



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Administrative Approval of Minor Site Plan amendment to reflect new west building footprint and minor changes to adjacent parking

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Vincent Carrica</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

11/15/2023

Mr. James Aranda
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

RE: SAGEBRUSH COMMUNITY CHURCH
REQUEST FOR ADMINISTRATIVE AMENDMENT
6440 COORS BLVD NW ALBUQUERQUE NM 87120
TR 1DIA ALBAN HILLS UNIT 1 BLOCK 15
ZONE ATLAS PAGE D-12-Z

Dear Mr. Aranda:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Sagebrush Community Church, pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Robert Church
Print Name
[Signature]
Signature
Executive Pastor
Title
11-15-23
Date



November 15, 2023

Mr. James Aranda
City Of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

**RE: SAGEBRUSH COMMUNITY CHURCH
REQUEST FOR ADMINISTRATIVE AMENDMENT
6440 COORS BLVD NW ALBUQUERQUE NM 87120
TR 1D1A PLAT OF TRACT 1-A-1-A ALBAN HILLS UNIT 1 BLOCK 15
ZONE ATLAS PAGE D-12-Z**

Dear Mr. Aranda:

Tierra West, LLC, on behalf of Sagebrush Community Church, requests approval for an Administrative Amendment to the Site Development Plan for the above referenced project. The project is located at Coors Blvd. NW Albuquerque NM 87120. The request is for a minor modification to the west building (Building A) footprint and adjacent parking. The proposed 8,294 sf building is 286 sf less than Building A footprint shown on the previously approved site plan amendment. The parking in front of the building entrance was modified and does meet code. No parking stalls were eliminated and the overall parking remains the same as previously approved

The minor modification of Building A and adjacent parking will not adversely affect the existing parking lot, traffic circulation, emergency vehicle access or any of the required landscaping. Drainage patterns in the area will remain as is and given the fact that there will be no increase in impervious surfaces, the minor changes will not affect hydrology. Peak hour trips into and out of the facility will not be affected by the minor decrease in building size.

Attached is the previous approved Site Development Plan for Building Permit Administrative Amendment as well as the proposed plan showing the new proposed Building A footprint and minor modifications to the adjacent parking.

Should you have any questions or require additional information regarding this matter, please feel free to contact Vince Carrica at 505-858-3100.

Sincerely,

Vincent Carrica, P.E.

Enclosure/s

Cc: Bob Chruch

JN: 2023095
VC/djb



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Hoffmantown Church West
2600 American Road SE, Ste 350
Rio Rancho, NM 87124

Date: November 21, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1002371**
03EPC-01285 Zone Map Amendment
03EPC-01815 EPC Site Development Plan-
Subdivision

LEGAL DESCRIPTION: for all or a portion of Tracts 1A,1B & 1C, Block 15, Alban Hills Subdivision, Unit 1 and Tract A, Access Easement, Bosque Meadows, a zone map amendment from SU-1 for R-2 Uses and SU-1 for R-2 Uses with 175 DU Max to SU-1 for C-2 Uses and SU-1 for R-2 and Church and Related Uses, located on LA ORILLA NW, between COORS BLVD. NW and CORRALES DRAIN, containing approximately 17 acres. (D-12) Simon Shima, Staff Planner

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1002371/ 03EPC-01285, a Zone Map Amendment, for Tracts 1-A, 1-B & 1-C, Block 15, Alban Hills Subdivision, Unit 1, & Tract A, Access Easement, Bosque Meadows, based on the following Findings and subject to the following Condition:

FINDINGS:

1. This is a request for a zone map amendment: a) from SU-1 for R-2 Uses with 175 D/U Max to SU-1 for R-2 Uses and Church and Related Uses for Tract 1-A, containing 10.24 acres; b) from SU-1 for R-2 Uses to SU-1 for R-2 Uses and Church and Related Uses for a proposed Tract 1-B, containing 5.44 acres (the existing Tract 1-B minus a proposed Tract 1-F); and c) from SU-1 for R-2 Uses to SU-1 for C-2 Uses for a proposed Tract 1-F, containing 0.80 acre. The zoning for Tract 1-C, encumbered by an MRGCD easement, would remain SU-1 for R-2 Uses.
2. In 1998 the applicant requested a Zone Map Amendment and a Site Development Plan for Building Permit for this 17 acre site (Z-98-30). On November 19, 1998, the Environmental Planning Commission voted to approve Z-98-30. This zone change would allow a 308 unit multi-family residential development on the site.

3. The Zone Map Amendment request is generally consistent with Comprehensive Plan Developing Urban Area Policy a (The Developing Urban Areas shall allow a full range of urban land uses) and Policy e (New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured). Nevertheless, environmental and design considerations addressed in the Comprehensive Plan policies would be required to reflect on the subsequent approval a Site Development Plan for Building Permit.
4. The site is located within the Taylor Ranch Community of the West Side Strategic Plan, hereinafter referred to as the "WSSP". The request is consistent with WSSP Taylor Ranch Community Policy 3.14 (The rural character of the Alban Hills area is an important character aspect of the Coors Corridor and Bosque transition zone) compared to the existing zoning. Other applicable policies, however, apply to a Site Development Plan for Building Permit.
5. The site is located in Segment 3 of the Coors Corridor Plan. For land use, the Coors Corridor Plan recommends compliance of new development with design guidelines, and preservation of the Bosque, floodplain, and open space areas (Figure 32 recommended land use). When a Site Development Plan for Building Permit were submitted for approval, the Coors Corridor Plan Design Overlay Zone policies would be applied to review its compliance with such policies.
6. Since Tract 1-D and Tract 1-E, the two adjacent tracts located at the northeast corner of Coors Boulevard and La Orilla Road, are currently zoned SU-1 for C-2 Uses, SU-1 zoning for C-2 Uses for a proposed Tract 1-F, as requested, would be compatible with the surrounding zoning to a large extent. This amendment would render the existing SU-1 for C-2 Uses zoning more cohesive in configuration, resulting in potentially more efficient use of land.
7. The applicant justifies the zone change based on the "more advantageous to the community" test pursuant to Resolution 270-1980. The applicant's assertion of the reduction of river-crossing trips by parishioners and others meets the above criterion. The applicant further justifies the zone change based on the "changed neighborhood conditions" test. Recent development of the Riverside Plaza located south of the site on the same side of Coors Boulevard is a result of annexation and zone change, thereby constituting a changed neighborhood condition under Resolution 270-1980.
8. While the Taylor Ranch and Alban Hills Neighborhood Associations support the zone change to allow a potential church use, the latter opposes the SU-1 for C-2 Uses portion of the request.
9. The developer of the combined commercial property, encompassing Tract 1-D, Tract 1-E, and the proposed Tract 1-F, has agreed to impose a private restriction on all the above Tracts prohibiting the sale of alcoholic beverages for off-site consumption.

10. Concurrent with the zoning all previously approved site development plans for this Tracts 1-D and 1-E are void.

CONDITION:

1. The proposed Tract 1-F, to be zoned SU-1 for C-2 Uses, be replatted with the adjoining Tract 1-D and Tract 1-E, zoned SU-1 for C-2 Uses, respectively, and a site development plan for subdivision with the combined commercial property be approved for this combined commercial parcel.

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1002371/03EPC-01815, a Site Development Plan for Subdivision, for Tracts 1-A, 1-B & 1-C, Block 15, Alban Hills Subdivision, Unit 1, & Tract A, Access Easement, Bosque Meadows, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request for a Site Development Plan for Subdivision entails subdividing the existing Tract 1-B into a proposed Tract B-1 containing 5.44 acres and a proposed Tract 1-F containing 0.80 acre, with an intent to sell a proposed Tract 1-F to the owner of adjacent Tract 1-D and Tract 1-E. Unifying a proposed Tract 1-F with the existing Tract 1-D and Tract 1-E would create a more integrated and developable unit of land.
2. The Site Development Plan for Subdivision, dated 10-21-03, provides minimum requirements for such plan as provided for in Section 14-16-1-5, Definitions of the Zoning Code, i.e., the site, proposed uses, pedestrian and vehicular ingress and egress, internal circulation elements, and maximum building height, minimum building setback, and maximum floor area ratio. Nonetheless, the Site Development Plan provides two(2) conflicting sets of floor area ratio and two (2) conflicting sets of setbacks. Corrections or clarifications on these matters need to be made.
3. No building and parking facilities design concept nor locations of such facilities are provided in the Site Development Plan. Therefore, certain design-related policies of the Comprehensive Plan (Policies d, g, k, l and m) and West Side Strategic Plan (Policies 3.15, 3.18 and 4.6) are applicable to the future request for the Site Development Plan for Building Permit.

4. The site is located in Segment 3 of the Coors Corridor Plan. Issue 3: land use and intensity of development, policy 8, buffer strip of the Coors Corridor Plan provides that a 100-foot-wide buffer strip shall be established west of the Corrales Riverside Drain throughout Segment 3. The buffer strip shall remain in a natural condition and shall not be used for development.
5. The confluence of the Corrales Riverside Drain and the Corrales Main Canal is situated east of the existing Tract 1-A and Tract 1-B. The Site Development Plan does not show the alignment of the Corrales Riverside Drain south of the confluence. Therefore, it cannot be ascertained as to whether or not a 100-foot wide buffer strip west of the Corrales Riverside Drain might encroach on Tract 1-B, or the Corrales Riverside Drain alignment itself might encroach on part of Tract 1-C. Therefore, a drawing of the Corrales Riverside Drain alignment and a 100-foot buffer strip on the Site Development Plan all the way to the southern boundary of the site is warranted.
6. The Trails & Bikeways Facility Plan, a Rank II plan, designates both the Corrales Main Canal located adjacent to the site in part and the Corrales Riverside Drain located seemingly on the site in part, as a proposed secondary trail.
7. The Site Development Plan entails two (2) different land uses; church and related uses, and C-2 uses. Two (2) sets of setbacks would be necessary or desired, one for church uses and the other for C-2 uses.
8. The Site Development Plan provides two (2) conflicting set of maximum building height. Should the proposed building height under Note 1 be intended by the applicant, it would comply with the Coors Corridor Plan design regulations.
9. Upon thorough review and analysis, reviewing agencies have provided comprehensive recommendations regarding traffic, access, and circulation. These recommendations are used for conditions of approval of the Site Development Plan.
10. Concurrent with the zoning all previously approved site development plans for Tracts 1-D and 1-E are void.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Two(2) conflicting sets of floor area ratio, setbacks, and building height, as provided in the Site Development Plan, be corrected.
3. If an MRGCD easement has been established on the eastern portion of Tract 1-A overlapped by the Corrales Main Canal right-of-way, such easement be shown on the Site Development Plan.
4. The Corrales Riverside Drain and a 100 foot wide buffer be drawn on the Site Development Plan all the way to the southern boundary of the site.
5. The following conditions of approval as recommended by the reviewing agencies be made the conditions of approval for the Site Development Plan:
 - a. Check deceleration and acceleration lane requirements for main site drive on Coors with NMDOT (Note: a deceleration lane is required per COA).
 - b. Lengthen median on Coors, across from the existing private access easement on north side of property, to ensure that the driveway operates as a right-turn in right-turn out only per the Coors Corridor Plan.
 - c. Re-align existing driveway of private easement to be perpendicular to Coors.
 - d. The access drives on La Orilla to be determined with the Site Plan for Building Permit.
 - e. Re-align eastern most driveway between Tract 1-B and Tract 1-C, to be perpendicular to La Orilla.
 - f. Show existing access to Tract 1-C on the site plan.
 - g. Platting should be a concurrent DRB action.
 - h. The Coors Corridor Plan recommends an eight-lane roadway adjacent to the subject site. Responsibility for improving Coors Boulevard from a three-lane northbound to a four-lane northbound facility along the site should be a condition of Site Plan for Building Permit.
 - i. Dedication of right-of-way for La Orilla Road as provided for in the DPM.

