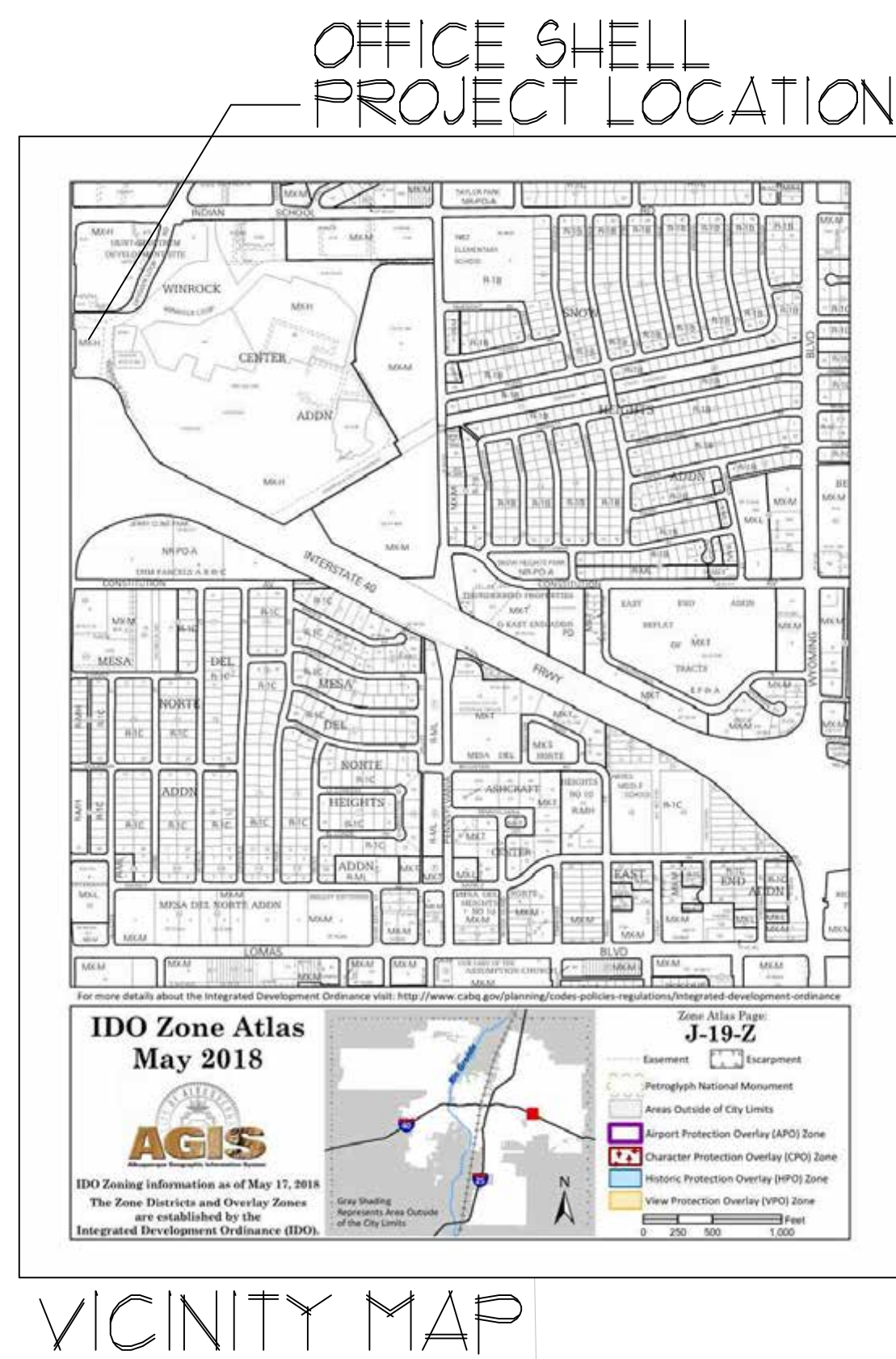
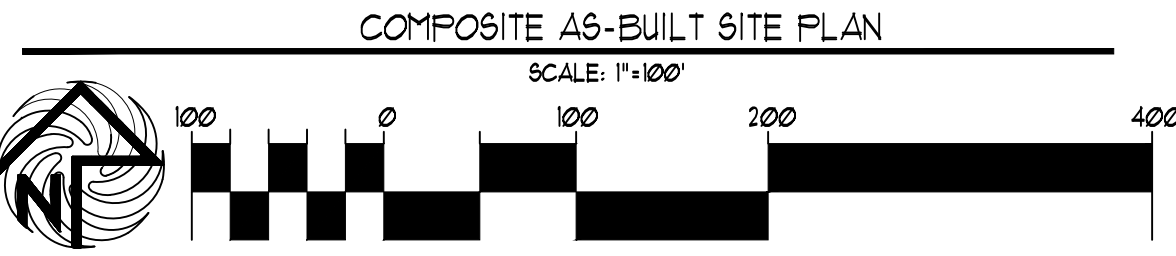
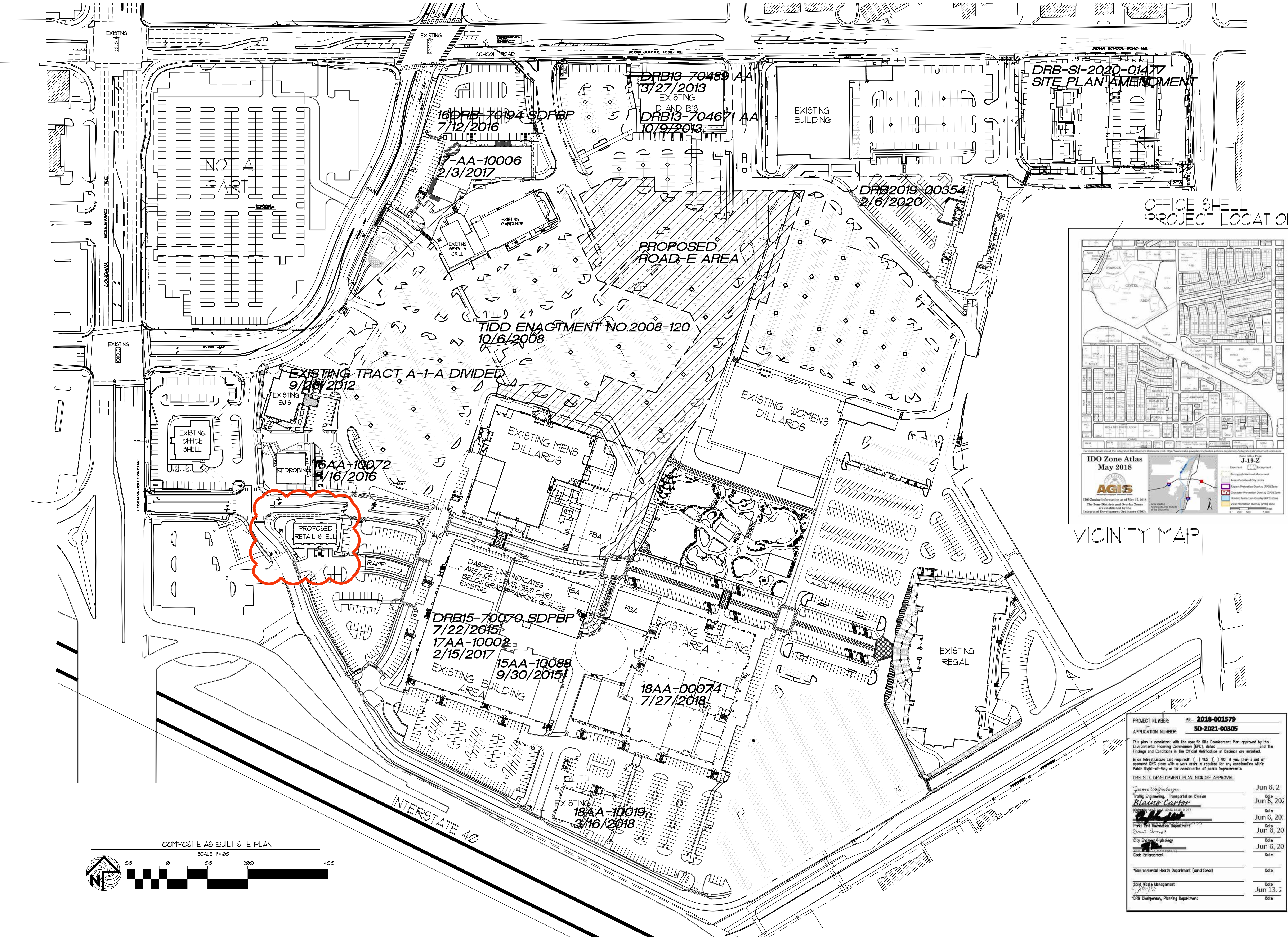


