)(I) G.C. TO BUILD 36" HIGH MIN. MASONRY WALL AND FINISHED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FACADE OF THE PRIMARY BUILDING
- MAIN BUILDING ENTRANCE.
- EXISTING SIDEWALK 4'
- CONSTRUCT NEW CONCRETE DRIVE-PAD PER C.O.A. STANDARD DWG-2426, REF: GRADING AND DRAINAGE PLAN. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- COMPACTED BASE COURSE ACCESS ROAD TOR AT LEAST 75,000 LBS LOAD
- EDGE OF BASE COURSE
- EXISTING STORM DRAIN TO REMAIN

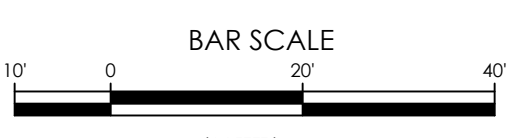


**PROJECT NARRATIVE**  
PROJECT CONSISTS OF CONSTRUCTING A WOOD FRAMED STRUCTURE FOR A MULTI-FAMILY FACILITY WITH OFFICES, INCORPORATING WOOD STUD FRAMED WALLS WITH 7/16" OSB SHEATHING, STUCCO FINISHES, TPO MEMBRANE ROOFING SYSTEM ON OSB ROOF SHEATHING OVER PRE-ENGINEERED WOOD ROOF TRUSSES, FULLY FIRE SPRINKLED.

**GENERAL NOTE:** ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER ACCORDING WITH THE CABQ STANDARDS"

**MULBERRY STREET**  
50' R.O.W.

**1 SITE PLAN - PHASE 1**  
1" = 20'-0"



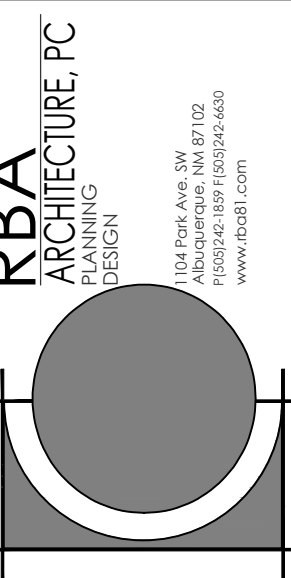
(IN FEET)