- j. Construct the La Orilla Trail connector (T 159) between Coors and the Corrales Riverside Drain as shown in the City of Albuquerque Trails & Bikeways Facility Plan.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 5, 2003** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

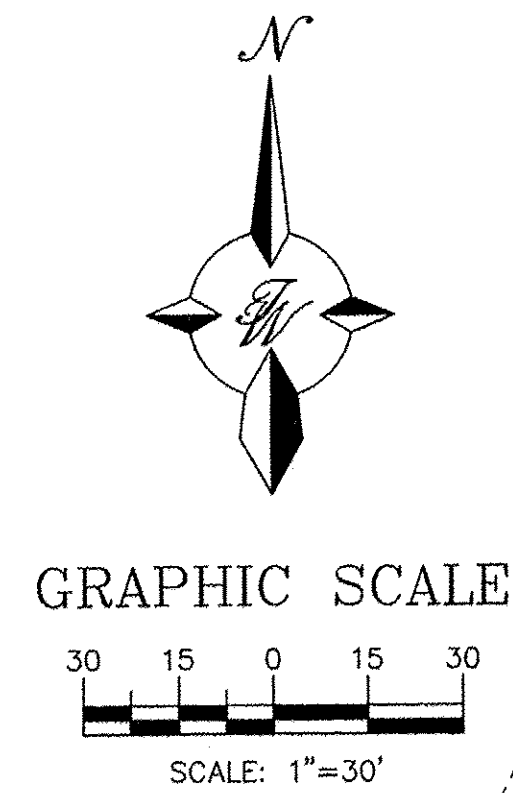
Sincerely,


for Victor J. Chavez
Planning Director

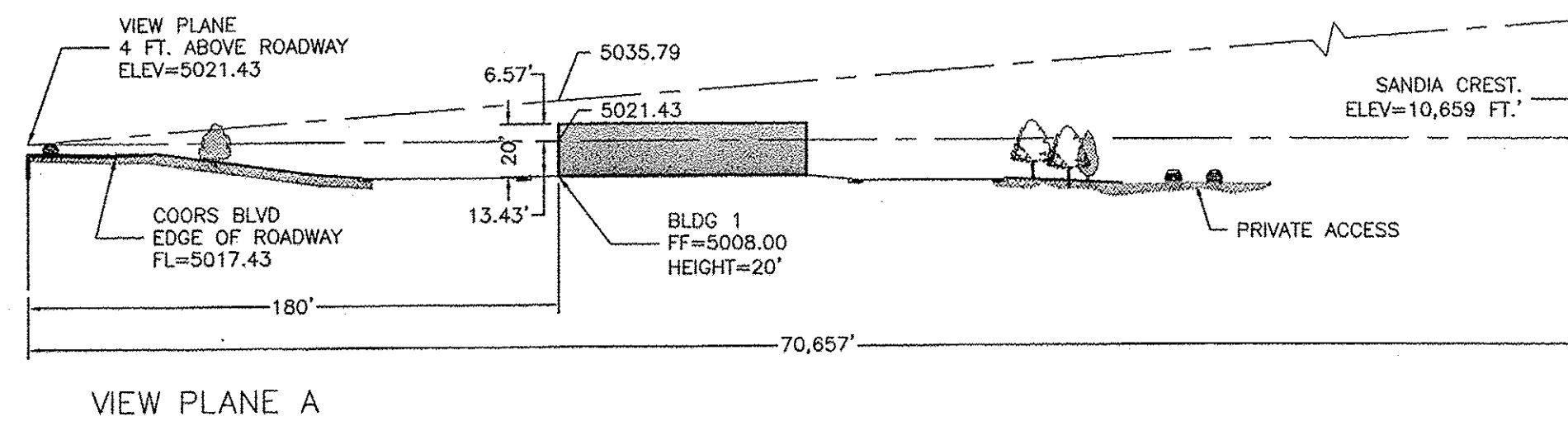
OFFICIAL NOTICE OF DECISION
NOVEMBER 20, 2003
PROJECT #1002371
PAGE 7 OF 7

VJC/SS/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113
Rick Linkous, Coors Trail, 2715 Bosque Del Sol NW, Albuquerque, NM 87120
Alexander Ostwald, Coors Trail, 6423 Bosque Meadows NW, Albuquerque, NM 87120
Eddie Costello, Taylor Ranch, 1711 Alameda NW, Ste J, Albuquerque, NM 87114
Jolene Wolfley, Taylor Ranch, 6804 Staghorn Dr. NW, Albuquerque, NM 87120
Jim Wolcott, Alban Hills, 6420 Camino del Arbol NW, Albuquerque, NM 87120
Jack Scott, Alban Hills, 6419 Camino del Arbol NW, Albuquerque, NM 87120



TRACT 1-A-1
ALBAN HILLS UNIT 1
Filed March 17, 2004 in Plat Book 2004G, Page 89



GENERAL NOTES:

1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
2. THIS SITE PLAN IS SUBJECT TO THE REGULATIONS OF THE COORS CORRIDOR PLAN AND ALL OTHER COA ORDINANCES/REGULATIONS.
3. PER THE CURRENT APPROVED SITE PLAN FOR SUBDIVISION (GENERAL NOTE E), THIS PLAN IS REQUIRED TO BE APPROVED BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE AND THE CITY ENGINEER AND DOES NOT REQUIRE EPC/DRB APPROVAL.
4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

CONSTRUCTION PHASES:

- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

SITE DATA

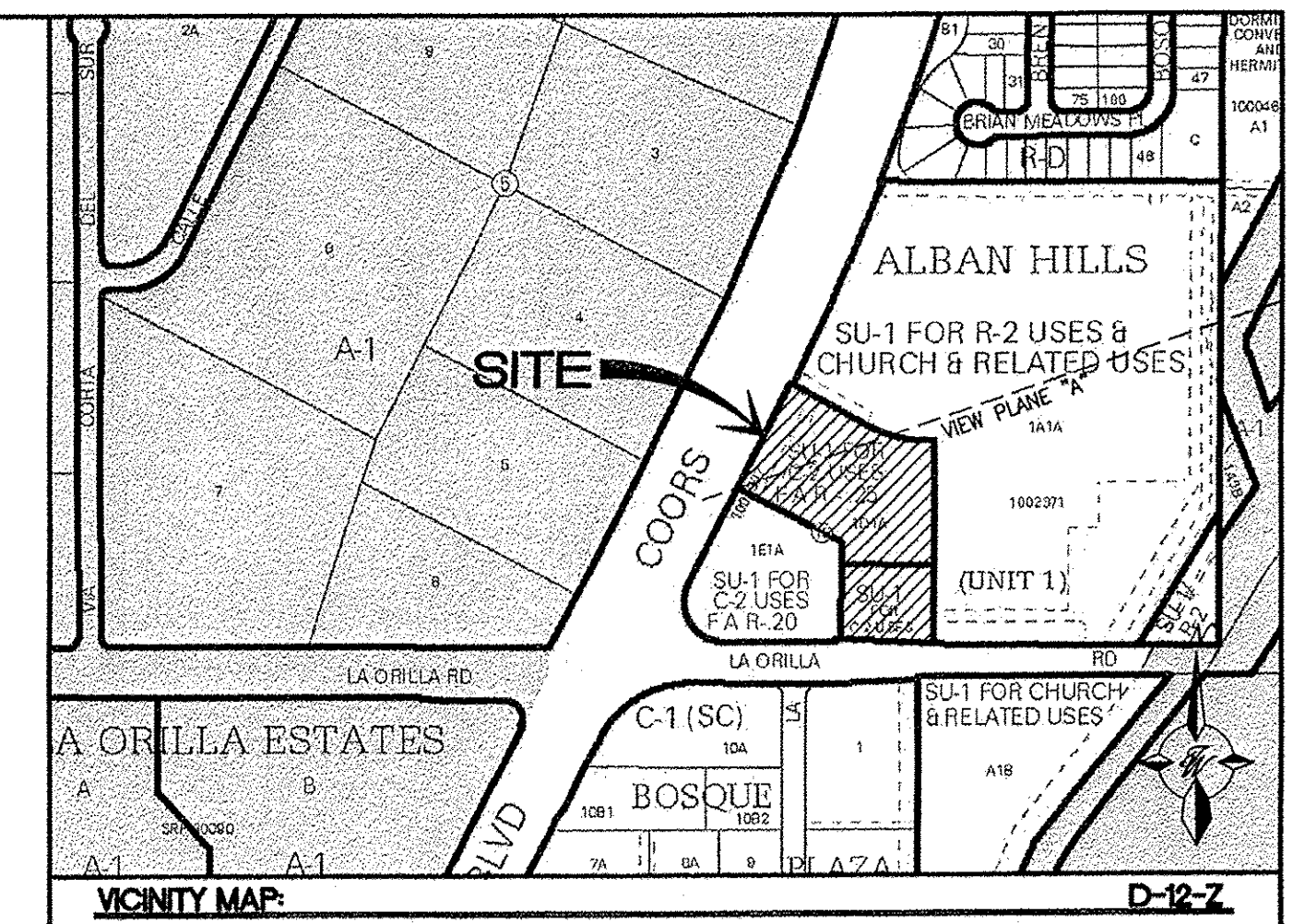
PROPOSED USAGE:	RETAIL
LOT AREA:	133,624 SF (3.06 ACRES)
BUILDING AREA:	17,988 SF
PARKING REQUIRED:	92 SPACES (18,408 SF/1 SPACE PER 200 SF)
PARKING PROVIDED:	203 SPACES (19% COMPACT - 8.3%)
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	6 STANDARD H/C SPACES 6 SPACES VAN ACCESSIBLE H/C SPACES 12 TOTAL
MC PARKING REQUIRED:	3 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
- (B) NEW BIKE RACK (5 SPACES PER LOCATION)
- (C) TRASH ENCLOSURE PER DETAIL SHEET C5
- (D) ADA RAMP PER COA STD DWG #2426
- (E) 6" CONCRETE SIDEWALK
- (F) EXISTING "EXIT ONLY" SIGN
- (G) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (H) EXISTING INGRESS/EGRESS TO REMAIN
- (I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
- (J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
- (K) MONUMENT SIGN PER DETAIL SHEET ELEV-1
- (L) SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
- (M) 4' WIDE VALLEY GUTTER PER COA STD DWG #2420
- (N) FUTURE OUTDOOR DINING/CUSTOMER WAITING AREA
- (O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. DETAIL SHEET
- L1. LANDSCAPING PLAN
- ELEV1. BUILDING ELEVATIONS



LEGAL DESCRIPTION:
TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	STREET LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING
	SITE LIGHTS

PROJECT NUMBER: 1003597

APPLICATION NUMBER: 10123

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

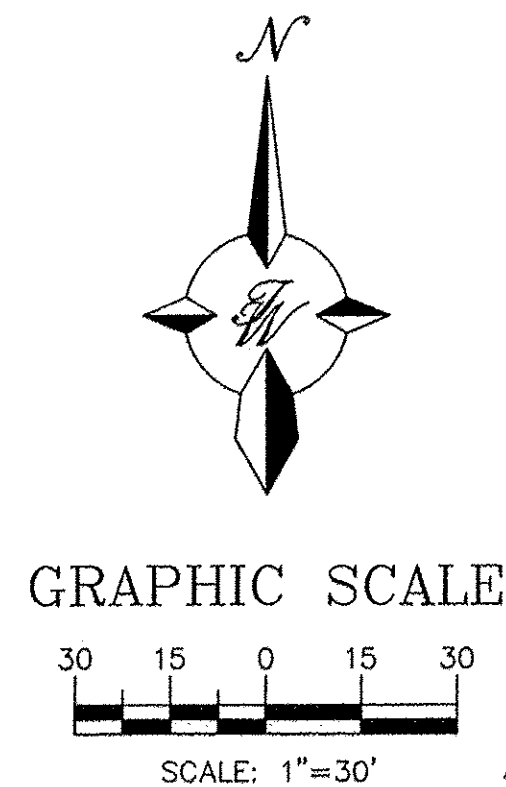
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Planning Director or His/Her Designee

City Engineer

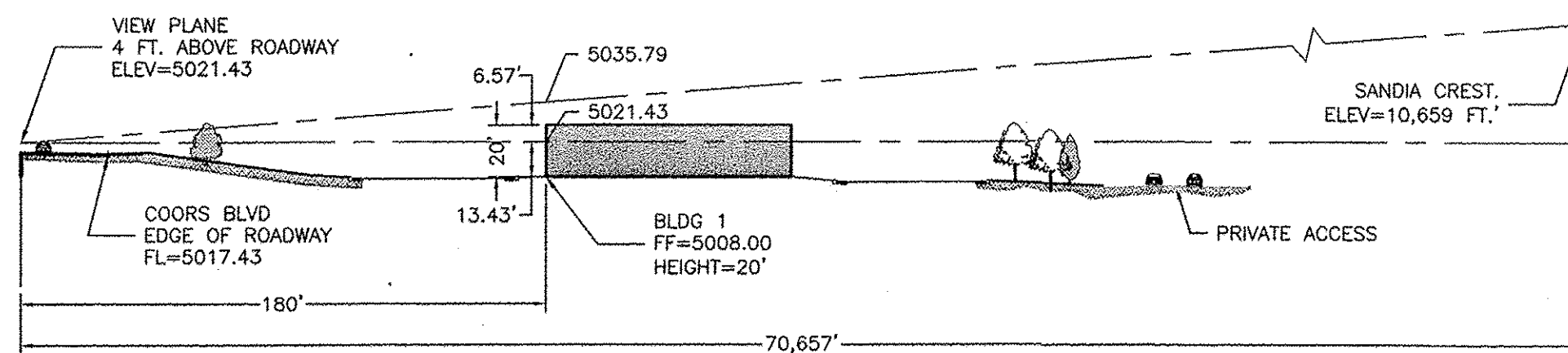
14/11/2012
Date
11-14-12
Date

	SAGEBRUSH PLAZA COORS BLVD & LA ORILLA RD	DRAWN BY JW
	SITE PLAN FOR BUILDING PERMIT	DATE 10/31/12
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2011058-SPE
		SHEET # C1
		JOB # 2011058