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

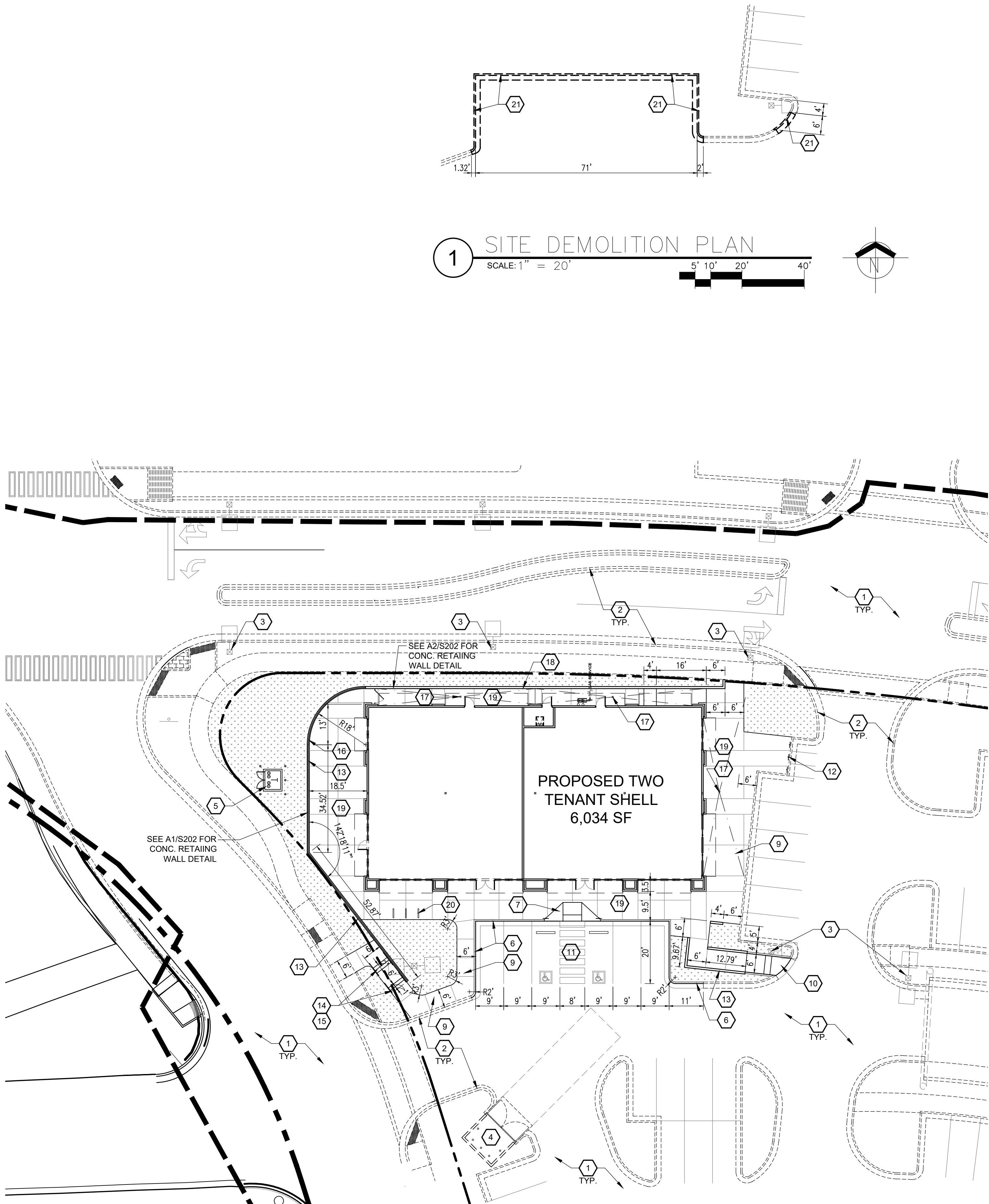
APPROVED BY

DATE



PROJECT NUMBER:	PR- 2018-001579
APPLICATION NUMBER:	SD-2021-00305
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () YES () NO If yes, when a set of approved DPC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
James W. Henderson Traffic Engineering, Transportation Division	Jun 6, 2021
Blaine Carter Public Works (Roads & Bridges)	Jun 8, 2021
Paula Lee Public Works (Roads & Bridges)	Jun 6, 2021
Scott J. Smith Public Works (Roads & Bridges)	Jun 6, 2021
City Engineer/Hydrology	Jun 6, 2021
Code Enforcement	Jun 6, 2021
*Environmental Health Department (conditional)	Jun 6, 2021
Solid Waste Management	Jun 13, 2021
DRB Chairperson, Planning Department	Jun 13, 2021

