



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Reduce the existing building area to include a two tenant space and remove 1 parking space.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
----------------------	----------	------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Regina Okoye</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

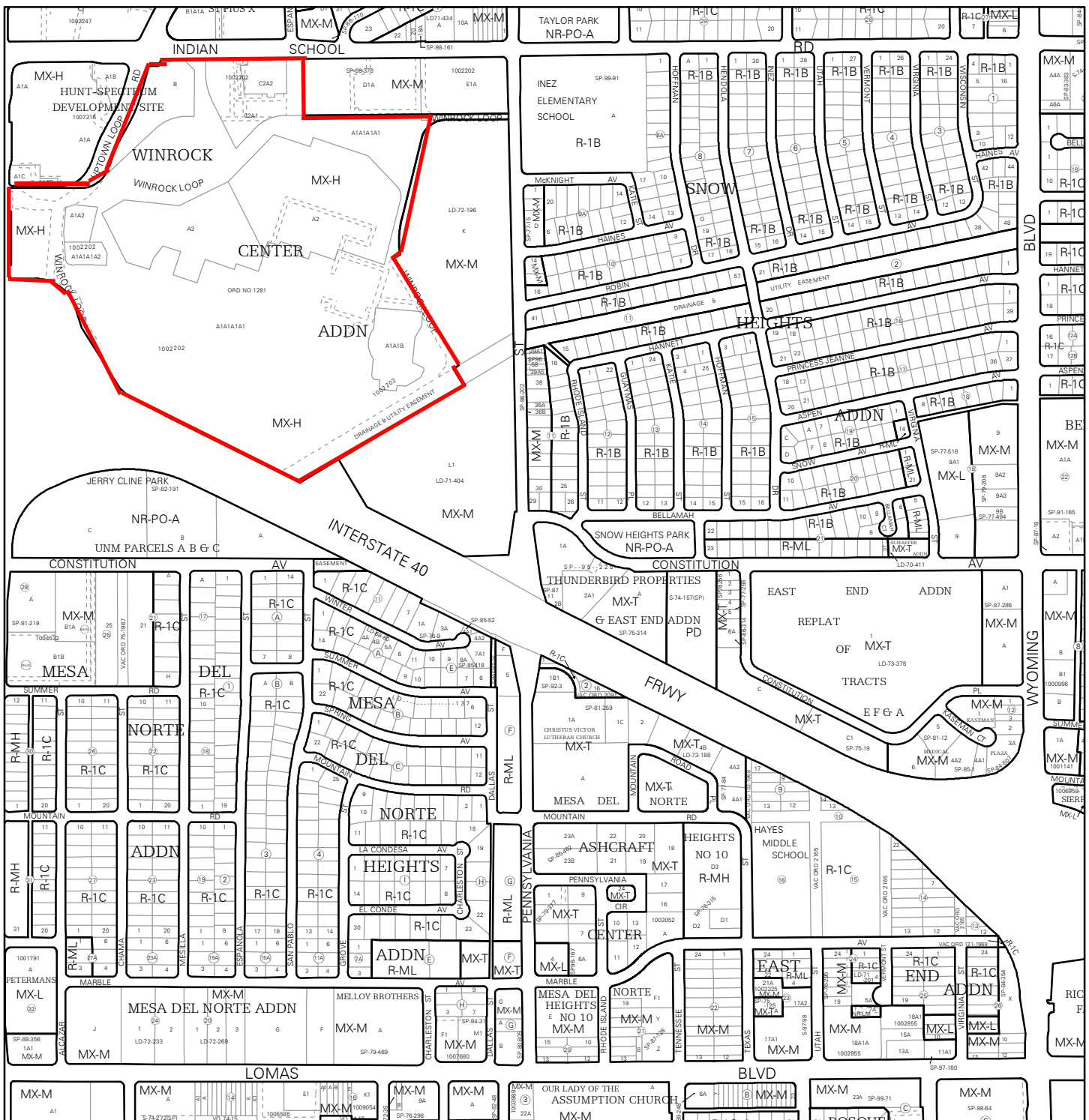
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

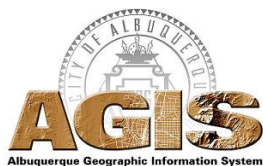
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

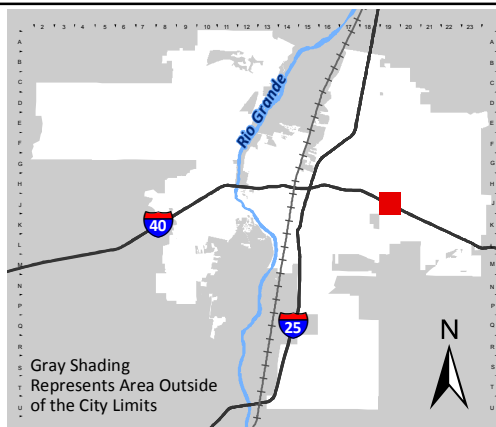


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
J-19-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet

Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Agent Authorization Notice – 2100 Louisiana Blvd. NE (Winrock Town Center)

To Whom It May Concern,

Winrock Partners c/o Gary Goodman, hereby authorizes Angela Williamson, CEO with Modulus Architects, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at: 2100 Louisiana Blvd. and legally described as: PARCEL A-2 PLAT OF PARCELS A-1 THRU A-3 & PARCEL C-2A WINROCK CENTER ADDN CONT 9.6888 AC M/L OR 422,044 SQ FT M/L
This authorization is valid until further written notice from Winrock Partners or Angela Williamson, CEO with Modulus Architects, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for the Development Review Board.

Sincerely,



Goodman Realty Group
c/o Gary Goodman
100 Sun Avenue NE, Suite 210
Albuquerque, NM 87109
Email: goodman@goodmanrealty.com
Office: 505.881.0100
www.goodmanrealty.com

September 27, 2023

Russell Brito
Current Planning Department Director
City of Albuquerque Planning Department
600 2nd Street NW,
Albuquerque, NM 87102

RE: 1002202 - WINROCK TOWN CENTER - BLVD. NE – ALBUQUERQUE, NM 87110 – ADMINISTRATIVE AMENDMENT TO EXISTING PAD SITE AND ELEVATIONS

Dear Mr. Brito:

Modulus Architects represents Winrock Partners, as the “Agent” for this submittal to amend the approved site plans and elevations for an existing pad site to develop a future two tenant building. The site is located at 2100 Louisiana Blvd. NE. This parcel is approximately +/- 2 acres in size. We are seeking to update the most recently approved overall Site Plan (PR-2018-001579/SD-2021-00305). The most recent AA for the overall Site Plan was approved on March 2023 for an office use of tract A adjacent to the subject site (PR-2018-001579/SI-2023-00092).

The parcel (the “subject site”) is zoned MX-H and is located south of Indian School Rd. just north of the Interstate 40 Freeway. This portion of Winrock Town Center is legally described as TR D FINAL PLAT PARCEL Z AND TRACTS A, D, E, F, F-1, G, & HWINROCK CENTER ADDITION CONT 2.0002 AC. The site is currently developed as Winrock Town Center.

This submittal addresses a proposed Administrative Amendment (AA) for Tract D at the Winrock Town Center. The site is currently a dirt lot. The current approved use on the site plan is for a "Future Pad Area". At this time, we are requesting to modify the existing pad site into a two tenant building. This minor amendment request falls within the thresholds established in IDO Table 6-4-5. No other plans will be modified at this time. No deficiencies will be caused with this request.

Our submittal includes the overall controlling Site Plan, the amended overall Site Plan, Demo Plan, Site Plan, Site Details, G&D Plan, Utility Plans, Elevations, and Landscape Plan. All changes meet the IDO and DPM regulations. The minor changes are listed below. Changes to the overall Site Development Plan package are identified in the AA drawings via bubbled areas.

Overall Site Plan:

- The new configuration has been updated to accommodate the minor changes.

Proposed Site Plan:

- The previous building was 6,500 SF and the new building is 5,496 SF.
- The building is being modified from 1 tenant to 2 tenants.
- There will no longer be an outdoor patio for the use.
- We shifted the ADA parking to the west 9' and removed one parking space in front of the building to make the grades work.
- Parking Calculation – We have not created a deficiency in the parking requirements and that is demonstrated on the Site Plan (Parking Data).
- Note: Existing parking and driveways to remain.

Site Detail Plans:

- The side details have been updated to show all site details.

Elevation Plan:

- The changes to the elevation reflect the two new users.
- The proposed signage is shown on the plans.
- The color and material are identified on the plan.
- The facade meets the requirements of 14-16-5-11(E).

Landscape Plan:

- The landscaping plan shows the new proposed landscaping areas and proposed vegetation.

Grading Plan:

- Grading plan reflects proposed changes and has been submitted to the hydrology department for a review and approval.

Utility Plan

- Reflects the current site layout.

6-4(Y)(2) Minor Amendments

6-4(Y)(2)(a) A minor amendment must meet all of the following criteria.

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

Applicant Response:

The user or use was unknown at the time of original approval. The original site was approved as general tenants. There are now two future tenants being proposed.

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

Applicant Response:

The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments). Please see section “Amendment Scope” section above.

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

Applicant Response:

This is not applicable as it is a commercial development.

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

Applicant Response:

This is not applicable as we are not changing any setbacks in relations to residential uses.

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

Applicant Response:

This is not applicable as it is a commercial development.

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

Applicant Response:

The amendment modifies the approved elevations in order to accommodate minor changes to the façade for the new future users. The changes will improve the quality and articulation from adjacent streets.

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

Applicant Response:

The amendment does not reduce the amount of total landscaping installed. The landscaping areas will be increased with the new users. The site plan shows the new proposed landscaping areas.

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

Applicant Response:

This amendment does not increase traffic as this pad site was originally approved and we are decreasing the building footprint.

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

Applicant Response:

The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property. This access and circulation will remain as is. The current drive isles and parking are constructed. The minor modification of the ADA spot will not change have a significate effect on the circulation patterns.

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

Applicant Response:

This amendment does not change specific conditions of approval. All conditions of approval were addressed before final sign-off.

11. The amendment does not affect a property in an Overlay zone, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

Applicant Response:

This site is not within an overlay zone.

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

Applicant Response:

The restaurant use is permissive per the IDO and the site plan approval.

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

Applicant Response:

Not applicable. There are no nonconformities on this site. It will be developed per the approved site plan documents. The site is currently vacant.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: rokoye@modulusarchitects.com

Best Regards,

REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER

MODULUS ARCHITECTS & LAND USE PLANNING, INC.

100 Sun Avenue NE, Suite 600

Albuquerque, NM 87109

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686

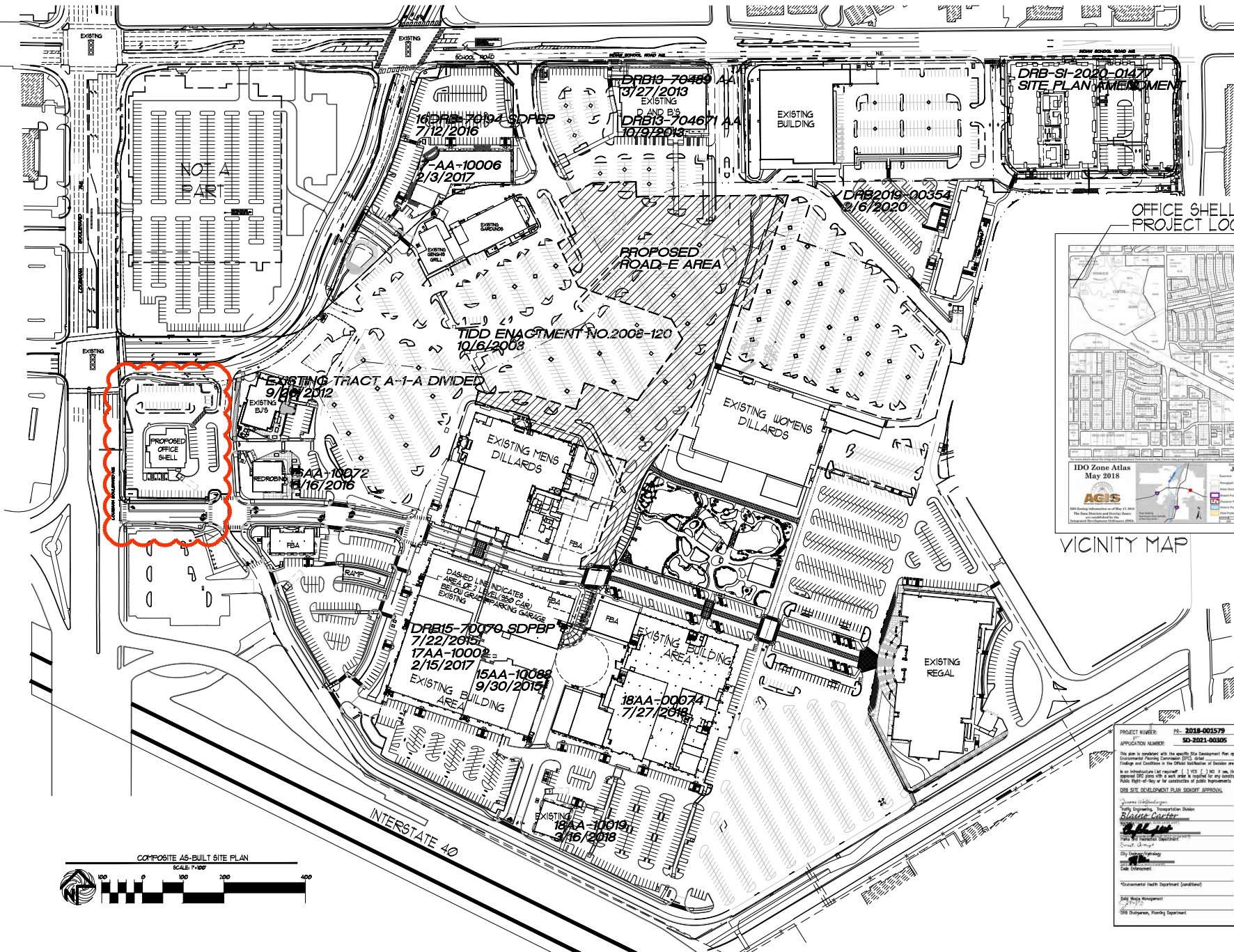
Email: rokoye@modulusarchitects.com

Website: www.modulusarchitects.com

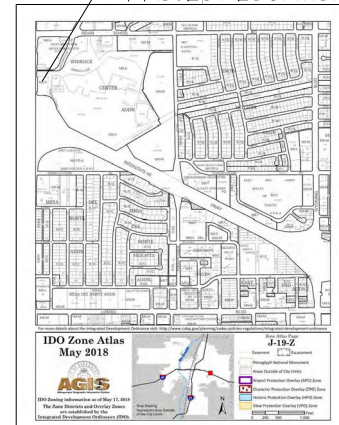
Join us on Facebook: [Modulus Architects on Facebook](https://www.facebook.com/ModulusArchitects)

