



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

APPLICATION FOR SITE PLAN MINOR AMENDMENT. PROPOSING CHANGE TO ADD A NEW SIGN.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

--

Signature: <i>Eliot Hield</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

City of Albuquerque Property Report

Platted Parcel Address: 6721 PALOMAS AV NE
Assessor Parcel Address: 6721 PALOMAS AVE NE
Report Date: 2/7/2024



www.cabq.gov/gis

Bernalillo County Assessor Ownership Data

[\(Click here for more information\)](#)

Owner Name: HOPE CHRISTIAN SCHOOLS INC
Owner Address: 8005 LOUISIANA BLVD NE ALBUQUERQUE NM 87109
Uniform Property Code (UPC): 101806338849410510 **Tax Year:** 2023 **Tax District:** A1A
Legal Description: TR B PLAT OF TR B HOPE CHRISTIAN SCHOOL CONT 6.7494 AC
Property Class: C **Document Number:** 2017093553 092817 WD - EN **Acres:** 6.7494

Albuquerque Planning and Zoning Data

[Bernalillo County Planning and Zoning](#)

Jurisdiction: ALBUQUERQUE **Zone Atlas Page:** [D-18](#)
IDO Zone District: [MX-M](#) **IDO District Definition:** Moderate Intensity
Land Use: 08 | Educational **Lot:** B **Block:** 0000 **Subdivision:** HOPE CHRISTIAN SCHOOL

Neighborhood Associations

[Office of Neighborhood Coordination](#)

City Recognized Neighborhood Associations: N/A

Services

Police Beat: 433 **Area Command:** NORTHEAST
Residential Trash Pickup and Recycling: Tuesday

City Council Districts

City Council District: [4 - Brook Bassan](#) **Councilor Email:** bbassan@cabq.gov
Policy Analyst: Dawn Marie Emillio **Policy Analyst Email:** dawnmarie@cabq.gov **Policy Analyst Phone #:** 505-768-3101

Other Legislative Districts

US Congressional District: 1 - Melanie Stansbury
County Commission District: 4 - Walt Benson
NM House Of Representatives: 27 - Marian Matthews
NM Senate: 21 - Mark Moores

APS School Service Areas

[Albuquerque Public Schools](#)

Elementary School: EG ROSS **Middle School:** MCKINLEY **High School:** DEL NORTE

FEMA Flood Zone: X

[FEMA Flood Map Service Center](#)

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

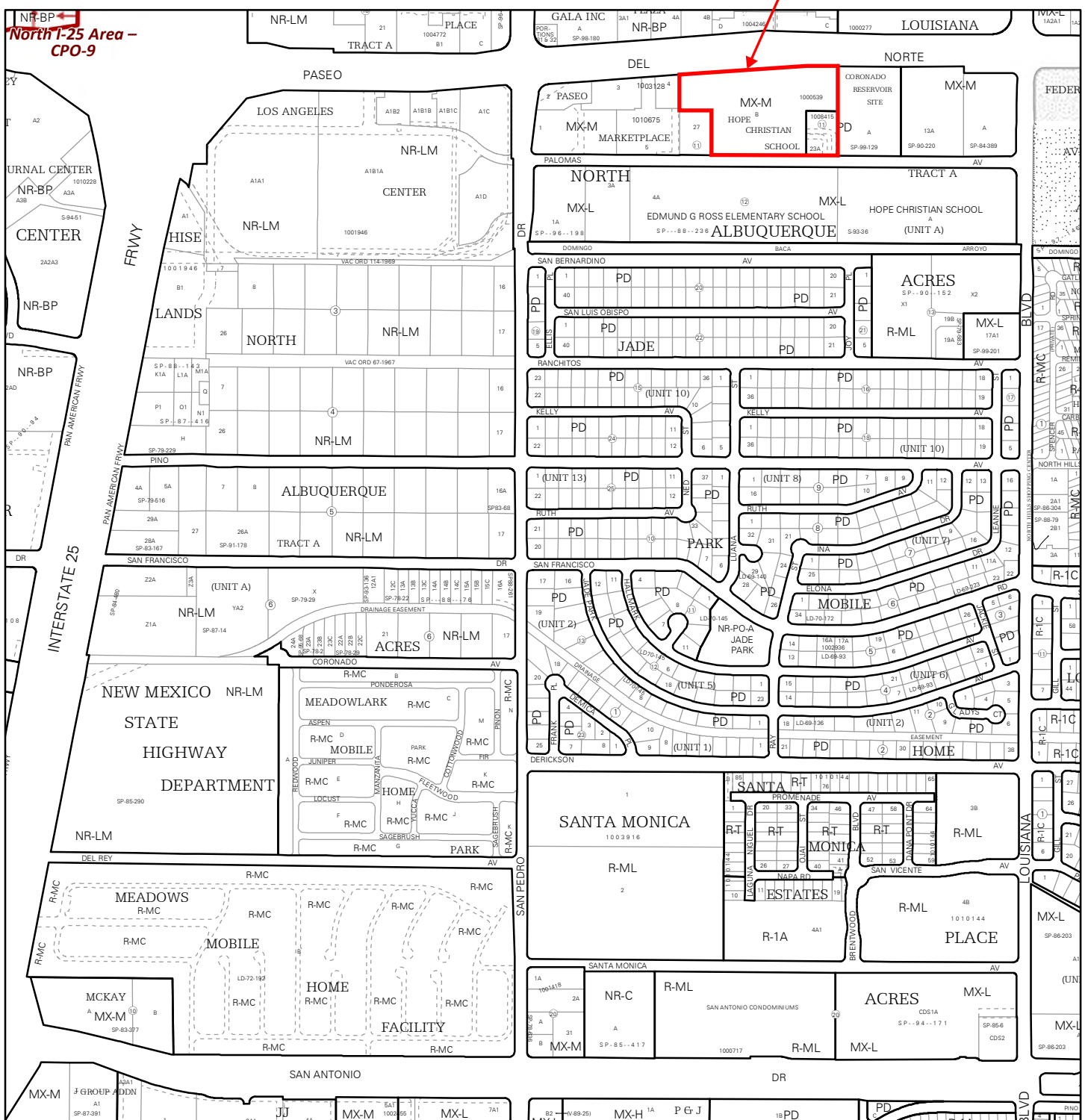
- 1) Development Review application form completed, signed, and dated
- 2) Form P3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- 7) Sign Posting Agreement
- 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - Office of Neighborhood Coordination notice inquiry response
 - Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.


- 1) Development Review application form completed, signed, and dated
- 2) Form P3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- 6) Landscape Plan

PROJECT SITE



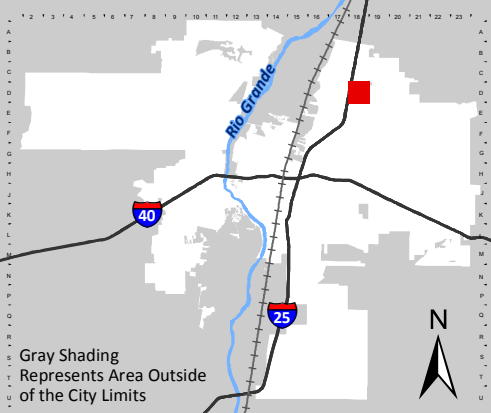
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
D-18-Z



- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

HOPE CHRISTIAN SCHOOL

8005 Louisiana Blvd NE
Albuquerque, NM 87109

February 8, 2024

RE: Letter of Authorization

I, Donald Swaim, Board of Directors for Hope Christian Schools, authorize ROMA Architecture to submit applications on our behalf to the City of Albuquerque Planning Department and other city agencies related to the approval of a new Minor Site Plan Amendment for the Hope Christian Elementary School Campus, property legal descriptions: TRACT B, HOPE CHRISTIAN SCHOOL; LOT 23-A, BLOCK 11, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES.