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2 SITE PLAN
SCALE: 1" = 20'

VICINITY MAP:



SITE DATA:

PROJECT ADDRESS: 2100 LOUISIANA BLVD. NE

LEGAL DESCRIPTION: TRACT D, WINROCK CENTER ADDN

PROPERTY SIZE: 2.0002 ACRES

CURRENT ZONING: MX-H

PROPOSED USE: RESTAURANT & RETAIL

BUILDING SIZE: 6,034 SF

PARKING DATA:

BUILDING DATA			
TOTAL BUILDING AREA: 5,496 SF			
RESTAURANT AREA: 2,748 SF			
RETAIL AREA: 2,748 SF			
PARKING REQUIREMENTS	RATIO	REQUIRED	PROVIDED
OFF-STREET PARKING SPACES (RESTAURANT)	5.6 PER 1,000 SF	15	15
OFF-STREET PARKING SPACES (RETAIL)	3.5 PER 1,000 SF	9	9
OFF-STREET PARKING SPACES (COMBINED)	-	24	24
ACCESSIBLE PARKING SPACES	1-25 SPACES	1	2
MOTORCYCLE PARKING	1-25 SPACES	1	3
BICYCLE PARKING SPACES	3 OR 10% REQUIRED	3	3

GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH ALL CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS FOR CONSTRUCTION.
- LANDSCAPING, FENCING & SIGNAGE SHALL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

KEYED NOTES:

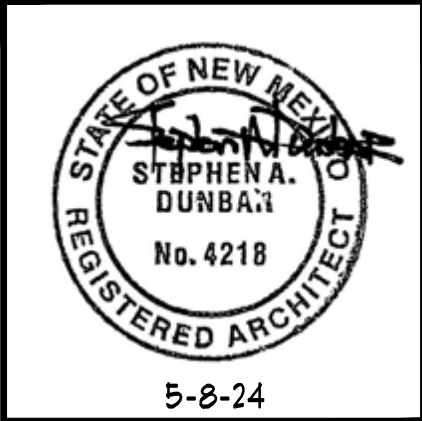
- EXISTING ASPHALT PARKING AND DRIVE AISLES TO REMAIN.
- EXISTING CONCRETE CURB & GUTTER REMAIN.
- EXISTING LIGHT POLE AND BASE TO REMAIN.
- EXISTING REFUSE ENCLOSURE TO REMAIN.
- NEW ELECTRICAL TRANSFORMER, REFER TO ELECTRICAL SITE PLAN.
- NEW CONCRETE CURB & GUTTER, SEE DETAIL 2/AS501.
- NEW FLARED ACCESSIBLE CURB RAMP, SEE DETAIL 12/AS501.
- NEW STRIPED CROSSWALK, SEE DETAIL 6/AS501 (SIM.).
- NEW CONCRETE SIDEWALK, SEE DETAIL 3/AS501.
- NEW DIRECTIONAL ACCESSIBLE RAMP CURB RAMP, SEE DETAIL 13/AS501.
- NEW ACCESSIBLE PARKING SYMBOL, ACCESS AISLE AND SIGN - SEE DETAIL 9/AS501.
- NEW MOTORCYCLE PARKING SIGN, TYPICAL OF 3 - SEE DETAIL 11/AS501.
- NEW CONCRETE RETAINING WALL, REFER TO STRUCTURAL.
- NEW CONCRETE STAIRS, SEE DETAIL 16/AS501.
- NEW HANDRAIL, SEE DETAIL 16/AS501.
- NEW GUARDRAIL FENCE, SEE DETAIL 6/A201.
- NEW AREA DRAIN, REFER TO CIVIL FOR DETAILS.
- NEW 6" TALL CMU SCREEN WALL, SEE ELEVATION 5/A201 & STRUCTURAL FOR DETAILS.
- NEW CONCRETE PAVING, SEE DETAIL 3/AS501.
- NEW BIKE RACKS, SEE DETAIL 5/AS501.
- SAWCUT AND REMOVE EXISTING CONCRETE CURB & GUTTER.

GRAPHIC LEGEND:

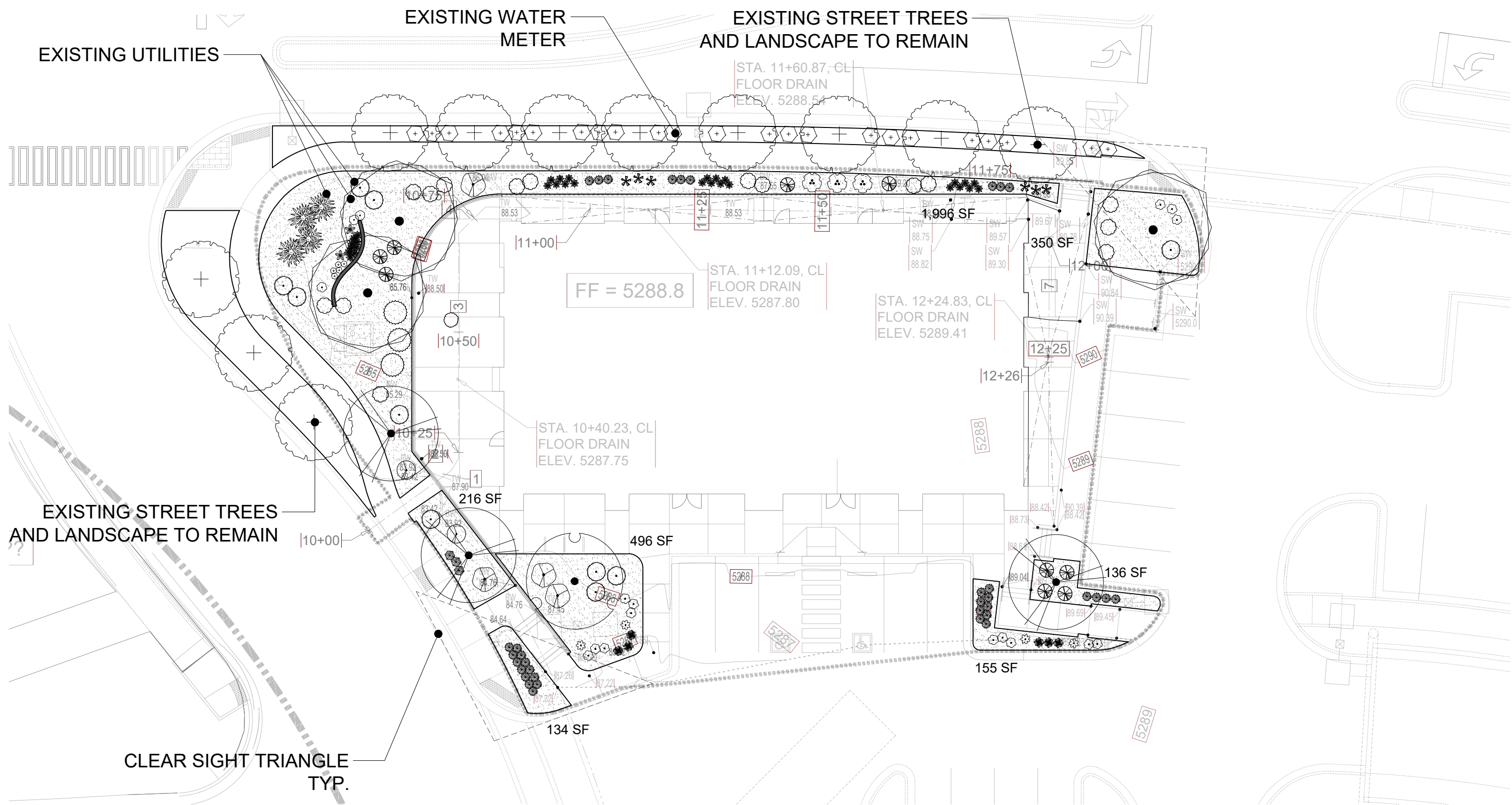
-----	EXISTING CONCRETE CURB & GUTTER TO REMAIN
-----	EXISTING PARKING LOT STRIPING TO REMAIN
-----	EXISTING CONCRETE PAVING/SIDEWALK TO REMAIN
=====	EXISTING CONCRETE/CMU WALL TO REMAIN
=====	NEW CONCRETE CURB & GUTTER
=====	NEW CONCRETE PAVING/SIDEWALK
=====	NEW PARKING LOT STRIPING
=====	NEW CONCRETE/CMU WALL
[Pattern]	INDICATES NEW LANDSCAPE AREAS