TRACT 1-A-1
ALBAN HILLS UNIT 1

Filed March 17, 2004 in Plat Book 2004C, Page 89



VIEW PLANE A

GENERAL NOTES:

1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
2. THIS SITE PLAN IS SUBJECT TO THE REGULATIONS OF THE COORS CORRIDOR PLAN AND ALL OTHER COA ORDINANCES/REGULATIONS.
3. PER THE CURRENT APPROVED SITE PLAN FOR SUBDIVISION (GENERAL NOTE E), THIS PLAN IS REQUIRED TO BE APPROVED BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE AND THE CITY ENGINEER AND DOES NOT REQUIRE EPC/DRB APPROVAL.
4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

CONSTRUCTION PHASES:

- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

SITE DATA

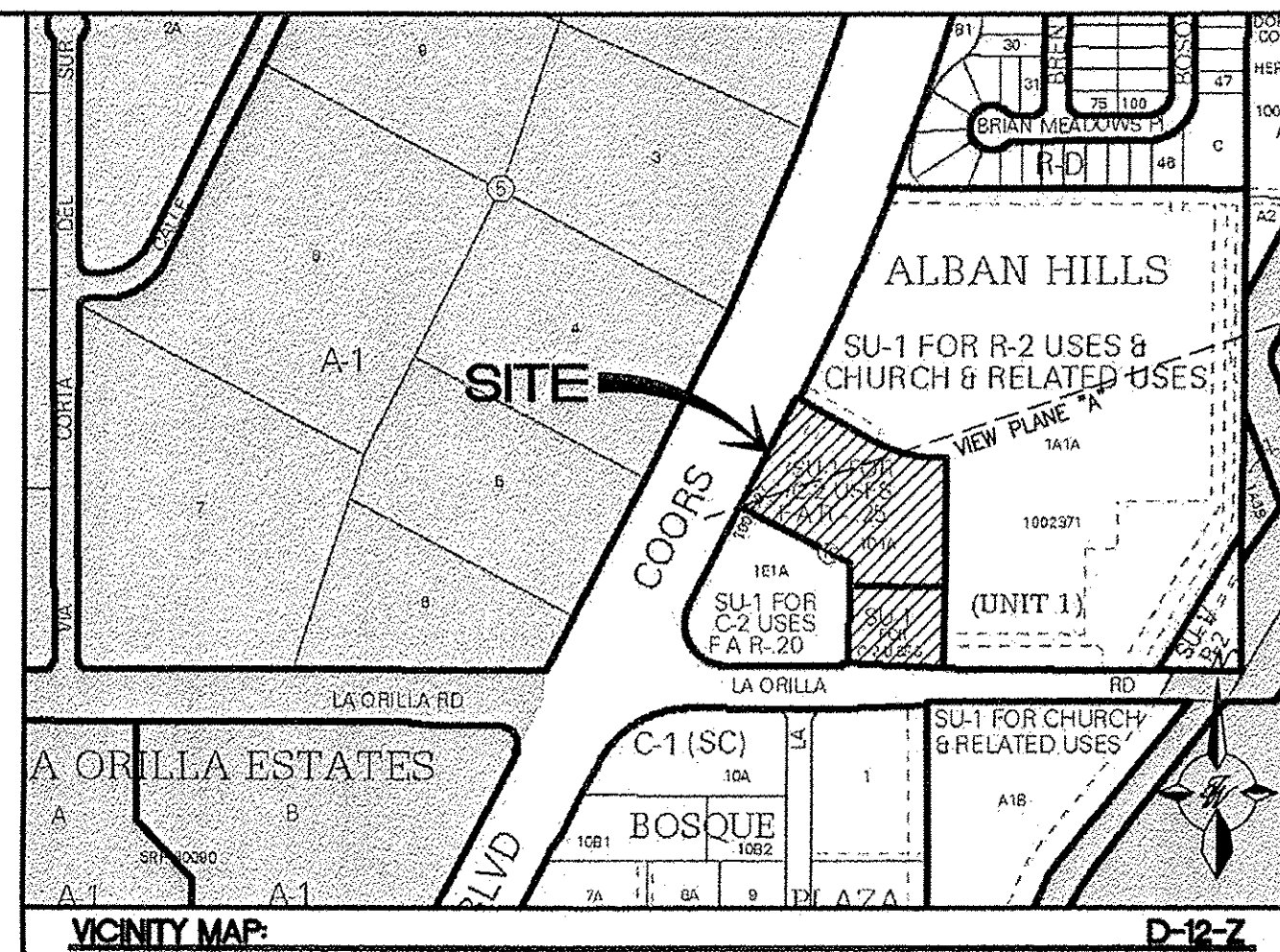
PROPOSED USAGE:	RETAIL
LOT AREA:	133,624 SF (3.06 ACRES)
BUILDING AREA:	17,988 SF
PARKING REQUIRED:	92 SPACES (18,408 SF/1 SPACE PER 200 SF)
PARKING PROVIDED:	203 SPACES (19 COMPACT - 8.3%)
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	6 STANDARD H/C SPACES 6 SPACES VAN ACCESSIBLE H/C SPACES 12 TOTAL
MC PARKING REQUIRED:	3 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
(B) NOT USED.
(C) NOT USED.
(D) ADA RAMP PER COA STD DWG #2426
(E) 6" CONCRETE SIDEWALK
(F) EXISTING "EXIT ONLY" SIGN
(G) HANDICAP PARKING SIGN PER DETAIL SHEET C5
(H) EXISTING INGRESS/EGRESS TO REMAIN
(I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
(J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
(K) NOT USED.
(L) SITE LIGHTING TO MATCH SAGEBRUSH CHUIRCH (TRACT 1-A-1)
(M) 4" WIDE VALLEY GUTTER PER COA STD DWG #2420
(N) NOT USED.
(O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA
(P) WHEEL BUMPER PER DETAIL THIS SHEET
(Q) INSTALL 4" CRUSHED AGGREGATE BASE COURSE IN FUTURE BUILDING PAD AREAS

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
C2. GRADING AND DRAINAGE PLAN
C3. MASTER UTILITY PLAN
C4. DETAIL SHEET
L1. LANDSCAPING PLAN
ELEV1. BUILDING ELEVATIONS



LEGAL DESCRIPTION:

TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

LEGEND

- CURB & GUTTER
--- BOUNDARY LINE
--- EASEMENT
--- CENTERLINE
--- RIGHT-OF-WAY
--- BUILDING
--- SIDEWALK
--- SCREEN WALL
--- RETAINING WALL
--- STREET LIGHTS
--- LANE
--- STRIPING
--- EXISTING CURB & GUTTER
--- EXISTING BOUNDARY LINE
--- EXISTING SIDEWALK
--- EXISTING LANE
--- EXISTING STRIPING
--- SITE LIGHTS

PROJECT NUMBER: 1003597
APPLICATION NUMBER: 10123

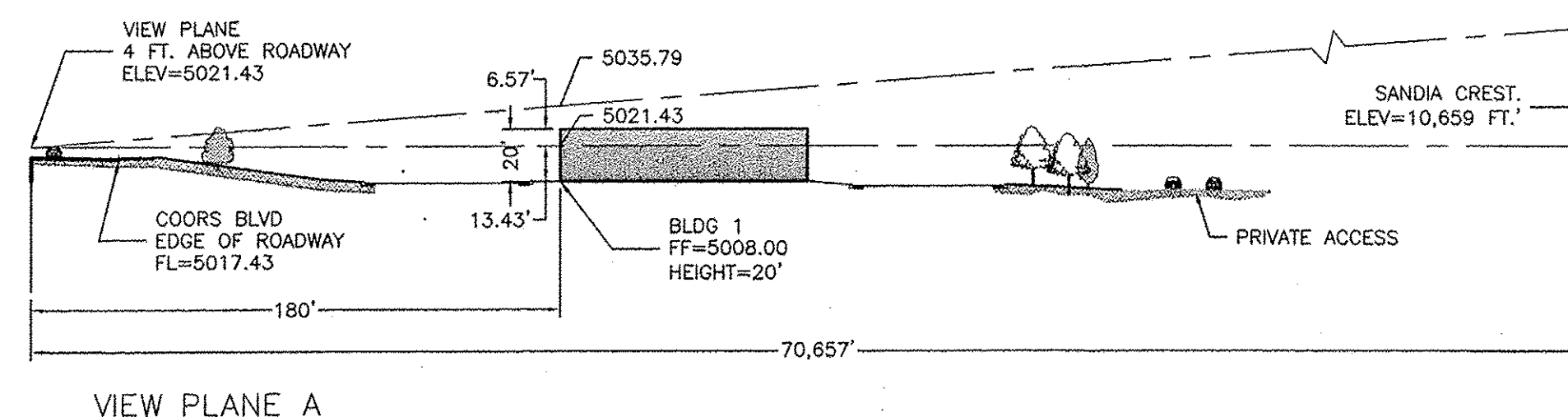
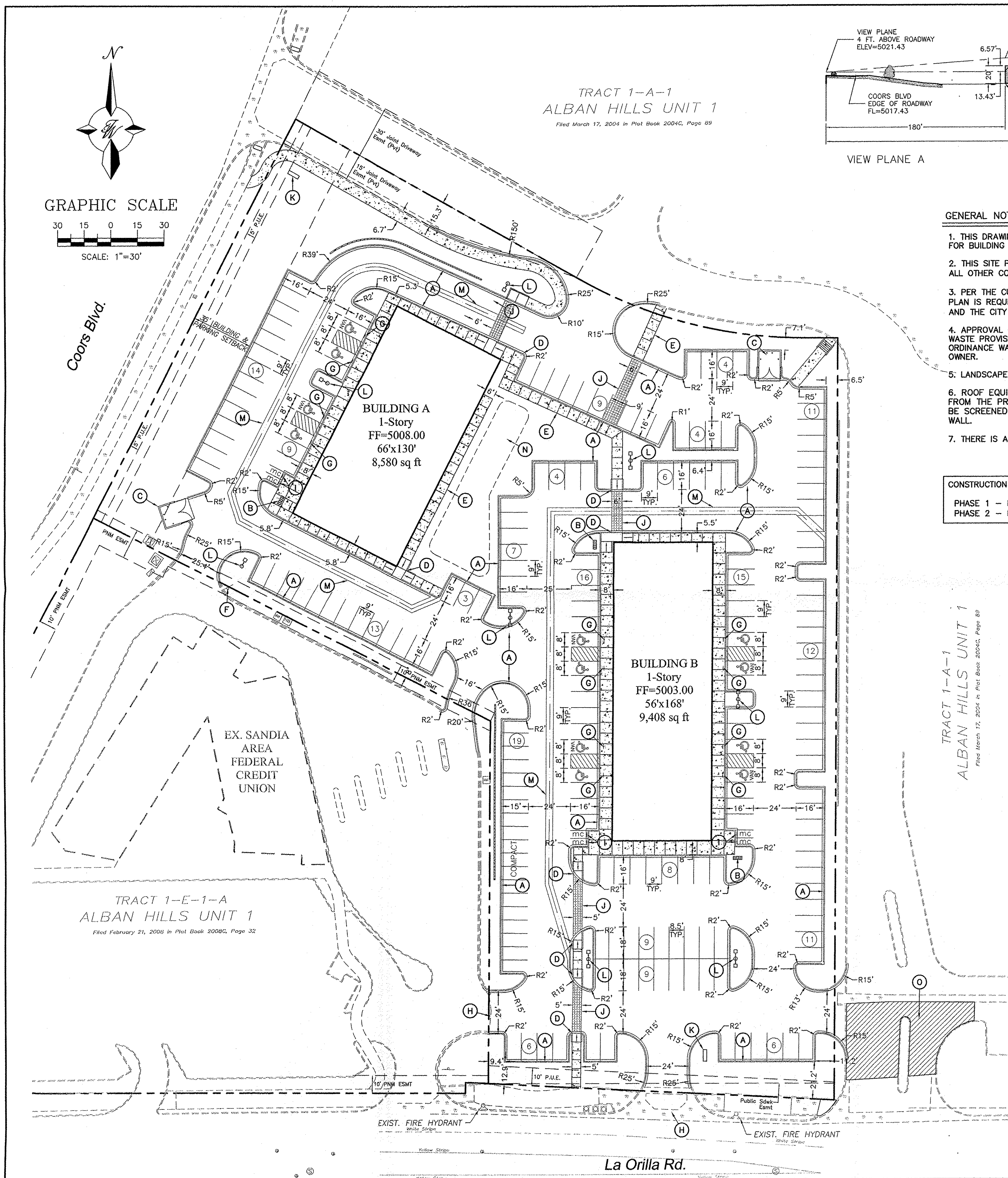
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11/09/12, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Planning Director or His/Her Designee Date 11/09/12
City Engineer Date 11/14/12