DATE: 02-28-2023

SHEET NUMBER

VETERANS INTERGRATION CENTER  
ARCH SITE PLAN  
2701 MULBERRY ST S.E.  
ALBUQUERQUE, NM 87106  
PROJECT #2171

REVISION DATE  
09/20/2023

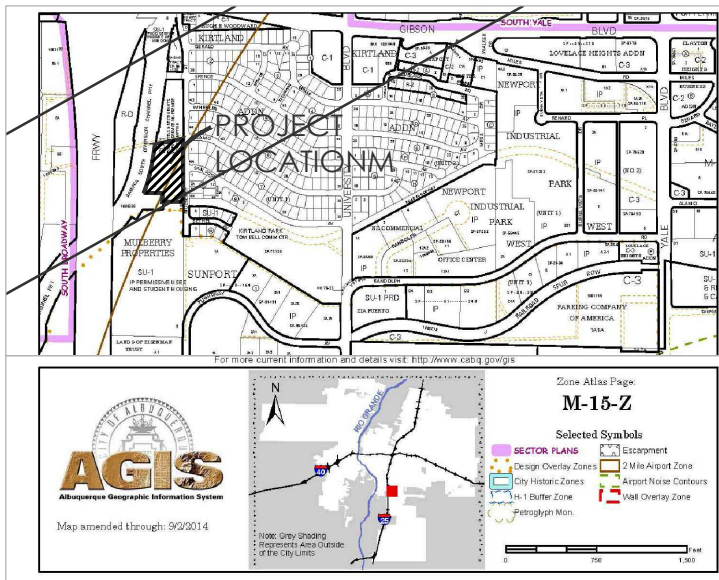


DATE: 02-28-2023

SHEET NUMBER

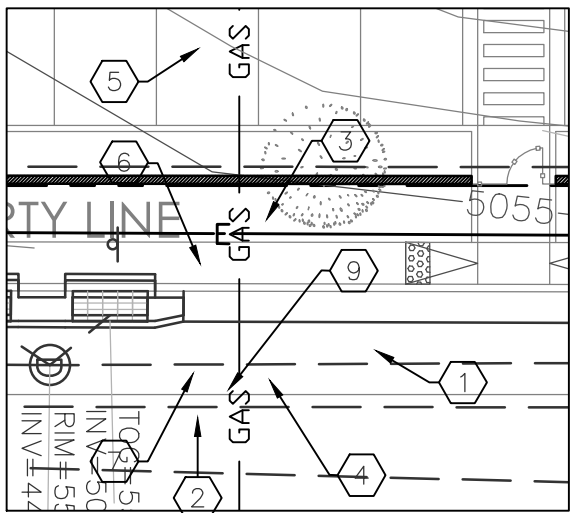
AS-1.00



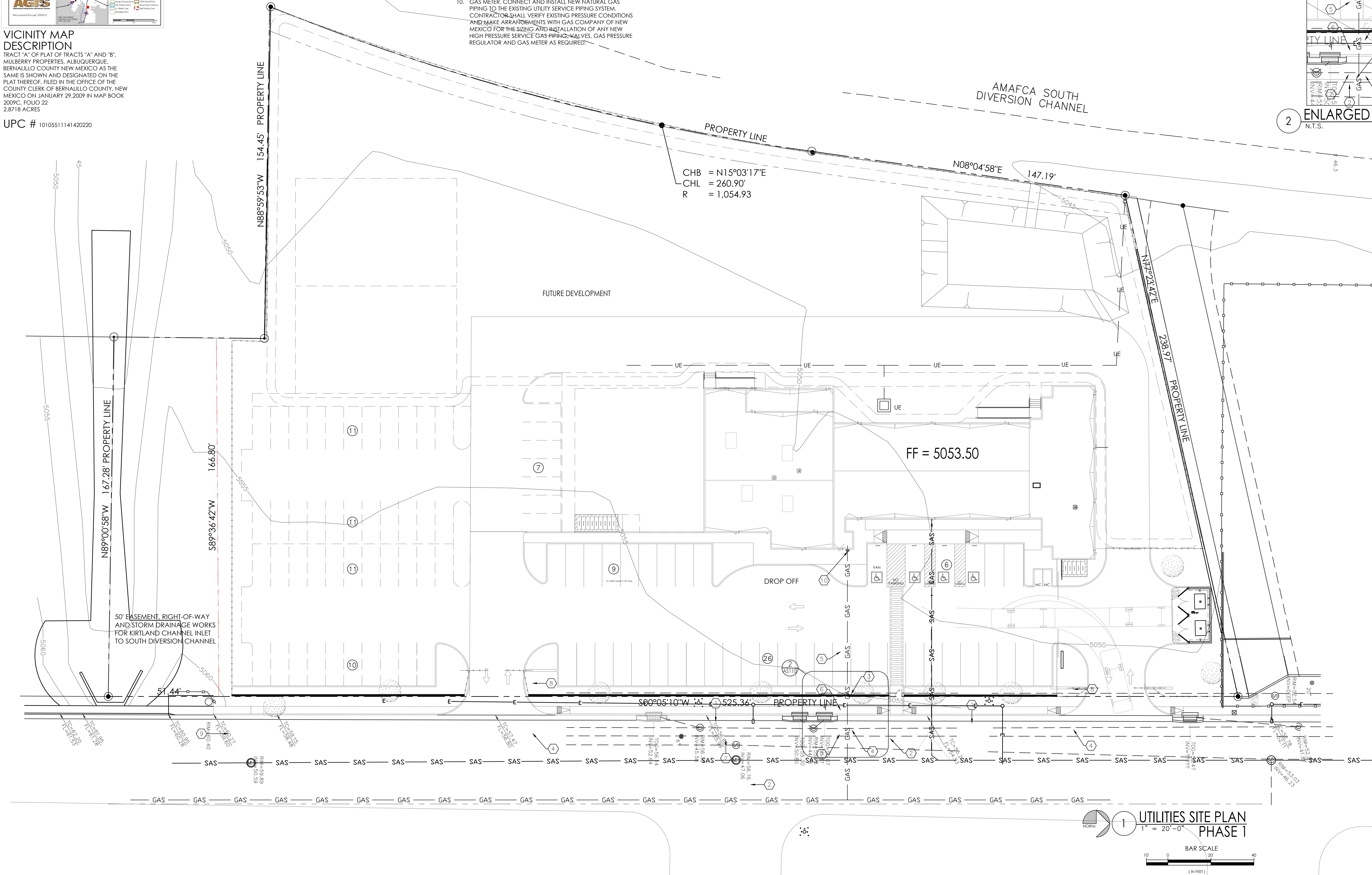


VICINITY MAP DESCRIPTION  
TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22 2.8718 ACRES  
UPC # 10105511141420220

- KEYED NOTES
1. EXISTING 20" WATER LINE
  2. EXISTING 6" WATER LINE
  3. NEW 6" WATER LINE
  4. NEW 6" WATER LINE VALVE TIE-IN TO EXISTING 6" LINE
  5. NEW 2" WATER LINE TO METER
  6. NEW WATER METER FOR 2" WATER LINE
  7. NEW 2" WATER LINE VALVE TO TIE-IN TO EXISTING 6" LINE
  8. NEW 6" WATER LINE TO NEW FIRE HYDRANT
  9. THE EIGHT-INCH EXTENSION SHALL CONNECT TO THE 20-INCH TRANSMISSION LINE AND GATE VALVES SHALL BE INSTALLED ON THE EIGHT-INCH EXTENSION BETWEEN THE EXISTING LINES AND ON THE SIX-INCH DISTRIBUTION LINE SOUTH OF THE NEW CONNECTION.
  10. GAS METER, CONNECT AND INSTALL NEW NATURAL GAS PIPING TO THE EXISTING UTILITY SERVICE PIPING SYSTEM. CONTRACTOR SHALL VERIFY EXISTING PRESSURE CONDITIONS AND MAKE ARRANGEMENTS WITH GAS COMPANY OF NEW MEXICO FOR THE SIZING AND INSTALLATION OF ANY NEW HIGH PRESSURE SERVICE GAS PIPING-VALVES, GAS PRESSURE REGULATOR AND GAS METER AS REQUIRED.

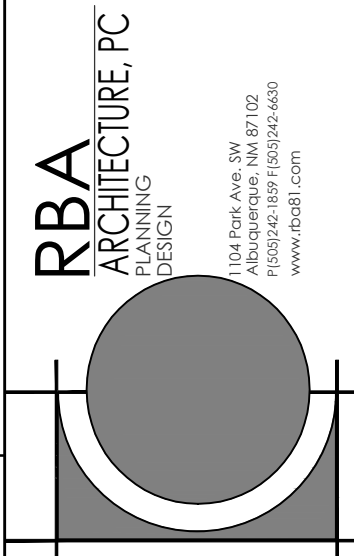
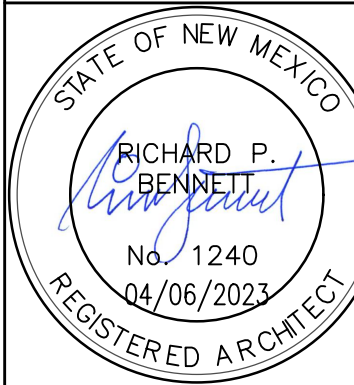