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MODULUS ARCHITECTS
& LAND USE PLANNING
8220 SAN PEDRO DRIVE NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499



PROJECT TITLE WINROCK TOWN CENTER PAD-2 SHELL 2100 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87110		DRAWN BY: CDC	
PROJECT MANAGER STEPHEN DUNBAR, AIA		JOB NO. --	
SHEET TITLE SITE PLAN		DATE: 05/08/2024	
SCALE: AS NOTED		SHEET NO. AS101	



SITE DATA

LANDSCAPE AREA (LAN.)

PROPOSED 3,481 SF

VEGETATION COVERAGE (VEG.)

REQUIRED 2,611 SF (75% OF LAN.)
PROPOSED 4,636 SF

GROUND-LEVEL PLANTS COVERAGE

REQUIRED 653 SF (25% OF VEG.)
PROPOSED 1,259 SF

PARKING LOT TREES (1 PER 10 PARKING SPACES)

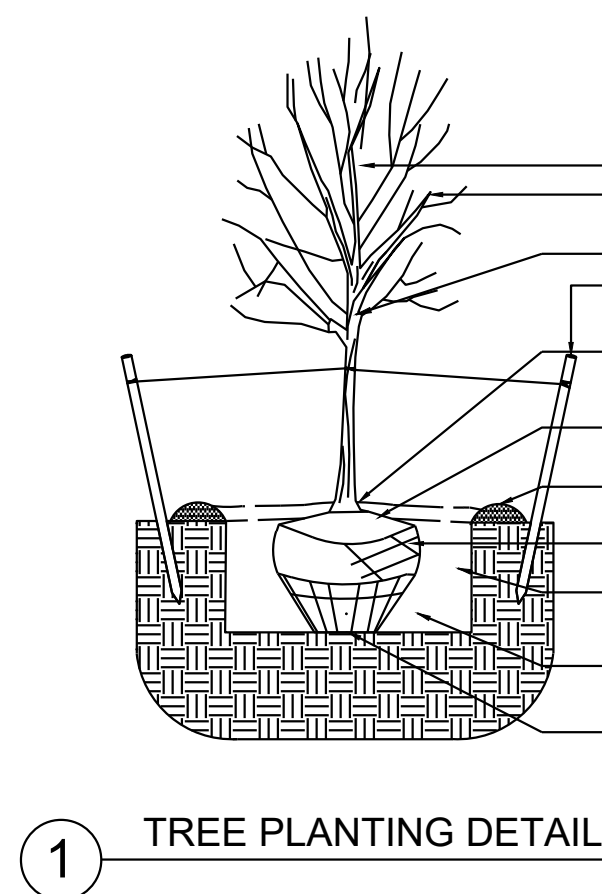
REQUIRED 2
PROPOSED 3

TOTAL

REQUIRED 2 TREES
PROPOSED 7 TREES

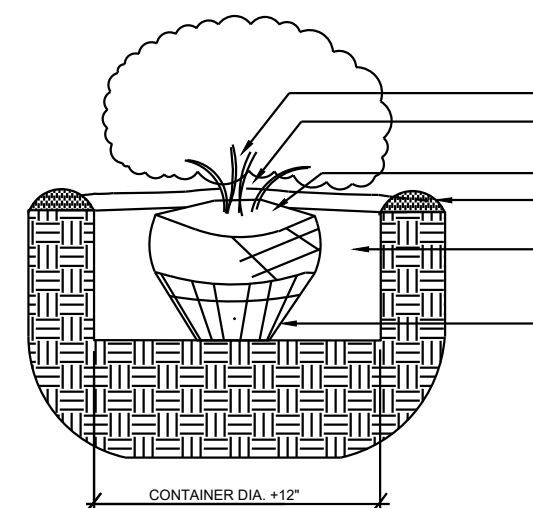
GENERAL NOTES

- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR AND SHALL BE MAINTAINED BY THE LANDSCAPE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT.
- GRADING OF THE SITE PER THE GRADING PLAN IS NOT INCLUDED IN THE SCOPE OF WORK OF THE LANDSCAPE CONTRACTOR. GRADES PER THE GRADING PLAN SHALL BE PROVIDED TO THE LANDSCAPE CONTRACTOR +/- 1/10TH OF A FOOT, BY OTHERS.
- ALL MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. NO CONTRACTUAL MAINTENANCE SHALL BE INCLUDED UNLESS OTHERWISE SPECIFIED IN THE BIDDING DOCUMENTS.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY RESTRICTIONS OF IRRIGATION WATER USE BY ANY GOVERNING BODY.
- PER 5-6(C)(4)(a) A MINIMUM OF 5 SPECIES MUST BE USED IN THE LANDSCAPED AREA.
- PER 5-6(C)(4)(b) ONLY TREES AND SHRUBS SELECTED FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES AND SHOWN ON A LANDSCAPE PLAN CAN COUNT TOWARD THE REQUIREMENTS OF THIS SUBSECTION 14-16-5-6(C) (GENERAL LANDSCAPING STANDARDS), EXCEPT THAT, UPON PRESENTATION OF EVIDENCE, THE RELEVANT DECISION-MAKING BODY MAY AUTHORIZE ALTERNATIVE SPECIES OR CULTIVARS THAT MEET ALL OF THE FOLLOWING REQUIREMENTS:
 - MEET THE INTENDED PURPOSE OF THAT TYPE OF LANDSCAPING.
 - ARE NOT HAZARDOUS.
 - ARE NOT IDENTIFIED AS INVASIVE ON A CITY OR STATE PLANT LIST.
 - ARE NOT LISTED IN THE CITY'S WEED IDENTIFICATION HANDBOOK.
 - ARE EQUALLY HARDY TO THE NEW MEXICO CLIMATE.
