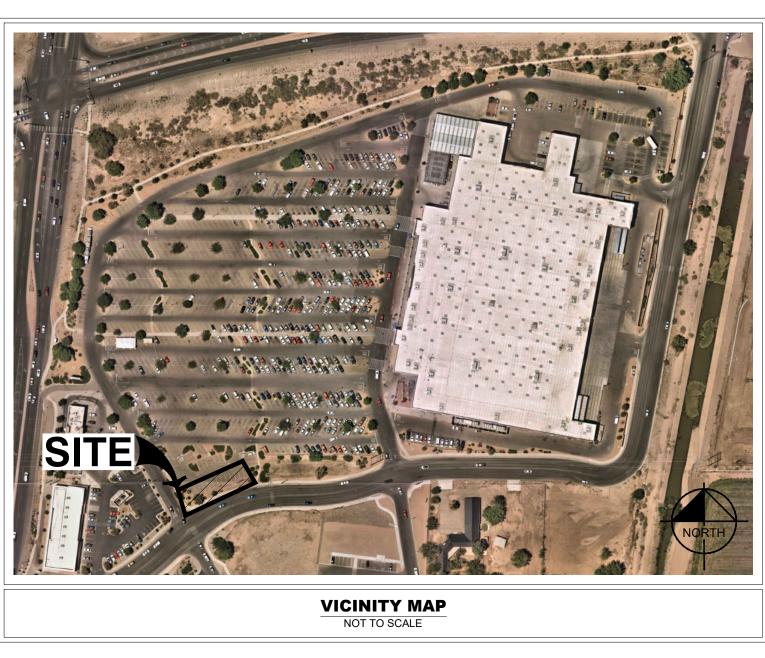
SITE PLAN FLITE BANKING CENTERS, LLC ADDITION OF ATM DRIVE-UP IN EXISTING #5430 WALMART PARKING LOT 3500 COORS BLVD SW ALBUQUERQUE, NM 87121



GENERAL DEVELOPMENT NOTES

- 1. PART OF THE SUBJECT PROPERTY IS LOCATED IN AREAS DESIGNATED AS "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN) AS NOTED ON THE CURRENT FEMA FIRM COMMUNITY PANEL 35001C0339H.
- 2. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE ALBUQUERQUE PUBLIC WORKS DEPARTMENT.
- 3. ALBUQUERQUE UTILITY DISTRICT SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.

SCOPE OF WORK

ADDITION OF A SINGLE DRIVE-UP ATM LANE IN AN EXISTING PARKING LOT.

EXISTING PROPERTY SUMMARY

PROPERTY ADDRESS:	3500 COORS BLVD S ALBUQUERQUE, NM
PLAT: LOT:	TR 1-A-1 BULK LANE
SUBD:	LAMONICA & WENK
ZONE ATLAS ID: U.S. FEMA FIRM PANEL: EXISTING ZONING: EXISTING LAND USE:	P10 35001C0339H DATEI MX-L COMMERCIAL RETA

Call before you dig.

SW M 87121 ND PLAT

ED 08/16/2012 AIL

RIO BRAVO BLVD B LOCATION MAP

NOT TO SCALE ©2021 NEARMAP

CITY OF ALBUQUERQUE **BERNALILLO COUNTY, NM**

PROJECT DESIGN TEAM

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC. 6200 SOUTH SYRACUSE WAY, SUITE 300 GREENWOOD VILLAGE, CO 80111 PHONE: (303) 228-2300 CONTACT: DANIELLE PRESCOTT, P.E.

PERMITTING / UTILITY CONTACTS

ZONING/PLANNING CITY OF ALBUQUERQUE 600 2ND ST NW ALBUQUERQUE, NM 87102 PHONE: (505) 924-3860

FLITE BANKING CENTERS, LLC

8955 KATY FWY, STE 107

CONTACT: DEANGELO RIOS

HOUSTON, TX 77024

PHONE: (800) 370-3734

CLIENT

BUILDING DEPT.

CITY OF ALBUQUERQUE 600 2ND ST NW ALBUQUERQUE, NM 87102 PHONE: (505) 924-3964

FIRE CHIEF FIRE RESCUE

11500 SUNSET GARDENS SW ALBUQUERQUE, NM 87121 PHONE: (505) 768-9300 CONTACT: EMILY JARAMILLO

TRANSPORTATION DEPT.

ALBUQUERQUE TRANSIT DEPARTMENT 100 1ST ST SW ALBUQUERQUE, NM 87102 PHONE: (505) 724-3100 CONTACT: LESLIE KEENER

SHEET INDEX					
SHEET NUMBER	SHEET TITLE				
C0-00	COVER				
C0-01	GENERAL NOTES				
C1-00	SITE LOCATION				
C1-20	EXISTING CONDITIONS & DEMOLITION PLAN				
C2-00	SITE LAYOUT PLAN				
C2-20	ATM & BOLLARD PLAN				

PROJECT NOTES

- 1. THIS LOCATION USES 11 PARKING SPACES 2. ENTIRE ASPHALT WILL BE REMOVED AND REPLACED WITH CONCRETE
- PAINTED WHITE
- 4. DIRECTIONAL ARROWS AND "ENTER" & "EXIT" MESSAGING WILL BE PAINTED WHITE. 5. ALL LIGHT POLE COLUMNS WILL BE FINISHED
- SMOOTH. CAP, AND SIT 56" ABOVE CONCRETE SURFACE. EXCEPT BOLLARDS A & B NOTED IN BOLLARD
- 6. BOLLARD WILL BE PAINTED, HAVE SHALLOW DOME 7. BOLLARDS WILL BE FILLED WITH CONCRETE.
- DETAIL.
- 8. ATM SLAB WILL A MINIMUM 12" THICK TO ALLOW DRILLED ANCHOR POINTS. 9. LIGHT ACTIVATION FOR LIGHT STANDARDS AND CANOPY WILL BE PERFORMED BY SINGLE PHOTOCELL PLACED ON METER & PANEL
- STRUCTURE DEDICATED DRY CONDUIT TERMINATING AT THE ATM PIT FOR FUTURE CATEGORY 6 CABLE. DEDICATED DRY CONDUIT TERMINATING AT THE
- 10. EACH LIGHT POLE WILL RECEIVE ONE 1" 11. CANOPY EGRESS LEG WILL RECEIVE ONE 2"
- ATM PIT FOR FUTURE MULTIPLE CATEGORY 6 CABLE. CONDUIT TERMINATE AT METER & PANEL FOR COMMUNICATION CABLING
- 12. ATM PIT WILL RECEIVE ONE 2" DEDICATED DRY 13. ATM PIT RECEIVES 2 CIRCUITS (30 AMP FOR ATM &
- 20 AMP FOR ANCILLARY DEVICES). 14. ALL METAL BOLTS SHALL BE GALVANIZED METAL

3. ALL CURBS, INCLUDING ISLAND CURBS, WILL BE

OWNER / DEVELOPER



FLITE BANKING CENTERS, LLC. 8955 KATY FREEWAY, STE. 107 HOUSTON, TX, 77024 PHONE: (281)-816-5391 **CONTACT: DEANGELO RIOS**

PLANS PREPARED BY



6200 SOUTH SYRACUSE WAY, SUITE 300 GREENWOOD VILLAGE, CO 80111 Main: 303.228.2300 | www.kimley-horn.com ©2021 Kimley-Horn and Associates, Inc. **PLAN REVISIONS**

	-	 	
DATE			

REVISION NO.

