ADMINISTRATIVE AMENDMENT	
FILE #:	PROJECT #:
	· · · · · · · · · · · · · · · · · · ·
APPROVED BY	DATE

<sup>\*</sup>See applications 17AA-10040, SI-2021-00089, SI-2021-00739, and SI-2021-01808 for previously amended parking calculations.

## **DISCLAIMER**

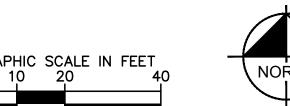
THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. KIMLEY-HORN AND FLITE BANKING CENTERS DO NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS.

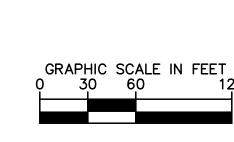
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND FLITE BANKING CENTERS OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH FLITE BANKING CENTERS PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

IMAGE SOURCE: NEARMAP IMAGE DATE: 06/30/2023











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DRAFT PRELIMINARY PLANS

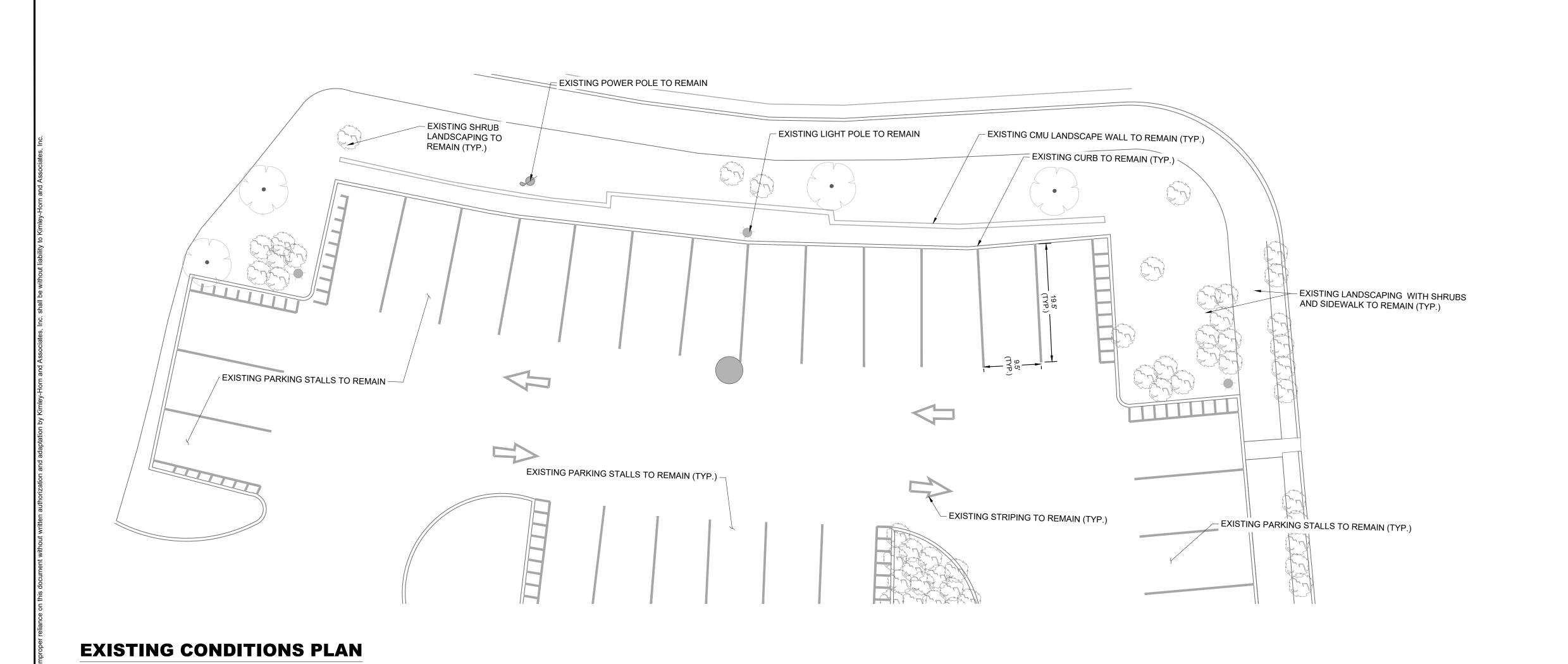
FOR REVIEW ONLY

KIMLEY-HORN PROJECT NO. 196235022

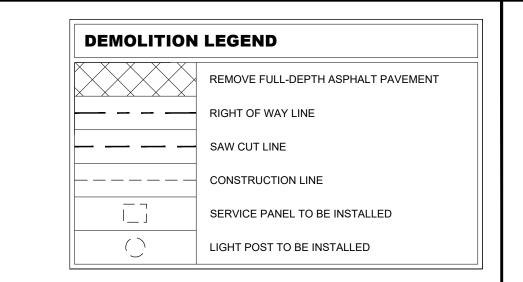
SITE LOCATION

C1-00

SHEET NUMBER



# LIGHT POST TO BE INSTALLED - EXISTING POWER POLE TO REMAIN EXISTING CMU LANDSCAPE WALL TO REMAIN (TYP.) **EXISTING SHRUB** LANDSCAPING TO EXISTING CURB TO REMAIN (TYP.) > REMAIN (TYP.) **EXISTING LIGHT POLE TO REMAIN** SERVICE PANEL TO BE INSTALLED CONTRACTOR TO SAW CUT EXISTING ASPHALT PAVEMENT TO LIMIT OF PROPOSED LIGHT POST TO BE INSTALLED ASPHALT TO ENSURE SMOOTH TRANSITION WITH PROPOSED SURFACE EXISTING LANDSCAPING WITH S AND SIDEWALK TO REMAIN (TYP +/-1,810 SF OF EXISTING ASPHALT PAVEMENT TO BE REMOVED / EXISTING PARKING STALLS TO REMAIN SAWCUT LINE (TYP.) CONSTRUCTION LINE (TYP.) -EXISTING PARKING STALLS TO REMAIN (TYP.) -- EXISTING STRIPING TO REMAIN (TYP.) - EXISTING PARKING STALLS TO REMAIN (TYP.)



### **EXISTING UTILITIES NOTE**

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

## **NOTES**

- CONTRACTOR TO PROVIDE A 6'-0" CHAIN LINK FENCE AROUND CONSTRUCTION AREA.
- CONTRACTOR TO MATCH ALL EXISTING PAVEMENT ELEVATIONS. ALL PROPOSED ISLAND TO BE 6" ABOVE EXISTING PAVEMENT. NEW WORK TO BE DONE WITHIN THE CONSTRUCTION AREA. ONE CALL NOTIFICATION SYSTEM. CALL BEFORE YOU DIG!!!