2 ENLARGED WATER PLAN  
N.T.S.



VETERANS INTERGRATION CENTER  
UTILITY SITE PLAN  
2701 MULBERRY ST S.E.  
ALBUQUERQUE, NM 87106  
PROJECT #2171

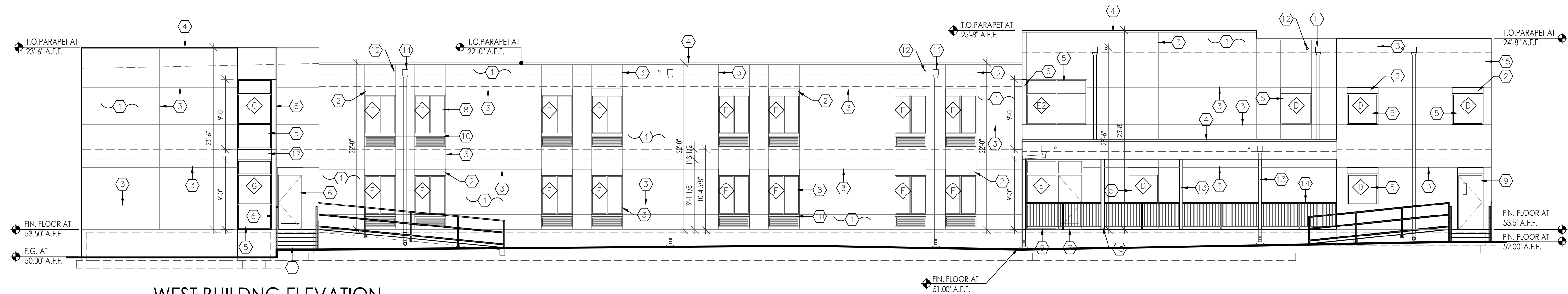
REVISION DATE  
08/21/2022



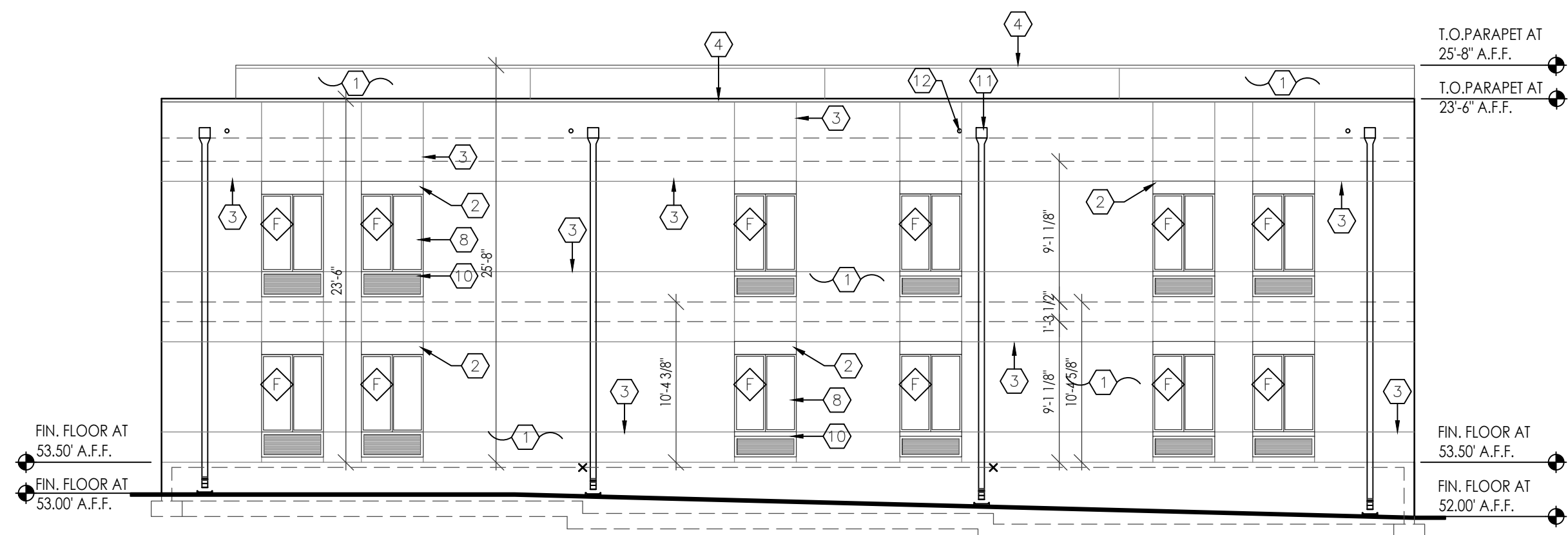
DATE  
02-28-2023

SHEET NUMBER  
AS-1.10

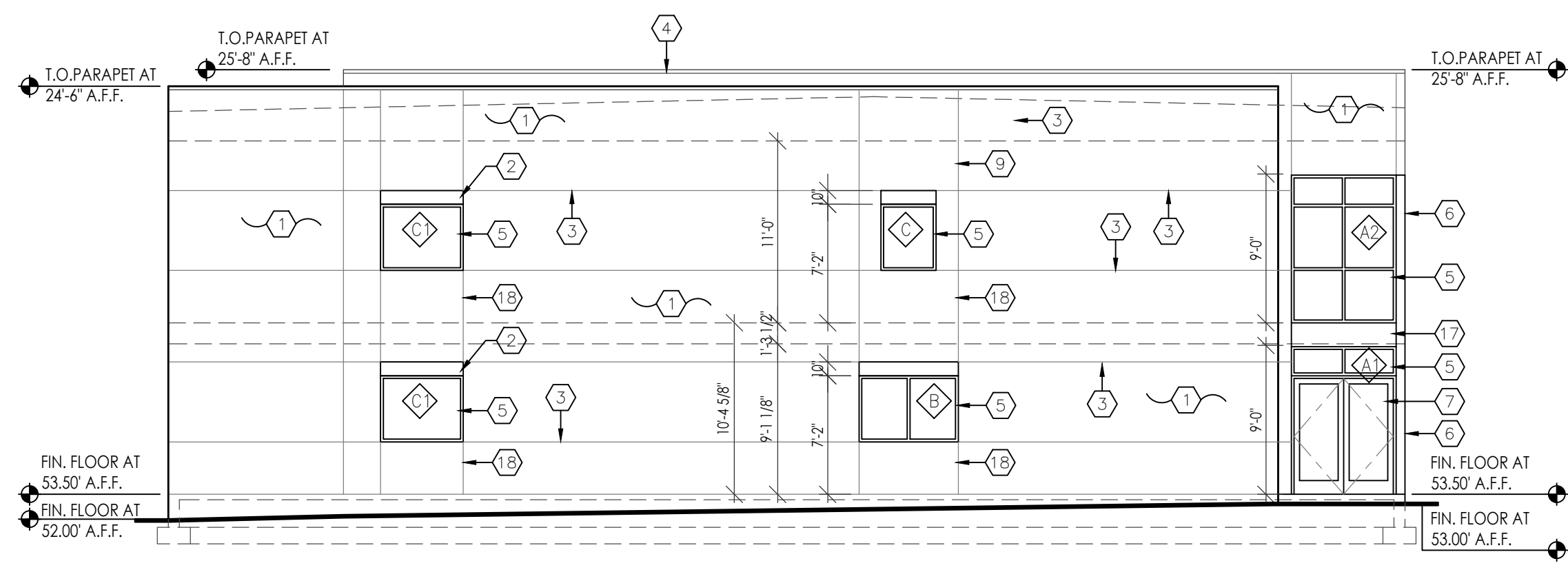




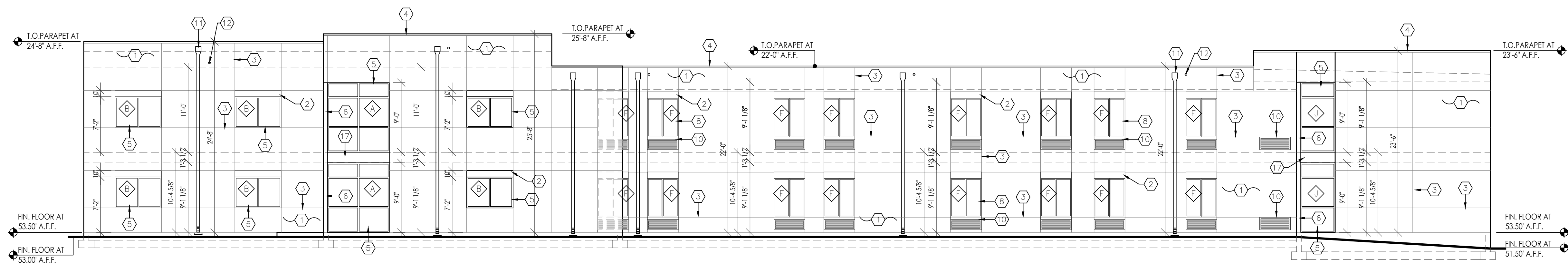
WEST BUILDNG ELEVATION  
1/8"=1'-0"



NORTH BUILDNG ELEVATION  
1/8"=1'-0"



SOUTH BUILDNG ELEVATION  
1/8"=1'-0"



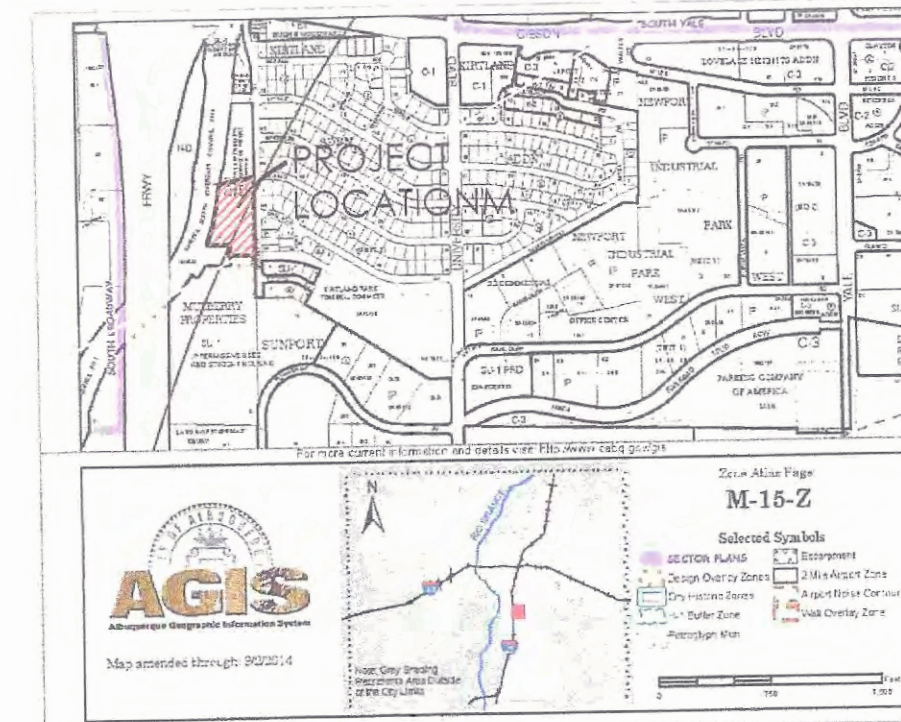
EAST BUILDNG ELEVATION  
1/8"=1'-0"

KEYED NOTES	
1.	TWO COAT STUCCO OVER 20 GA. METAL LATH OVER TYVEX WEATHER BARRIER ON 7/16" OSB WALL SHEATHING, REF: WALL SECTIONS.
2.	STUCCO HEADER WITH STUCCO CONTROL JOINTS, TYP., REF: WINDOW DETAILS.
3.	STUCCO CONTROL JOINTS, TYP.
4.	CONT. METAL COPING CAP, PRE-FINISHED OR PAINT TO MATCH STUCCO COLOR, TYP.
5.	ALUM. MIL FINISH STOREFRONT WINDOW WITH INSULATED GLAZING AND LOW E, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET, TYP.
6.	ALUM. MIL FINISH BREAK METAL AT CORNER OF STOREFRONT WINDOW, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET.