New Mexico | Texas | Arizona | Colorado | Oklahoma

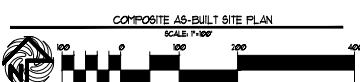
APPROVED SITE PLAN BEING AMENDED



OFFICE SHELL
PROJECT LOCATION



VICINITY MAP



PROJECT NUMBER:	PR-2018-001579
APPLICATION NUMBER:	SD-2021-003005
This plan is submitted with the specific Site Development Plan approved by the	
Louisiana Planning Commission (LPC) dated	
Findings and Conditions in the Official Publication of Decision are satisfied.	
It is recommended that the project be approved for the following reasons:	
1. The project is located in a designated area for development.	
2. The project is consistent with the Comprehensive Zoning Ordinance.	
3. The project is consistent with the Comprehensive Zoning Ordinance.	
4. The project is consistent with the Comprehensive Zoning Ordinance.	
5. The project is consistent with the Comprehensive Zoning Ordinance.	
6. The project is consistent with the Comprehensive Zoning Ordinance.	
7. The project is consistent with the Comprehensive Zoning Ordinance.	
8. The project is consistent with the Comprehensive Zoning Ordinance.	
9. The project is consistent with the Comprehensive Zoning Ordinance.	
10. The project is consistent with the Comprehensive Zoning Ordinance.	
11. The project is consistent with the Comprehensive Zoning Ordinance.	
12. The project is consistent with the Comprehensive Zoning Ordinance.	
13. The project is consistent with the Comprehensive Zoning Ordinance.	
14. The project is consistent with the Comprehensive Zoning Ordinance.	
15. The project is consistent with the Comprehensive Zoning Ordinance.	
16. The project is consistent with the Comprehensive Zoning Ordinance.	
17. The project is consistent with the Comprehensive Zoning Ordinance.	
18. The project is consistent with the Comprehensive Zoning Ordinance.	
19. The project is consistent with the Comprehensive Zoning Ordinance.	
20. The project is consistent with the Comprehensive Zoning Ordinance.	
21. The project is consistent with the Comprehensive Zoning Ordinance.	
22. The project is consistent with the Comprehensive Zoning Ordinance.	
23. The project is consistent with the Comprehensive Zoning Ordinance.	
24. The project is consistent with the Comprehensive Zoning Ordinance.	
25. The project is consistent with the Comprehensive Zoning Ordinance.	
26. The project is consistent with the Comprehensive Zoning Ordinance.	
27. The project is consistent with the Comprehensive Zoning Ordinance.	
28. The project is consistent with the Comprehensive Zoning Ordinance.	
29. The project is consistent with the Comprehensive Zoning Ordinance.	
30. The project is consistent with the Comprehensive Zoning Ordinance.	
31. The project is consistent with the Comprehensive Zoning Ordinance.	
32. The project is consistent with the Comprehensive Zoning Ordinance.	
33. The project is consistent with the Comprehensive Zoning Ordinance.	
34. The project is consistent with the Comprehensive Zoning Ordinance.	
35. The project is consistent with the Comprehensive Zoning Ordinance.	
36. The project is consistent with the Comprehensive Zoning Ordinance.	
37. The project is consistent with the Comprehensive Zoning Ordinance.	
38. The project is consistent with the Comprehensive Zoning Ordinance.	
39. The project is consistent with the Comprehensive Zoning Ordinance.	
40. The project is consistent with the Comprehensive Zoning Ordinance.	
41. The project is consistent with the Comprehensive Zoning Ordinance.	
42. The project is consistent with the Comprehensive Zoning Ordinance.	
43. The project is consistent with the Comprehensive Zoning Ordinance.	
44. The project is consistent with the Comprehensive Zoning Ordinance.	
45. The project is consistent with the Comprehensive Zoning Ordinance.	
46. The project is consistent with the Comprehensive Zoning Ordinance.	
47. The project is consistent with the Comprehensive Zoning Ordinance.	
48. The project is consistent with the Comprehensive Zoning Ordinance.	
49. The project is consistent with the Comprehensive Zoning Ordinance.	
50. The project is consistent with the Comprehensive Zoning Ordinance.	
51. The project is consistent with the Comprehensive Zoning Ordinance.	
52. The project is consistent with the Comprehensive Zoning Ordinance.	
53. The project is consistent with the Comprehensive Zoning Ordinance.	
54. The project is consistent with the Comprehensive Zoning Ordinance.	
55. The project is consistent with the Comprehensive Zoning Ordinance.	
56. The project is consistent with the Comprehensive Zoning Ordinance.	
57. The project is consistent with the Comprehensive Zoning Ordinance.	
58. The project is consistent with the Comprehensive Zoning Ordinance.	
59. The project is consistent with the Comprehensive Zoning Ordinance.	
60. The project is consistent with the Comprehensive Zoning Ordinance.	
61. The project is consistent with the Comprehensive Zoning Ordinance.	
62. The project is consistent with the Comprehensive Zoning Ordinance.	
63. The project is consistent with the Comprehensive Zoning Ordinance.	
64. The project is consistent with the Comprehensive Zoning Ordinance.	
65. The project is consistent with the Comprehensive Zoning Ordinance.	
66. The project is consistent with the Comprehensive Zoning Ordinance.	
67. The project is consistent with the Comprehensive Zoning Ordinance.	
68. The project is consistent with the Comprehensive Zoning Ordinance.	
69. The project is consistent with the Comprehensive Zoning Ordinance.	
70. The project is consistent with the Comprehensive Zoning Ordinance.	
71. The project is consistent with the Comprehensive Zoning Ordinance.	
72. The project is consistent with the Comprehensive Zoning Ordinance.	
73. The project is consistent with the Comprehensive Zoning Ordinance.	
74. The project is consistent with the Comprehensive Zoning Ordinance.	
75. The project is consistent with the Comprehensive Zoning Ordinance.	
76. The project is consistent with the Comprehensive Zoning Ordinance.	
77. The project is consistent with the Comprehensive Zoning Ordinance.	
78. The project is consistent with the Comprehensive Zoning Ordinance.	
79. The project is consistent with the Comprehensive Zoning Ordinance.	
80. The project is consistent with the Comprehensive Zoning Ordinance.	
81. The project is consistent with the Comprehensive Zoning Ordinance.	
82. The project is consistent with the Comprehensive Zoning Ordinance.	
83. The project is consistent with the Comprehensive Zoning Ordinance.	
84. The project is consistent with the Comprehensive Zoning Ordinance.	
85. The project is consistent with the Comprehensive Zoning Ordinance.	
86. The project is consistent with the Comprehensive Zoning Ordinance.	
87. The project is consistent with the Comprehensive Zoning Ordinance.	
88. The project is consistent with the Comprehensive Zoning Ordinance.	
89. The project is consistent with the Comprehensive Zoning Ordinance.	
90. The project is consistent with the Comprehensive Zoning Ordinance.	
91. The project is consistent with the Comprehensive Zoning Ordinance.	
92. The project is consistent with the Comprehensive Zoning Ordinance.	
93. The project is consistent with the Comprehensive Zoning Ordinance.	
94. The project is consistent with the Comprehensive Zoning Ordinance.	
95. The project is consistent with the Comprehensive Zoning Ordinance.	
96. The project is consistent with the Comprehensive Zoning Ordinance.	
97. The project is consistent with the Comprehensive Zoning Ordinance.	
98. The project is consistent with the Comprehensive Zoning Ordinance.	
99. The project is consistent with the Comprehensive Zoning Ordinance.	
100. The project is consistent with the Comprehensive Zoning Ordinance.	

REV	DATE	BY	REVISION
1	06/03/2023	SP-1	SP-1

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 STEPHEN A. DUNBAR
 No. 4218

PROJECT: UNIROCK TOWN CENTER
 7000 LOUISIANA BLVD
 ALBUQUERQUE, NEW MEXICO
 DRAWN BY: SP-1
 JOB NO: UNY-PK
 COMPOSITE AS-BUILT SITE PLAN

DATE: 06/03/2023
 SCALE: RE: SCALE

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Winrock Partners LLC
100 Sun Avenue NE, Suite 100
Albuquerque, NM 87109

Project# PR-2018-001579
Application#
SI-2021-00304 SITE PLAN
SD-2021-00305 SITE PLAN AMENDMENT

LEGAL DESCRIPTION:

For all or a portion of: **PARCEL Z FINAL PLAT
PARCEL Z AND TRACTS A, D, E, F-1, G &
H, zoned MX-H, located at 2100 LOUISIANA
BLVD NW between INDIAN SCHOOL and I-
40 containing approximately 28.8654 acre(s).
(J-19)**

On January 19, 2022, the Development Review Board (DRB) held a public meeting concerning the above referenced applications and approved the requests, with delegation to Transportation and Planning on the Site Plan and to Planning on the Site Plan Amendment, based on the following Findings:

SI-2021-00304 SITE PLAN

1. This is a request to construct a park, including water features, internal building pad sites, a kids play area, and paths and bridges. The site plan is required to be reviewed by the Development Review Board (DRB) because per 6-5(G)(1)(e) of the IDO the site is over 5 acres in size.
 1. Pursuant to 6-6(I)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:

- a. 6-6(l)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The proposed development meets/exceeds the IDO requirements.

- b. 6-6(l)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A traffic impact study (TIS) was not required for this project.

- c. 6-6(l)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The subject property is located within an approved Master Development Plan, and meets the relevant standards in the Master Development Plan.

Conditions:

1. This Site Plan is valid 7 years from DRB approval (1/19/2022). An extension may be requested prior to the expiration date.
2. Final sign off is delegated to Transportation for the addition of bold notes on the Site Plan indicating what must be completed as part of the work order, and for the inclusion of the missing civil detail sheet with the added sidewalk details.
3. Final sign off is delegated to Planning for the Solid Waste signature, the project and application numbers to be added to the Site Plan, and for the recorded IIA.
4. The applicant will obtain final sign off from Transportation and Planning by April 13, 2022 or the case may be scheduled for the next DRB hearing and could be denied her the DRB Rules of Procedure.

SI-2021-00305 SITE PLAN AMENDMENT

1. The original project consists of 1,212,564 square feet of mixed-use development on 83 acres, including retail, entertainment, office, and hospitality facilities. This is a request to construct a park, including water features, internal building pad sites, a kids play area, and paths and bridges on 28.8654 acres of the 83-acre site.

2. The applicant provided the required notice as outlined in the IDO Table 6-1-1.

Conditions:


1. Final sign off is delegated to Planning for the project and application numbers to be added to the Site Plan Amendment.
2. The applicant will obtain final sign off from Planning by April 13, 2022 or the case may be scheduled for the next DRB hearing and could be denied per the DRB Rules of Procedure.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **FEBRUARY 3, 2022**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,