Thank you,

Signed: Donald Swaim

Donald Swaim
Board of Directors President
Hope Christian Schools

February 19, 2023

City of Albuquerque Planning Department
Plaza Del Sol Building
600 2nd Street NW
Albuquerque, New Mexico 87102

Re: **Hope Christian School, TR B PLAT OF TR B HOPE CHRISTIAN SCHOOL**
North side of Palomas between Louisiana Boulevard and San Pedro Boulevard,
Minor Amendment to Site Plan Approved Prior to the Effective Date of the IDO

To Whom it May Concern,

On behalf of our client, Hope Christian Schools Inc., ROMA Architecture is writing to request approval of a Minor Amendment to a prior approved Site Plan for the campus of Hope Christian Elementary School.

The purpose of this amendment is to add a wall sign for the elementary school building to the approved Site Plan.

The existing Site Plan was approved in 2019, prior to the current effective date of the IDO, under project #PR-2019-002134.

JUSTIFICATION FOR MINOR AMMENDMENT TO SITE PLAN:

The proposed addition of a new sign is intended to identify the school and advertise its presence to visitors and passers-by circulating along Paseo Del Norte Blvd NE.

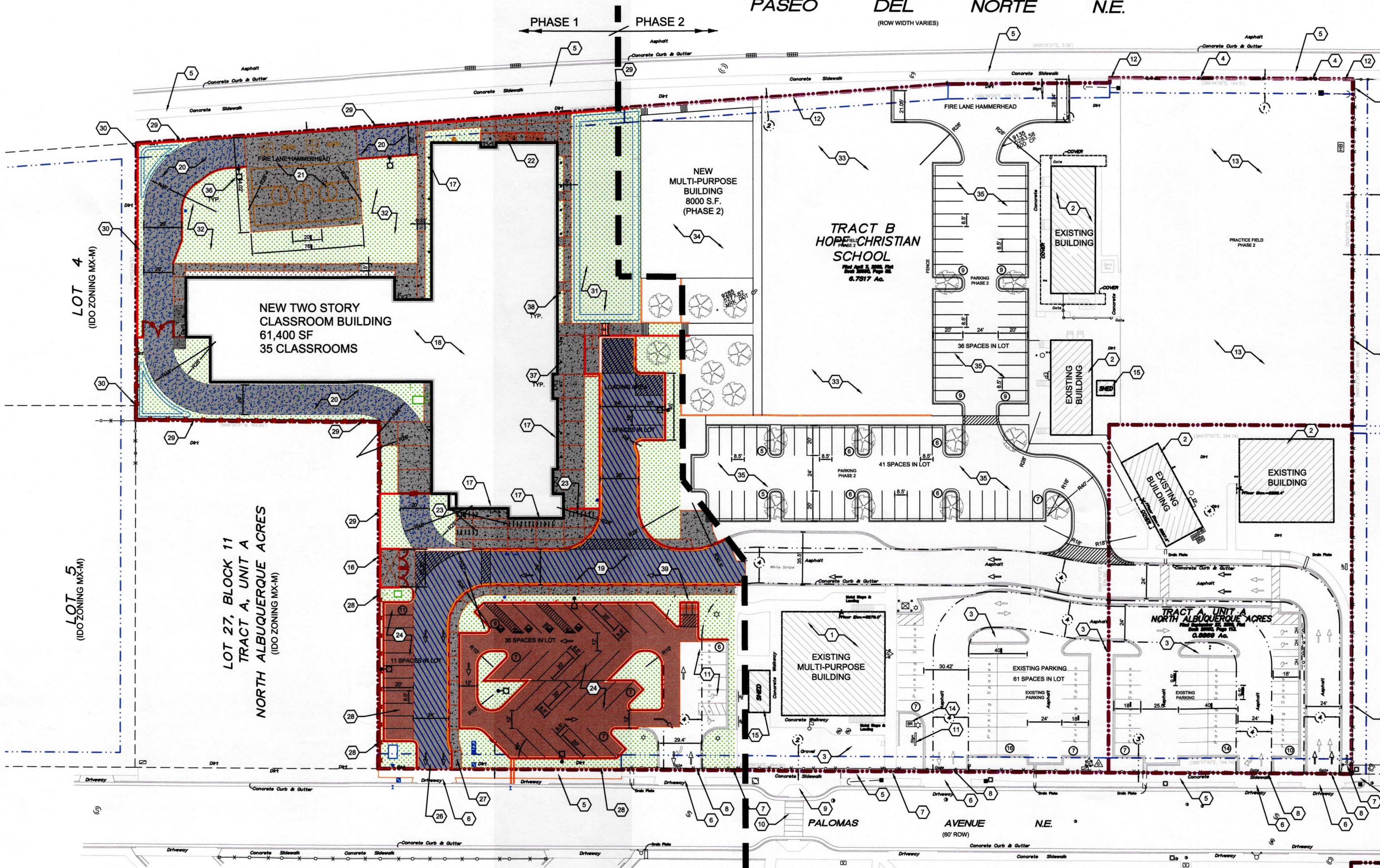
To the best of our knowledge at the time of submitting this application, the proposed amendment complies with all applicable standards in the current effective draft of the IDO, the DPM, and other adopted City regulations. We are not requesting any deviations from these standards at this time.

The subject property does not fall within an active approved Master Development Plan or Framework Plan.

We respectfully request that the Planning Department review and approve this Minor amendment to the approved Site Plan for the Hope Christian Elementary School Campus. Please do not hesitate to contact me at 505-310-9068 if you have any questions or require additional information.

Sincerely,

Elliot Hield



PAVING PLAN KEYED NOTES

1. EXISTING MULTIPURPOSE BUILDING
2. EXISTING CLASSROOM PORTABLE BUILDING
3. EXISTING LANDSCAPING AREA
4. EXISTING 6' TALL WROUGHT IRON FENCE
5. EXISTING CONCRETE SIDEWALK
6. EXISTING DRIVEWAY
7. EXISTING PEDESTRIAN GATE
8. EXISTING VEHICULAR GATE
9. EXISTING CURB ACCESS RAMP WITH DETECTABLE WARNING SURFACE
10. EXISTING PAINTED CROSS WALK
11. EXISTING MONUMENT SIGN
12. EXISTING CMU SCREEN WALL 8' TALL.
13. EXISTING TURF PRACTICE FIELD
14. EXISTING BIKE RACK
15. EXISTING STORAGE SHED
16. NEW DOUBLE REFUSE ENCLOSURE WITH 6' TALL SCREEN WALLS AND METAL GATES. SEE DETAIL THIS SHEET
17. NEW WALL MOUNTED SIGN. SEE BUILDING ELEVATION SHEET.
18. NEW TWO STORY BUILDING
19. NEW DROP OFF LANE (EXTENSION OF EXISTING DROP OFF LANE)
20. NEW FIRE LANE
21. NEW BASKETBALL COURT (WITH POSSIBLE SHADE STRUCTURE TO BE INSTALLED IN PHASE 2)
22. NEW EXIT STAIRS
23. NEW BIKE RACKS (61 BIKES MINIMUM)
24. NEW PARKING AREA
25. NEW HC PARKING STALLS
26. NEW VEHICLE GATE
27. NEW PEDESTRIAN GATE WROUGHT IRON TO MATCH EXISTING
28. NEW 6' TALL WROUGHT IRON FENCE TO MATCH EXISTING
29. NEW 8' TALL CONCRETE MASONRY SCREEN WALL
30. NEW 4' TALL (MAX) CONCRETE MASONRY RETAINING WALL WITH 8' TALL SCREEN WALL ON TOP.
31. NEW KINDER PLAY AREA
32. NEW PLAYGROUND AREA
33. FUTURE TURF PRACTICE FIELD (PHASE 2)
34. FUTURE MULTI-PURPOSE BUILDING (PHASE 2)
35. FUTURE PARKING (PHASE 2)
36. LIGHT POLE (LITHONIA DSX1, 15' HIGH ON 30" TALL CONCRETE BASE)
37. BOLLARD LIGHT
38. WALL MOUNTED LIGHT
39. MOTORCYCLE PARKING WITH POLE MOUNTED SIGN