7.	STOREFRONT DOOR WITH TEMPERED GLAZING AS REQUIRED, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET.
8.	DOUBLE GLAZED VINYL WINDOW WITH LOW E, WINDOW TO BE OPERABLE FOR EMERGENCY EGRESS, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET, TYP.
9.	HOLLOW METAL INSULATED FLUSH DOOR IN H.M. FRAME, REF: FLOOR PLAN AND DOOR SCHEDULE.
10.	PTAC AND PTAC GRILL, REF: MECHANICAL PLANS.
11.	8x8 GALV. METAL SCUPPER WITH COLLECTION BOX AND DOWN SPOUT, PAINT TO MATCH STUCCO COLOR, G.C. TO PROVIDE CONC. SPLASH BLOCK.
12.	3" PVC OVERFLOW DRAIN, PAINT TO MATCH STUCCO COLOR, TYP.
13.	T.S. 5x5x1/4" COLUMN, REF: FLOOR PLAN AND STRUCTURAL PLANS.
14.	42" HIGH 1 1/4" DIA. PAINTED STEEL TOP, BOTTOM AND POST GUARDRAIL WITH 3/4" DIA. PAINTED STEEL VERTICAL AT 4' MAX. EDGE TO EDGE, NOT USED.
15.	ALUM. MIL FINISH STOREFRONT DOOR WITH TEMPERED GLAZING AND LOW E, REF: FLOOR PLAN AND WINDOW ELEVATION DETAIL SHEET, TYP.
16.	ALUM. MIL FINISH BREAK METAL BETWEEN TOP OF 1ST FLOOR STOREFRONT AND BOTTOM OF 2ND FLOOR STOREFRONT WINDOW.
17.	NOTE: NO BREAK METAL BETWEEN WINDOW TAGGED E AND E2 AT WEST BUILDING ELEVATION (AT COVERED PATIO).
18.	FUTURE OPENING INTO PHASE TWO 2 STORY ADDITION, WINDOW TO BE REMOVED.