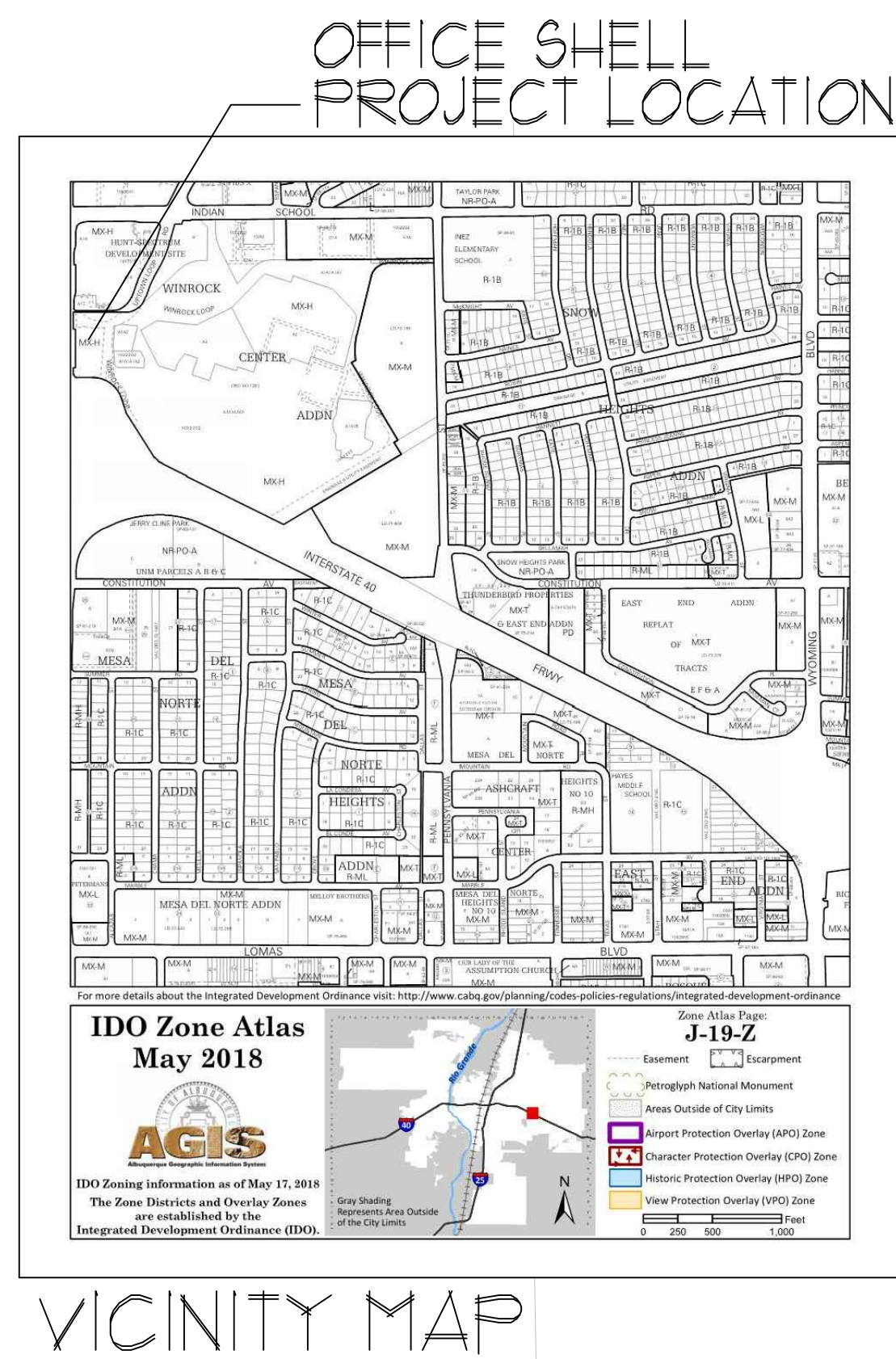
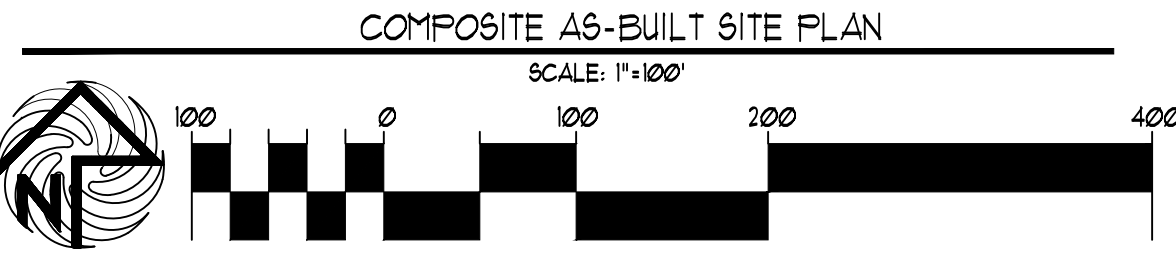
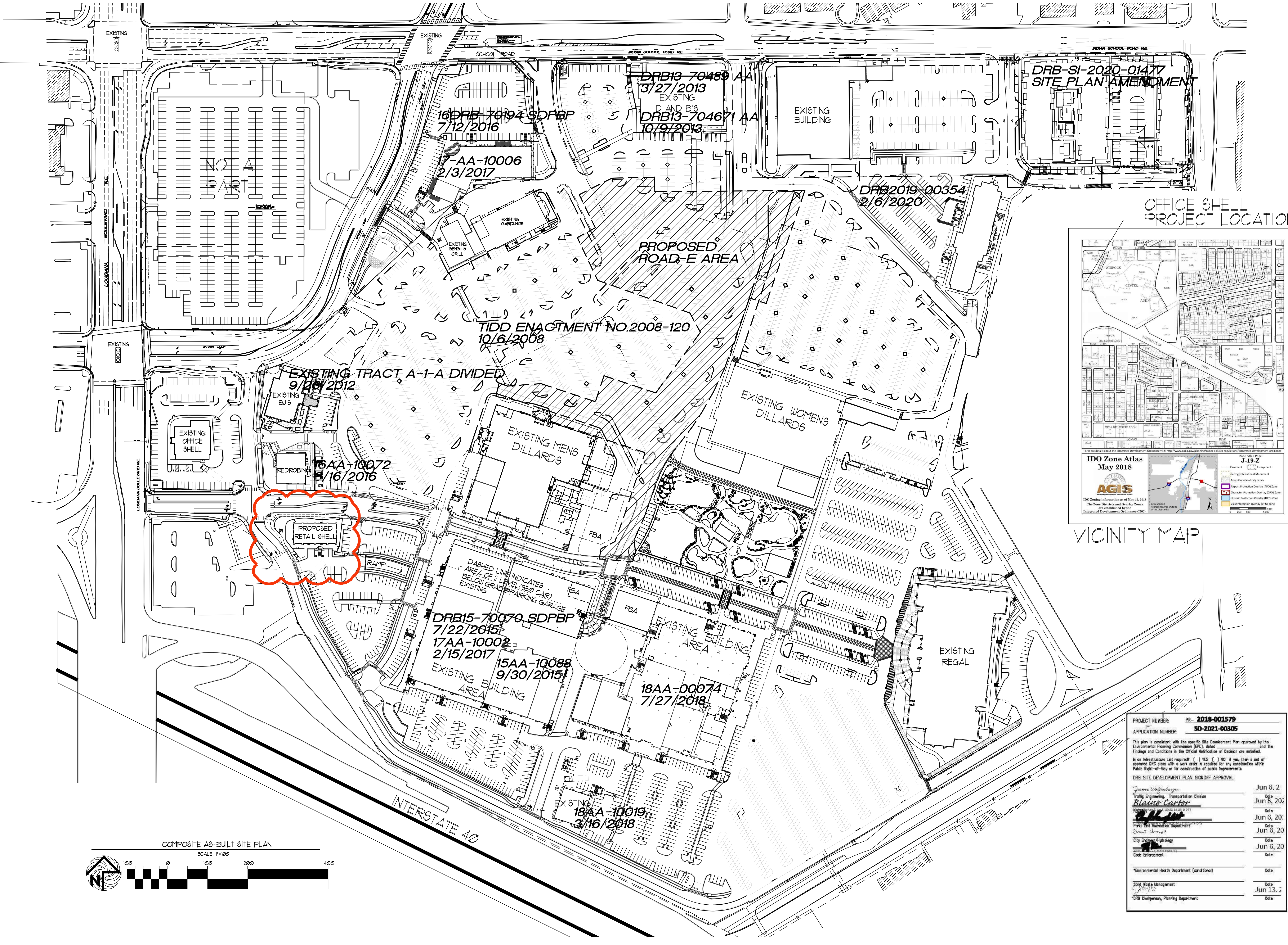


Jolene Wolfley
DRB Chair

JW/jr

Consensus Planning, Inc., 302 8th Street NW, Albuquerque, NM 87102

AMENDED PLANS



PROJECT NUMBER:	PR- 2018-001579
APPLICATION NUMBER:	SD-2021-00305
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an infrastructure list required? () YES () NO If yes, when a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
James W. Henderson Traffic Engineering, Transportation Division	Jun 6, 2
Blaine Carter Public Works Division (AS-BUILT)	Jun 8, 20
Paula M. Hernandez Public Works Division	Jun 6, 20
Scott J. Lopez City Engineer/Hydrology	Jun 6, 20
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date Jun 13, 2
DRB Chairperson, Planning Department	Date

REVISION

BY

DATE

REV

MODULUS ARCHITECTS

100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
REGISTERED ARCHITECT
STEPHEN A. DUNBAR
No. 4218

PROJECT TITLE
WINROCK TOWN CENTER
2000 LOUISIANA BLVD NE
ALBUQUERQUE, NEW MEXICO

DRAWN BY:
STEPHEN DUNBAR AIA
JOB NO.
WIN-PARK

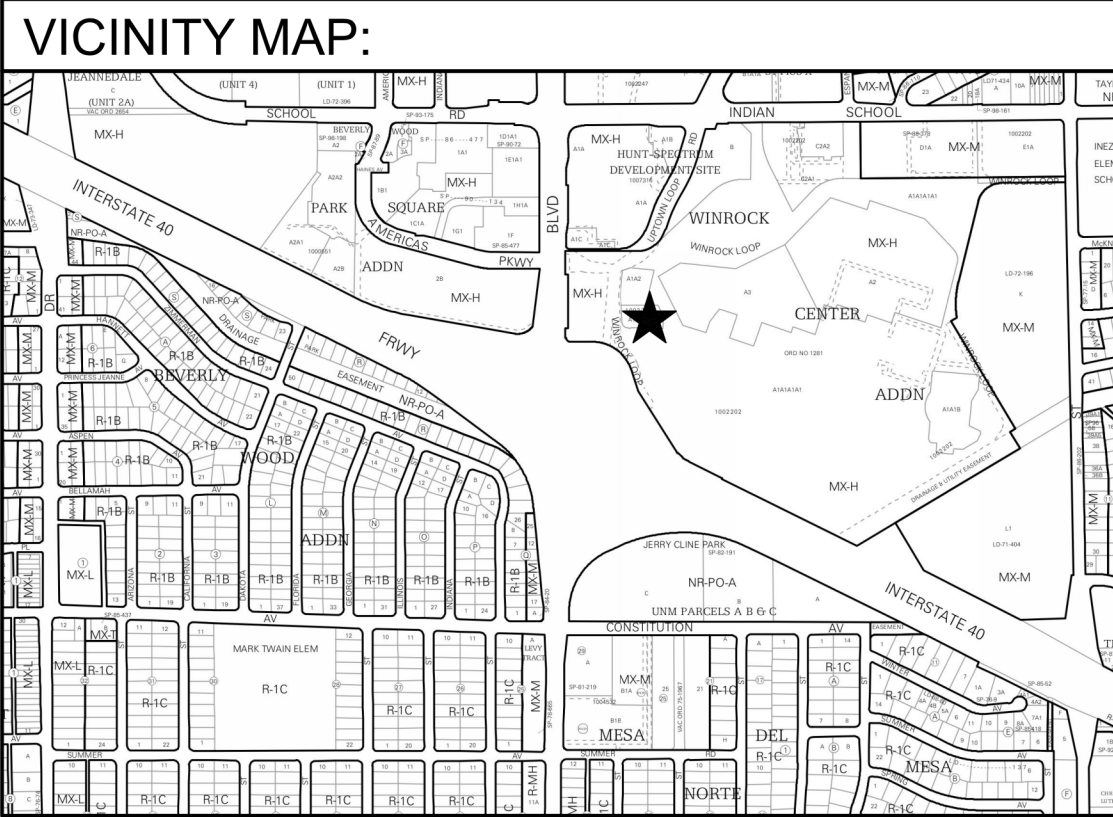
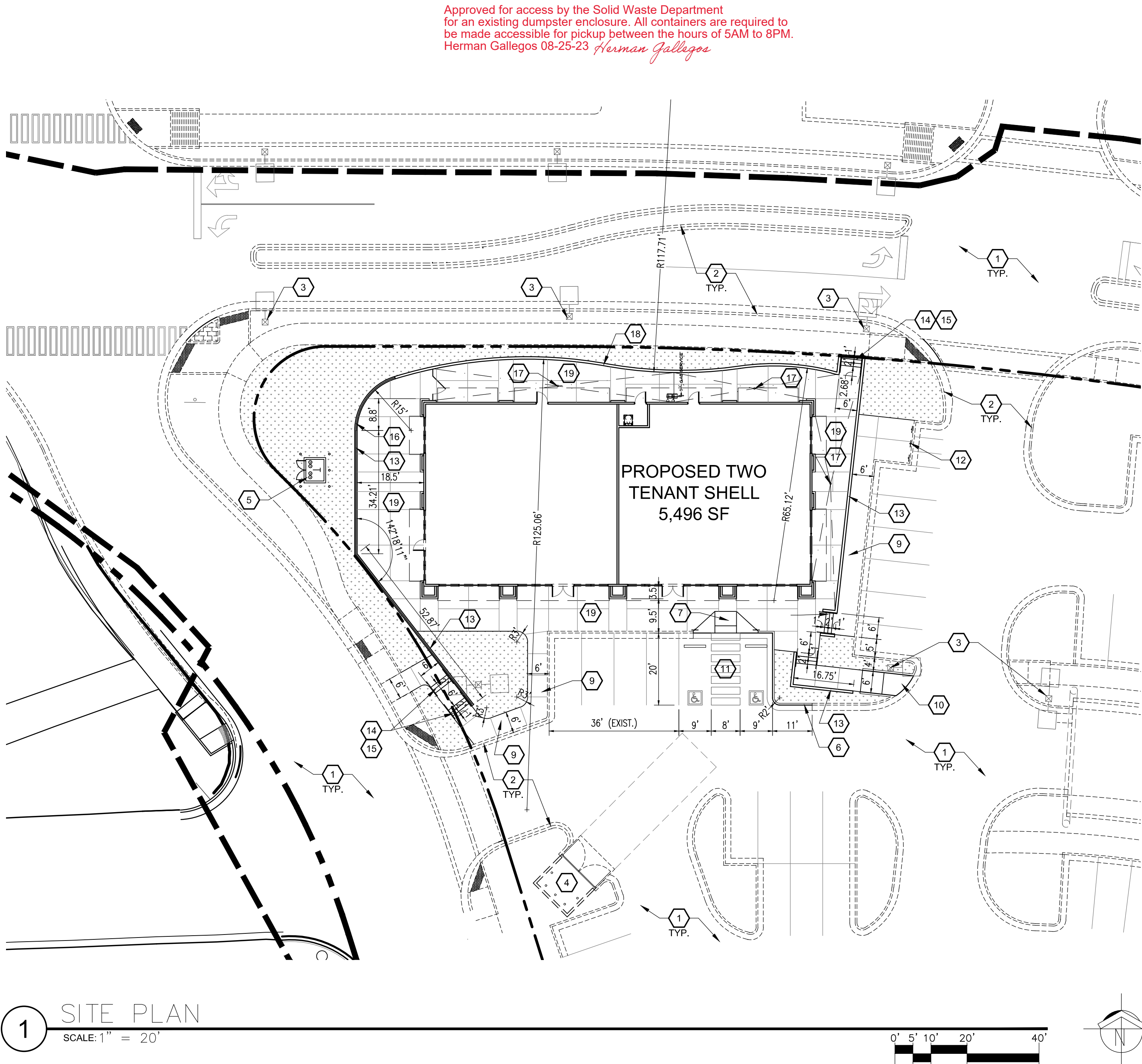
SHEET TITLE
COMPOSITE AS-BUILT SITE PLAN

DATE:
01/03/2023

SCALE:
RE: 6"SCALE

Sheet:
SP-1
of

SOLID WASTE APPROVAL EXHIBIT



SITE DATA:	
PROJECT ADDRESS:	2100 LOUISIANA BLVD. NE
LEGAL DESCRIPTION:	TRACT D, WINROCK CENTER ADDN
PROPERTY SIZE:	2.0002 ACRES
CURRENT ZONING:	MX-H
PROPOSED USE:	RESTAURANT & RETAIL
BUILDING SIZE:	5,496 SF

PARKING DATA:			
BUILDING DATA			
TOTAL BUILDING AREA: 5,496 SF			
RESTAURANT AREA: 2,748 SF			
RETAIL AREA: 2,748 SF			
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
OFF-STREET PARKING SPACES (RESTAURANT)	5.6 PER 1,000 SF	15	15
OFF-STREET PARKING SPACES (RETAIL)	3.5 PER 1,000 SF	9	9
OFF-STREET PARKING SPACES (COMBINED)	-	24	24
ACCESSIBLE PARKING SPACES	1-25 SPACES	1	2
MOTORCYCLE PARKING	1-25 SPACES	1	3
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	3	3

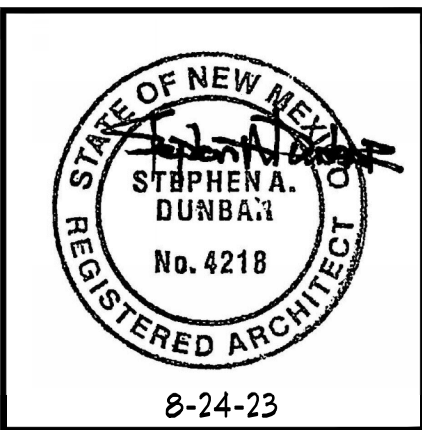
- GENERAL NOTES:
- A. ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH ALL CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS FOR CONSTRUCTION.
- B. LANDSCAPING, FENCING & SIGNAGE SHALL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE

- KEYED NOTES:
1. EXISTING ASPHALT PARKING AND DRIVE AISLES TO REMAIN.
2. EXISTING CONCRETE CURB & GUTTER REMAIN.
3. EXISTING LIGHT POLE AND BASE TO REMAIN.
4. EXISTING REFUSE ENCLOSURE TO REMAIN.
5. NEW ELECTRICAL TRANSFORMER, REFER TO ELECTRICAL SITE PLAN.
6. NEW CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501.
7. NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501.
8. NEW STRIPED CROSSWALK, SEE DETAIL 6/AS501 (SIM.).
9. NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501.
10. NEW DIRECTIONAL ACCESSIBLE RAMP CURB RAMP, SEE DETAIL X/AS50X.
11. NEW ACCESSIBLE PARKING SYMBOL, ACCESS AISLE AND SIGN - SEE DETAIL 9/AS501.
12. NEW MOTORCYCLE PARKING SIGN, TYPICAL OF 3 - SEE DETAIL 11/AS501.
13. NEW CONCRETE RETAINING WALL, REFER TO STRUCTURAL.
14. NEW CONCRETE STAIRS, SEE DETAIL X/AS50X.
15. NEW HANDRAIL, SEE DETAIL X/AS50X.
16. NEW GUARDRAIL FENCE, SEE DETAIL X/AS50X.
17. NEW AREA DRAIN, REFER TO CIVIL FOR DETAILS.
18. NEW 6" TALL CMU SCREEN WALL, SEE DETAIL X/AS50X.
19. NEW CONCRETE PAVING, SEE DETAIL X/AS50X.