- CONTRACTOR TO SAW CUT, REMOVE AND HAUL OFF EXISTING ASPHALT AND/OR CONCRETE WITHIN DEMO AREA.

#### **DEMOLITION NOTES**

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL
- 3. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. 4. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER
- CONSTRUCTION MATERIALS SHALL BE NEW. 5. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL
- AND REPAIR. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. CONCRETE/ASPHALT/BRICK, ETC. CAN BE CRUSHED (ON SITE OR OFFSITE) AND REUSED AS BASE MATERIAL FOR FUTURE PAVING AND BUILDING AREAS AS LONG AS IT MEETS REQUIRED GRADATION
- PER PLANS, CITY/NCTCOG REQUIREMENTS AND GEOTECH REPORT. 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES
- PRIOR TO BEGINNING CONSTRUCTION. 9. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN FOR THE LOCATION OF THE TREES THAT ARE ALLOWED TO REMAIN/TO BE REMOVED ONCE A TREE REMOVAL PERMIT IS OBTAINED BY THE
- 10. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO
- USE FOR SUCH WORK. 11. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
- 12. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- 13. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRAFFIC CONTROL PLAN AND THE INSTALLATION OF TRAFFIC CONTROL DEVICES FOR ANY STREET WORK.
- 14. ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL CLOSELY COORDINATED WITH TREE PRESERVATION ACTIVITIES. 15. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR
- EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA. 16. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER
- OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED. 17. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA
- AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO 18. CONTRACTOR TO PULL ALL TREE REMOVAL PERMITS FOR ANY REQUIRED TREE REMOVAL.
- 19. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES

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SEE DEMOLITION NOTES, Know what's **below. Call** before you dig.