VETERANS INTERGRATION CENTER  
BUILDING ELEVATIONS  
2701 MULBERRY ST S.E.  
ALBUQUERQUE, NM 87106  
PROJECT #2171

REVISION	DATE
DATE	02-24-2023
SHEET NUMBER	A-6.00



[illegible]

DATE: 05/30/23  
BY: Renée C. Brissette  
HydroTrans # M15D054

TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22  
2.8718 ACRES

**VICINITY MAP**  
**LEGAL DESCRIPTION**  
TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22  
2.8718 ACRES  
UPC # 10105511141420220

**DATE:** 05/30/2009  
**BY:** M1

**AMAFC SOUTH DIVERSION CHANNEL**  
CHB = N15°03'17"E  
CHL = 260.90'  
R = 1,054.93

**FUTURE DEVELOPMENT**  
"ANY FUTURE PHASE OR FURTHER DEVELOPMENT OF THIS LOT WILL REQUIRE SUBMISSION AND APPROVAL OF A REVISED GRADING AND DRAINAGE PLAN. NO NEW INPUTS TO AMAFCA'S FACILITIES WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM AMAFCA".

**FUTURE ADDITION**  
TWO STORY BUILDING V-A  
CONSTRUCTION  
25'-8" OVERALL HT.  
F.F. = 5053.50

**PHASE I**  
EDGE OF ASPHALT

**50' EASEMENT, RIGHT-OF-WAY AND STORM DRAINAGE WORKS FOR KIRTLAND CHANNEL INLET TO SOUTH DIVERSION CHANNEL**

**MULBERRY STREET SE**

**KIRTLAND AVENUE**

**STORM INLET (TYP)**

VETERANS INTERGATION CENTER  
GRADING AND DRAINAGE PLAN  
2701 MULBERRY STREET S.E.  
ALBUQUERQUE, NM  
PROJECT #2171

REVISION DATE  
05-02-2023  
05-22-2023

**RBA**  
**ARCHITECTURE, PC**  
PLANNING  
DESIGN


104 Park Ave. SW  
Albuquerque, NM 87102  
P (505) 242-1859 F (505) 242-4630  
[www.rba81.com](http://www.rba81.com)

DATE  
01-05-2023

SHEET NUMBER

C-1.0

**NOTE : REFER TO SHEET C-1.01 FOR DRAINAGE  
NARRATIVE, CALCULATIONS, GENERAL  
NOTES, AND DETAILS.**


 PROVIDE NEW CURB CUT - DRIVEPAD PER C.O.A.  
 STD. DWG. NO. 2425-A.  
 REMOVE EXISTING SIDEWALK, DRIVEPAD, CURB  
 AND GUTTER AND PROVIDE NEW AS SHOWN HEREON.

(REVISED PLAN: 05-02-2023)  
**GRADING AND DRAINAGE PLAN**  
JANUARY – 2023



EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 250-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION =  $TC = 57.65$

CURB FLOWLINE ELEVATION =  $FE = 57.00$

EXISTING SPOT ELEVATION =  $5055$

EXISTING CONTOUR ELEVATION =  $5055$

PROPOSED SPOT ELEVATION =  $55.40$

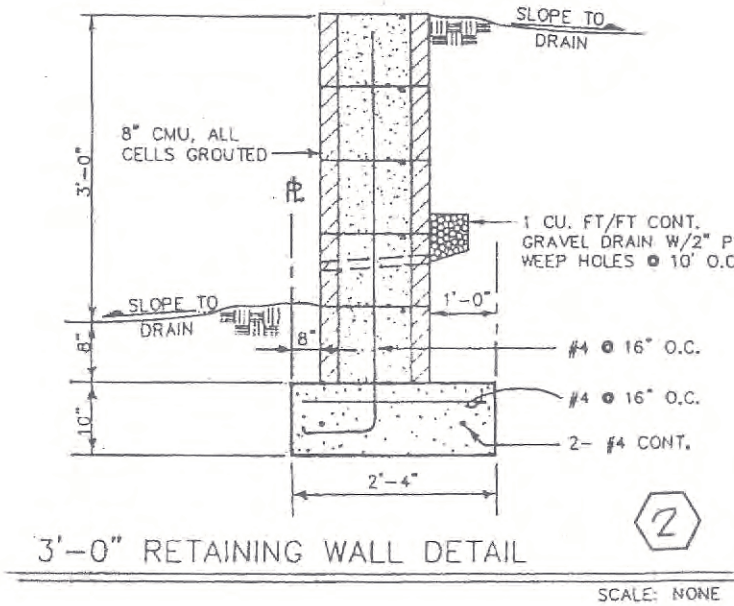
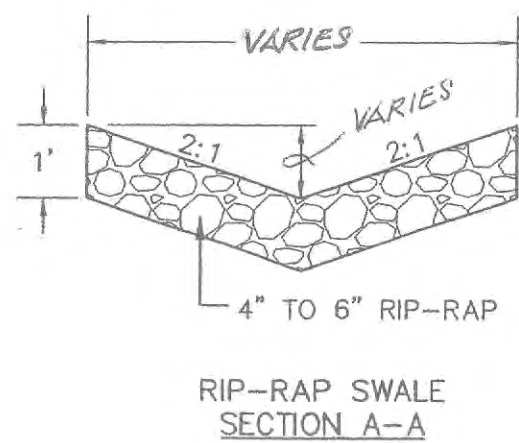
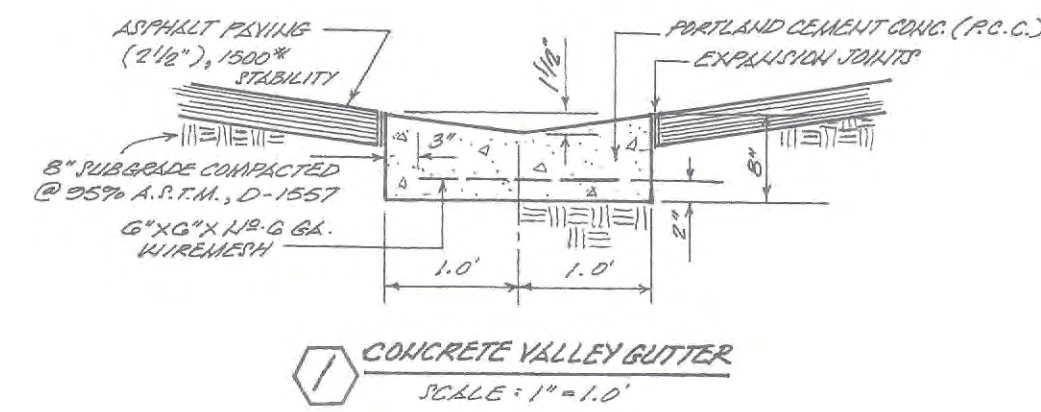
PROPOSED CONTOUR ELEVATION =  $53$

PROPOSED OR EXISTING CONCRETE SURFACE =

EXISTING FENCE LINE =

GENERAL NOTES:

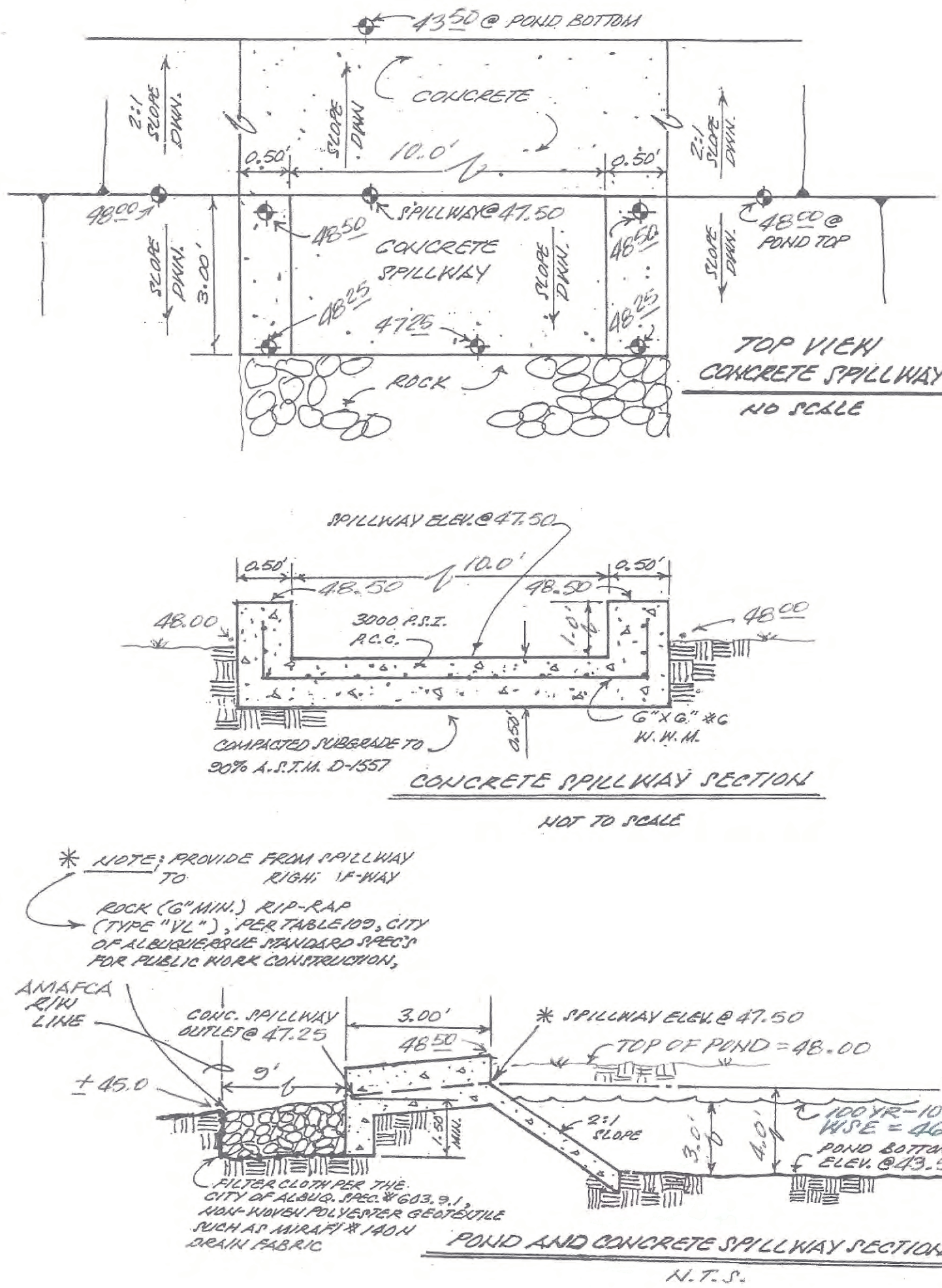
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HERON.



GENERAL NOTES:

- ALL WALLS ARE TO HAVE 12" CMU PLASTERS @ 12" O.C. PLACE NO. 4'S IN EACH CELL. FILL ALL CELLS WITH CONCRETE.
- ALL CONCRETE IS TO BE 3000 PSI.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12". MOISTURE CONTENT IS TO BE  $\geq 2.0\%$ .
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.