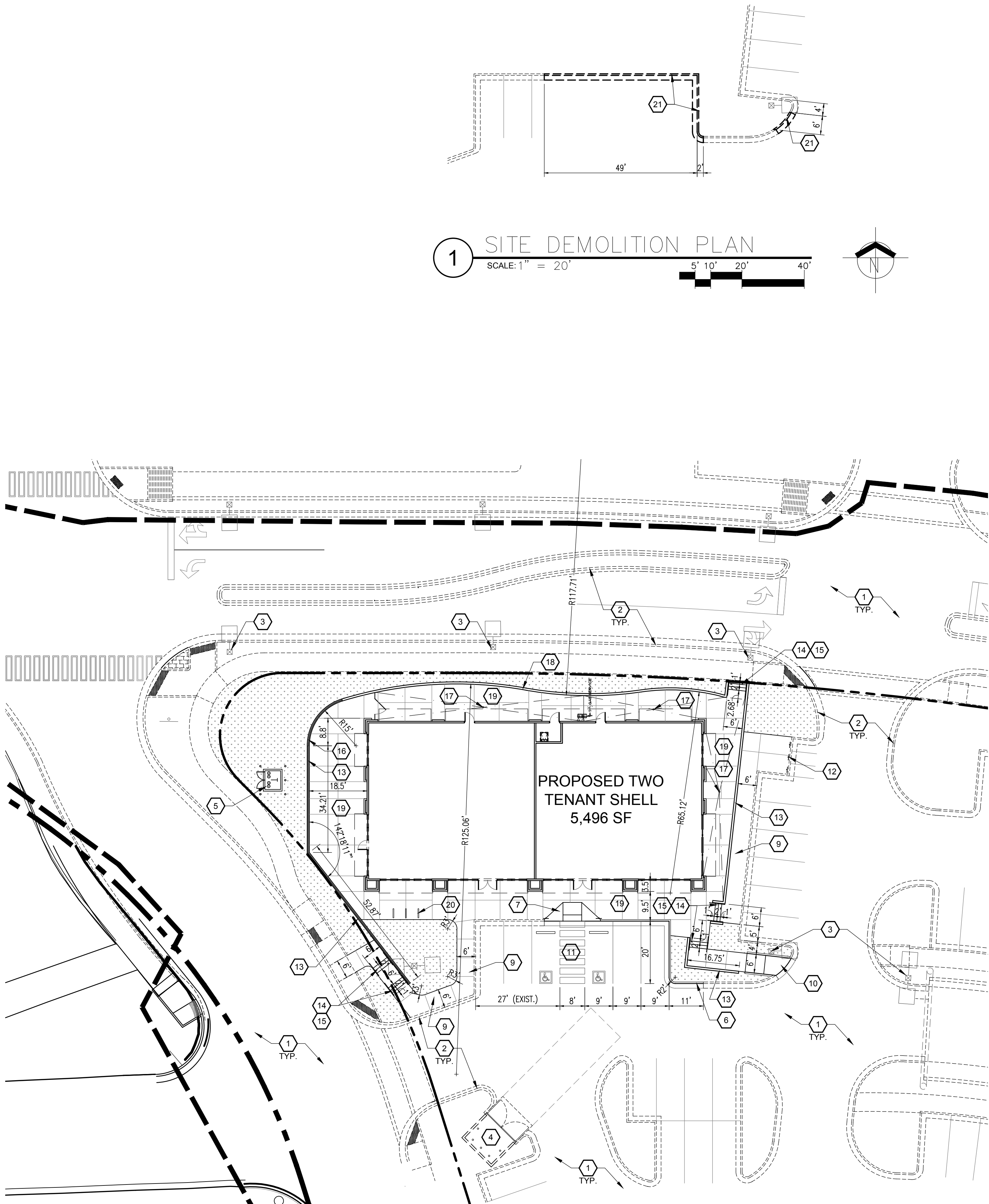
GRAPHIC LEGEND:			
-----	EXISTING CONCRETE CURB & GUTTER TO REMAIN		
-----	EXISTING PARKING LOT STRIPING TO REMAIN		
-----	EXISTING CONCRETE PAVING/SIDEWALK TO REMAIN		
=====	EXISTING CONCRETE/CMU WALL TO REMAIN		
=====	NEW CONCRETE CURB & GUTTER		
=====	NEW CONCRETE PAVING/SIDEWALK		
=====	NEW PARKING LOT STRIPING		
=====	NEW CONCRETE/CMU WALL		
[Pattern]	INDICATES NEW LANDSCAPE AREAS		

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

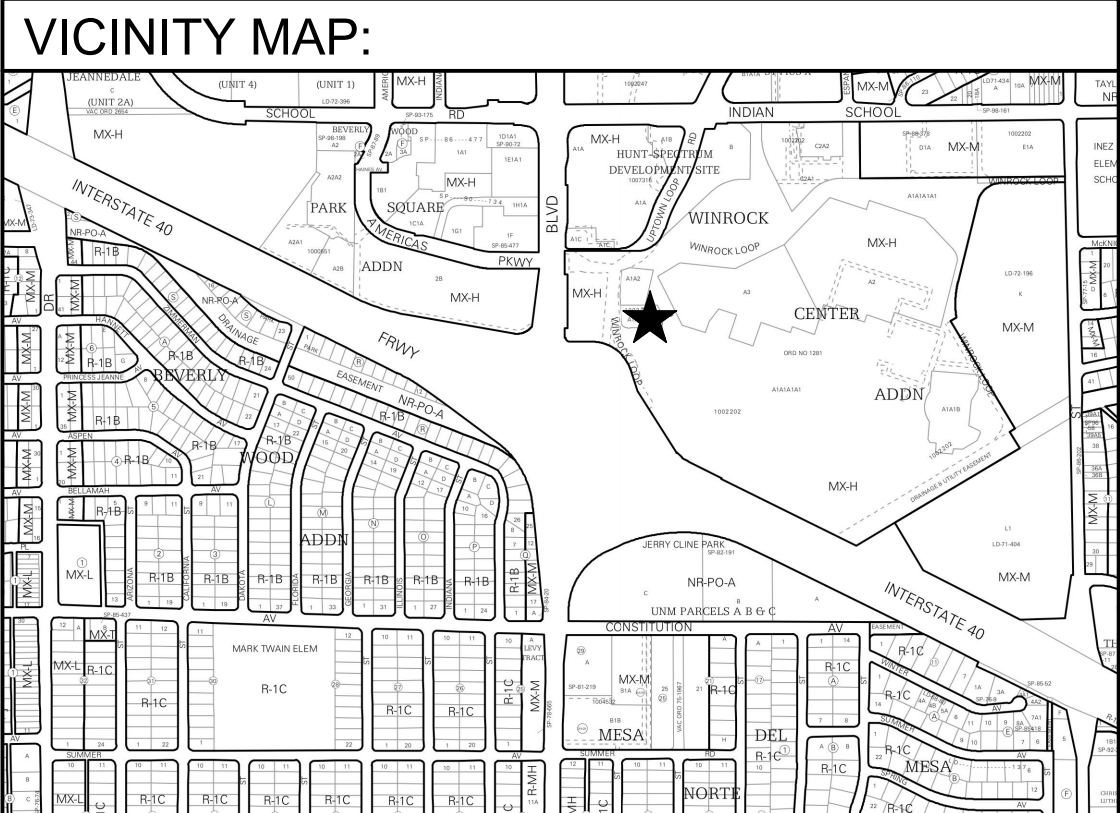


PROJECT TITLE WINROCK TOWN CENTER PAD-2 SHELL 2100 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87109	DRAWN BY: CDC	JOB NO. --	SHEET TITLE SITE PLAN
DATE: 08/24/2023	SCALE: AS NOTED	SHEET: AS101	et.



2 SITE PLAN
SCALE: 1" = 20'

1 SITE DEMOLITION PLAN
SCALE: 1" = 20'



SITE DATA:	
PROJECT ADDRESS:	2100 LOUISIANA BLVD. NE
LEGAL DESCRIPTION:	TRACT D, WINROCK CENTER ADDN
PROPERTY SIZE:	2.0002 ACRES
CURRENT ZONING:	MX-H
PROPOSED USE:	RESTAURANT & RETAIL
BUILDING SIZE:	5,496 SF

PARKING DATA:			
BUILDING DATA			
TOTAL BUILDING AREA: 5,496 SF			
RESTAURANT AREA: 2,748 SF			
RETAIL AREA: 2,748 SF			
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
OFF-STREET PARKING SPACES (RESTAURANT)	5.6 PER 1,000 SF	15	15
OFF-STREET PARKING SPACES (RETAIL)	3.5 PER 1,000 SF	9	9
OFF-STREET PARKING SPACES (COMBINED)	-	24	24
ACCESSIBLE PARKING SPACES	1-25 SPACES	1	2
MOTORCYCLE PARKING	1-25 SPACES	1	3
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	3	3

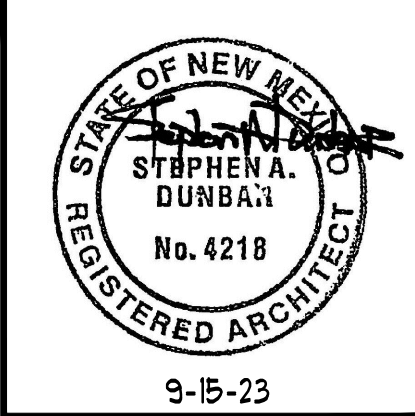
- GENERAL NOTES:
- ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH ALL CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS FOR CONSTRUCTION.
 - LANDSCAPING, FENCING & SIGNAGE SHALL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES:
- EXISTING ASPHALT PARKING AND DRIVE AISLES TO REMAIN.
 - EXISTING CONCRETE CURB & GUTTER REMAIN.
 - EXISTING LIGHT POLE AND BASE TO REMAIN.
 - EXISTING REFUSE ENCLOSURE TO REMAIN.
 - NEW ELECTRICAL TRANSFORMER, REFER TO ELECTRICAL SITE PLAN.
 - NEW CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501.
 - NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501.
 - NEW STRIPED CROSSWALK, SEE DETAIL 6/AS501 (SIM.).
 - NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501.
 - NEW DIRECTIONAL ACCESSIBLE RAMP CURB RAMP, SEE DETAIL 13/AS501.
 - NEW ACCESSIBLE PARKING SYMBOL, ACCESS AISLE AND SIGN - SEE DETAIL 9/AS501.
 - NEW MOTORCYCLE PARKING SIGN, TYPICAL OF 3 - SEE DETAIL 11/AS501.
 - NEW CONCRETE RETAINING WALL, REFER TO STRUCTURAL.
 - NEW CONCRETE STAIRS, SEE DETAIL 16/AS501.
 - NEW HANDRAIL, SEE DETAIL 16/AS501.
 - NEW GUARDRAIL FENCE, SEE DETAIL 6/A201.
 - NEW AREA DRAIN, REFER TO CIVIL FOR DETAILS.
 - NEW 6" TALL CMU SCREEN WALL, SEE ELEVATION 5/A201 & STRUCTURAL FOR DETAILS.
 - NEW CONCRETE PAVING, SEE DETAIL 3/AS501.
 - NEW BIKE RACKS, SEE DETAIL 5/AS501.
 - SAWCUT AND REMOVE EXISTING CONCRETE CURB & GUTTER.