PROJECT NUMBER: PR-2018-002134
 Application Number: SI-2019-00056

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/14/19 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

	Date: 4/12/19
	Date: 04-17-19
	Date: 4/12/19
	Date: 4/17/19
	Date: 4/17/19
	Date: 6-10-2019
	Date: 6-10-2019
	Date: 6-10-2019

PROJECT LOCATION:
 NORTH SIDE OF PALOMAS UP TO PASEO DEL NORTE AND MID BLOCK BETWEEN LOUISIANA BOULEVARD NE AND SAN PEDRO BLVD. NE

ELEMENTARY SCHOOL LEGAL DESCRIPTIONS:
 TRACT B, HOPE CHRISTIAN SCHOOL, LOT 23-A, BLOCK 11, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES.

ZONE ATLAS PAGE:
 D-18-Z

ELEMENTARY SCHOOL ACREAGE:
 6.7517 ACRES TRACT B
 0.8869 ACRES LOT 23A

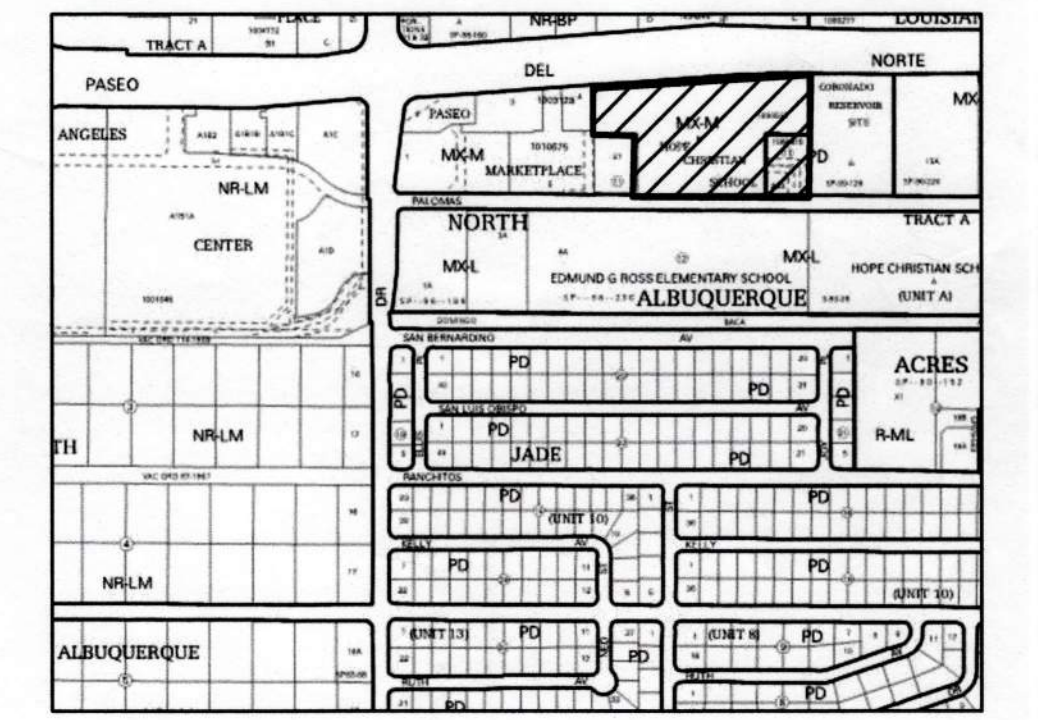
TOTAL 7.639 ACRES

EXISTING ZONING:
 ELEMENTARY SCHOOL IS DESIGNATED MX-M, ADDITIONAL PARCEL, Lot 23A, Block 11, Tract A, Unit A, North Albuquerque Acres) TO BE ADDED TO ELEMENTARY SCHOOL IS DESIGNATED PD, BUT WILL BE REVIEWED UNDER VOLUNTARY ZONING CONVERSION TO CHANGE TO MX-M

PROPOSED USES:
 PRIVATE SCHOOL, KINDERGARTEN AND ELEMENTARY SCHOOL

MAXIMUM BUILDING HEIGHT:
 45 FEET (TABLE 2-4-5) FOR MX-M ZONE

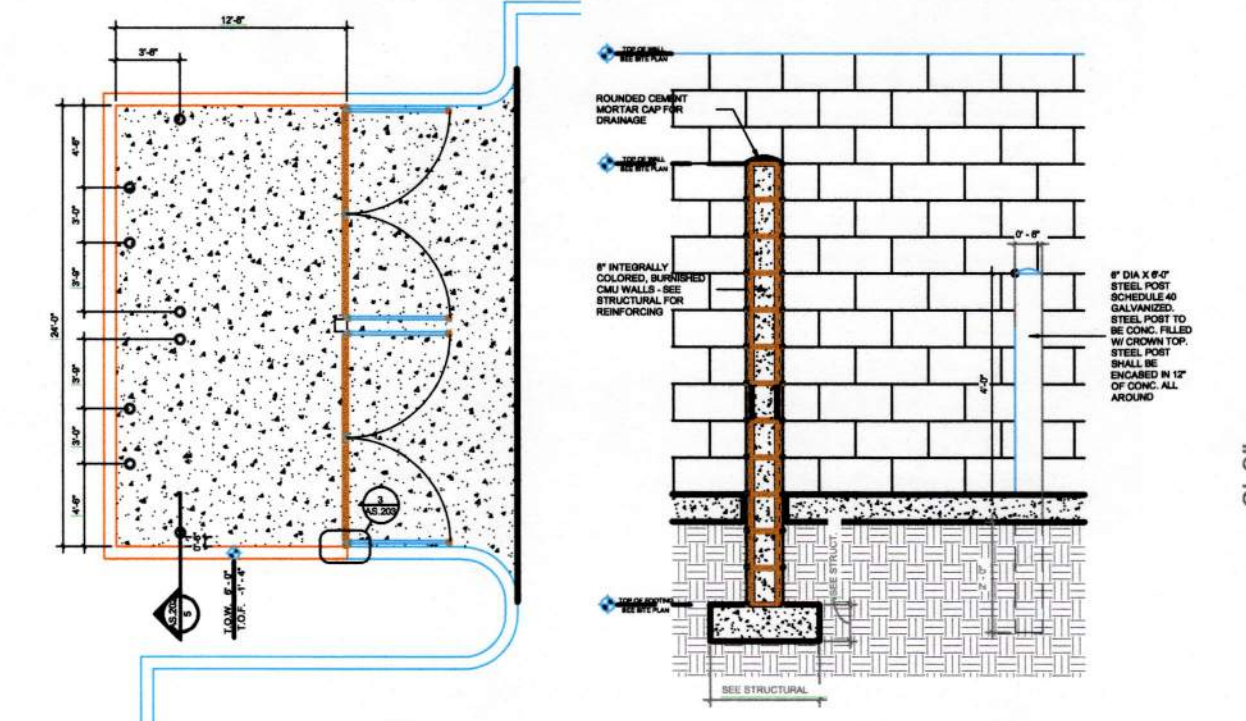
MINIMUM BUILDING SETBACK:
 5' FRONT YARD SETBACK
 5' SIDE YARD (STREET SIDE) SETBACK
 0' SIDE YARD (INTERIOR) SETBACK
 15' REAR YARD SETBACK