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SAGEBRUSH PLAZA COORS BLVD & LA ORILLA RD PHASE 1 - SITE PLAN FOR BUILDING PERMIT TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY JW DATE 11/09/12 2011058-SPE-CD SHEET # C1a JOB # 2011058
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GENERAL NOTES:

1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
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7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

CONSTRUCTION PHASES:

- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

SITE DATA

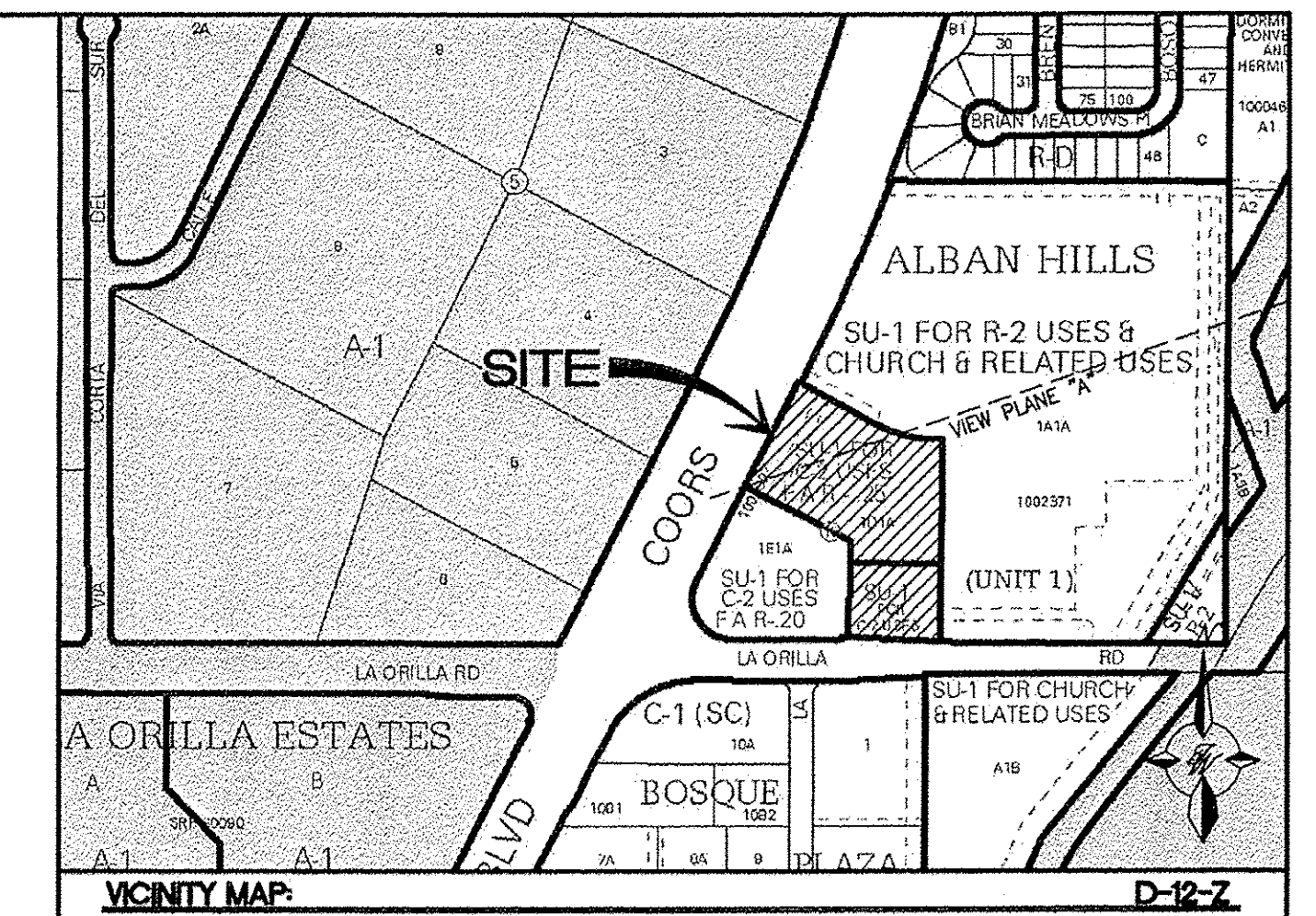
PROPOSED USAGE:	RETAIL
LOT AREA:	133,624 SF (3.06 ACRES)
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PARKING REQUIRED:	92 SPACES (18,408 SF/1 SPACE PER 200 SF)
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MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

KEYED NOTE:

- STANDARD CURB PER COA STD DWG #2415A
- NEW BIKE RACK (5 SPACES PER LOCATION)
- TRASH ENCLOSURE PER DETAIL SHEET C5
- ADA RAMP PER COA STD DWG #2426
- 6" CONCRETE SIDEWALK
- EXISTING "EXIT ONLY" SIGN
- HANDICAP PARKING SIGN PER DETAIL SHEET C5
- EXISTING INGRESS/EGRESS TO REMAIN
- MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
- PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
- MONUMENT SIGN PER DETAIL SHEET ELEV-1
- SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
- 4' WIDE VALLEY GUTTER PER COA STD DWG #2420
- FUTURE OUTDOOR DINING/CUSTOMER WAITING AREA
- DEF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA

INDEX TO DRAWINGS

- SITE PLAN FOR BUILDING PERMIT
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- DETAIL SHEET
- LANDSCAPING PLAN
- ELEV. BUILDING ELEVATIONS



LEGAL DESCRIPTION:

TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

PROJECT NUMBER: 1003597

APPLICATION NUMBER: 10123

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Planning Director or His/Her Designee _____ Date _____
City Engineer _____ Date _____

ENGINEER'S SEAL 	SAGEBRUSH PLAZA COORS BLVD & LA ORILLA RD PHASE 2 - SITE PLAN FOR BUILDING PERMIT	DRAWN BY JW
		DATE 10/31/12
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2011058-SPE
		SHEET # C1b
RONALD R. BOHANNAN P.E. #7868		JOB # 2011058

COBBLESTONE PER LANDSCAPE PLAN

RETAINING WALL

1'

3'

6'



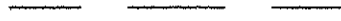
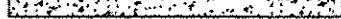
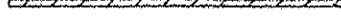

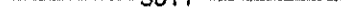






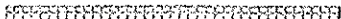

3'

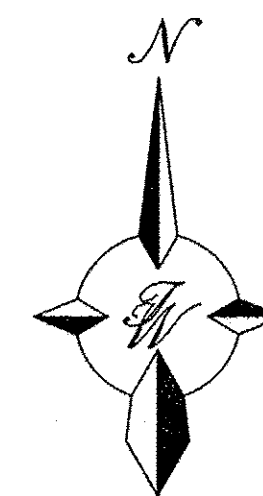
R

Drainage Calculations: NTS

Known:	Calculated:
S=0.90%	Qcalc = $A(1.486/n) \cdot (R^{0.67}) \cdot (S^{0.5})$
A=3.0 SF	Qcalc = $3.0(1.486/0.025) \cdot (0.47^{0.67}) \cdot (0.009^{0.5})$
Wp=6.32'	Qcalc = 10.20 cfs
R=0.47	
n=0.025	
Q100=8.48 cfs	

LEGEND

- | | |
|---|---|
|  | CURB & GUTTER |
|  | BOUNDARY LINE |
|  | EASEMENT |
|  | SIDEWALK |
|  | RETAINING WALL |
|  | CONTOUR MAJOR |
|  | CONTOUR MINOR |
|  | SPOT ELEVATION |
|  | GRADE ELEVATION @ TOP OF WALL |
|  | GRADE ELEVATION @ BOTTOM OF WALL |
|  | FLOW ARROW |
|  | EXISTING CURB & GUTTER |
|  | EXISTING CONTOUR MAJOR |
|  | EXISTING CONTOUR MINOR |
|  | CONCRETE PEDESTRIAN CROSSING
(2% MAX. CROSS SLOPE) |



GRAPHIC SCALE



SCALE: 1"=30'

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide the drainage management plan for the approval of the Building Permit and the Site Development Plan for Building Permit. The site plan for the property reflects two new retail buildings and associated paving and landscaped areas. The site is located at the northeast corner of Coors Blvd and La Orilla Rd. The site contains approximately 3.08 acres.

EXISTING HYDROLOGIC CONDITIONS

Currently, the site is undeveloped and generally slopes from northwest to southeast. The site is bounded by Sagesburg Church to the north and east, Sandia Area Federal Credit Union to the southwest, Coors Blvd to the west, and La Orilla Rd to the south. Per the approved Drainage Report for Hoffmantom West Church (now Sagesburg Church) by Tierra Vista dated 12/28/05, all drainage from this development and the Sandia Area Federal Credit Union surface drain to a pond provided by the church via a concrete swale in the church parking lot and La Orilla Rd. Currently, the total 100-Yr, 6-hr discharge from the site and a portion of the Credit Union (Basin 1) is 9.62 cfs per the calculations shown on this sheet. Basin 2 is a small area that drains directly to La Orilla Rd and consists of 0.17 cfs.

PROPOSED HYDROLOGIC CONDITIONS

Per the calculations on this sheet, the total 100-Yr, 6-Hr discharge from the site and a portion of the Credit Union is 14.35cfs. As stated above, the approved drainage management plan for Hoffmantown West (Sagebrush) Church to our east accepts our fully developed flows across their parking lot and via La Orilla Rd. The drainage then drains into a water inlet/pond and ultimately connects to the Corrales Main Canal.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 Yr, 6-Hr storm and which meet City requirements. With this submittal, we are requesting drainage management plan approval for the Building Permit and the Site Development Plan for Building Permit.

Create new 6" High Water Break with Asphalt Overlay. Transition Grades to Match Existing. Scarify and Remove 1" Existing Asphalt, Place Tack Coat, and Place Asphalt in 3" Max Lifts.

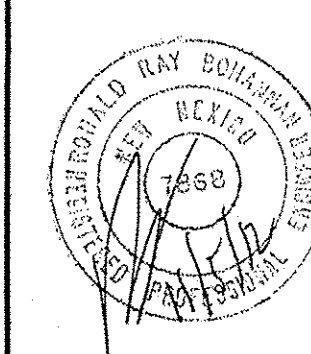
SECTION C-C

Drainage Calculations:

Known:	Calculated:
S=1.0%	$Q_{calc} = A(1.486/n) \cdot (R^{0.67}) \cdot (S^{0.5})$
A=8.75 SF	$Q_{calc} = 8.75(1.486/0.015) \cdot (0.25^{0.67}) \cdot (0.01^{0.5})$
Wp=35.61'	$Q_{calc} = 34.4 \text{ cfs}$
R=0.25	
n=0.015	
Q100=14.35 cfs	

ROUGH GRADING APPROVAL

DATE _____

ENGINEER'S
SEAL

RONALD R. BOHANNAN
P.E. #7868

SAGEBRUSH PLAZA
COORS BLVD & LA ORILLA RD

**GRADING AND
DRAINAGE PLAN**

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY:

DATE _____

2011058--GRE

SHEET #

C2

JOB #
2011058

LEGAL DESCRIPTION:

TRACTS B-2 AND B-3 HUBBELL HEIGHTS

NOTES:

1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

Existing Sagebrush Plaza Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone 1!												
BASIN	Area (SQ. FT.)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/cu ft.)	Q(100) (CFS)	WTE (inches)	V(100) ₃₆₀ (CF)	V(100) ₁₄₄₀ (CF)	V(100) _{100yr} (CF)
Basin 'Y'	160170	3.68	0.0%	75.0%	0.0%	25.0%	2.62	9.82	1.00	13281	16084	34633
Basin 'Z'	3671	0.08	0.0%	100.0%	0.0%	0.0%	2.03	0.17	0.67	205	205	694
TOTAL	163841	3.76						9.79		13486	16289	35331

Proposed Sagebrush Plaza Drainage Calculations

Ultimate Development Conditions Basin Data Table													
This table is based on the COA DPM Section 22.2, Zone 1													
BASIN	Area	Area	Land Treatment Percentages					Q(100)	Q(100)	WTE	V(100) ₂₀₀	V(100) ₁₀₀₀	V(100) ₁₀₀₀
	(SQ. FT)	(AC)	A	B	C	D	(cfs/ac)	(CFS)	(inches)	(CF)	(CF)	(CF)	
Basin 1'	160170	3.68	0.0%	20.0%	0.0%	80.0%	2.90	14.35	1.71	22824	31794	44180	
Basin 2'	3671	0.08	0.0%	100.0%	0.0%	0.0%	2.03	0.17	0.67	205	205	694	
TOTAL	163841	3.76						14.52		23029	31999	44875	