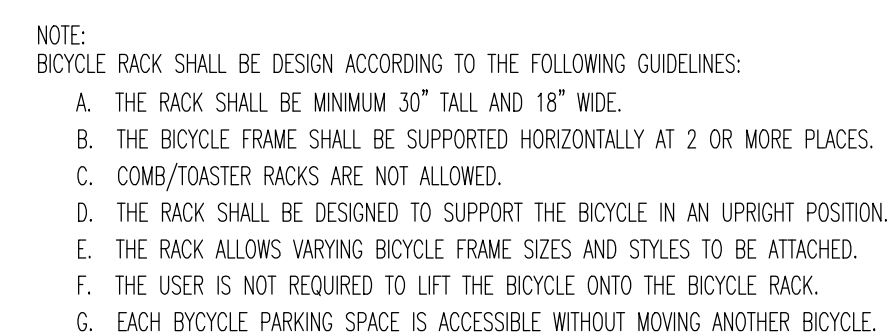
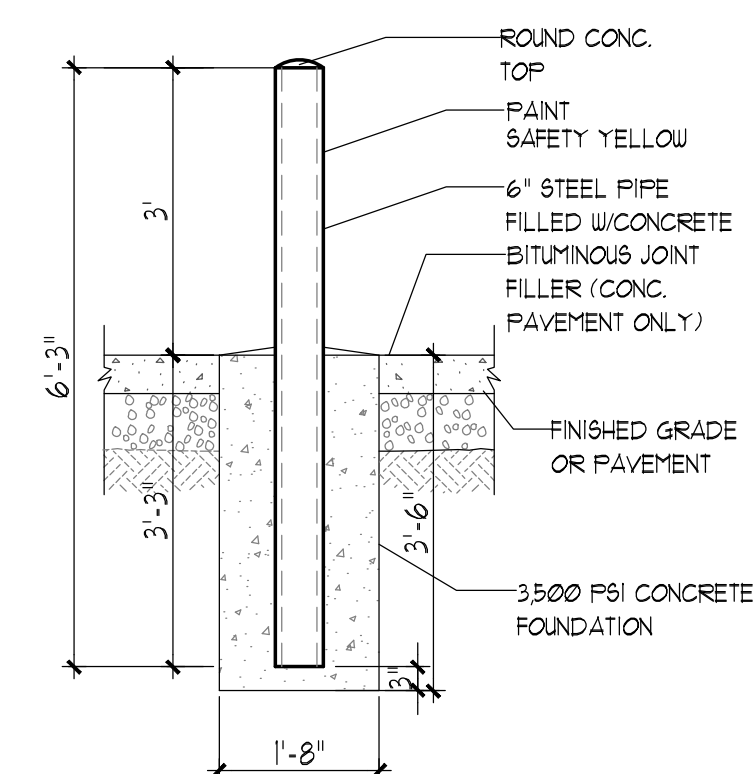
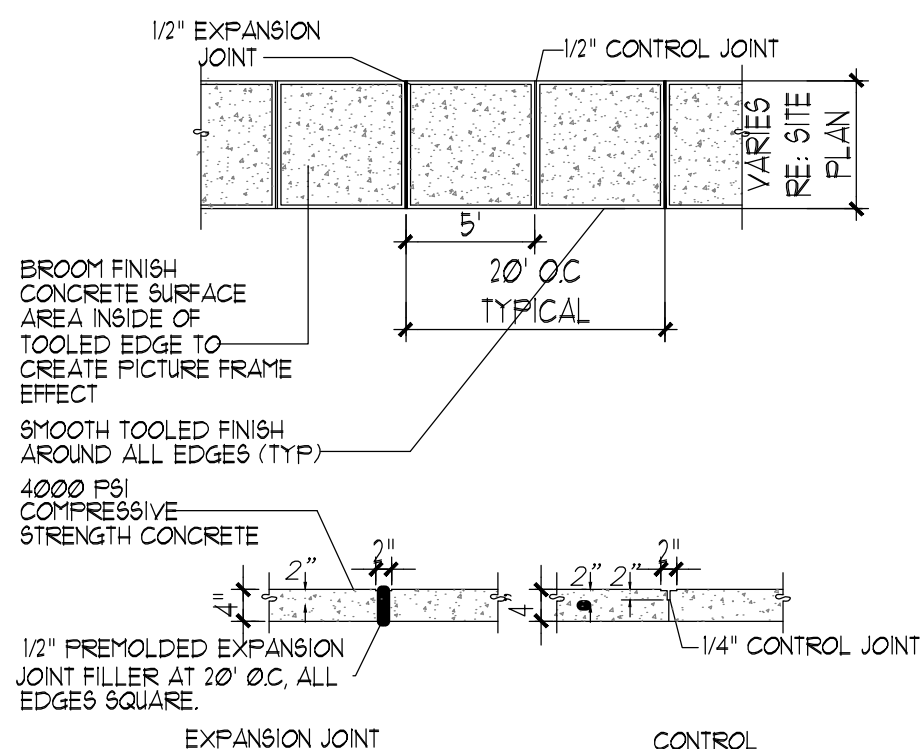
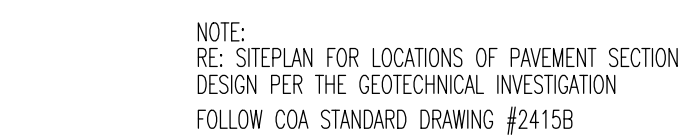
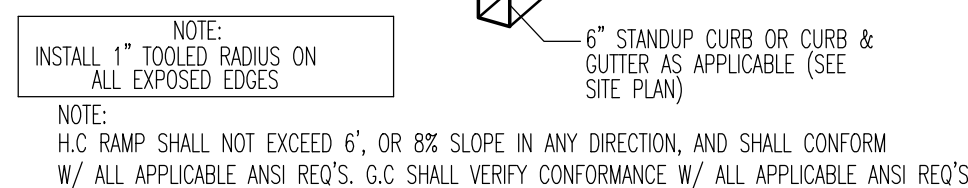
GRAPHIC LEGEND:			
-----	EXISTING CONCRETE CURB & GUTTER TO REMAIN		
-----	EXISTING PARKING LOT STRIPING TO REMAIN		
-----	EXISTING CONCRETE PAVING/SIDEWALK TO REMAIN		
=====	EXISTING CONCRETE/CMU WALL TO REMAIN		
=====	NEW CONCRETE CURB & GUTTER		
=====	NEW CONCRETE PAVING/SIDEWALK		
=====	NEW PARKING LOT STRIPING		
=====	NEW CONCRETE/CMU WALL		
[Pattern]	INDICATES NEW LANDSCAPE AREAS		

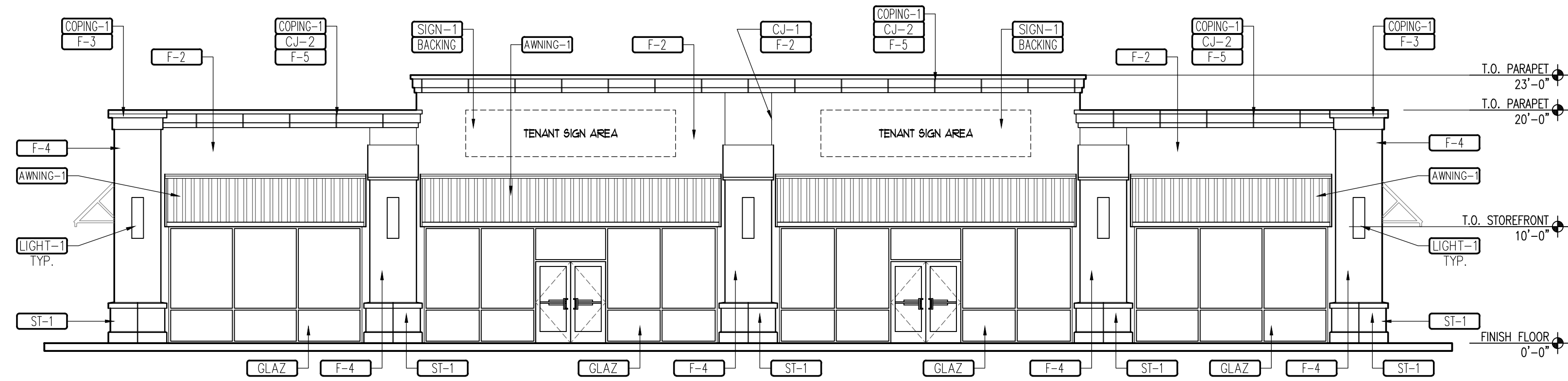
REV	DATE	BY	REVISION
▲			
▲			
▲			
▲			
▲			

MODULUS ARCHITECTS
& LAND USE PLANNING
8220 SAN PEDRO DRIVE NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499

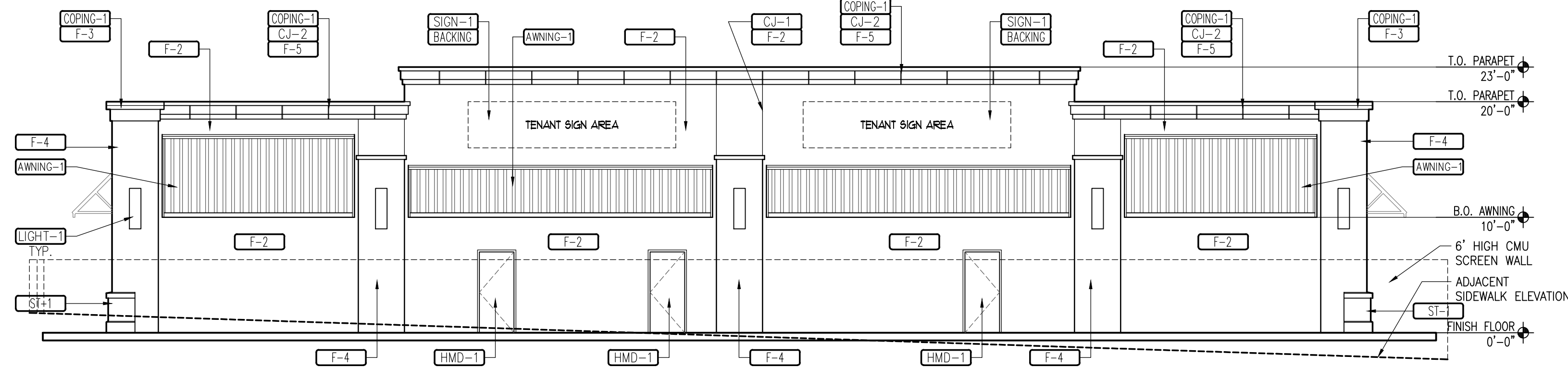


PROJECT TITLE WINROCK TOWN CENTER PAD-2 SHELL 2100 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87110		DRAWN BY: CDC	
PROJECT MANAGER STEPHEN DUNBAR, AIA		JOB NO. --	
SHEET TITLE SITE PLAN		DATE: 09/15/2023	
SCALE: AS NOTED		SHEET NO. AS101	

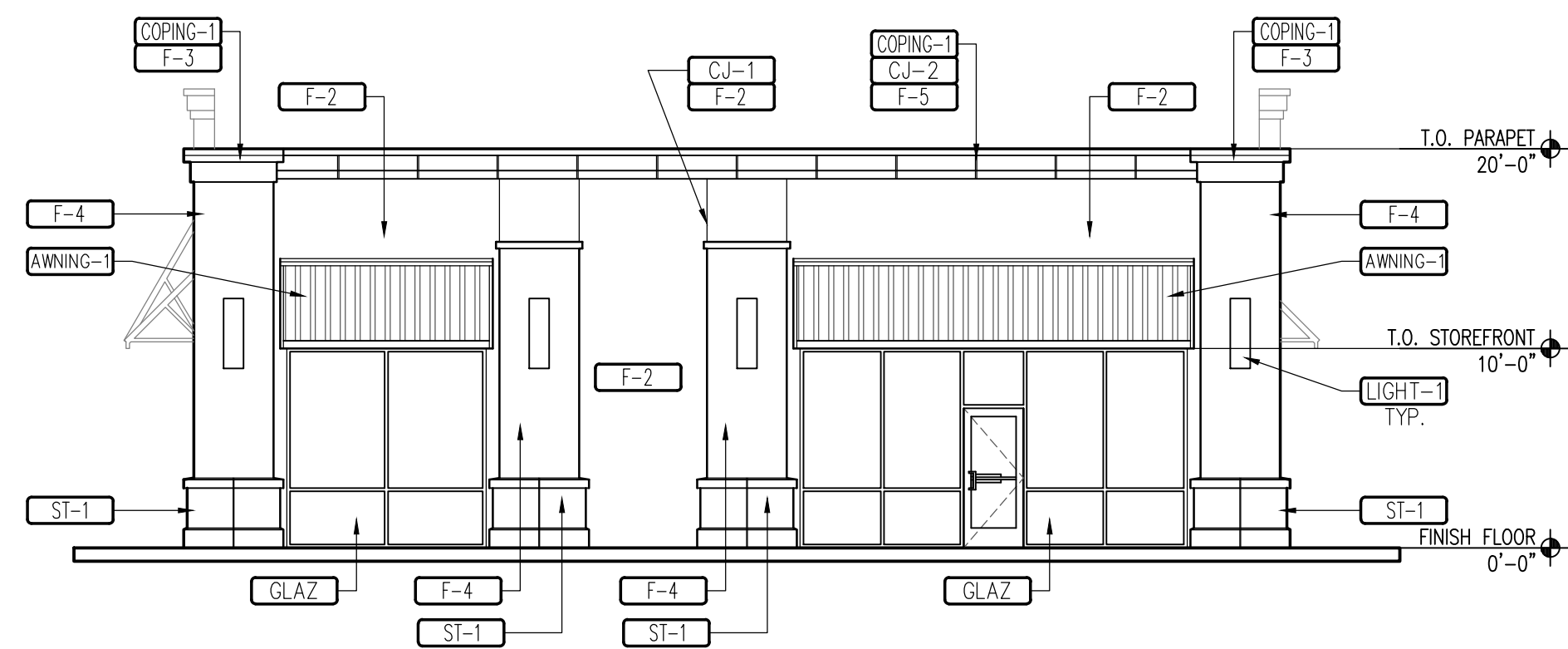




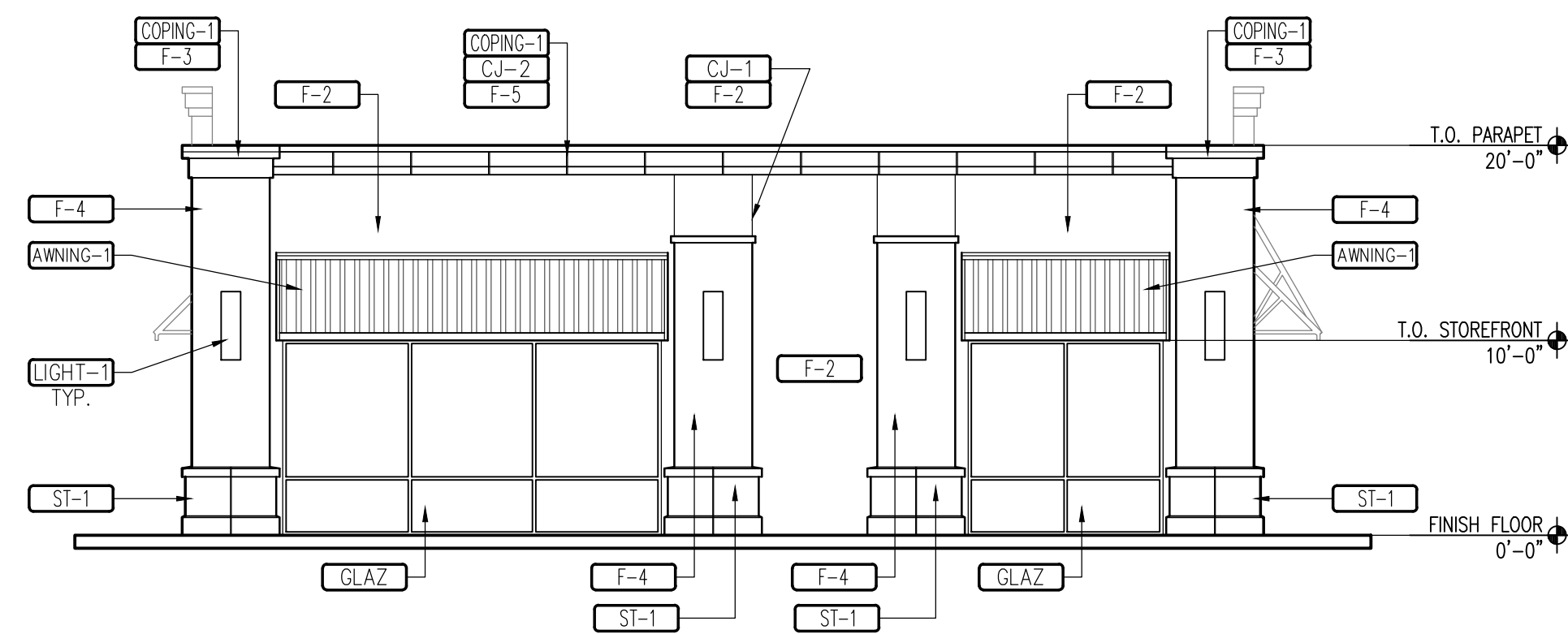
1 SOUTH ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION (REAR)
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION (LEFT)
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION (RIGHT)
SCALE: 1/8" = 1'-0"