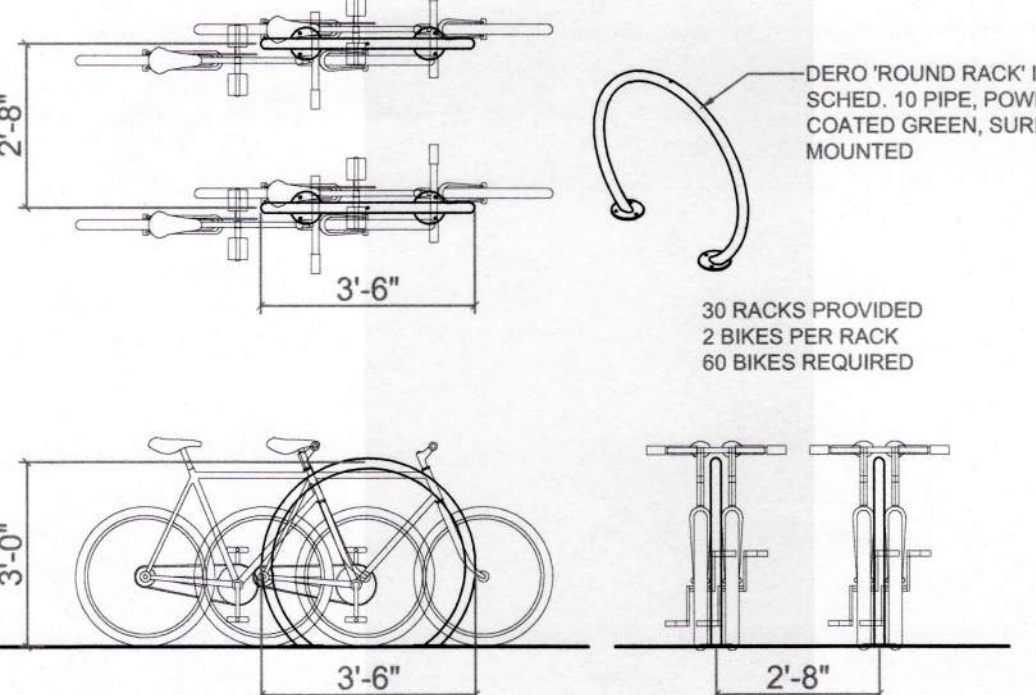
D6 ZONE ATLAS PAGE D-18-Z
 SCALE: NOT TO SCALE

1 SITE PLAN - DRB - ELEMENTARY SCHOOL - FULL BUILD OUT
 1" = 40'-0"

NOTE: THIS SITE PLAN - DRB, WILL REPLACE THE PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION THAT WAS AUTOMATICALLY TERMINATED IN 2016.



2 REFUSE ENCLOSURE PLAN, SECTION AND GATE ELEVATION
 NOT TO SCALE



3 BIKE RACK DETAIL
 3/8" = 1'-0"

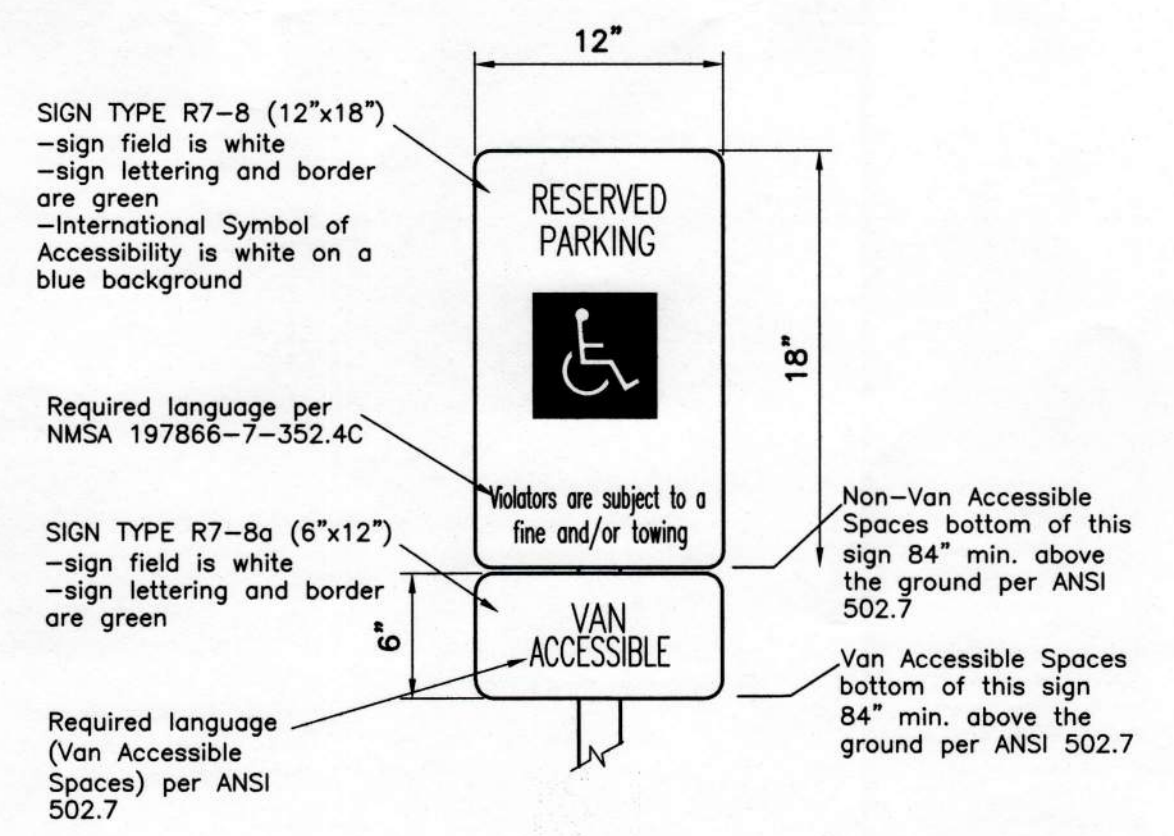
PARKING REQUIREMENTS AND PROVISIONS:

- THE FUTURE DEVELOPMENT IS SUBJECT TO THE MINIMUM REQUIREMENTS OF THE ZONING CODE INCLUDING BUT NOT LIMITED TO OFF-STREET PARKING REGULATIONS SECTION 14-16-5-5(C).
- PARKING SPACES (ELEMENTARY AND MIDDLE SCHOOLS) = 2 SPACES PER CLASSROOM
- ELEMENTARY SCHOOL = 35 CLASSROOMS = 70 SPACES
- EXCESS OFF-STREET PARKING SPACES WILL BE AVAILABLE FOR USE BY THE HIGH SCHOOL PORTIONS OF THE HOPE CHRISTIAN CAMPUS
- BIKE PARKING SPACES PER 5-5(E) SCHOOLS = 1 SPACE PER 10 STUDENTS
- ELEMENTARY SCHOOL = 604 STUDENTS / 10 = 61 SPACES
- MOTORCYCLE PARKING PER SECTION 14-16-5-5(D) TABLE 5-5-4 NON-RESIDENTIAL USES, REQUIRED; ELEMENTARY SCHOOL = 3