- PER 5-3(D)(3)(a) 3. SHADE TREES ALONG REQUIRED PEDESTRIAN WALKWAYS ARE REQUIRED PURSUANT TO SUBSECTION 14-16-5-6(C)(4)(i) (REQUIRED PLANT MATERIALS AND SITE AMENITIES). 5-6(C)(4)(i) SHADE TREES PLANTED APPROXIMATELY 25 FEET ON-CENTER ARE REQUIRED ALONG ALL REQUIRED PEDESTRIAN WALKWAYS. IF THE WALKWAY IS LESS THAN FEET LONG, AT LEAST ONE TREE IS REQUIRED, OR, WHERE THERE IS INSUFFICIENT SPACE FOR A TREE, A TRELLIS OF AT LEAST 8 FEET HIGH FOR AT LEAST 5 FEET ALONG THE WALKWAY SHALL BE PROVIDED.
- PER 5-6(F)(1)(i) 1 OF THE IDO, ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET EITHER BY A MASONRY WALL CONSTRUCTED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FAÇADE OF THE PRIMARY BUILDING (BUT EXCLUDING EXPOSED CMU BLOCK) AT LEAST 3 FEET BUT NOT MORE THAN 4 FEET IN HEIGHT, OR BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH WITH A CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3 FEET IN HEIGHT, OR BY OTHER MEANS THAT THE PLANNING DIRECTOR DETERMINES PROVIDES EQUAL OR BETTER SCREENING OF THE HEADLIGHTS OF PARKED VEHICLES.
- PER 5-6(C)(9)(a), ALL PLANTING OF VEGETATED MATERIAL OR INSTALLATION OF ANY LANDSCAPING, BUFFERING, OR SCREENING MATERIAL IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE THE PRIOR APPROVAL OF THE CITY. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIRS, OR LIABILITY FOR ALL THE LANDSCAPING PLACED IN OR OVER THE PUBLIC RIGHT-OF-WAY.
- PER 5-6(C)(9)(b), ANY TREES THAT OVERHANG A PUBLIC SIDEWALK OR MAJOR PUBLIC OPEN SPACE SHALL BE TRIMMED TO MAINTAIN AN 8 FOOT CLEARANCE OVER THE SIDEWALK. ANY TREES THAT OVERHANG A PUBLIC STREET SHALL BE TRIMMED TO MAINTAIN A 9' CLEARANCE OVER THE STREET SURFACE.
- PURSUANT TO 5-6(C)(5)(e), BARK MULCH AREAS CLEARLY DELINEATED ON PLANS FOR LANDSCAPE AREAS AND 5' RADIUS RINGS AROUND TREES.
- PURSUANT TO 5-6(C)(7)(a), ALL VEGETATION HAS BEEN LOCATED A MINIMUM OF 3' IN ANY DIRECTION FROM FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.
- PURSUANT TO 5-6(C)(10)(a), TREES AND SHRUBS SHALL NOT BE PLANTED IN UTILITY EASEMENTS UNLESS THERE IS NO OTHER PRACTICABLE LOCATION ON THE LOT WHERE THE LANDSCAPING WOULD ACHIEVE ITS INTENDED PURPOSE.
- PURSUANT TO 5-6(C)(10)(b), TREES SHALL NOT BE PLANTED WITHIN 10' IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- CLEAR SIGHT TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERIES BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