GEORGE T. RODRIGUEZ  
LAND USE, DEVELOPMENT AND  
REDEVELOPMENT CONSULTANT  
ALBUQUERQUE, NEW MEXICO  
(505)610-0593



Section 6-2(A)(5) Peak Discharge Rate for Small Watersheds

The peak discharge rate is given in TABLE 6.2.14 for small watersheds, less than or equal to 40 acres, where the time of concentration is assumed to be 12 minutes.

Zone	A	B	C	D
1	1.54	2.16	2.87	4.12
2	1.71	2.36	3.05	4.34
3	1.84	2.49	3.17	4.49
4	2.09	2.73	3.41	4.78

The 6-hour excess precipitation, E, by zone and treatment is summarized in TABLE 6.2.13

Zone	A	B	C	D
1	0.55	0.73	0.95	2.24
2	0.62	0.80	1.03	2.33
3	0.67	0.86	1.09	2.58
4	0.76	0.95	1.20	3.34

NOTES:

BUILDING PAD COMPACTION TO BE PER SOILS ENGINEER'S TEST RESULTS AND RECOMMENDATIONS.

CONTRACTOR TO PROVIDE ROOF GUTTERS AND DOWNSPOUTS (AS SHOWN) WITH SPLASH BOXES TO DISSIPATE DRAIN FLOW ENERGY.

CONTRACTOR TO PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM STRUCTURE.

PROJECT T.B.M. : AS SHOWN ON THE PLAN HEREON.

\*\*\* PAD CERTIFICATION IS REQUIRED PRIOR TO BUILDING PERMIT RELEASE.

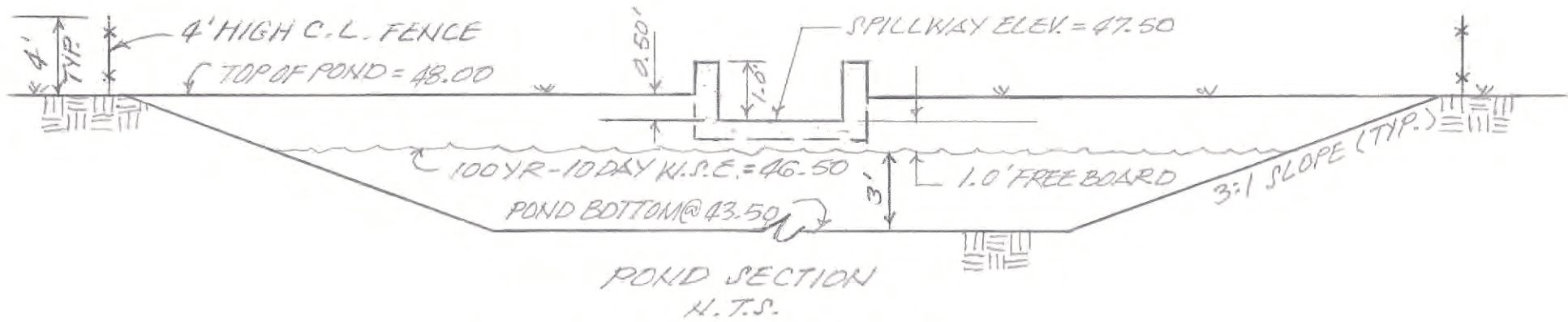
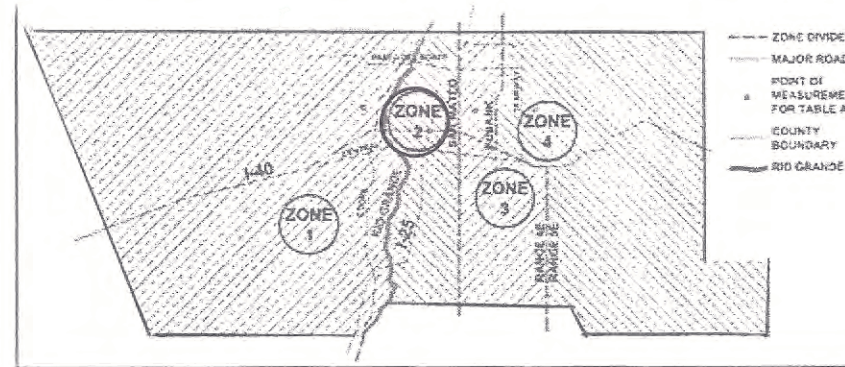
\*\*\* ENGINEER'S CERTIFICATION IS REQUIRED FOR "CERTIFICATE OF OCCUPANCY" RELEASE.

TABLE 6.2.7 Precipitation Zones

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40 and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40 and East of the East boundary of Range 4 East, South of Interstate 40

Not including the Cibola National Forest

FIGURE 6.2.3 Precipitation Zones



(MEAN)  $38' \times 77' = 2,926.0'$   
(PROVIDED)  $2,930.0' \times 3.00' \text{ DEPTH} = 8,790.0 \text{ CU. FT.}$   
(REQUIRED =  $8,575.7 \text{ CU. FT.}$ )

NOTE : PROVIDE MINIMUM 4.0' HIGH CHAIN LINK FENCE (OR EQUAL ) AROUND POND PERIMETER WITH LOCKED GATE ACCESS FOR MAINTENANCE.

DRAINAGE COMMENTS :

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF MULBERRY STREET S.E. EAST OF INTERSTATE HIGHWAY 25 AND SOUTH OF GIBSON BOULEVARD S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, ( ZONE ATLAS "M-15-Z" ).

THE SUBJECT SITE, 1.) IS TO HAVE A VETERANS INTEGRATION CENTER BUILDING AND ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON, (THIS GRADING AND DRAINAGE PLAN WAS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION FOR SAID PROPOSED DEVELOPMENT, 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (DESIGNATED ZONE "X", REFERENCE FEMA PANEL NO. 35001C0342G, EFFECTIVE 09-26-2008), 5.) IS ADJACENT TO THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY SOUTH DIVERSION CHANNEL, 6.) IS TO PROVIDE A RETENTION POND FOR THE DEVELOPED 100 YR. - 10 DAY STORM VOLUME.

PER THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, HYDROLOGY, CHAPTER 6, ARTICLE 6-2(a), EFFECTIVE DATE: JUNE 8, 2020.