NUMBER CLASSROOMS	AUDITORIUM	NUMBER STUDENTS	NO. PARKING SPACES	PROV. PARKING SPACES	R/L ADA SPACES	PROV. ADA SPACES	R/L BIKE SPACES	PROV. BIKE SPACES	R/L MC SPACES	PROV. MC SPACES
35		604	70	388	4	9	60.4	62	3	3

TABULATED BUILDING AREA BY PHASE

PHASE	BUILDING AREA	# CLASSROOMS
EXISTING CONDITIONS	28,933 SF	28
PHASE 1		
EXISTING TO REMAIN	14,645 SF	0
NEW TWO STORY CLASSROOM BUILDING	61,400 SF	35
PORTABLES TO BE REMOVED	-14,288 SF	-28
TOTAL FOR PHASE 1	76,045 SF	35
PHASE 2		
PHASE 2 BUILDING	8,000	0
TOTAL BUILDING SF	84,045	35



4 RESERVED PARKING SIGNS
 NOT TO SCALE

TABLE OF CONTENTS:

- | | |
|---------|-------------------------------------|
| SP - 1: | SITE PLAN - ELEMENTARY SCHOOL |
| LP - 1: | LANDSCAPING PLAN |
| CD - 1: | CONCEPTUAL DRAINAGE PLAN NARRATIVE |
| CD - 2: | CONCEPTUAL DRAINAGE PLAN EX. COND. |
| CD - 3: | CONCEPTUAL DRAINAGE PLAN PRO. COND. |
| C-202: | ENLARGED GRADING PLAN |
| C-203: | ENLARGED GRADING PLAN |
| UTIL: | CONCEPTUAL UTILITY PLAN |
| EL-1: | ELEVATIONS |

**PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946**

OFFICIAL NOTIFICATION OF DECISION

April 19, 2019

Hope Christian Schools
8005 Louisiana BLVD NE
ABQ, NM 87109

Project# PR-2019-002134
Application# SI-2019-00056 SITE PLAN - DRB

LEGAL DESCRIPTION:

All or a portion of LOT 2 SHAMROCK ADDN & TR 101-C MRGCD MAP 34, zoned MX-L, located on PALOMAS AV NE south of PASEO DEL NORTE and east of SAN PEDRO DR NE, containing approximately 7.7 acre(s). (D-18)

On April 17, 2019, the Development Review Board (DRB) held a meeting concerning the above referenced application and approved the request based on the following Findings:

1. This site part of the Hope Christian School Campus, but is a stand alone Site Plan DRB for the elementary school. Development of future campus phases will be reviewed separately from this plan.
2. This is a request for a two story, 61,400 square foot building on the elementary school site. There are existing buildings, parking and landscaping on the site but the new building requires additional landscaping and parking as shown on the site plan.
3. The previously approved Site Plan for Building Permit (1000539) expired and was terminated 4-22-19.
4. As required by the IDO, the applicant notified property owners within 100 feet and affected neighborhood associations.
5. Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(G)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property. The height, parking and façade, meet the IDO requirements.

6-6(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The site has access to a full range of urban services including utilities, roads, and emergency services.

- b. 6-6(G)(3)(c) The Site Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable. The project adds to the existing school and is compatible with existing residential and commercial development. The proposed uses are allowed under the existing zoning. The site will have a significant landscape buffer.

Conditions:

1. This Site Plan is valid 5 years from DRB approval (4-17-2019). An extension may be requested prior to the expiration date.
2. The applicant will bring two paper copies to be signed off by Planning. Planning will keep one signed off copy. A pdf of the signed off set will then be email to the PLNDRS.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **MAY 2, 2019**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,



Kym Dicome
DRB Chair

Official Notice of Decision

Project # PR-2019-002134 Application# SI-2019-00056

April 19, 2019

Page 3 of 3

KD/mg

Jon Anderson 912 Roma Ave NW ABQ, NM 87102

NEW WALL SIGN - SEE SHEET SN-1 FOR ELEVATIONS/DETAILS.
 FACADE AREA = 2,610 SQUARE FEET
 ALLOWABLE SIGN AREA = 15% FACADE AREA (IDO TABLE 5-12-2)
 2,610 x .15 = 391 SQUARE FEET ALLOWABLE
 ACTUAL SIGN AREA = 76 SQUARE FEET

PASEO DEL NORTE N.E.
 (ROW WIDTH VARIES)

PAVING PLAN KEYED NOTES

- EXISTING MULTIPURPOSE BUILDING
- EXISTING CLASSROOM PORTABLE BUILDING
- EXISTING LANDSCAPING AREA
- EXISTING 6' TALL WROUGHT IRON FENCE
- EXISTING CONCRETE SIDEWALK
- EXISTING DRIVEWAY
- EXISTING PEDESTRIAN GATE
- EXISTING VEHICULAR GATE
- EXISTING CURB ACCESS RAMP WITH DETECTABLE WARNING SURFACE
- EXISTING PAINTED CROSS WALK
- EXISTING MONUMENT SIGN
- EXISTING CMU SCREEN WALL 8' TALL
- EXISTING TURF PRACTICE FIELD
- EXISTING BIKE RACK
- EXISTING STORAGE SHED
- NEW DOUBLE REFUSE ENCLOSURE WITH 6' TALL SCREEN WALLS AND METAL GATES. SEE DETAIL THIS SHEET
- NEW WALL MOUNTED SIGN. SEE BUILDING ELEVATION SHEET.
- NEW TWO STORY BUILDING
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- NEW FIRE LANE
- NEW BASKETBALL COURT (WITH POSSIBLE SHADE STRUCTURE TO BE INSTALLED IN PHASE 2)
- NEW EXIT STAIRS
- NEW BIKE RACKS (61 BIKES MINIMUM)
- NEW PARKING AREA
- NEW HC PARKING STALLS
- NEW VEHICLE GATE
- NEW PEDESTRIAN GATE WROUGHT IRON TO MATCH EXISTING
- NEW 6' TALL WROUGHT IRON FENCE TO MATCH EXISTING
- NEW 8' TALL CONCRETE MASONRY SCREEN WALL
- NEW 4' TALL (MAX) CONCRETE MASONRY RETAINING WALL WITH 8' TALL SCREEN WALL ON TOP.
- NEW KINDER PLAY AREA
- NEW PLAYGROUND AREA
- FUTURE TURF PRACTICE FIELD (PHASE 2)
- FUTURE MULTI-PURPOSE BUILDING (PHASE 2)
- FUTURE PARKING (PHASE 2)
- LIGHT POLE (LITHONIA DSX1, 15' HIGH ON 30" TALL CONCRETE BASE)
- BOLLARD LIGHT
- WALL MOUNTED LIGHT
- MOTORCYCLE PARKING WITH POLE MOUNTED SIGN

PROJECT NUMBER: PR-2018-002134

Application Number: SI-2019-00056

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/14/19 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

[Signature]
 Traffic Engineering, Transportation Division
 Date: 4/12/19

[Signature]
 ABCVIA
 Date: 04-17-19

[Signature]
 Parks and Recreation Department
 Date: 4/12/19

[Signature]
 City Engineer/Hydrology
 Date: 4/17/19

[Signature]
 Code Enforcement
 Date: 4/17/19

[Signature]
 Environmental Health Department (conditional)
 Date: 4/17/19

[Signature]
 Solid Waste Management
 Date: 6-10-2019

[Signature]
 DRB Chairperson, Planning Department
 Date: 6-10-2019

PROJECT LOCATION:

NORTH SIDE OF PALOMAS UP TO PASEO DEL NORTE AND MID BLOCK BETWEEN LOUISIANA BOULEVARD NE AND SAN PEDRO BLVD. NE

ELEMENTARY SCHOOL LEGAL DESCRIPTIONS:

TRACT B, HOPE CHRISTIAN SCHOOL, LOT 23-A, BLOCK 11, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES.

ZONE ATLAS PAGE:

D-18-Z

ELEMENTARY SCHOOL ACREAGE:

6.7517 ACRES TRACT B
 0.8869 ACRES LOT 23A

TOTAL 7.639 ACRES

EXISTING ZONING:

ELEMENTARY SCHOOL IS DESIGNATED MX-M, ADDITIONAL PARCEL, Lot 23A, Block 11, Tract A, Unit A, North Albuquerque Acres) TO BE ADDED TO ELEMENTARY SCHOOL IS DESIGNATED PD, BUT WILL BE REVIEWED UNDER VOLUNTARY ZONING CONVERSION TO CHANGE TO MX-M

PROPOSED USES:

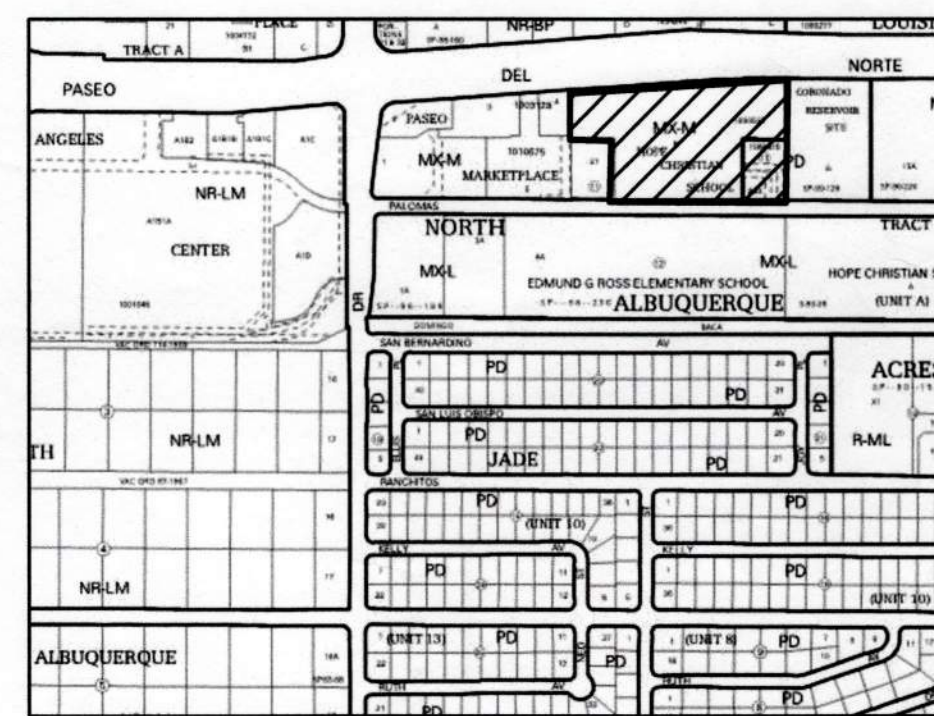
PRIVATE SCHOOL, KINDERGARTEN AND ELEMENTARY SCHOOL

MAXIMUM BUILDING HEIGHT:

45 FEET (TABLE 2-4-5) FOR MX-M ZONE

MINIMUM BUILDING SETBACK:

5' FRONT YARD SETBACK
 5' SIDE YARD (STREET SIDE) SETBACK
 0' SIDE YARD (INTERIOR) SETBACK
 15' REAR YARD SETBACK



D6 ZONE ATLAS PAGE D-18-Z

SCALE: NOT TO SCALE

TABLE OF CONTENTS:

- SP-1: SITE PLAN - ELEMENTARY SCHOOL
- LP-1: LANDSCAPING PLAN
- CD-1: CONCEPTUAL DRAINAGE PLAN NARRATIVE
- CD-2: CONCEPTUAL DRAINAGE PLAN EX. COND.
- CD-3: CONCEPTUAL DRAINAGE PLAN PRO. COND.
- C-202: ENLARGED GRADING PLAN
- C-203: ENLARGED GRADING PLAN
- UTIL: CONCEPTUAL UTILITY PLAN
- EL-1: ELEVATIONS

1 SITE PLAN - DRB - ELEMENTARY SCHOOL - FULL BUILD OUT

1" = 40'-0"

NOTE: THIS SITE PLAN - DRB, WILL REPLACE THE PREVIOUS SITE DEVELOPMENT PLAN FOR SUBDIVISION THAT WAS AUTOMATICALLY TERMINATED IN 2016.

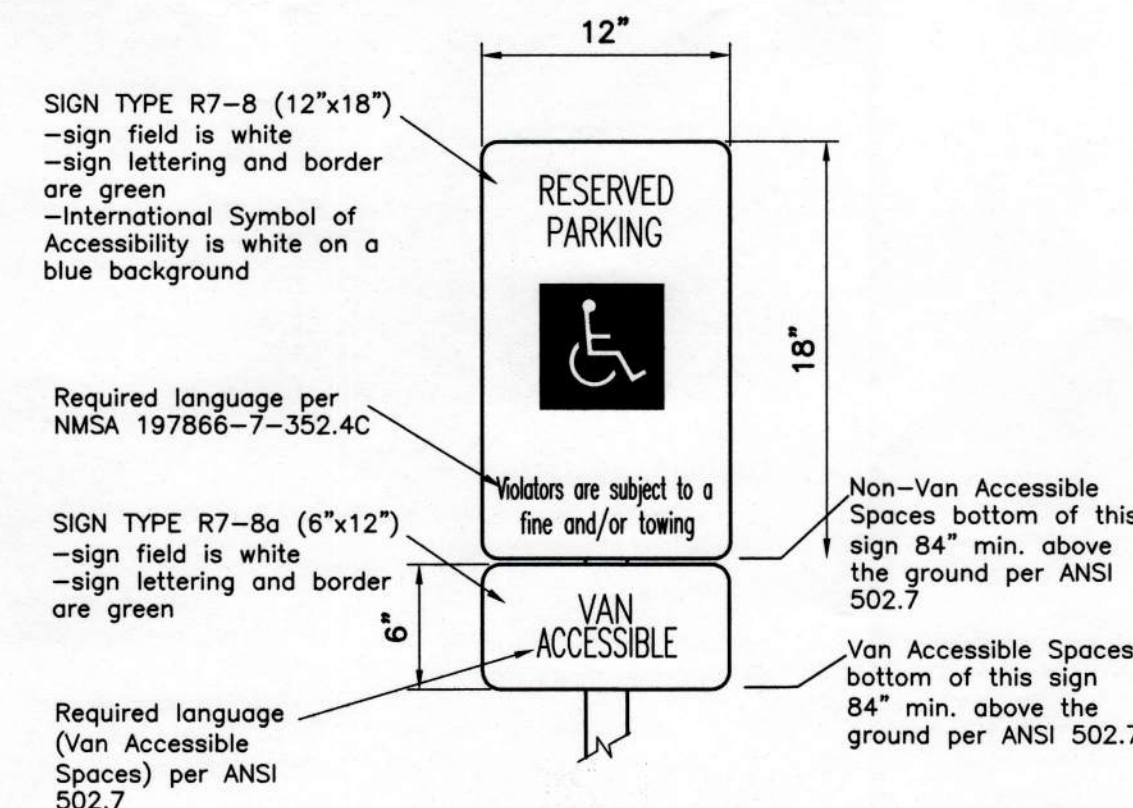
PARKING REQUIREMENTS AND PROVISIONS:

- THE FUTURE DEVELOPMENT IS SUBJECT TO THE MINIMUM REQUIREMENTS OF THE ZONING CODE INCLUDING BUT NOT LIMITED TO OFF-STREET PARKING REGULATIONS SECTION 14-16-5-5(C).
- PARKING SPACES (ELEMENTARY AND MIDDLE SCHOOLS) = 2 SPACES PER CLASSROOM
- ELEMENTARY SCHOOL = 35 CLASSROOMS = 70 SPACES
- EXCESS OFF-STREET PARKING SPACES WILL BE AVAILABLE FOR USE BY THE HIGH SCHOOL PORTIONS OF THE HOPE CHRISTIAN CAMPUS
- BIKE PARKING SPACES PER 5-(E) SCHOOLS = 1 SPACE PER 10 STUDENTS
- ELEMENTARY SCHOOL = 604 STUDENTS / 10 = 61 SPACES
- MOTORCYCLE PARKING PER SECTION 14-16-5-5(D) TABLE 5-5-4 NON-RESIDENTIAL USES, REQUIRED; ELEMENTARY SCHOOL = 3

NUMBER CLASSROOMS	AUDITORIUM	NUMBER STUDENTS	NO. PARKING SPACES	PROV. PARKING SPACES	R/L ADA SPACES	PROV. ADA SPACES	R/L BIKE SPACES	PROV. BIKE SPACES	R/L MC SPACES	PROV. MC SPACES
35		604	70	388	4	9	60.4	62	3	3

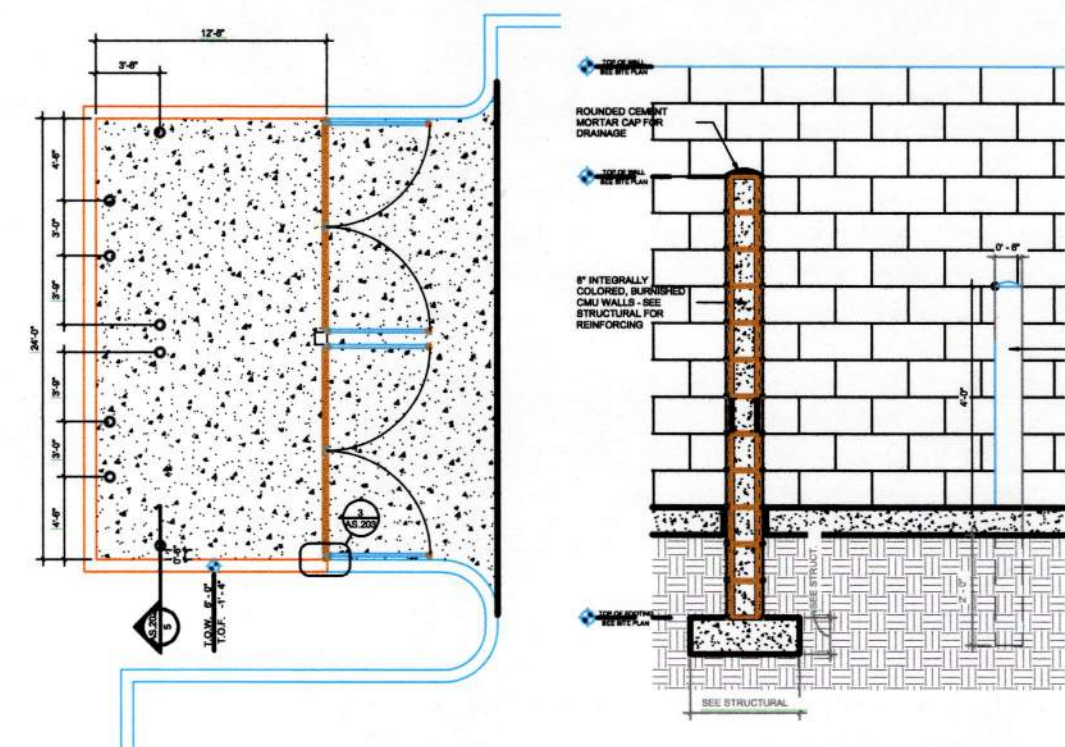
TABULATED BUILDING AREA BY PHASE

PHASE	BUILDING AREA	# CLASSROOMS
EXISTING CONDITIONS	28,933 SF	28
PHASE 1		
EXISTING TO REMAIN	14,645 SF	0
NEW TWO STORY CLASSROOM BUILDING	61,400 SF	35
PORTABLES TO BE REMOVED	-14,288 SF	-28
TOTAL FOR PHASE 1	76,045 SF	35
PHASE 2		
PHASE 2 BUILDING	8,000	0
TOTAL BUILDING SF	84,045	35



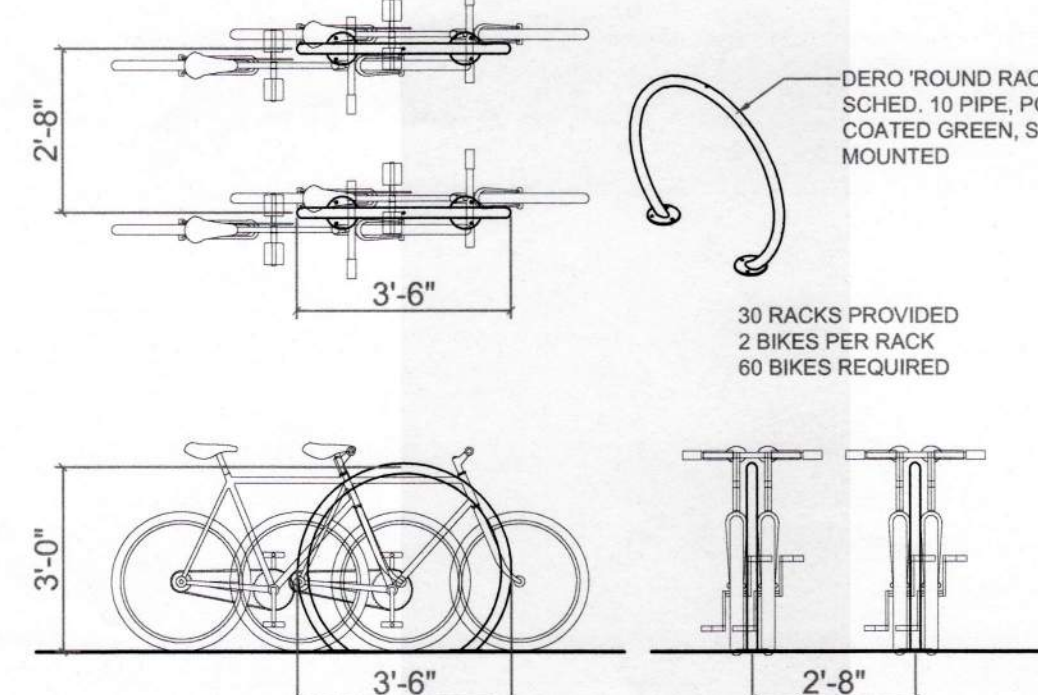
4 RESERVED PARKING SIGNS

NOT TO SCALE



2 REFUSE ENCLOSURE PLAN, SECTION AND GATE ELEVATION

NOT TO SCALE

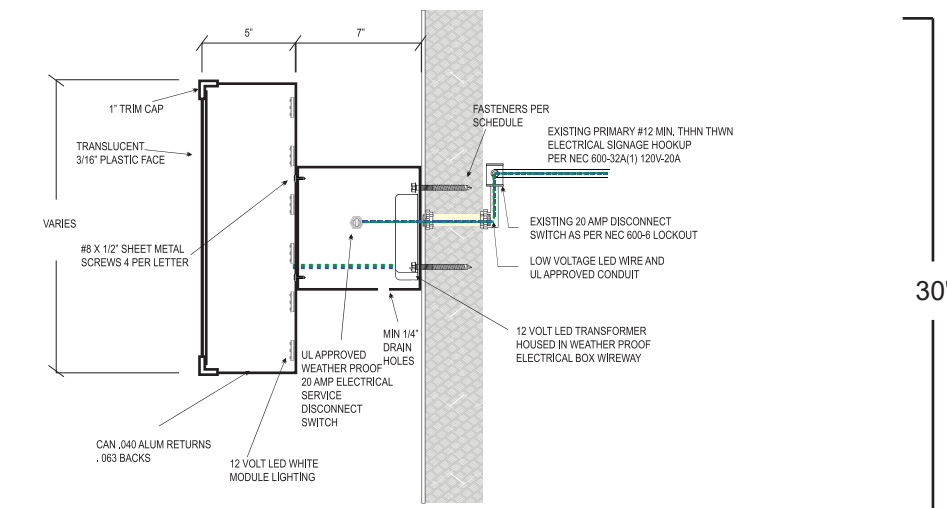


3 BIKE RACK DETAIL

3/8" = 1'-0"