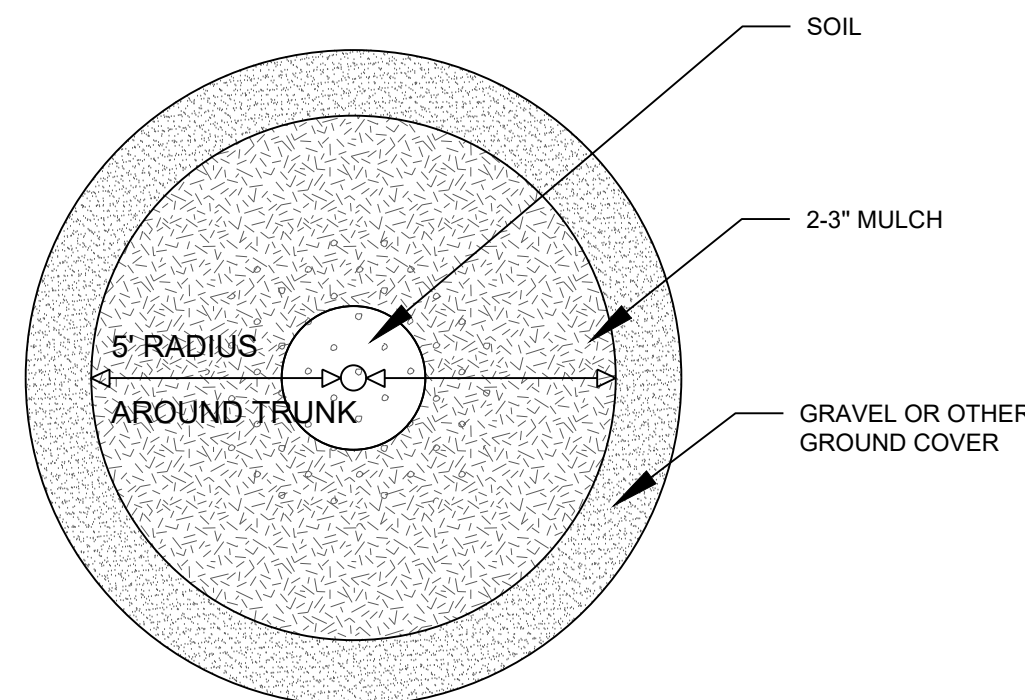
1 TREE PLANTING DETAIL

NTS



2 SHRUB PLANTING DETAIL

NTS



3 TREE DETAIL

NTS

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
DECIDUOUS TREE					
	3	ACER NEGUNDO 'SENSATION' / SENSATION BOX ELDER MAPLE	2" B&B	40' X 30'	707
	1	CRATAEGUS PHAENOPYRUM / WASHINGTON HAWTHORN	2" B&B	20' X 20'	314
	11	EXISTING TREE	VARIES		
	3	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2" B&B	25' X 20'	314
SUBTOTAL					3,377 SF
SHRUBS					
	23	EXISTING SHRUB	VARIES		
EVERGREEN SHRUB					
	3	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13
PERENNIAL					
	6	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL	2' X 2'	3
	1	CALLIRHOE INVOLUCRATA / WINECUPS	1 GAL	1' X 3'	7
	4	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3
	15	GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA	1 GAL	3' X 3'	7
	2	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	1' X 2'	3
	15	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3
	5	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	1 GAL	1" X 20"	3
	30	RUDBECKIA HIRTA 'DENVER DAISY' / BLACK EYED SUSAN	1 GAL	2' X 2'	3
	2	SEDUM X 'AUTUMN JOY' / AUTUMN JOY SEDUM	1 GAL	2' X 2'	3
ORNAMENTAL GRASS					
	35	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7
	3	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3
DECIDUOUS SHRUBS					
	6	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	4' X 4'	13
	4	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	5' X 6'	28
	3	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28
	10	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13
	2	ROSA WOODSII / MOUNTAIN ROSE	5 GAL	4' X 4'	13
EVERGREEN SHRUBS					
	9	BACCHARIS X 'STARN' / STARN COYOTE BRUSH	5 GAL	5' X 5'	20
	4	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	6' X 4'	13
SUBTOTAL					1,259 SF
TOTAL					4,636 SF

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	VALLEY GOLD 1" GRAVEL



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



Date: 07/09/2023

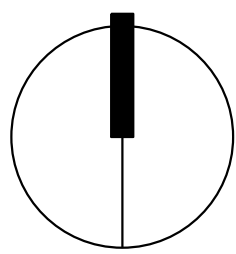
Revisions:

△	06/18/2024
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Drawn by: PL

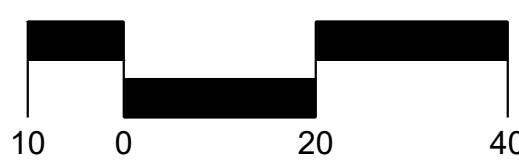
Reviewed by: CM

Winrock Town Center
Pad 2 Shell
2100 Louisiana Blvd, NE
Albuquerque, NM 87110



NORTH

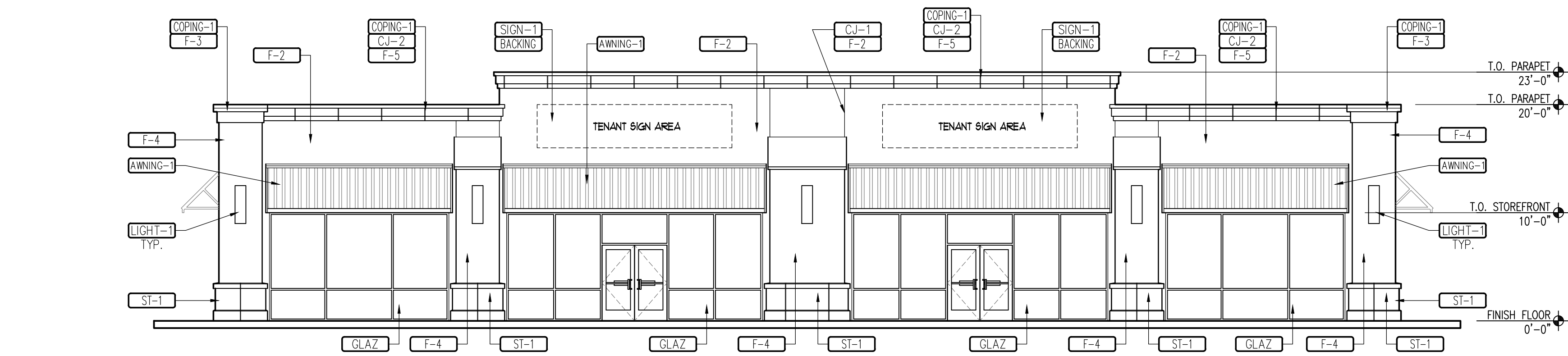
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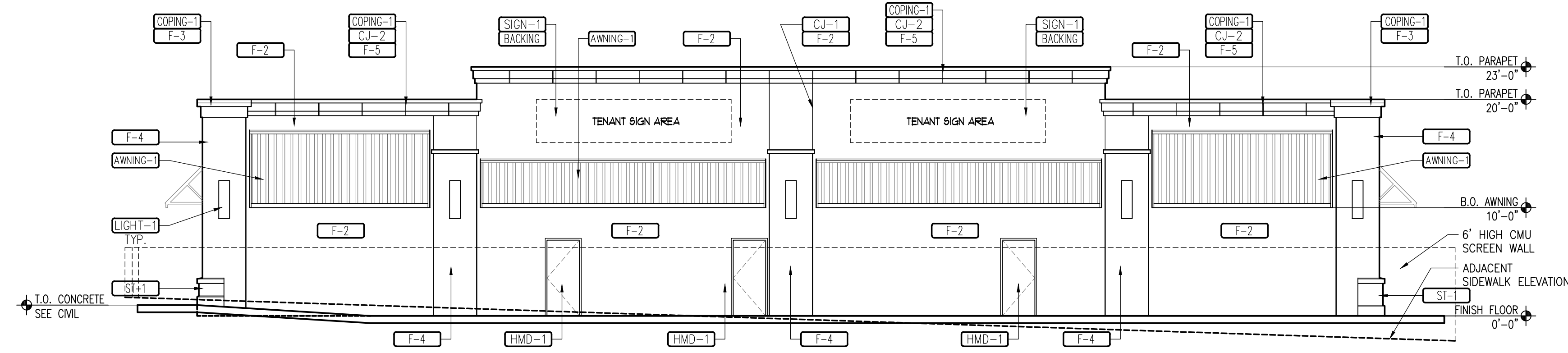
Sheet Title:
**Landscape
Plan**

Sheet Number:

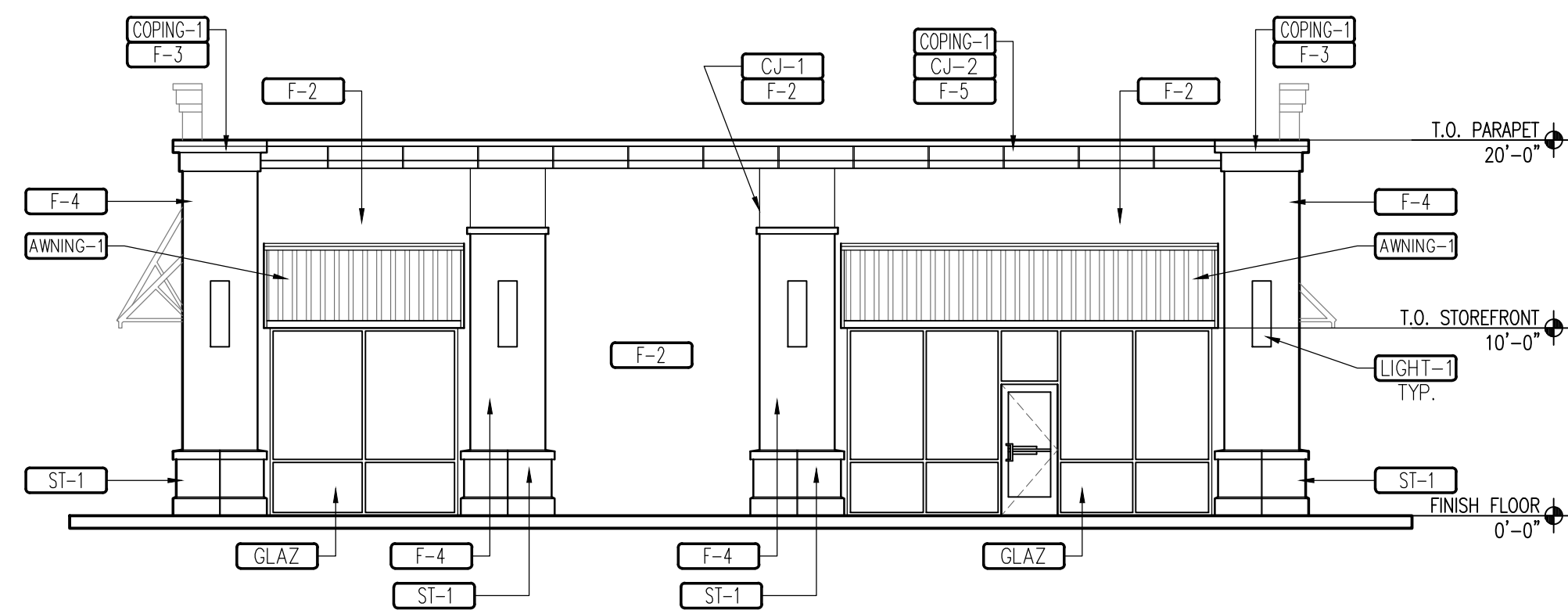
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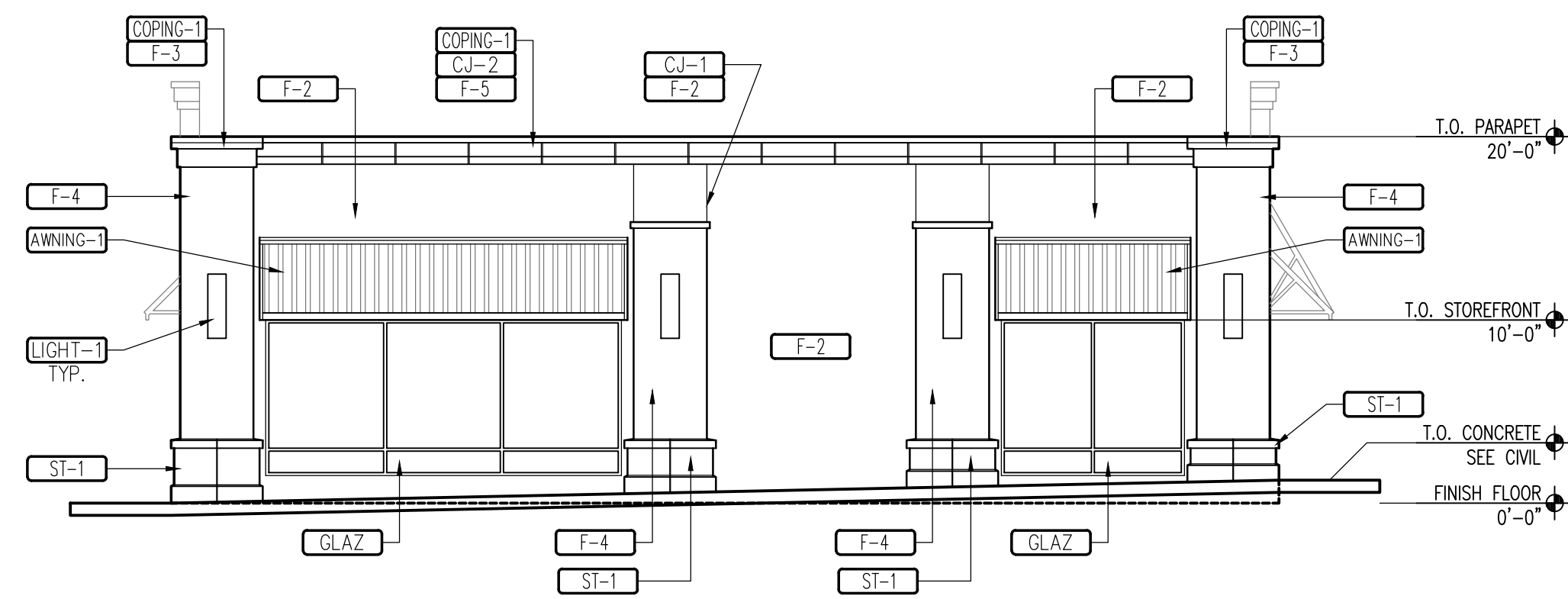
1 SOUTH ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION (REAR)
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION (LEFT)
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION (RIGHT)
SCALE: 1/8" = 1'-0"