**SHEET C0-01.** 

Drawing name: K:\den\_civil\196235000\_flite banking centers\196235022\_wm 5430\_albuquerque\CADD\plansheets\site plan\C1-10 DEMOLITION PLAN.dwg C1-10 EXISTING CONDITIONS & DEMOLITION PLAN Mar 26, 2024 8:22am by: MADELEINE.REINKE

**DEMOLITION PLAN** 

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DRAFT **PRELIMINARY PLANS** 

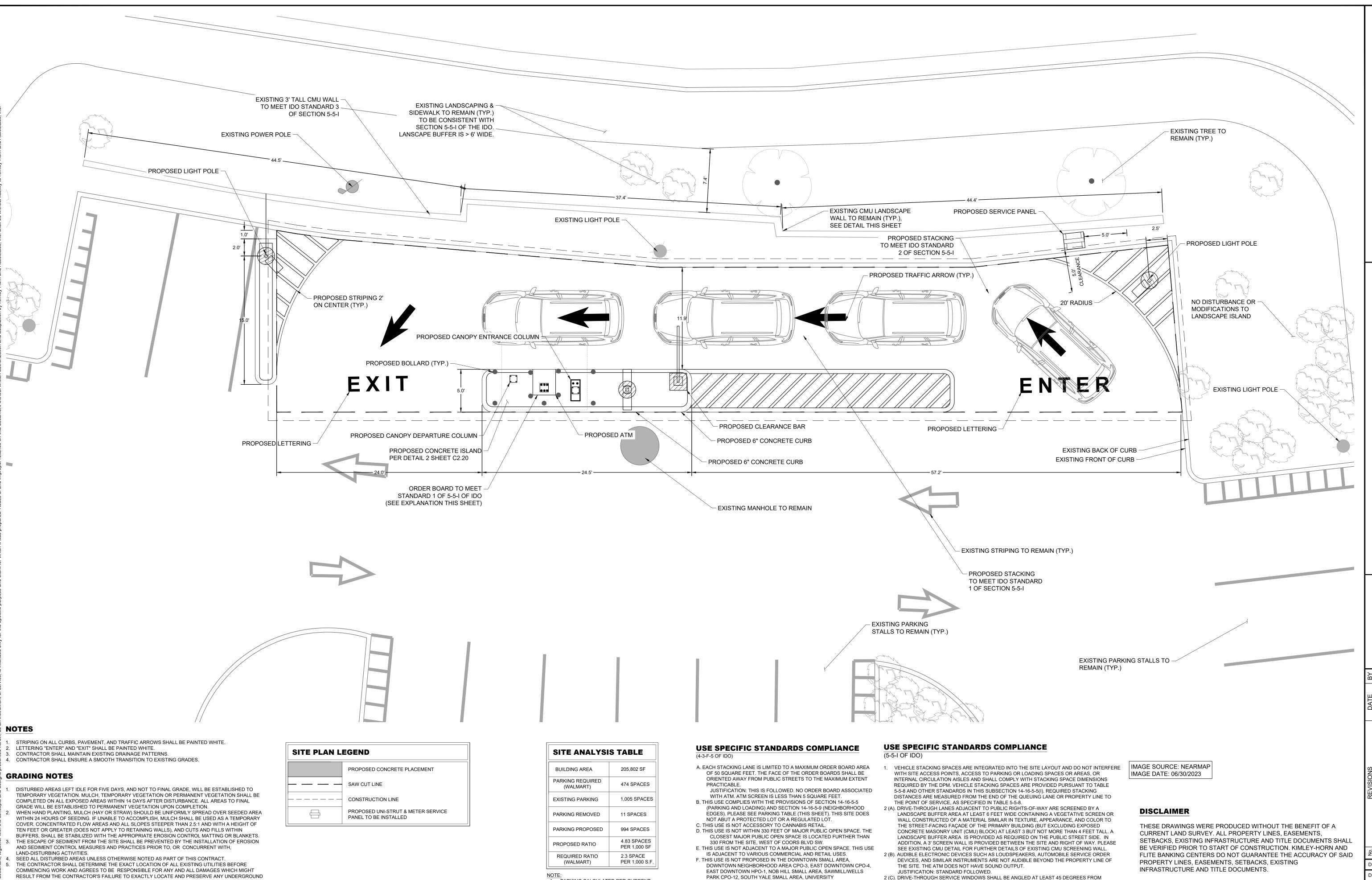
**FOR REVIEW ONLY** 

DESIGNED BY: DRAWN BY CHECKED BY:

KIMLEY-HORN PROJECT NO. 196235022

**EXISTING CONDITIONS** & DEMOLITION PLAN

SHEET NUMBER



1. PARKING CALCULATED PER CURRENT

IDO STANDARDS TABLE 5-5-1 FOR

ESTABLISHMENTS GREATER THAN

REQUIRED FOR AUTOMATED TELLER

2. PER TABLE 5-5-1, NO PARKING IS

FACILITIES.

MACHINES (ATM)

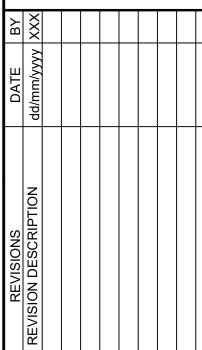
50,000 S.F. OF GFA AND DRIVE-THROUGH

NOTE: EXISTING CMU SCREENING WALL MEETS STANDARDS

SET BY THE IDO ( 5-5-I-2-A) BY BEING AT LEAST 3' TALL AND UNDER 4' TALL. CMU WALL IS EXISTING AND IS TO REMAIN AS IS.

**PRELIMINARY PLANS** 

FOR REVIEW ONLY



| - | 2 | E | 4 | T | O | C | 8 | O | **DESIGNED BY:** 

DRAWN BY CHECKED BY:

SITE LAYOUT PLAN

KIMLEY-HORN PROJECT NO.

196235022

SHEET NUMBER

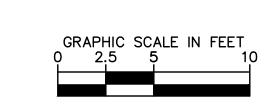
PARK CPO-12, SOUTH YALE SMALL AREA, UNIVERSITY NEIGHBORHOODS SMALL AREA, UPTOWN SMALL AREA, VOLCANO HEIGHTS URBAN CENTER, AND VOLCANO MESA CPO-13 AS SPECIFIED IN THE IDO.

NOT DIRECTLY FACE THE RESIDENTIAL LOT. THERE ARE NO SERVICE WINDOWS PROPOSED. ADDITIONALLY, THE USE IS NOT ABUTTING A RESIDENTIAL ZONE. 2 (D). THE SITE IS NOT WITHIN UC-MS-PT AREAS OR MX-H ZONE DISTRICT 2 (E). THE SITE IS NOT WITHIN UC-MS-PT AREAS OR MX-H ZONE DISTRICT 2 (F). DRIVE-THROUGH SERVICE WINDOWS AND ANY ASSOCIATED ORDER BOARD ARE LOCATED AT LEAST 50 FEET IN ANY DIRECTION FROM ANY ABUTTING RESIDENTIAL ZONE DISTRICT OR LOT

CONTAINING A RESIDENTIAL USE IN ANY MIXED-USE ZONE DISTRICT. THE SITE IS NOT ABUTTING RESIDENTIAL ZONES OR USES. NO SERVICE WINDOWS PROPOSED. 2 (G). WHERE ABUTTING ANY RESIDENTIAL ZONE DISTRICT OR LOT CONTAINING A RESIDENTIAL USE IN ANY MIXED-USE ZONE DISTRICT, THE EDGE BUFFERING PROVISIONS OF SUBSECTION 14-16-5-6(E) (EDGE BUFFER LANDSCAPING) SHALL APPLY. THIS SITE DOES NOT BORDER ANY RESIDENTIAL ZONE DISTRICT.

PARALLEL WITH ANY ABUTTING LOT LINE OF A RESIDENTIAL ZONE DISTRICT SO THAT IT DOES

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**EXISTING CMU SCREENING WALL** 

UTILITIES TO REMAIN. THE CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY OF ANY

. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS

COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED.

CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL

PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION

10. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING

STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL

VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND

PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.

CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.

DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE

COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL

STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT