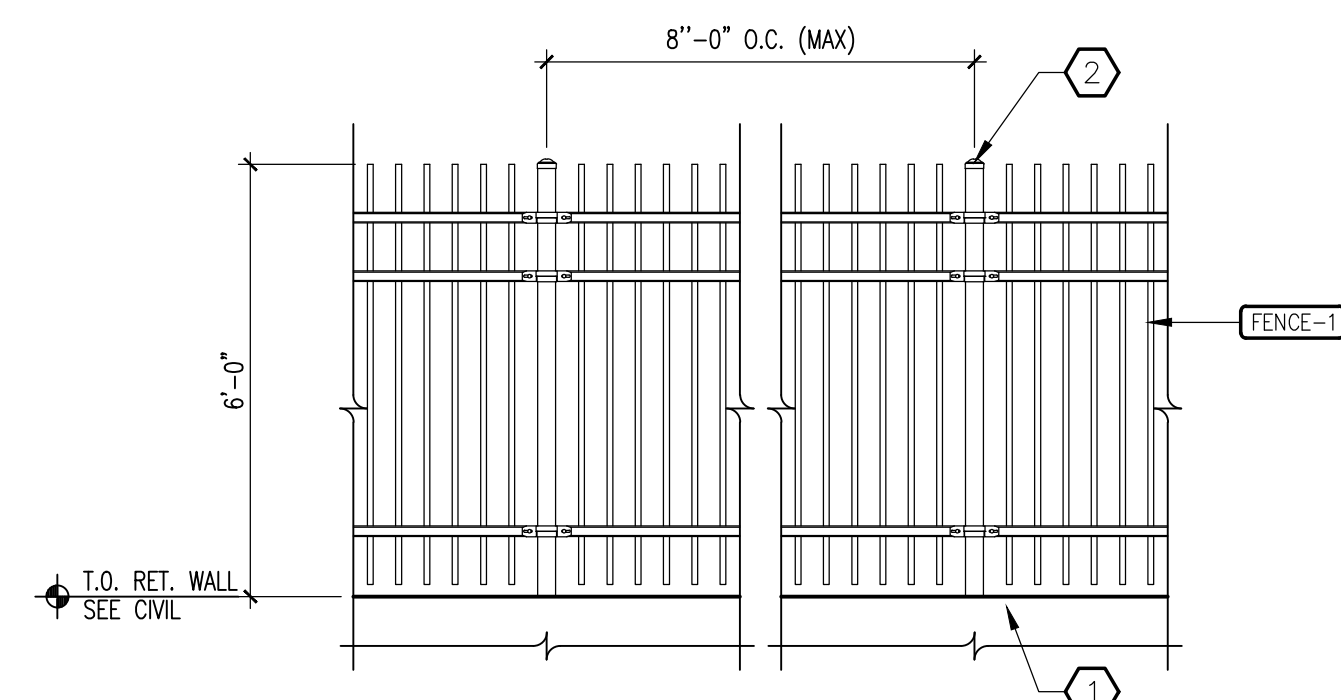


5 SCREEN WALL ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS		MODEL	MFG	REMARKS
GLAZ	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E GLASS COLOR=ANODIZED SILVER			
SIGN-1	INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE BY TENANT NOTE: LETTER FACED TO BE RED/OR WHITE IN COLOR			REFER TO TENANT SIGNAGE FOR DETAILS
BACKING	5/8" PLYWOOD SIGN BACKING SUBSTRATE LOCATION			
CJ-1	1/4" STUCCO CONTROL JOINT			
CJ-2	3/4" FOAM "V" REVEAL JOINT			
F-1	2 COAT STUCCO SYSTEM COLOR-STO-16059 (TAN)			
F-2	2 COAT STUCCO SYSTEM COLOR-STO-16060 (LIGHT TAN)			
F-3	2 COAT STUCCO SYSTEM COLOR-STO-16032 (WHITE)			
F-4	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (PUEBLO)			
F-5	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (CORAL)			
F-6	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (LIGHT GREY)			
F-7	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (LIGHT BLUE)			
T-1	EXTERIOR DECORATIVE TILE 13" X 40" (WHITE CERAMIC)			
EXTERIOR MATERIALS		MODEL	MFG	REMARKS
CMU-1	SMOOTH FACED CMU AND WALL CAP BY CREGO COLOR: LOBO (CREAM)			
CMU-2	SPLIT FACED CMU BY CREGO BLOCK COLOR: PETRO BLACK (DARK GREY)			
COPING-1	EXTERIOR COPING CAP-PREFINISHED KYNAR 500 COLOR =MATCH ADJACENT STUCCO COLOR			
ST-1	MATERIALS, INC. CAST STONE BASE COLOR =#14 ADOBE			
FENCE-1	EXTERIOR DECORATIVE RAILING/FENCE - COLOR: BLACK			
AWNING-1	PREFINISHED METAL R-PANEL OVER STEEL FRAME, COLOR =RUST			NOTE: G.C TO COORDINATE /INSTALL BLOCKING
LIGHT-1	EXTERIOR LANDLORD SPECIFIC DECORATIVE LIGHT FIXTURE			NOTE: PROVIDED FLUSH MOUNT "J" BOX
LIGHT-2	EXTERIOR SERVICE ARE WALL PACK LIGHT FIXTURE			NOTE: PROVIDED FLUSH MOUNT "J" BOX
HMD-1	PAINTED HOLLOW METAL DOOR AND FRAME			NOTE: DOOR PAINT TO MATCH ADJ. STUCCO

KEYED NOTES:

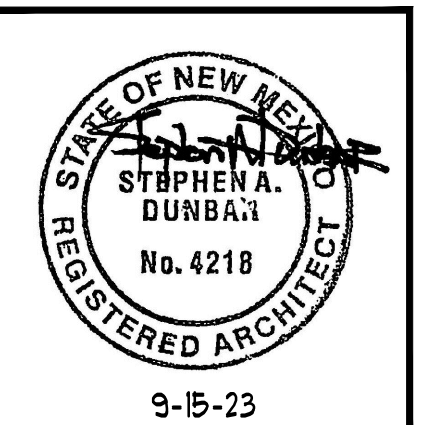
1. CONCRETE RETAINING WALL, REFER TO CIVIL.
2. 6" HIGH MONTAGE II GENESIS 3-RAIL STEEL FENCE BY AMERISTAR OR APPROVED EQUAL.



6 DECORATIVE FENCE ELEVATION
SCALE: 3/8" = 1'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
& LAND USE PLANNING
8220 SAN PEDRO DRIVE NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499



PROJECT TITLE WINROCK TOWN CENTER PAD-2 SHELL 2000 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87110	DATE 09/15/2023	SHEET A201
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --	DRAWN BY CDC
SHEET TITLE EXTERIOR ELEVATIONS		

PROPERTY

THE PROJECT SITE IS WITHIN PARCEL X WINROCK TOWN CENTER. PARCELX IS APPROXIMATELY 0.339 ACRES AND PART OF THE LARGER WINROCK TOWN CENTER REDEVELOPMENT PROJECT. THE PROJECT SITE IS IMMEDIATELY SOUTH OF ROAD B AND EAST OF ROAD A.

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001C0352G DATED SEPTEMBER 26, 2008 SHOWS THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE X.

EXISTING DRAINAGE PLANS

- NMDOT LOUISIANA / INTERSTATE 40 INTERCHANGE IMPROVEMENT AND CITY OF ALBUQUERQUE AMERICAS PARKWAY EXTENSION - 2004 THRU 2005
- DRAINAGE STUDIES FOR THESE PROJECTS WERE PREPARED BY BOHANNAN HUSTON DATED AUGUST 2003 AND JANUARY 2004 RESPECTIVELY.
- AS PART OF THESE PROJECTS ALTERATIONS WERE MADE TO THE LAYOUT AND DRAINAGE OF THE MARONI GRILL PARKING LOT.
- PARKING LOT WAS REALIGNED DUE TO RIGHT-OF-WAY TAKE ALONG LOUISIANA BOULEVARD AND DRIVEWAY ACCESS ONTO LOUISIANA BOULEVARD WAS ELIMINATED.
- PARKING LOT DRAINAGE IMPROVEMENTS INCLUDED THE FOLLOWING:
 - WITHIN THE NORTHERN PORTION OF THE PARKING LOT A SURFACE DISCHARGE ONTO WINROCK LOOP WAS REPLACED WITH A DROP INLET AND NEW PUBLIC STORM DRAIN.
 - WITHIN THE SOUTHERN PORTION OF THE PARKING LOT A NEW DROP INLET AND STORM DRAIN LATERAL WAS INSTALLED AS PART OF THE STORM DRAIN IMPROVEMENTS ASSOCIATED WITH AMERICAS PARKWAY EXTENSION AND LOUISIANA / INTERSTATE 40 INTERCHANGE PROJECTS-ZOLLARS, INC. DATED 7/20/2015

EXISTING CONDITIONS

THE SITE IS AN EXISTING COMMERCIAL BUILDING AND PARKING LOT.

PROPOSED IMPROVEMENTS

THIS PROJECT CONSTRUCTS A NEW 5665 SF OFFICE BUILDING WITH A FINISH FLOOR ELEVATION OF 5287.90. THE FINISH FLOOR IS RAISED SO THAT THE MAIN ENTRANCE TO THE WEST IS AT GRADE.

PROJECT DOES NOT ALTER THE EXISTING PARKING LOT.

PROPOSED DRAINAGE CONDITIONS

PROJECT IMPROVEMENTS MAINTAIN DRAINAGE PATTERNS AND FLOWS IN ACCORDANCE WITH THE EXISTING APPROVED DRAINAGE PLAN. THE NEW BUILDING ROOF DRAINS NORTH AND DISCHARGE SHEET FLOWS INTO FLOOR DRAINS WITHIN THE FLATWORK ON THE NORTH FACE AND WEST FACE OF THE BUILDING INTO NEW STORM DRAIN.

STORM WATER QUALITY

WATER QUALITY REQUIREMENTS TREATING THE PAVED AREAS.

VOLUME = 4700 SF * 0.26IN/12 = 101.8 CUBIC FEET

PROJECT DOES NOT INCLUDE PAVEMENT RECONSTRUCTION AND THERE IS NOT SPACE ON THE SITE TO CONSTRUCT A STORM WATER QUALITY FACILITY THEREFORE THE PROJECT SEEKS PAYMENT IN LIEU TO COMPLY WITH CITY ORDINANCE.

PAYMENT IN LIEU = 101.8 CU FT * \$8/CU FT = **\$814.40**

BENCHMARK

A STANDARD CITY OF ALBUQUERQUE MONUMNET "20_H18" 3 1/2" ALUMINUM DISC. NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983)
N=1,493,154.978 U.S. SURVEY FEET
E = 1,545,048,210 U.S. SURVEY FEET
PUBLISHED ELEVATION = 5283.222 U.S. SURVEY FEET (NAVD 1988)
GROUND TO GRID FACTOR = 0.99966158 DELTA ALPHA ANGLE = -0°11'00.11".

MONUMENT FROM NW CORNER OF BUILDING IS 2,362.39' BEARING N32°21'31"W.

AREA OF DISTURBANCE IS APPROXIMATELY 14,714 SF

AN EROSION SEDIMENT CONTROL PLAN IS NOT REQUIRED.

PLANIMETRIC AND TOPOGRAPHIC SURVEY

PROVIDED BY HUITT-ZOLLARS, DATED MARCH 2020.

HYDROLOGY BASIN - 100

AREA = 0.34 ac.

DRAINAGE ZONE 3

PRECIPITATION:
360 = 2.43 in.
1440 = 2.84 in.
10day = 4.10 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A 0.67 in. 1.84 cfs/ac.
TREATMENT B 0.86 in. 2.49 cfs/ac.
TREATMENT C 1.09 in. 3.17 cfs/ac.
TREATMENT D 2.58 in. 4.49 cfs/ac.