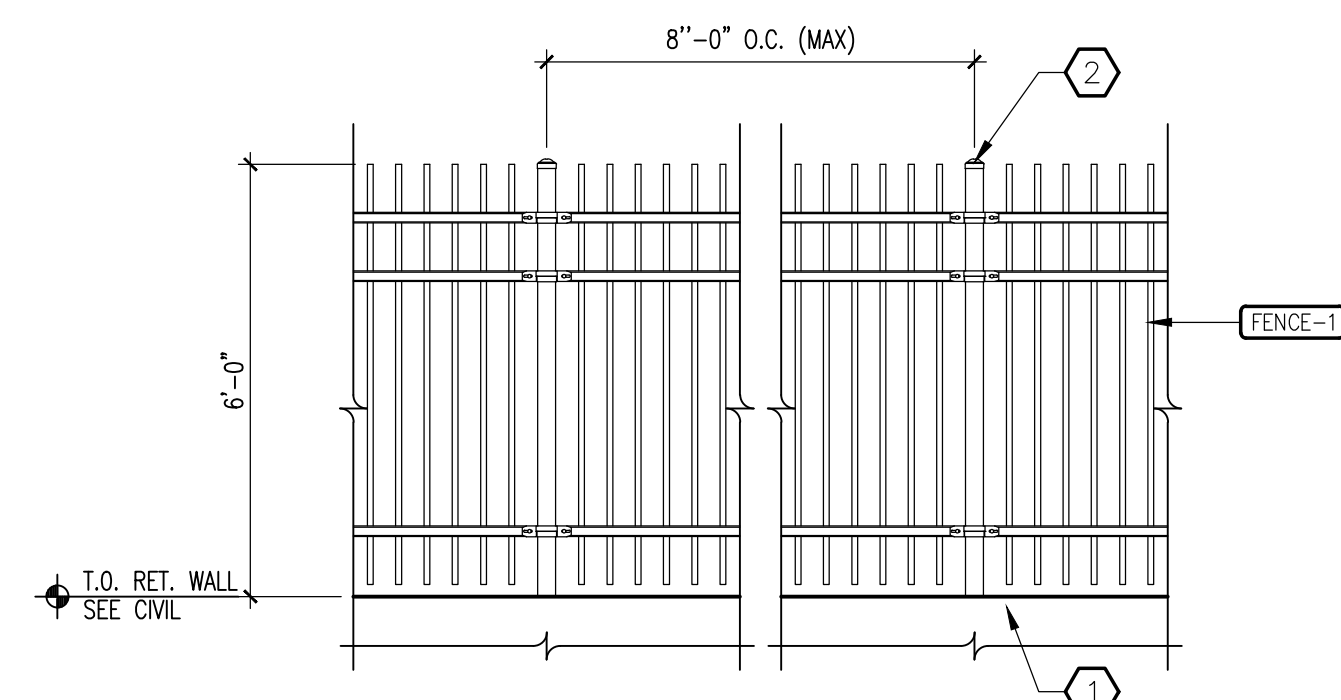


5 SCREEN WALL ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS		MODEL	MFG	REMARKS
GLAZ	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E GLASS COLOR=ANODIZED SILVER			
SIGN-1	INTERNALLY LIT INDIVIDUAL CHANNEL LETTER SIGNAGE BY TENANT NOTE: LETTER FACED TO BE RED/OR WHITE IN COLOR			REFER TO TENANT SIGNAGE FOR DETAILS
BACKING	5/8" PLYWOOD SIGN BACKING SUBSTRATE LOCATION			
CJ-1	1/4" STUCCO CONTROL JOINT			
CJ-2	3/4" FOAM "V" REVEAL JOINT			
F-1	2 COAT STUCCO SYSTEM COLOR-STO-16059 (TAN)			
F-2	2 COAT STUCCO SYSTEM COLOR-STO-16060 (LIGHT TAN)			
F-3	2 COAT STUCCO SYSTEM COLOR-STO-16032 (WHITE)			
F-4	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (PUEBLO)			
F-5	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (CORAL)			
F-6	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (LIGHT GREY)			
F-7	2 COAT STUCCO SYSTEM COLOR-STO-16XXX (LIGHT BLUE)			
T-1	EXTERIOR DECORATIVE TILE 13" X 40" (WHITE CERAMIC)			
EXTERIOR MATERIALS		MODEL	MFG	REMARKS
CMU-1	SMOOTH FACED CMU AND WALL CAP BY CREGO COLOR: LOBO (CREAM)			
CMU-2	SPLIT FACED CMU BY CREGO BLOCK COLOR: PETRO BLACK (DARK GREY)			
COPING-1	EXTERIOR COPING CAP-PREFINISHED KYNAR 500 COLOR =MATCH ADJACENT STUCCO COLOR			
ST-1	MATERIALS, INC. CAST STONE BASE COLOR =#14 ADOBE			
FENCE-1	EXTERIOR DECORATIVE RAILING/FENCE - COLOR: BLACK			
AWNING-1	PREFINISHED METAL R-PANEL OVER STEEL FRAME, COLOR =RUST			NOTE: G.C TO COORDINATE /INSTALL BLOCKING
LIGHT-1	EXTERIOR LANDLORD SPECIFIC DECORATIVE LIGHT FIXTURE			NOTE: PROVIDED FLUSH MOUNT "J" BOX
LIGHT-2	EXTERIOR SERVICE ARE WALL PACK LIGHT FIXTURE			NOTE: PROVIDED FLUSH MOUNT "J" BOX
HMD-1	PAINTED HOLLOW METAL DOOR AND FRAME			NOTE: DOOR PAINT TO MATCH ADJ. STUCCO

KEYED NOTES:

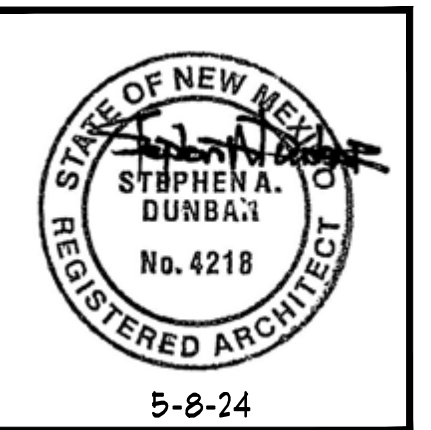
1. CONCRETE RETAINING WALL, REFER TO CIVIL.
2. 6" HIGH MONTAGE II GENESIS 3-RAIL STEEL FENCE BY AMERISTAR OR APPROVED EQUAL.



6 DECORATIVE FENCE ELEVATION
SCALE: 3/8" = 1'-0"

REV	DATE	BY	REVISION
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8220 SAN PEDRO DRIVE NE, SUITE 520
ALBUQUERQUE, NEW MEXICO 87113
PHONE (505) 338-1499



PROJECT TITLE WINROCK TOWN CENTER PAD-2 SHELL 2000 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87110	DRAWN BY: CDC	SHEET TITLE EXTERIOR ELEVATIONS
DATE: 05/08/2024	JOB NO. --	SCALE: AS NOTED
A201		