SCALE 3/32" = 1'



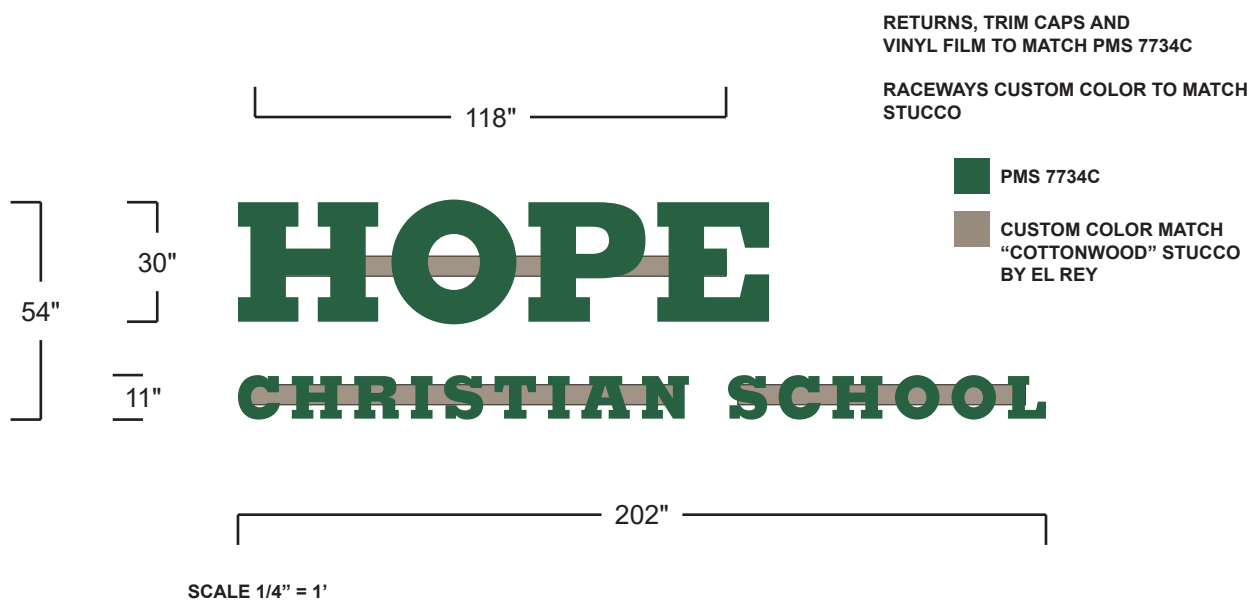
ELECTRICAL SPECIFICATIONS (L.E.D.)

ALL ELECTRICAL COMPONENTS WILL BE UL LISTED AND APPROVED AS PER NEC 800.4, 800.3 & DESIGNED TO UL #48 PER F.S. 553-19. ALL SIGNS ARE TO BE GROUNDED AND BONDED PER NEC 800.3 AND 250. ALL WIRING INSIDE LETTERS WILL BE 12V-CLASS 2 18GA / LOW VOLTAGE WIRING. ALL PRIMARY WIRING WILL BE #12 THWN HIGH TENSION AS PER NEC 600.12(C). THESE PLANS COMPLY WITH FBC 4805-91. JUNCTION BOX INSTALLED BY CUSTOMER'S ELECTRICAL CONTRACTOR TO WITHIN 5' OF SIGN LOCATION. HWZ 1620 WITH WIND LOADS PER ASCE 7-10. TIME CLOCK OR PHOTOCELL PER FCC.



FASTENER SCHEDULE	
	3/8" LAG SCREW FOR USE WITH WOOD OR EPS WALL SYSTEMS. 1-1/2" MIN PENETRATION (EXCL. TP)
	3/8" DIA. THREADED ROD FOR USE WITH WOOD, CONCRETE BLOCK OR EPS WALL SYSTEMS.
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON) FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. HL-TI HIT ROD WITH HY 150 MAX ADHESIVE FOR USE WITH CONCRETE. EMBED A MIN. OF 2".
	3/8" DIA. HL-TI HIT ROD WITH HY20 ADHESIVE FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. HL-TI HIT ROD WITH HY20 ADHESIVE FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2".
	3/8" DIA. HL-TI HLC SLEEVE ANCHOR FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".

INSTALLER SHALL VERIFY THAT FASTENERS CHOSEN ARE SUITABLE WITH WALL CONDITIONS



SCALE 1/4" = 1'

RETURNS, TRIM CAPS AND VINYL FILM TO MATCH PMS 7734C

RACEWAYS CUSTOM COLOR TO MATCH STUCCO

- PMS 7734C
- CUSTOM COLOR MATCH "COTTONWOOD" STUCCO BY EL REY

INVOICE #:	1379
CUSTOMER:	HOPE CHRISTIAN SCHOOL
ORIGINAL DRAWING DATE:	6/20/2023
DRAWING NUMBER:	1
DRAWN BY:	AC
VERSION 2 BY:	REV. DATE
	6/30/2023
VERSION 3 BY:	REV. DATE
	7/14/2023
VERSION 4 BY:	REV. DATE
	7/17/2023
VERSION 5 BY:	REV. DATE
	8/11/2023

INSTALLATION LOCATION:
6721 PALOMAS AVE NE
ALBUQUERQUE, NM
87109

UPC: 101806338849410510

NOTES:
RACEWAY MOUNTED CHANNEL LETTERS

TRANSLUCENT VINYL FILM OVER TRANSLUCENT FACES

CONNECT TO EXISTING SIGN CIRCUIT AND SWITCH

SIGN AREA CALCULATIONS
SIGN AREA:
202"W X 54"H = 75.75 SF

FRONTAGE AREA:
92'W X 30'H = 2760 SF

SIGN AREA = 2.74%

FASTSIGNS
Make Your Statement™
9664 Eagle Ranch Rd. NW, Ste. 6
Albuquerque, NM 87114
Phone 505-532-1001
fastsigns.com/2434

NM Lic # 410487
This drawing is the property of FASTSIGNS Albuquerque Northwest. It shall not be reproduced, copied or used for any purpose without permission.

CLIENT APPROVAL: Approved AS-IS I approve this design as shown in this drawing and request production begin on my order. I understand any changes requested subsequent to this approval will result in additional charges and delay completion.

X _____ Date: _____

LANDLORD APPROVAL: Approved AS-IS I approve this design as shown in this drawing for installation at the address shown. I also hereby certify that I am the Owner or Owner's Authorized Agent with authority to grant this approval.

X _____ Date: _____