EXISTING CONDITIONS: PROPOSED CONDITIONS:

TREATMENT A 0.00 ac. 0.00 ac.
TREATMENT B 0.00 ac. 0.00 ac.
TREATMENT C 0.00 ac. 0.00 ac.
TREATMENT D 0.34 ac. 0.34 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.67 x(0.00)+(0.86 x(0.00)+(1.09 x(0.00)+(2.58 x(0.34) 0.34 ac.
= 2.58 in.
V100-360 = (2.58 x(0.34)/ 12 = 0.072629 ac-ft = 3164 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.84 x(0.00)+(2.49 x(0.00)+(3.17 x(0.00)+(4.49 x(0.34)= 1.52 cfs

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.67 x(0.00)+(0.86 x(0.00)+(1.09 x(0.00)+(2.58 x(0.34) 0.34 ac.
= 2.58 in.
V100-360 = (2.58 x(0.34)/ 12.0 = 0.072629 ac-ft = 3164 cf

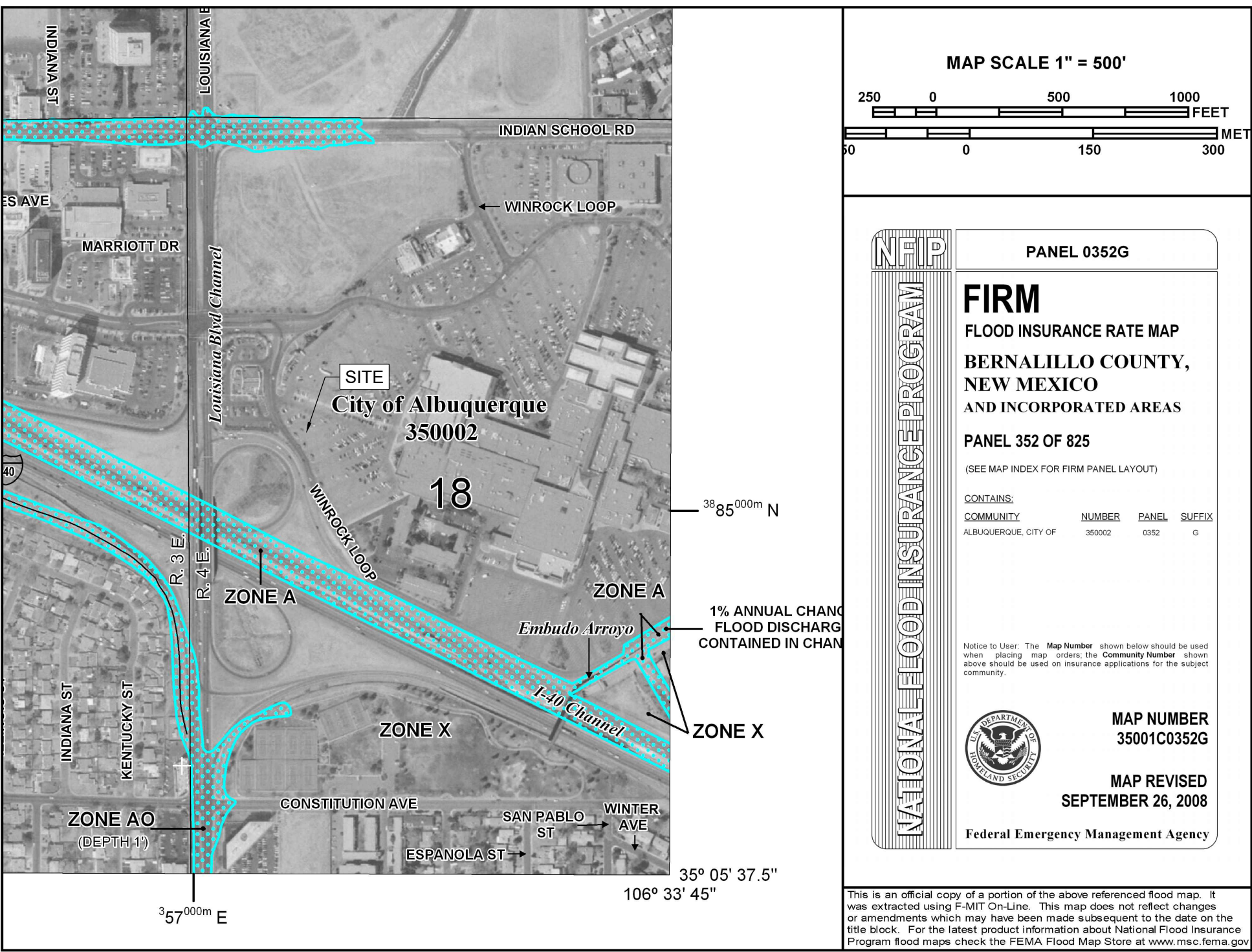
V100-1440 = (0.07)+(0.34 x(2.84 - 2.43)/ 12 = 0.084171 ac-ft = 3666 cf

V100-10day = (0.07)+(0.34 x(4.10 - 2.43)/ 12 = 0.119641 ac-ft = 5212 cf

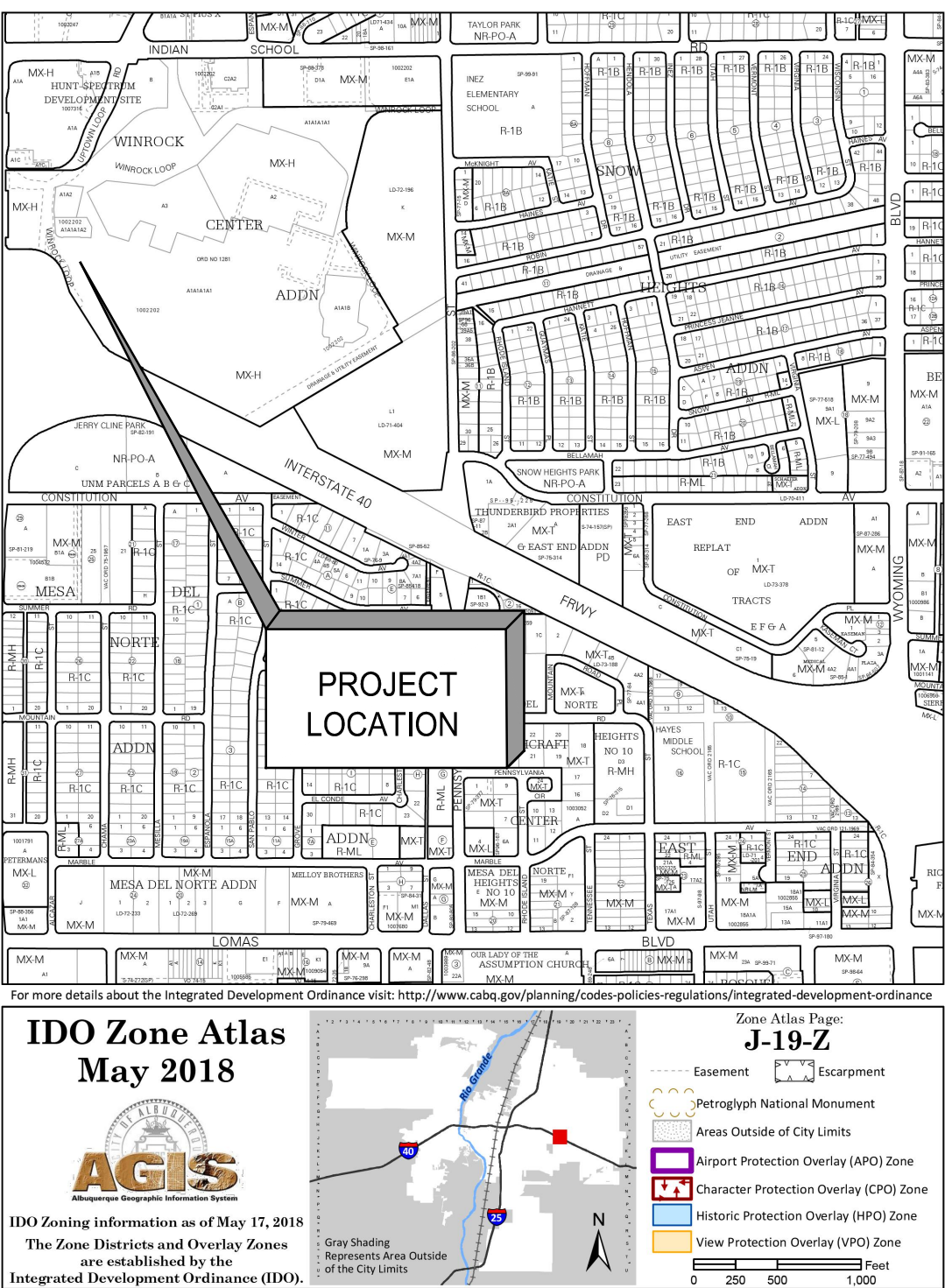
PROPOSED PEAK DISCHARGE:

Q100 = (1.84 x(0.00)+(2.49 x(0.00)+(3.17 x(0.00)+(4.49 x(0.34)= 1.52 cfs

FIRMETTE



IDO ZONE MAP J-19



CONSTRUCTION NOTES

- CONSTRUCT 6" CURB & GUTTER PER COA STD DWG 2415A
- CONSTRUCT CURB RAMP. SEE SITE PLAN.
- CONSTRUCT SIDEWALK. SEE SITE PLAN
- FLOOR DRAIN.
- CONSTRUCT SIDEWALK CULVERT PER COA STD DWG 2263.
- CONSTRUCT CONCRETE RUNDOWN PER DETAIL ON SHEET C200.
- CONSTRUCT NEW WALL PER DETAILS ON SHEET C200.
- 1" CURB OPENING.

LEGEND

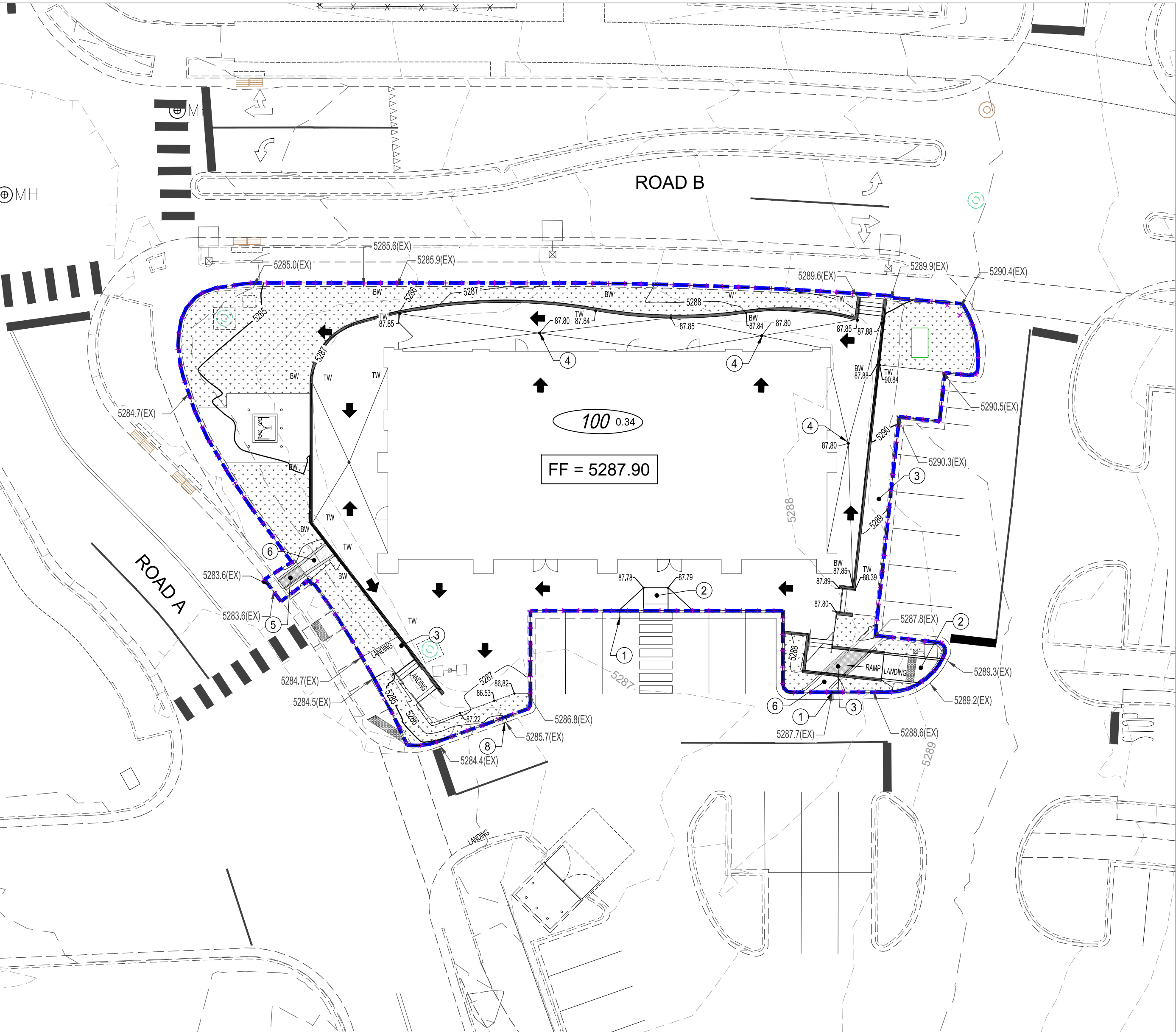
- BASIN BOUNDARY
- DISCHARGE LOCATION
- FLOW DIRECTION
- LIMITS OF DISTURBANCE
- BASIN ID
- AREA (AC)
- NEW WALL

Designed By: **HUITT ZOLLARS**

WINROCK TOWN CENTER
CHICKEN SALAD CHICK

TITLE: GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	J-19-Z	C100	



GRADING & DRAINAGE PLAN



STORM DRAIN DATA

1	12"	N53° 48' 48"E	3.67"	-0.54%
2	12"	N31° 27' 54"E	2.93"	-0.51%
3	12"	N00° 00' 00"W	46.68"	-0.57%
4	12"	N45° 21' 26"E	3.51"	-0.57%
5	12"	S89° 17' 08"E	117.56"	-0.58%
6	12"	S45° 21' 26"E	3.54"	-0.57%
7	12"	S00° 00' 00"E	24.68"	-0.53%



UP TO 2 FT
TYPE X WALL - $H < 1.5'$
TYPE A WALL - $H = 1.5'$ TO $2.0'$



2 TO 4 FT

CONSTRUCTION NOTES:

STORM DRAIN

- ① INSTALL 12" HDPE STORM DRAIN PIPE
- ② FLOOR DRAIN.
- ③ RETAINING WALL. SEE THIS SHEET FOR TYPE A & TYPE B RETAINING WALL DETAILS.
- ④ CONSTRUCT SIDEWALK CULVERT PER COA STD DWG 2263.
- ⑤ CONSTRUCT CONCRETE RUNDOWN.
- ⑥ CONSTRUCT '4' WIDE CONCRETE RUNDOWN.

WATER

- ⑩ EX. WATER METER BOX
- ⑪ CONNECT 2" WATER SERVICE LINE TO BUILDING
- ⑫ CONNECT 6" FIRE LINE TO BUILDING.
- ⑬ FIRE DEPARTMENT REMOTE CONNECTION (FDC)
INSTALL 146 LF 6" WATERLINE FROM EXISTING
FIRE HYDRANT

SEWER

- ②0 CONNECT EX. 6" SAS SERVICE LINE TO BUILDING
- ②1 INSTALL 6" PVC SERVICE LINE TO GREASE TRAP
- ②2 NEW GREASE TRAP, VENT & INTERCEPTOR.
SCHIER GB-250

MASONRY WALL CONSTRUCTION NOTES:

1. RETAINING WALLS ARE REQUIRED WHENEVER THE DIFFERENCE IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES)
2. ALL MASONRY UNITS SHALL BE TYPE 1, GRADE N WITH A COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA). F'M=1500 PSI
3. MORTAR SHALL BE TYPE S.
4. GROUT - F' = 2000 PSI
5. CELLS CONTAINING REBAR SHALL BE GROUTED SOLID FROM THE BOTTOM TO THE TOP OF THE WALL IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.
6. PROVIDE PILASTERS AT 12' O.C. MAXIMUM, OR IF NO PILASTERS ARE USED, PROVIDE EXPANSION JOINTS AT 20' O.C.
7. THE BACK OF WALLS BELOW GRADE SHALL BE WATERPROOFED PRIOR TO BACKFILLING.
8. ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID.
9. LAP ALL REBAR 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.
10. ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND A LAP OF 48 BAR DIAMETERS OR 24" MINIMUM. VERTICAL STEEL SHALL CONTINUE THROUGH BOND BEAMS.
11. PROVIDE STANDARD TRUSS TYPE JOINT REINFORCING AT 16" O.C. (ALTERNATE COURSES). USE PREFABRICATED CORNERS AND TEES AT ALL WALL CORNERS AND INTERSECTIONS RESPECTIVELY.
12. MIN. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI.
13. WEEPHOLES MAY BE PROVIDED BY ELIMINATING THE MORTAR BETWEEN EVERY OTHER JOINT OF THE SECOND COURSE OF BLOCK.
14. SUBGRADE UNDER FOOTING SHALL BE COMPACTED TO 95% ASTM D-1557, AND ALL BACKFILL SHALL BE COMPACTED TO 90% ASTM D-1557 IN NON-PAVED AREAS, AND 95% ASTM D-1557 IN PAVED AREAS.
15. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.
16. ALL RETAINING WALLS REPRESENTED ON THIS SHEET HAVE BEEN DESIGNED TO ACCEPT A 5' TO 6' PRIVACY WALL.
17. TOP COURSE OF RETAINING WALL SHOULD BE A 2" THICK SOLID MASONRY CAP UNLESS A PRIVACY WALL IS TO BE CONSTRUCTED ON TOP.
18. PROVIDE ANTI-GRAFFITI SURFACE COATING ON THE CMU WALL WHEN FACING THE PUBLIC AREAS AND RIGHT-OF-WAY LOCATIONS.