SITE AREA = 2.90 ACRES (TOTAL)

NOTE: CALCULATIONS SHOWN HEREON ARE FOR "PHASE ONE (1) DEVELOPMENT", BEING A 1.23 ACRE PORTION OF THE 2.90 ACRE SITE.

PRECIPITATION ZONE : TWO (2)

"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp"

PRECIPITATION : 100-YR./6 HR. = 2.29 IN.

EXCESS PRECIPITATION :	PEAK DISCHARGE :
TREATMENT A 0.62 IN.	1.71 CFS/AC.
TREATMENT B 0.80 IN.	2.36 CFS/AC.
TREATMENT C 1.03 IN.	3.05 CFS/AC.
TREATMENT D 2.33 IN.	4.34 CFS/AC.

EXISTING CONDITIONS :

AREA	AREA
TREATMENT A 1.23 AC.	0.00 AC.
TREATMENT B 0.00 AC.	0.00 AC.
TREATMENT C 0.00 AC.	0.48 AC.
TREATMENT D 0.00 AC.	0.75 AC.

PROPOSED CONDITIONS :

EXISTING EXCESS PRECIPITATION :

WEIGHTED 'E' =  $(0.62 \times 1.23) + (0.80 \times 0.00) + (1.03 \times 0.00) + (2.33 \times 0.00) / 1.23 = 0.62 \text{ IN.}$   
 $V100-360 = (0.62 \times 0.00) / 12 = 0.05167 \text{ AC. FT.} = 2,251.0 \text{ CU. FT.}$

EXISTING PEAK DISCHARGE :

$Q-100 = (1.71 \times 1.23) + (2.36 \times 0.00) + (3.05 \times 0.00) + (4.34 \times 0.00) = 2.10 \text{ CFS}$

PROPOSED EXCESS PRECIPITATION :

WEIGHTED 'E' =  $(0.62 \times 0.00) + (0.80 \times 0.00) + (1.03 \times 0.48) + (2.33 \times 0.75) / 1.23 = 1.82 \text{ IN.}$   
 $V100-360 = (1.82 \times 0.75) / 12 = 0.11375 \text{ AC. FT.} = 4,955.0 \text{ CU. FT.}$

PROPOSED PEAK DISCHARGE :

$Q-100 = (1.71 \times 0.00) + (2.36 \times 0.00) + (3.05 \times 0.48) + (4.34 \times 0.75) = 4.72 \text{ CFS}$

INCREASE :  $V100-360 = 2,704.0 \text{ CU. FT.}$   $Q-100 = 2.62$

\*\*\* 100-YR./10-DAY STORM VOLUME CALCULATION :

$V10-DAYS = V360 + AD \times (P-10 \text{ DAYS} - P 360) / 12 \text{ IN. FT.}$   
 $V10-DAYS = 0.11375 + 0.75 \times (3.62 - 2.29) / 12 \text{ IN. FT.} = 0.19687 \text{ AC. FT.} = 8,575.7 \text{ CU. FT.}$

POND SPILLWAY - WEIR SIZE CALCULATION :

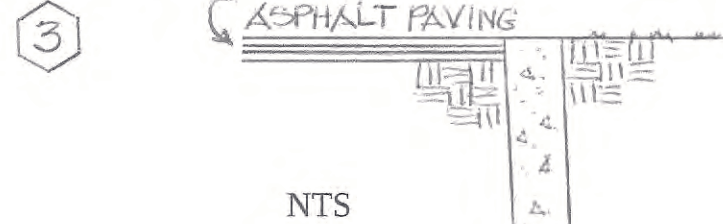
$Q = 4.72 \text{ CFS}$  BREADTH = 3.0' VALUE OF "C" = 2.63 "H" = 0.50'  
VALUE OF "C" = 2.63 (INTERPOLATED FROM TABLE 5.3, BOOK OF HYDRAULICS, SECTION 5, BRATER & KING, 6th EDITION, 1976).

$$L = \frac{Q}{(2.63) (H^{1.5})} = \frac{4.72}{(2.63) (0.50^{1.5})} = 5.05' \text{ (USE } 10.0' \text{ )}$$

NOTE : PROVIDED LENGTH "L" = 10.0'

4 COMPACTED BASE COURSE LOOP/ACCESS ROAD FOR AT LEAST 75,000 LBS LOAD.

NOTE : PROVIDE 6" WIDE X 18" DEEP PORTLAND CEMENT CONCRETE (PCC) 'CUT-OF-WALL' PER C.O.A. STD. DWG. # 2411 ( CONSTRUCTION NOTE 'C' ) AT EDGE OF ASPHALT PAVEMENT.



NTS

NTS

NTS

NTS

NTS

NTS

NTS

NTS

NTS

NTS

NTS

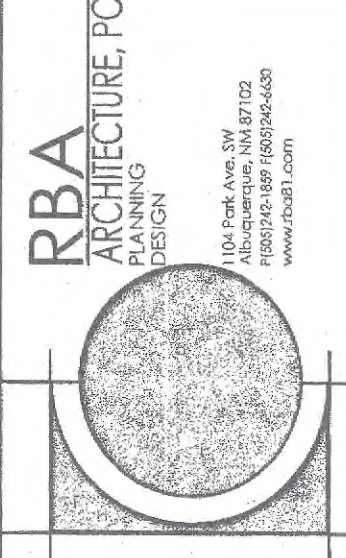
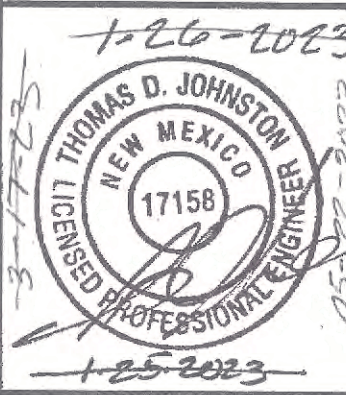
NTS

NTS



VETERANS INTERGRATION CENTER  
GRADING AND DRAINAGE PLAN  
2701 MULBERRY STREET S.E.  
ALBUQUERQUE, NM  
PROJECT #2171

REVISION DATE  
05-02-2023  
05-22-2023



DATE  
01-05-2023

SHEET NUMBER

C-1.01

05-22-2023  
( REVISED PLAN: 05-02-2023 )