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

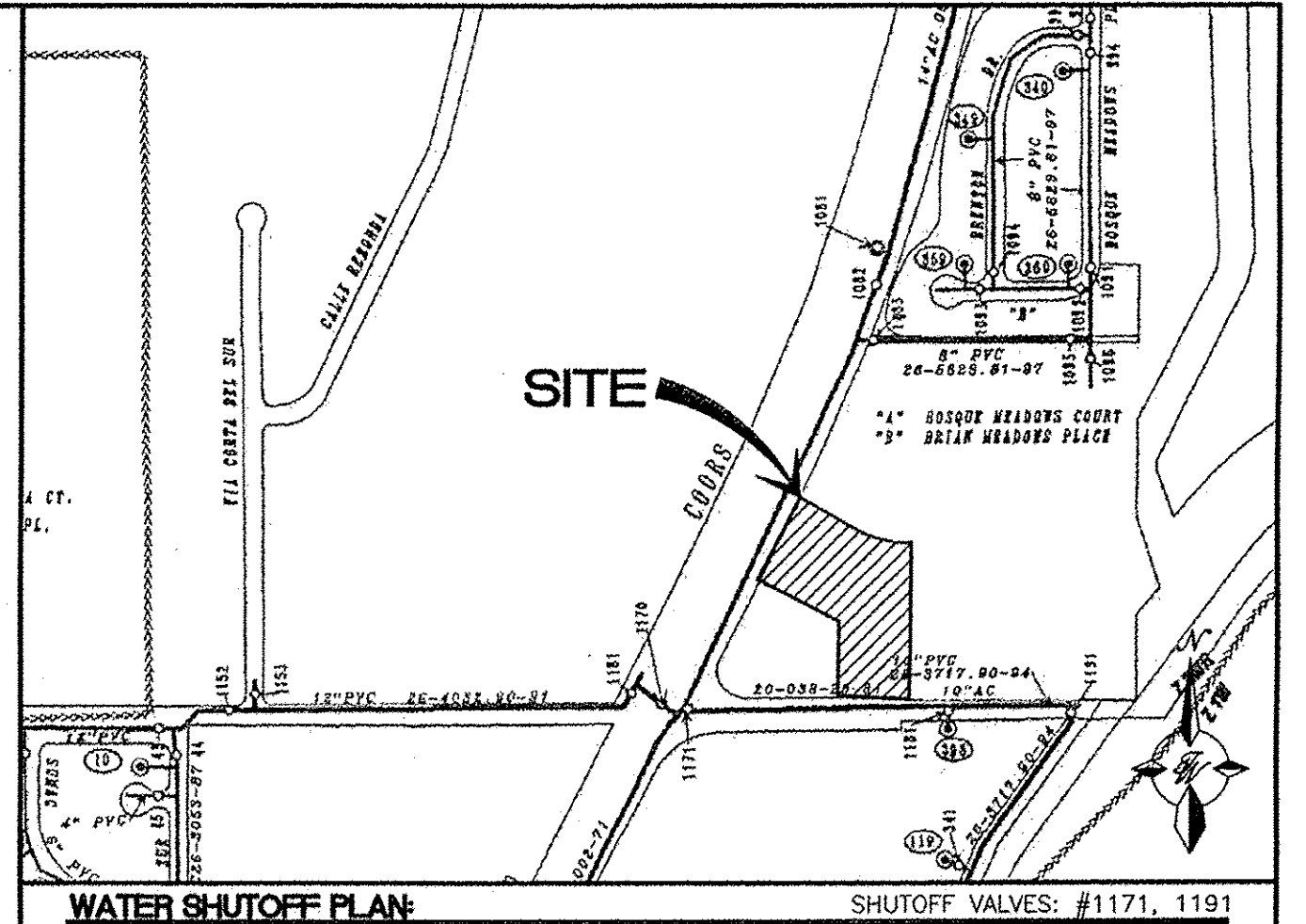
TRACT 1-A-1
ALBAN HILLS UNIT 1
Filed March 17, 2004 in Plot Book 2004G, Page 89

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD STORM SEWER LINE
	8" SAS SANITARY SEWER LINE
	8" WL WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE



NOTES:

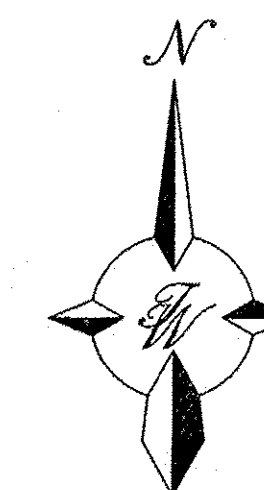
- ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.

GENERAL NOTES:

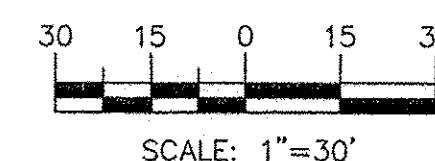
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
- ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
- SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



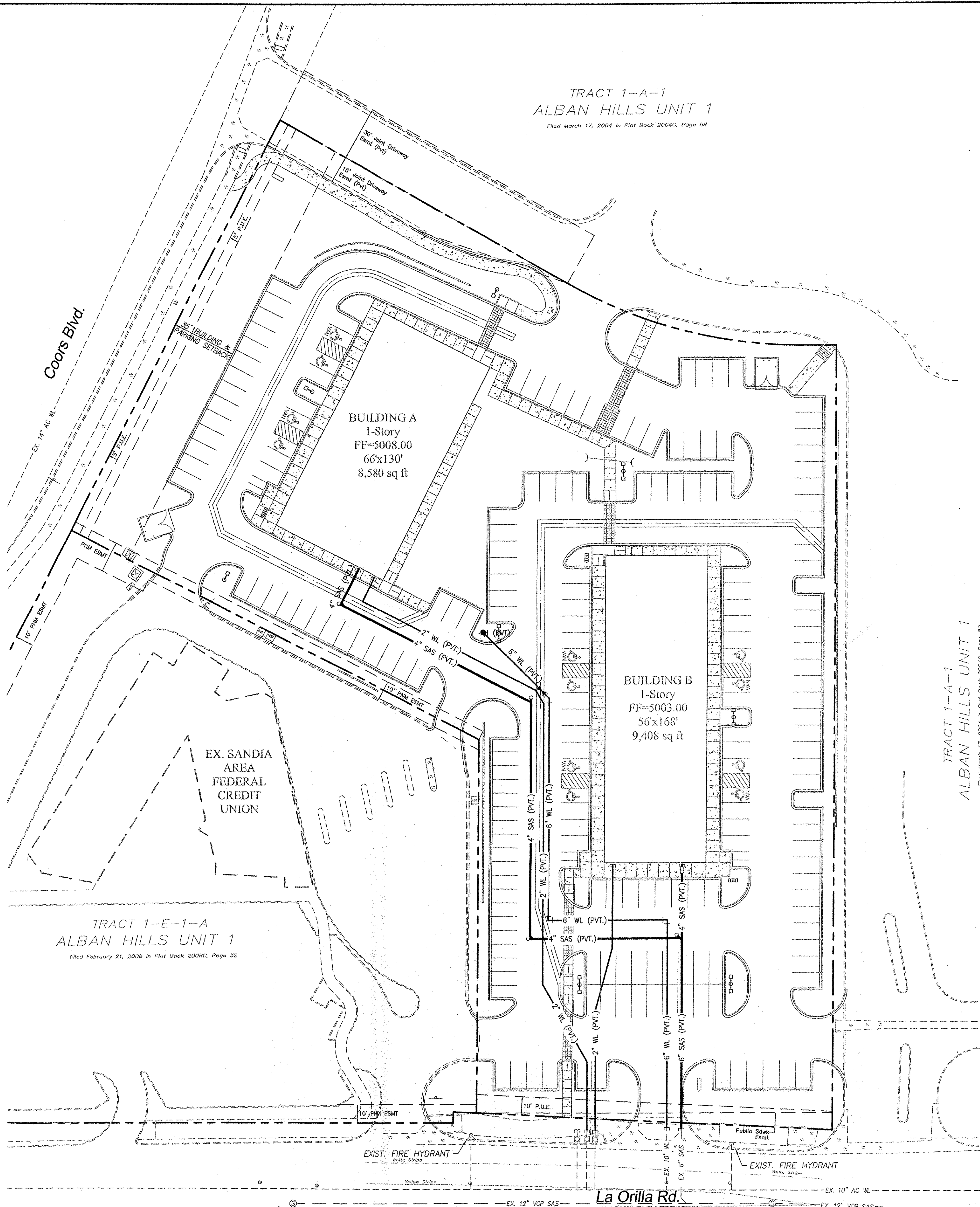
GRAPHIC SCALE

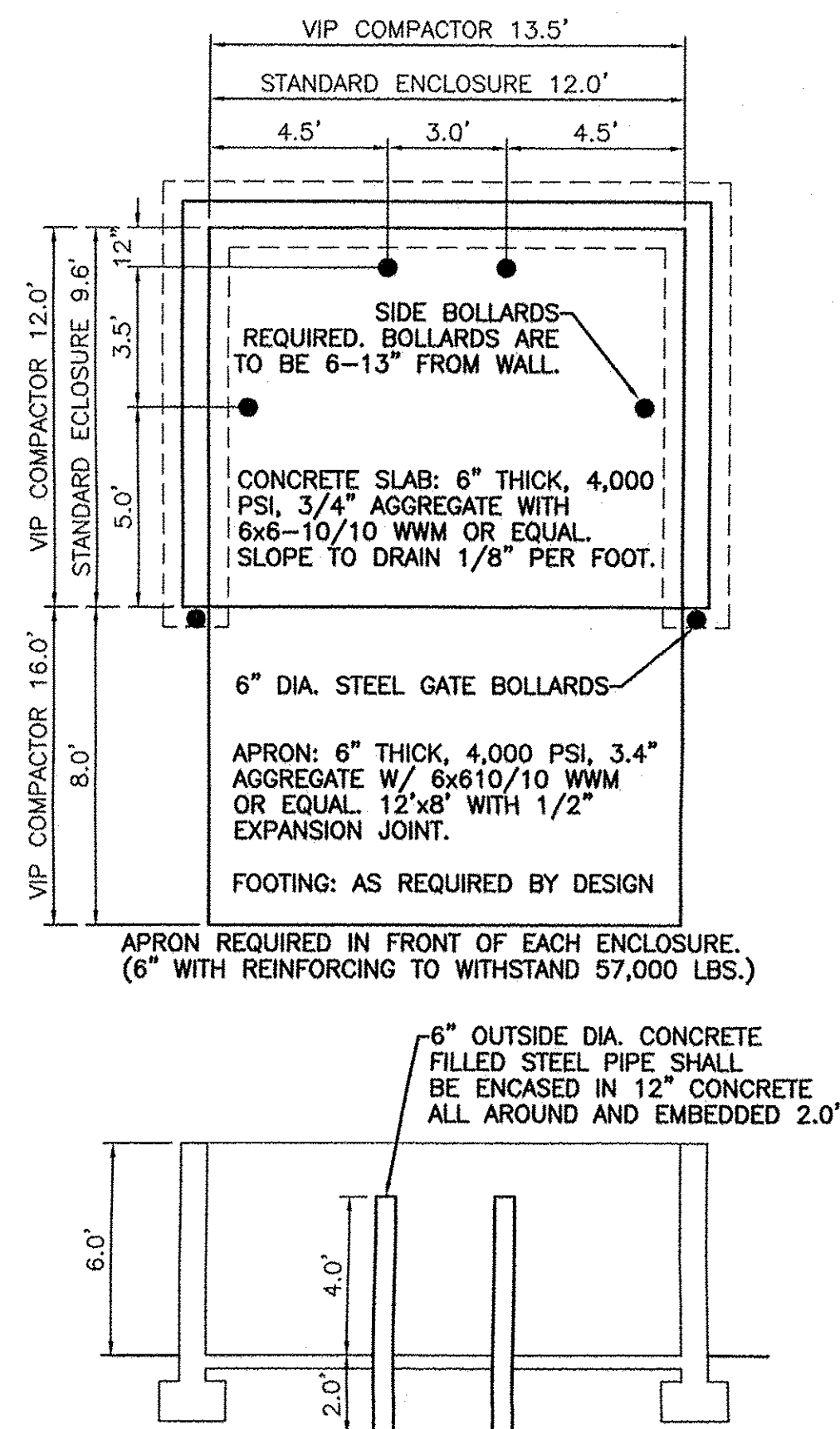


	SAGEBRUSH PLAZA COORS BLVD & LA ORILLA RD	DRAWN BY JW
	MASTER UTILITY PLAN	DATE 10/03/12
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2011058-MUE
		SHEET # C3
		JOB # 2011058

TRACT 1-E-1-A
ALBAN HILLS UNIT 1
Filed February 21, 2006 in Plot Book 2006G, Page 32

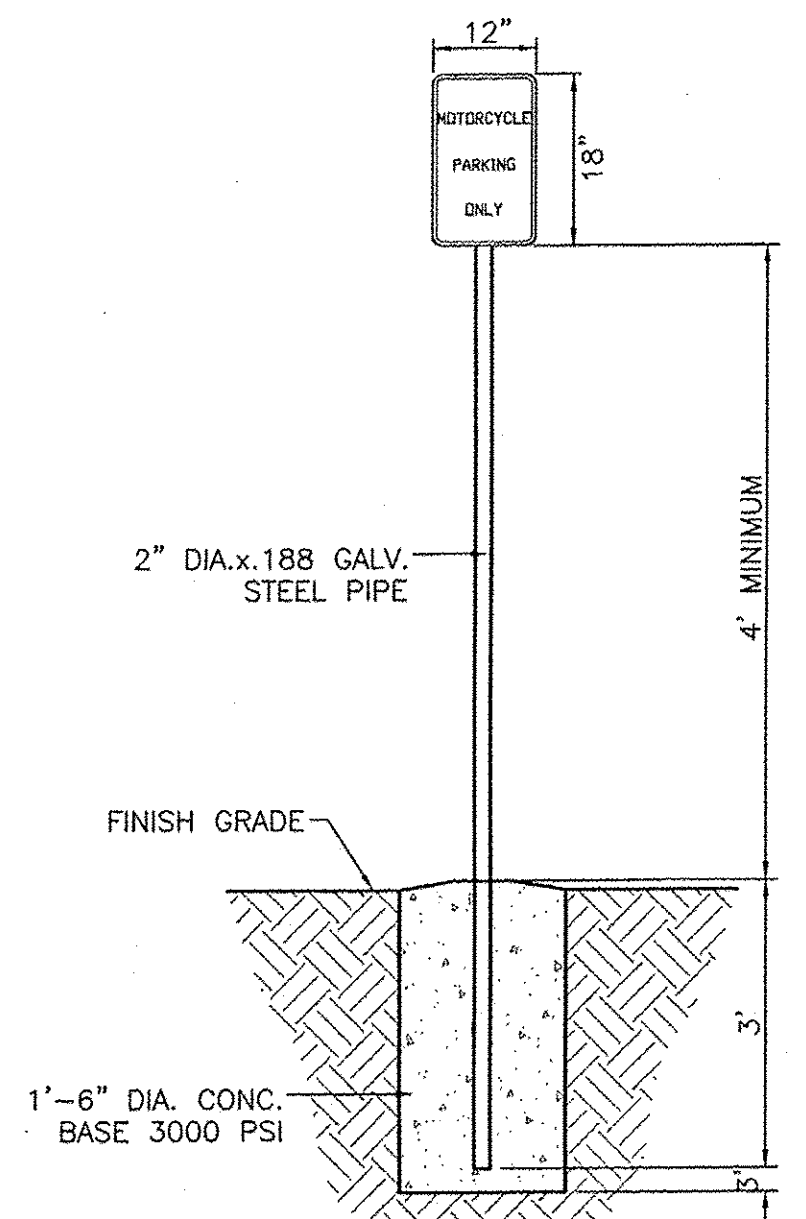
TRACT 1-A-1
ALBAN HILLS UNIT 1
Filed March 17, 2004 in Plot Book 2004G, Page 89



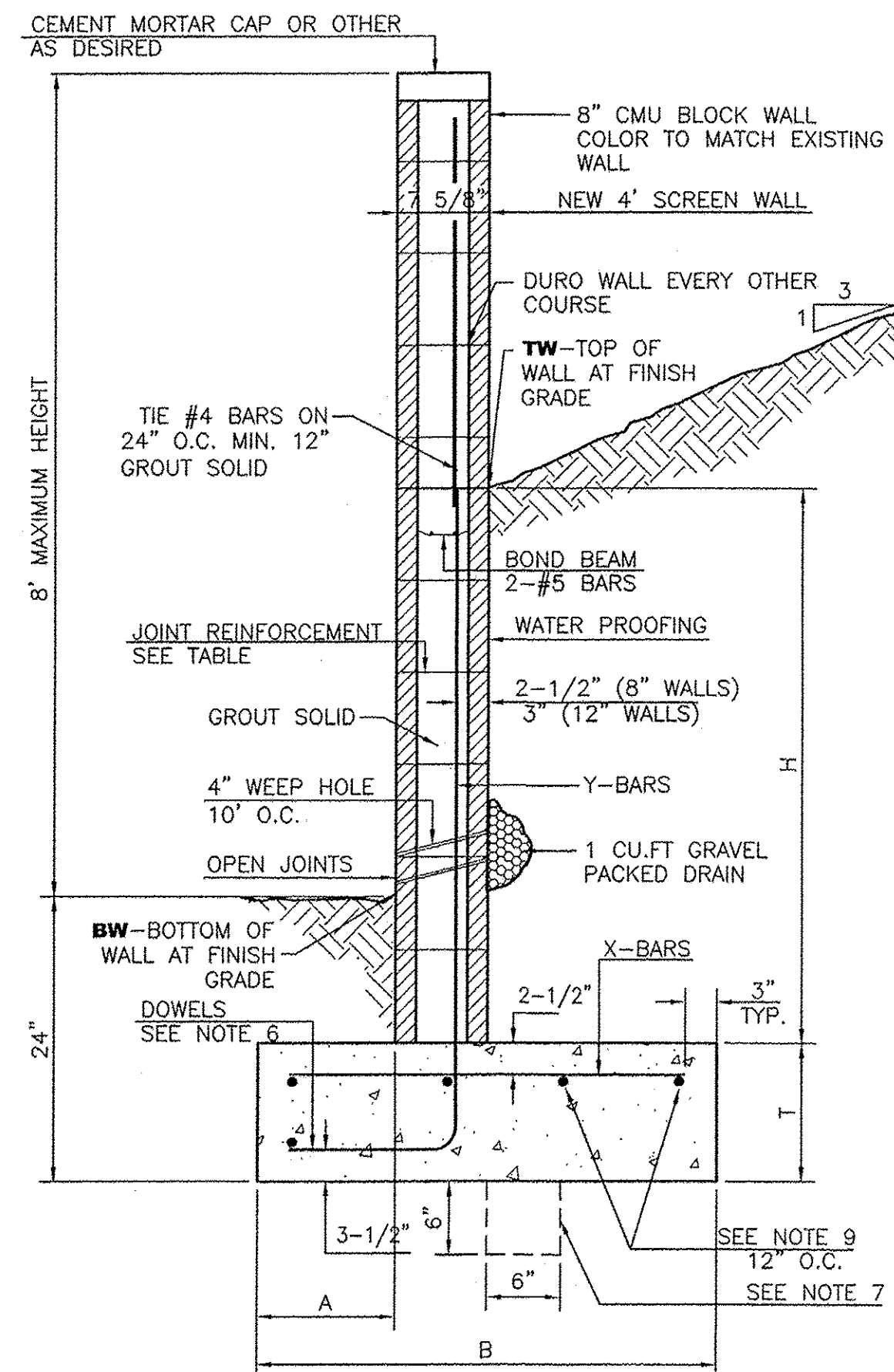


NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL
NTS



MOTORCYCLE PARKING SIGN
NTS



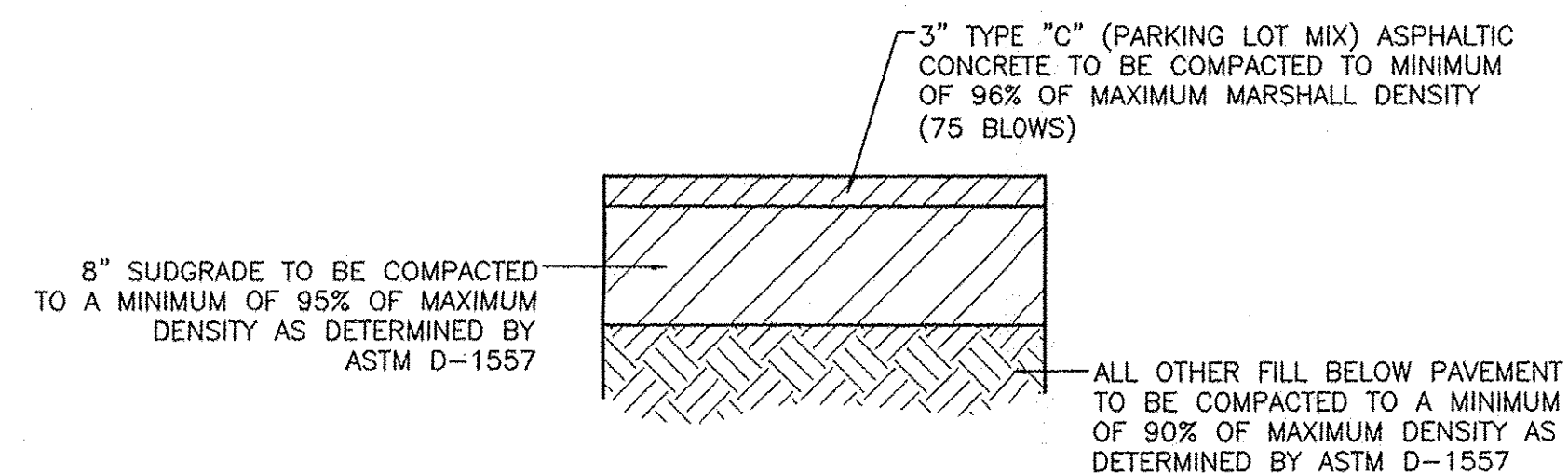
RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

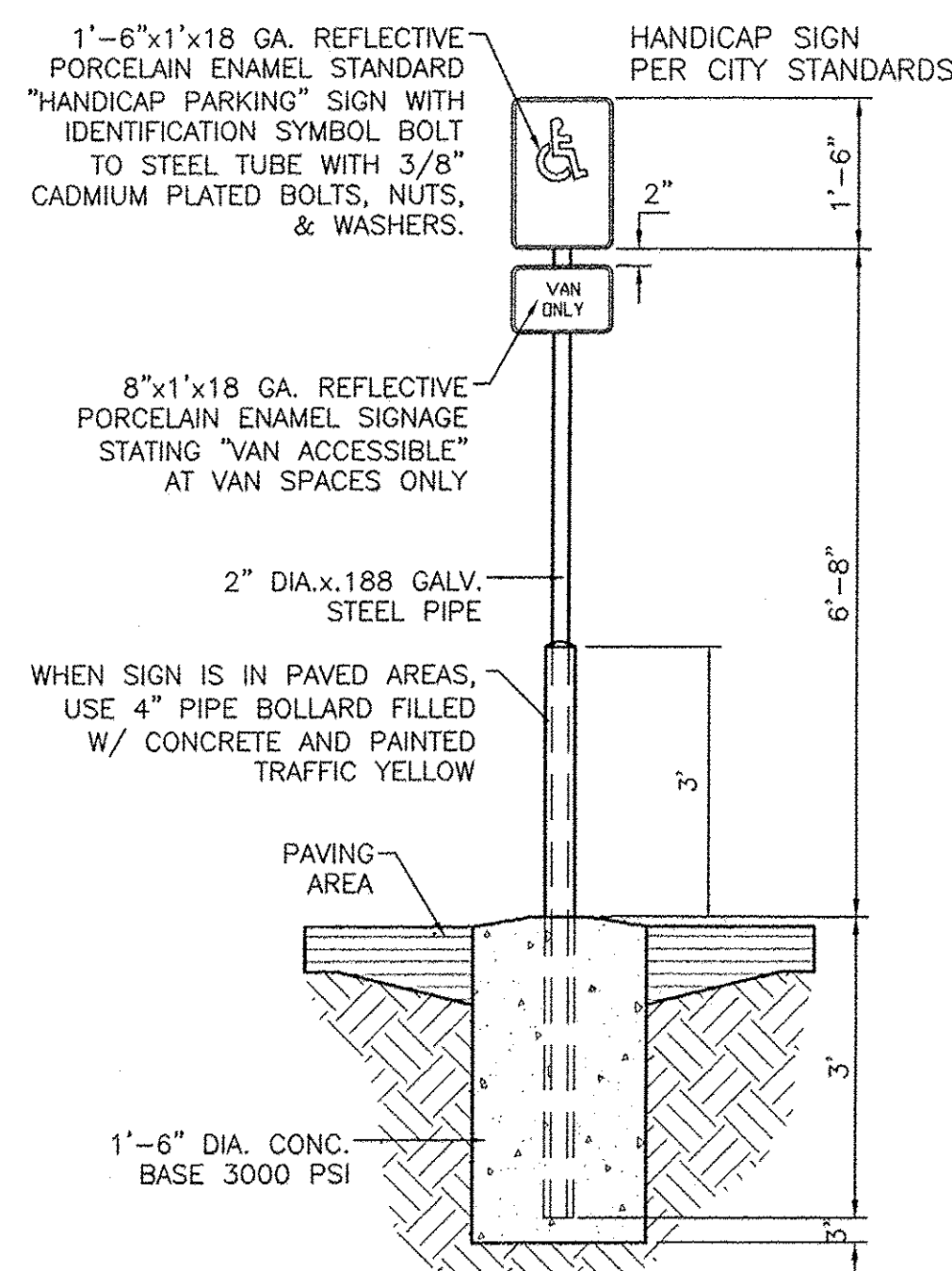
12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