GENERAL NOTE:

1. WHERE C.M.U. PRIVACY WALLS OR RETAINING WALLS ARE INSTALLED, WEEP HOLES SHALL BE PROVIDED IN THE PORTION OF THE WALL BELOW GRADE, TO RELIEVE POTENTIAL HYDROSTATIC PRESSURE, BY ELIMINATING THE MORTAR FROM ALTERNATING VERTICAL JOINTS IN EVERY OTHER COURSE OF BLOCKS BELOW GRADE. NO TURNED BLOCKS WILL BE ALLOWED.
2. ADDITIONAL COURSE MAY BE BURIED AS A RESULT OF FIELD CONDITIONS.
3. PAY ITEM IS FOR EXPOSED BLOCKS ONLY.

Designed By _____

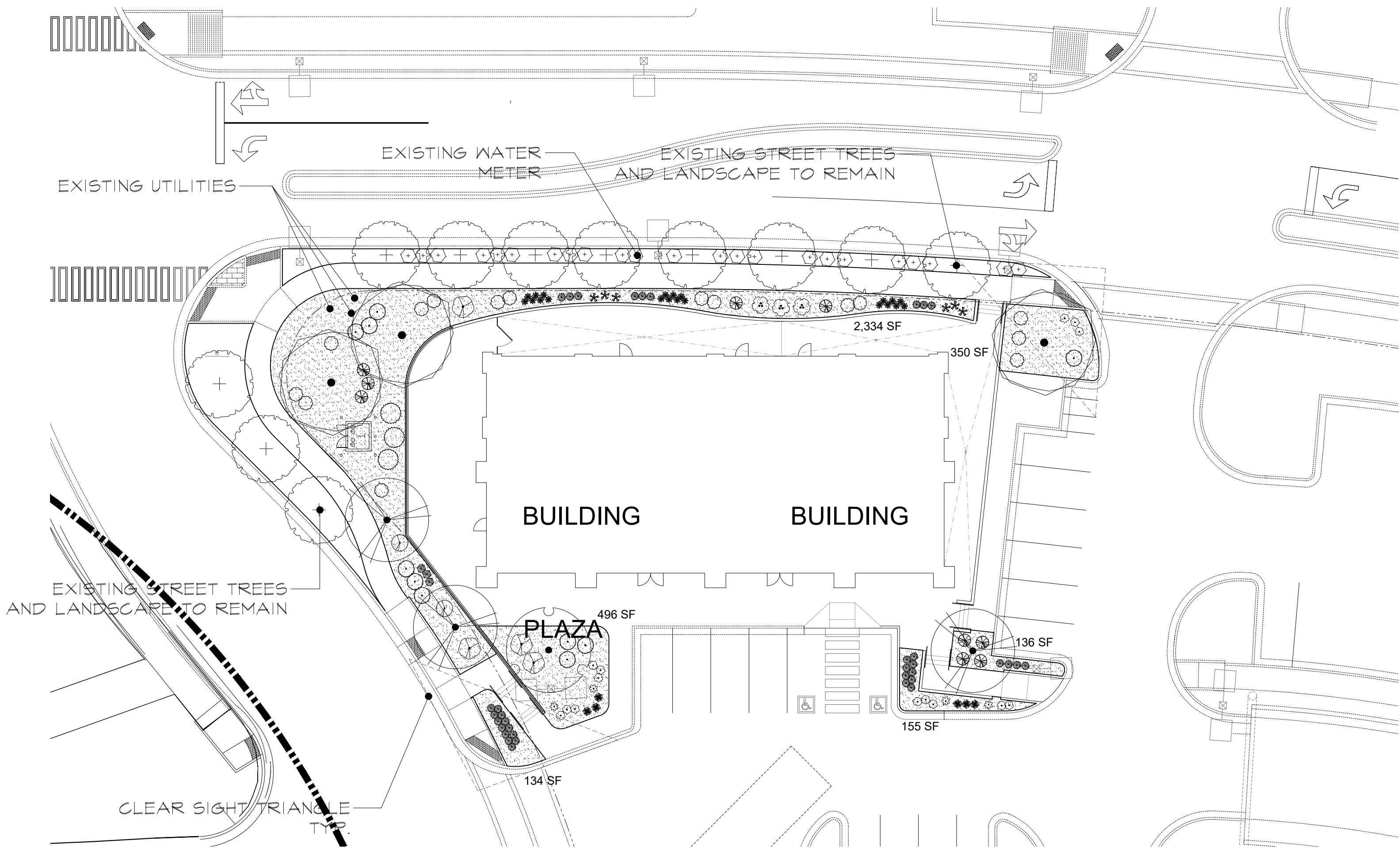


WINROCK TOWN CENTER
CHICKEN SALAD CHICK

TITLE:

UTILITY PLAN

Last Update	Mo./Day/Yr.	Mo./Day/Yr.
No. Z	Sheet	Of C200



SITE DATA

LANDSCAPE AREA (LAN.)

PROPOSED 3,606 SF

VEGETATION COVERAGE (VEG.)

REQUIRED 2,705 SF (75% OF LAN).
PROPOSED 4,586 SF

GROUND-LEVEL PLANTS COVERAGE

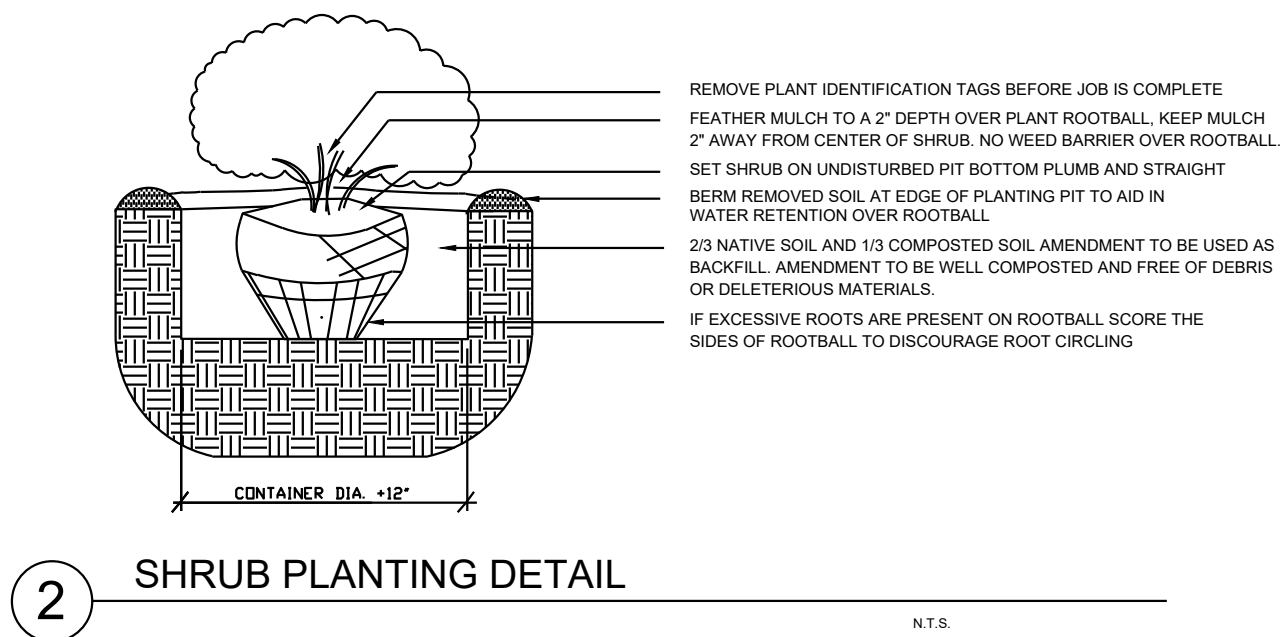
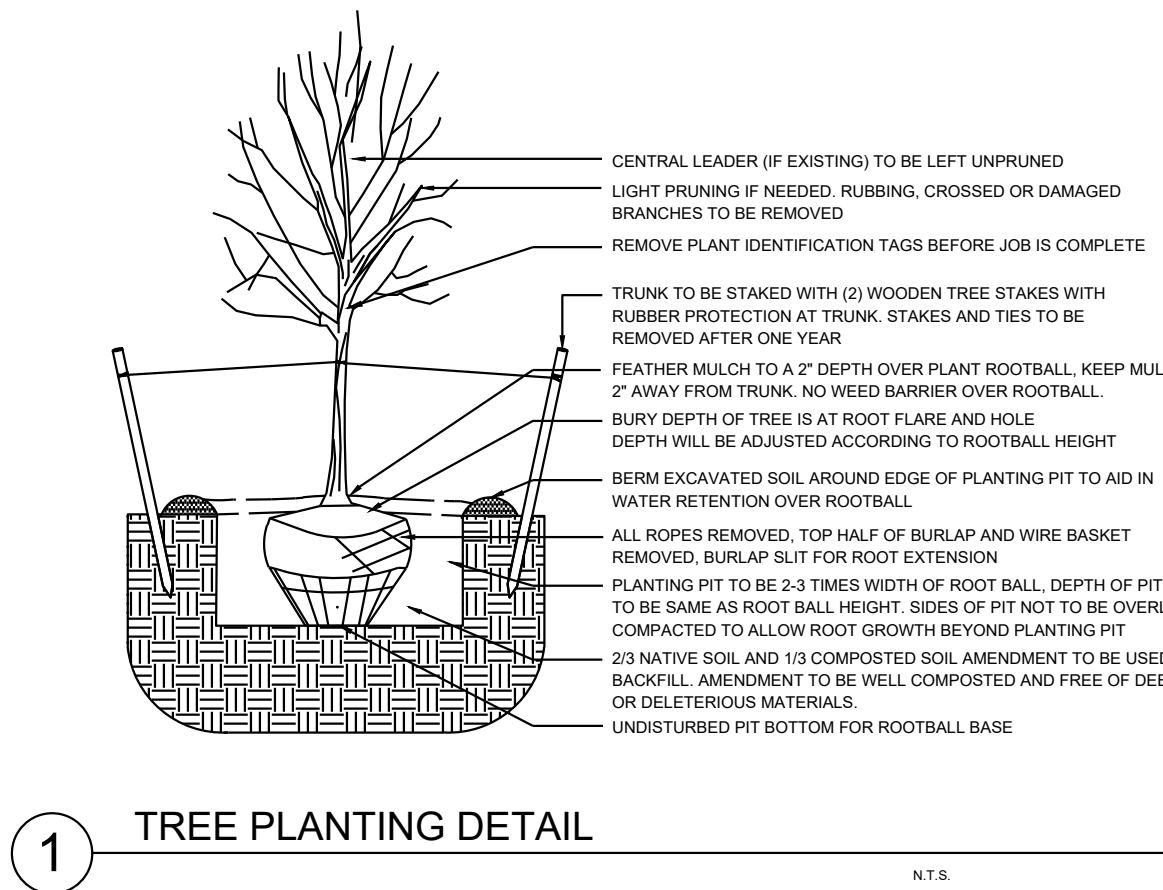
REQUIRED 676 SF (25% OF VEG.)
PROPOSED 1,128 SF

PARKING LOT TREES (1 PER 10 PARKING SPACES)

REQUIRED 2
PROPOSED 3

TOTAL

REQUIRED 2 TREES
PROPOSED 7 TREES



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	11	EXISTING TREE	VARIES		
DECIDUOUS TREE	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	3	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2\" B&B	40' X 30'	707
	1	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN	2\" B&B	20' X 20'	314
	3	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2\" B&B	25' X 20'	314
		SUBTOTAL			3,377 SF
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	23	EXISTING SHRUB	VARIES		
DESERT ACCENT	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	3	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13
PERENNIAL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	6	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3
	4	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3
	15	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA	1 GAL	3' X 3'	7
	14	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3
	21	RUDBECKIA FULGIDA 'GOLDSTRUM' / CONEFLOWER	1 GAL	2' X 2'	3
ORNAMENTAL GRASS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	35	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7
	3	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30\" X 2'	3
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	6	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	4' X 4'	13
	4	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	5' X 6'	28
	3	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28
	10	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13
	2	ROSA WOODSII / MOUNTAIN ROSE	5 GAL	4' X 4'	13
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	9	BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL	5' X 5'	20
		SUBTOTAL			1,128 SF
		TOTAL			4,505 SF

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	VALLEY GOLD 1\" GRVEL

GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
- PURSUANT TO 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PURSUANT TO 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9 FOOT CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER FAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 07/09/2023

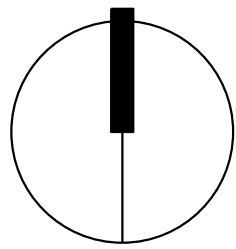
Revisions:

- △
- △
- △
- △
- △

Drawn by: PL

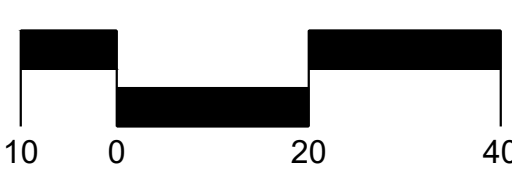
Reviewed by: CM

Winrock Town Center
Pad 2 Shell
2100 Louisiana Blvd, NE
Albuquerque, NM 87110



NORTH

Scale: 1" = 20'



Sheet Title:

Landscape
Plan

Sheet Number:

LS-01