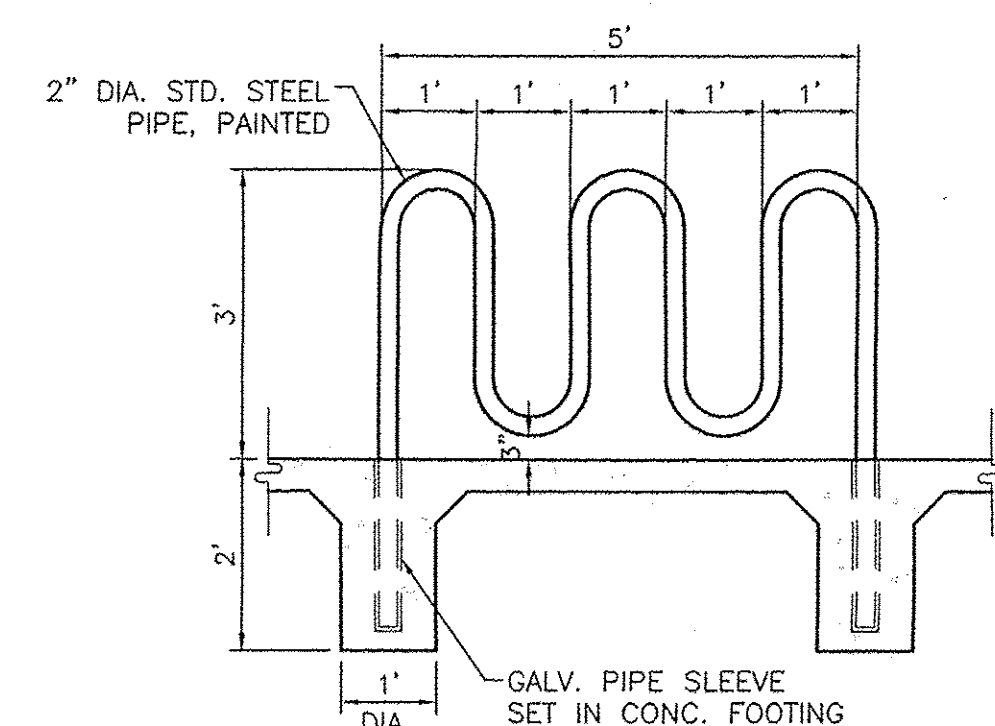
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



AUTOMOBILE PARKING TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY EARTHWORKS ENGINEERING GROUP, LLC

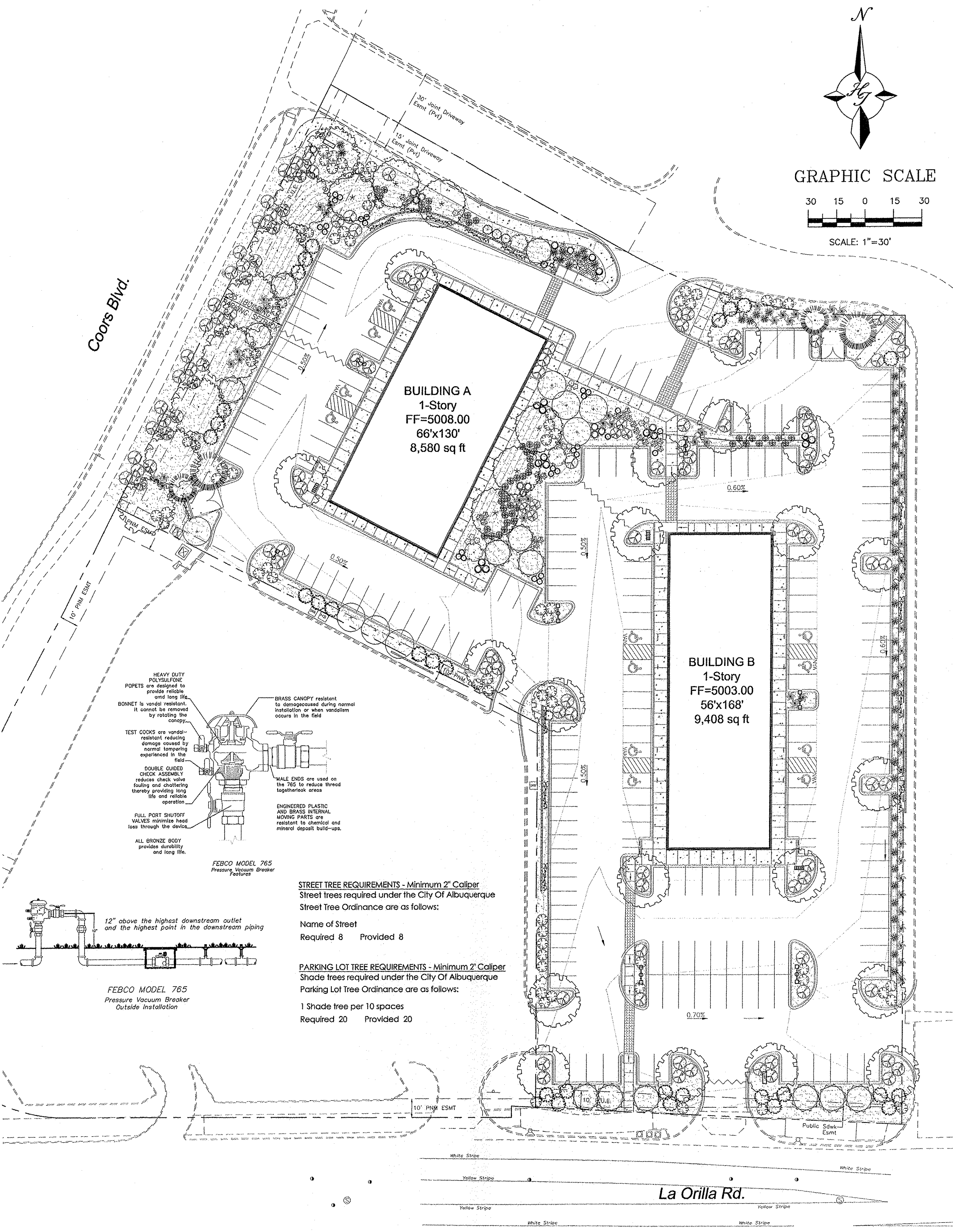


HANDICAP SIGN
NTS



BIKE RACK DETAIL
SCALE: 1/2"=1'

	SAGEBRUSH PLAZA		DRAWN BY
	COORS BLVD & LA ORILLA RD		JW
	DETAILS		DATE
			10/08/12
			2011058-DET
			SHEET #
			C4
			JOB #
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2011058	



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type 0 plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREES

- AUTUMN PURPLE ASH 8
Fraxinus americana
2" Cal., 12'-14" Inst./60' x 60' maturity
Water (M) Allergy (H) 0sf
- CHITALPA 20
Chilopsis x Catalpa
2" Cal., 12'-14" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- EASTERN REDBUD 6
Cercis canadensis
2" Cal., 8'-10" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- AUSTRIAN PINE 4
Pinus nigra
6'-8" Inst., 35' x 25' maturity
Water (M) Allergy (L) 0sf

SHRUBS/ORNAMENTAL TREES

- DESERT WILLOW 13
Chilopsis linearis
15 Gal., 4'-10" Inst./20' x 25' maturity
Water (L+) Allergy (L) 225sf
- NEW MEXICO OLIVE 8
Forestiera neomexicana
15 Gal., 4'-10" Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf

DESERT ACCENTS

- OCOTILLO 1
Fouquieria splendens
4'-6" Inst./15' x 10' maturity
Water (L) Allergy (L) 0sf
- AGAVE 4
Agave spp.
14'-18" Inst./4' x 4' maturity
Water (L+) Allergy (L) 16sf
- RED YUCCA 50
Hesperaloe parviflora
5 Gal., 18'-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf

GROUNDCOVERS

- HONEYSUCKLE 109
Lonicera japonica 'Halliana'
1 Gal., 6'-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 14sf
Unstaked-Groundcover
- GREYLEAF COTONEASTER 77
Cotoneaster glaucophyllus
5 Gal., 24"-4" Inst./2' x 9' maturity
Water (M) Allergy (L) 81sf

HARDSCAPES

- SANTA FE BROWN GRAVEL MULCH
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH

SHRUBS/ORNAMENTAL GRASSES

- BUTTERFLY BUSH 3
Buddleia davidii
5 Gal., 12'-3" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- PHOTINIA 28
Photinia fraseri
5 Gal., 2'-4" Inst./8' x 8' maturity
Water (M+) Allergy (L) 64sf
- INDIAN HAWTHORN 6
Raphiolepis indica
5 Gal., 18'-3" Inst./6' x 6' maturity
Water (M) Allergy (L) 36sf
- NANDINA 4
Nandina domestica
5 Gal., 2'-4" Inst./8' x 5' maturity
Water (M+) Allergy (L) 25sf
- MAIDENGRASS 61
Miscanthus sinensis
5 Gal., 18'-3" Inst./5' x 5' maturity
Water (M+) Allergy (L) 25sf
- SCOTCH BROOM 12
Cytisus scoparius
5 Gal., 18'-3" Inst./4' x 4' maturity
Water (M) Allergy (L) 16sf
- POTENTILLA 15
Potentilla fruticosa
1 Gal., 3'-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf
- MUGO PINE 18
Pinus mugo
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- REGAL MIST 46
Muhlenbergia capillaris
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- THREADGRASS 27
Stipa tenuissima
1 Gal., 3'-15" Inst./2' x 2' maturity
Water (L+) Allergy (L) 4sf
- CATMINT 28
Nepeta mussini
1 Gal., 3'-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

VINES

- BANK'S ROSE 14
Rosa banksiae
1 Gal., 6'-15" Inst./climbing to 20'
Water (M) Allergy (L)

* DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel Mulch over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

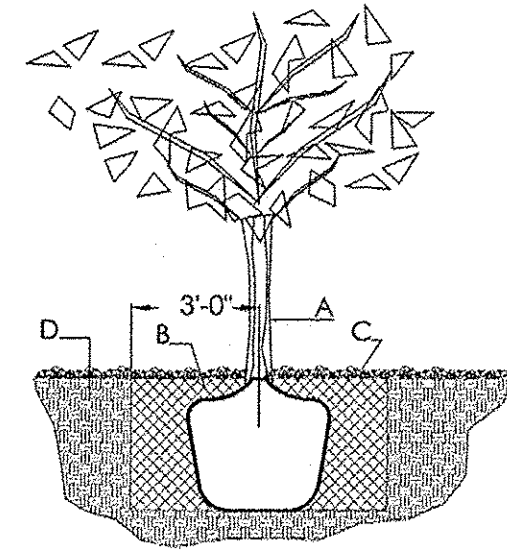
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	133624	square feet
TOTAL BUILDINGS AREA	18408	square feet
NET LOT AREA	115216	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	17282	square feet
TOTAL BED PROVIDED	32786	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	24589	square feet
TOTAL GROUNDCOVER PROVIDED	31014 (94%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	32786	square feet



TREE PLANTING DETAIL

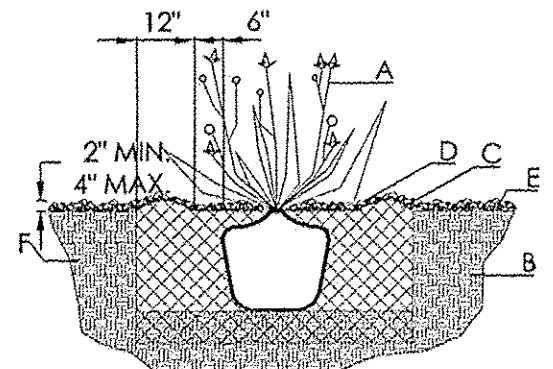
NTS

GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

NTS

GENERAL NOTES:


- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.


The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied, unless applicable fees have been paid on job order placed. All plants shall be sized per American Standard for Nursery Stock.



SAGEBRUSH CHURCH

LANDSCAPE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

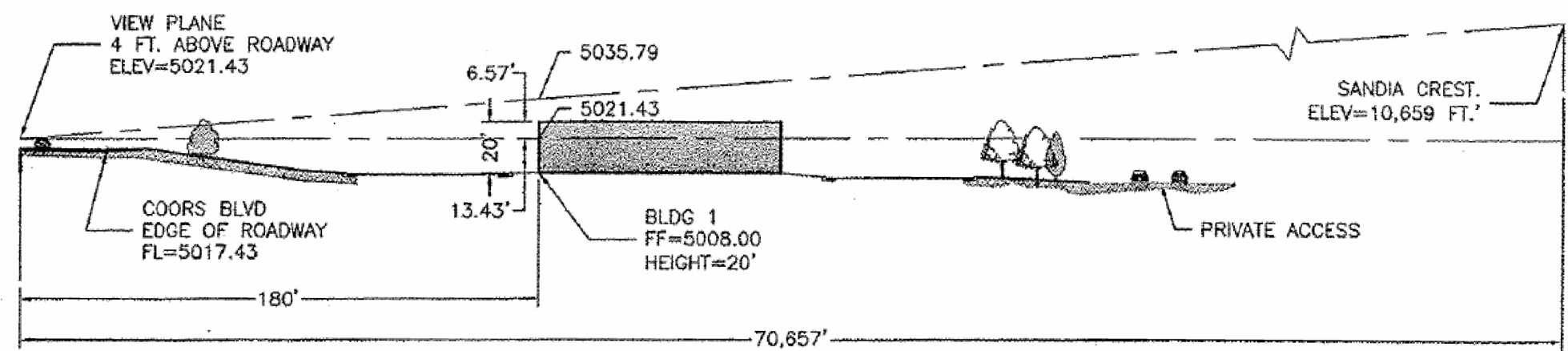
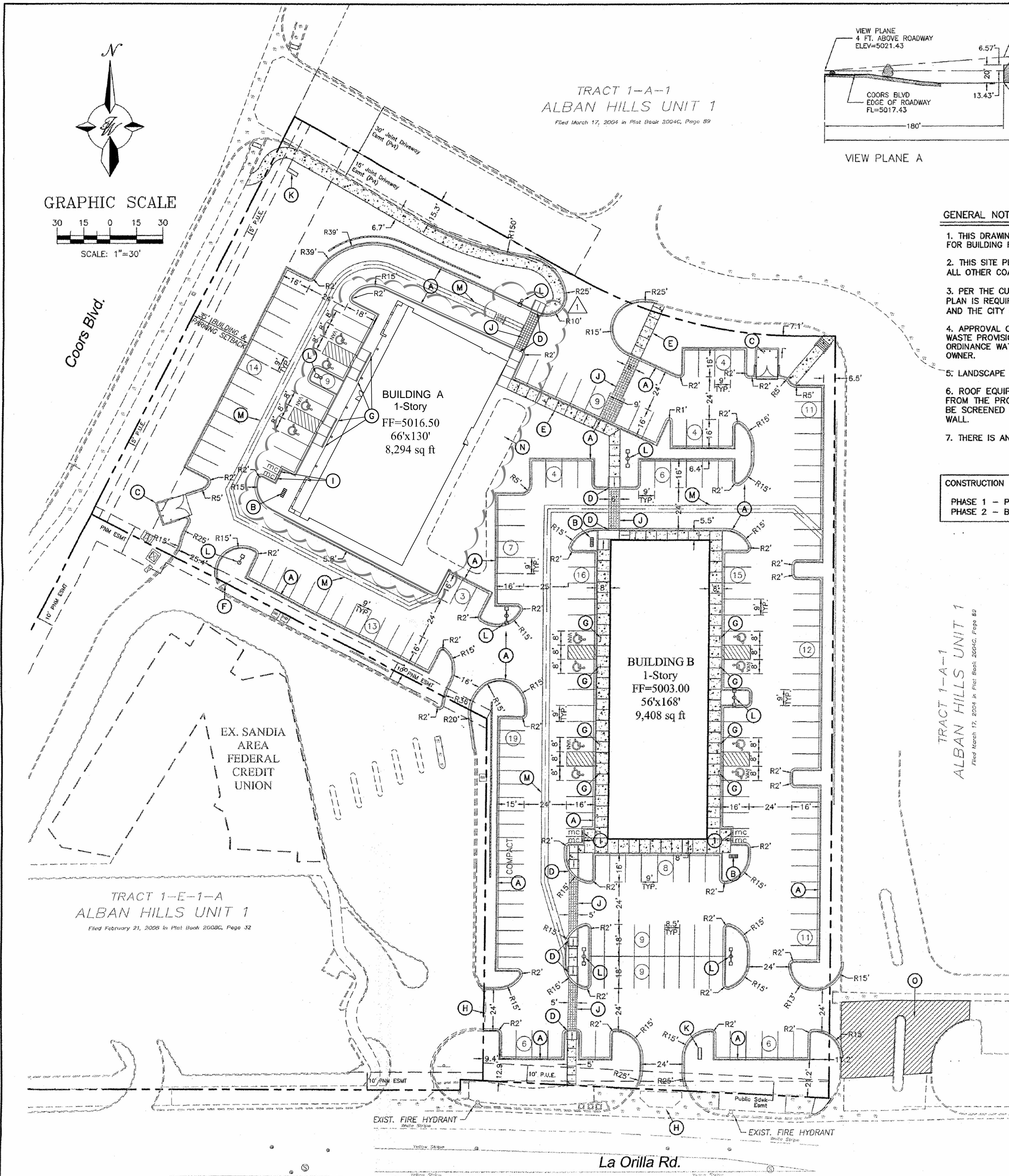
DRAWN BY
CMJ

DATE
8-28-12
REV: 2/11-1-12

SHEET #

L1

JOB #



VIEW PLANE A

GENERAL NOTES:

1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR BUILDING PERMIT.
2. THIS SITE PLAN IS SUBJECT TO THE REGULATIONS OF THE COORS CORRIDOR PLAN AND ALL OTHER COA ORDINANCES/REGULATIONS.
3. PER THE CURRENT APPROVED SITE PLAN FOR SUBDIVISION (GENERAL NOTE E), THIS PLAN IS REQUIRED TO BE APPROVED BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE AND THE CITY ENGINEER AND DOES NOT REQUIRE EPC/DRB APPROVAL.
4. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
5. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
7. THERE IS AN EXISTING TRANSIT LINE LOCATED ALONG COORS BLVD.

CONSTRUCTION PHASES:

- PHASE 1 - PARKING/LANDSCAPE/LIGHTING
PHASE 2 - BUILDINGS/LANDSCAPE/AMENITIES, SIGNAGE

SITE DATA

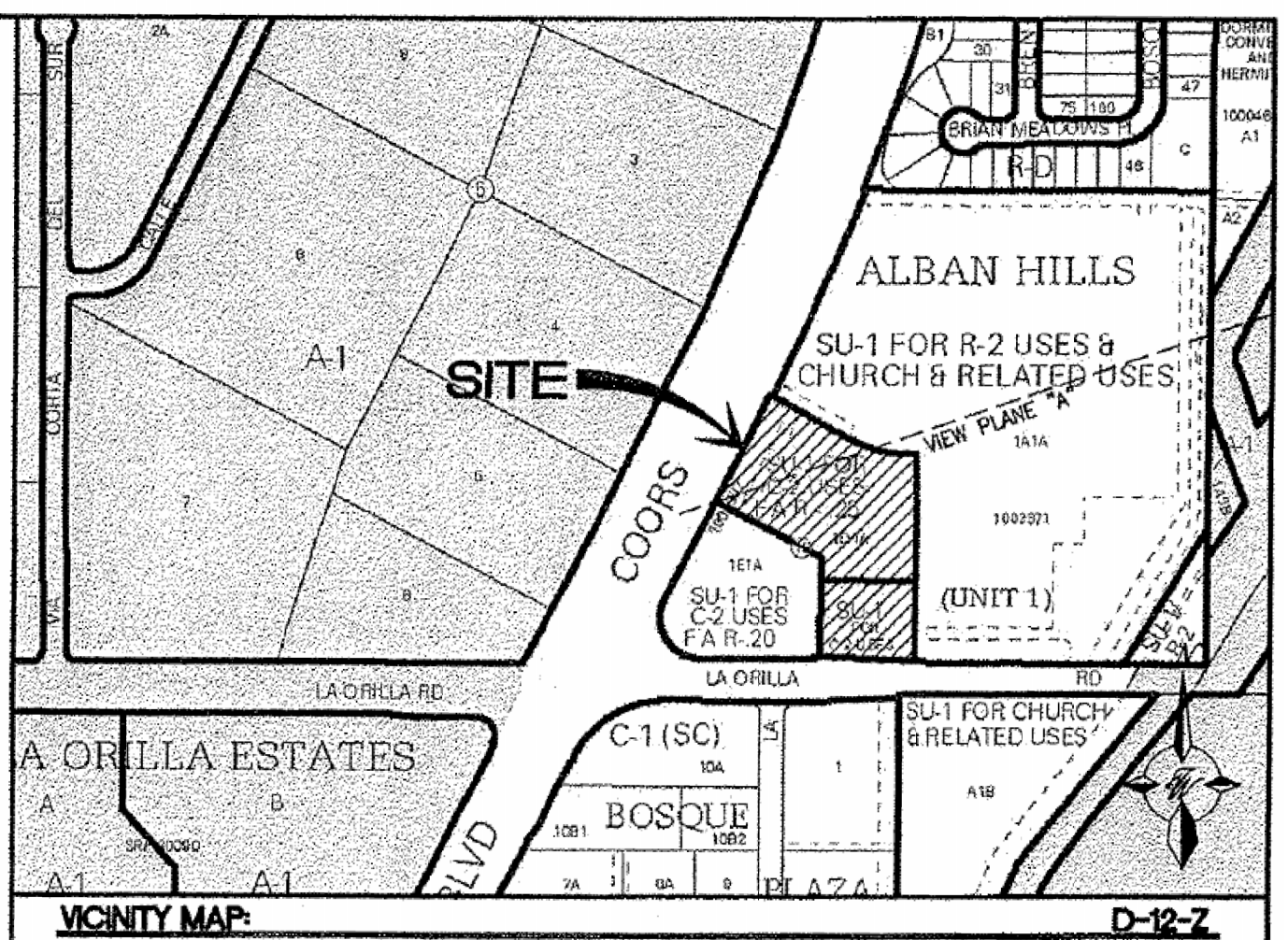
PROPOSED USAGE:	RETAIL
LOT AREA:	133,624 SF (3.06 ACRES)
BUILDING AREA:	17,988 SF
PARKING REQUIRED:	92 SPACES (18,408 SF/1 SPACE PER 200 SF)
PARKING PROVIDED:	203 SPACES (19 COMPACT - 8.3%)
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	6 STANDARD H/C SPACES 6 SPACES VAN ACCESSIBLE H/C SPACES 12 TOTAL
MC PARKING REQUIRED:	3 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	15 SPACES

KEYED NOTE:

- (A) STANDARD CURB PER COA STD DWG #2415A
- (B) NEW BIKE RACK (5 SPACES PER LOCATION)
- (C) TRASH ENCLOSURE PER DETAIL SHEET C5
- (D) ADA RAMP PER COA STD DWG #2426
- (E) 6" CONCRETE SIDEWALK
- (F) EXISTING "EXIT ONLY" SIGN
- (G) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (H) EXISTING INGRESS/EGRESS TO REMAIN
- (I) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C5
- (J) PEDESTRIAN PATHWAY, WIDTH VARIES (STAMPED CONCRETE)
- (K) MONUMENT SIGN PER DETAIL SHEET ELEV-1
- (L) SITE LIGHTING TO MATCH SAGEBRUSH CHURCH (TRACT 1-A-1)
- (M) 4' WIDE VALLEY GUTTER PER COA STD DWG #2420
- (N) FUTURE OUTDOOR DINING/CUSTOMER WAITING AREA
- (O) REF. GRADING PLAN FOR ASPHALT OVERLAY THIS AREA

INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. DETAIL SHEET
- L1. LANDSCAPING PLAN
- ELEV1. BUILDING ELEVATIONS



LEGAL DESCRIPTION:

TRACT 1-D-1-A, BLOCK 15, ALBAN HILLS UNIT 1

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- SITE LIGHTS

PROJECT NUMBER: 1003597

APPLICATION NUMBER: 10123

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Planning Director or His/Her Designee: [Signature] Date: 11/14/12
City Engineer: [Signature] Date: 11/14/12

1 REVISED BUILDING / CROSSWALK 11-14-2023

ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

SAGEBRUSH PLAZA
COORS BLVD & LA ORILLA RD

SITE PLAN FOR
BUILDING PERMIT

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
JW
DATE
10/31/12
2011058-SPE
SHEET #
C1
JOB #
2011058