FILE NUMBER

#011

ENGINEER'S SEAL

SHEET NUMBER **CO-00**

TOTAL SHEETS -2

REMARKS

	RACTOR RESPONSIBILITIES: OR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR:		DLITION INFORMA
A.			<u>TIFICATIONS:</u> CONTRACTOR SHALL NOTIFY T
B.	THE START OF CONSTRUCTION. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.	DEM	POSAL GUIDELINES:
В. С.	THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES	2. <u>Dis</u> A.	ONLY ITEMS SPECIFICALLY NO
D.	DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE	В.	REMOVE EXISTING PAVED AR SERVICE AREAS, EQUIPMENT
	CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.	C.	ALL DEBRIS RESULTING FROM OF LEGALLY BY THE CONTRAC BACKFILL ALL TRENCHES AND
2. <u>DUF</u>	ING CONSTRUCTION:	D.	ALL DEMOLISHED MATERIAL E NOTED.
A.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.	3. <u>TR</u>	E PROTECTION GUIDELINES:
В.	THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.	DUF ITEI AT REI	DTECT ALL EXISTING TREES NOT RING DEMOLITION. TAKE ALL NE MS TO BE TURNED OVER TO THE NO ADDITIONAL COST TO THE O' MBURSED AT A RATE TO BE DET LITIES:
C.	IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.	A.	PRIOR TO REMOVING OR ABA
D.	ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE	_	WRITING OF ANY TERMINATIO
E.	GOVERNING MUNICIPALITIES. CONSTRUCTION SHALL MEET ALL CURRENT STANDARDS SET FORTH IN THE AMERICANS WITH	В.	ALL ABANDONED WATER LINE OTHER ABANDONED UNDERG OTHERWISE.
F.	DISABILITIES ACT. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS	SITE	INFORMATION:
г.	OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.		FOLLOWING ARE APPLICABLE T
G.	SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE	A.	WHERE A DETAIL SECTION, TY APPLY FOR ALL LIKE OR SIMIL
	PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, M.U.T.C.D., CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.	В.	EXISTING AND PROPOSED CO
H.	TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE	C.	ALL DIMENSIONS ARE TO FAC
	COMMENCEMENT OF ANY WORK ON CITY, COUNTY, OR NEW MEXICO DEPARTMENT OF TRANSPORTATION ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.	D.	REFERENE ONLY. IT IS THE REFERENCE ON PROPOSED PIPE SL
I.	ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL	E.	PIPE LENGTHS IN PLANS ARE I UNLESS OTHERWISE NOTED.
	DEVICES (MUTCD), CURRENT EDITION, AND CITY OF ALBUQUERQUE STANDARDS FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.	EROS	
J.	FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.		
K.	CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.	A.	THE ESCAPE OF SEDIMENT FR AND SEDIMENT CONTROL MEA
L.	ON-SITE BURIAL OF DEBRIS IS PROHIBITED.	В.	LAND-DISTURBING ACTIVITIES
М.	UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS.		CONFORMANCE WITH THE REC HANDBOOKS. IF FULL IMPLEM EROSION CONTROL, ADDITION IMPLEMENTED TO CONTROL C
N.	IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.	C.	FAILURE TO INSTALL, OPERAT CONSTRUCTION BEING STOPF
О. Р.	ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE. AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD		THE STANDARDS SPECIFIED IN CURRENT EDITION.
Q.	APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS	D.	EROSION CONTROL MEASURE APPROVED PLAN DOES NOT P SEDIMENT CONTROL MEASUR SOURCE.
	THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.	E.	EROSION CONTROL DEVICES
R.	THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.		SOME OF THE EROSION CONT APPROVED PLANS IF DRAINAG PROPOSED DRAINAGE PATTER EROSION CONTROL FOR ALL E CONSTRUCTION. ANY DIFFICU SHALL BE REPORTED TO THE
S.	ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.	F.	THE CONSTRUCTION OF THE S MEASURES SUFFICIENT TO CO WILL BE MAINTAINED UNTIL AL COMPLETELY STABILIZED WIT
T.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER	G.	PAVED. CONSTRUCTION EXITS SHALL
U.	CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.		AND SHALL BE MAINTAINED IN PUBLIC RIGHTS-OF-WAY. THIS DEMAND, REPAIR, AND/OR CLE SPILLED, DROPPED, WASHED,
V.	THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THE CONTRACTOR WILL INDEMNIFY THE OWNER & OWNER'S REPRESENTATIVE FROM LIABILITY AT THE SITE THROUGHOUT	ADA (MUST BE REMOVED IMMEDIAT OTHERWISE BARRICADED UN
W.	THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL	A.	CURB RAMPS ALONG PUBLIC
	LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, BLASTING, PUBLIC INFRASTRUCTURE, STORMWATER REGULATIONS, ETC.	В.	ON THE CITY STANDARD CONS PRIVATE CURB RAMPS ON THE STANDARDS AND SHALL HAVE
Х.	THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.	C.	THE CURB RAMP, NOT INCLUD
Y.	REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.	D.	PAVEMENT MARKINGS SHALL
Z.	CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY		MORE UNITS PER DWELLING S THE FAIR HOUSING ACT DESIG
	DAMAGES TO SUCH PROPERTY.	E.	BEFORE PLACING PAVEMENT, ROUTES (PER ADA AND FHA) E PARKING SPACES, ACCESS AIS SLOPE EXCEED 1 VERTICAL TO PERCENT. IN NO CASE SHALL SPACES AND ACCESS AISLES
		F.	CONTRACTOR SHALL TAKE FIE PRIOR TO PLACING PAVEMENT SHALL CONTACT ENGINEER PI CONTRACTOR CHANGE ORDE

ATION:

- OF 3,500 P.S.I.
- 3/4" 540, 1/2" 590, 3/8" 610.
- 2. CURING CRITERIA:
 - Α
 - В. CONTENT IN ACCORDANCE WITH ACI 302.IR-89 TABLE 5.2.7A.
 - UNTIL CURING COMPOUND IS USED.
 - **BELOW 40 DEGREES FAHRENHEIT.**

CONCRETE INFORMATION (SITE WORK ONLY): CLEARING AND GRUBBING: A. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED 1. PRODUCT CRITERIA: ON THE PLANS. A. UNLESS OTHERWISE NOTED CEMENT SHALL BE TYPE I OR III CONFORMING TO ASTM C150. AGGREGATES SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C33. B. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS. CONCRETE SHALL CONFORM TO ACI BUILDING CODE (318-89). UNLESS NOTED C. NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN. CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH D. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN. C. SLUMP SHALL BE 3" TO 5" FOR REGULAR MIX. LARGER SLUMP SHALL BE PERMITTED WITH WATER REDUCING ADMIXTURES AND WRITTEN CONSENT OF THE ENGINEER. E. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS. D. THE RELATIONSHIP BETWEEN MAXIMUM AGGREGATE SIZE TO MINIMUM AMOUNT OF CEMENT IN CONCRETE PAVEMENT (LB. PER C.Y. OR MIX) SHALL BE AS FOLLOWS: 1" - 520. CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND F. **GRUBBING LIMITS BEFORE STARTING WORK** E. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING. CONCRETE CURING SHALL COMPLY WITH ACI 308. CURING PROCESS SHALL START F. AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IMMEDIATELY FOLLOWING INITIAL SET. CURING SHALL BE BY CURING COMPOUND. IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 318-89 TABLE 4.1.1. NORMAL WEIGHT CONCRETE SLABS SHALL HAVE AIR REQUITE TREE WELLS WITHIN THE GRADING LIMITS. G. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS. HOT WEATHER CONCRETING SHALL COMPLY WITH ACI 305. NO CONCRETE ABOVE 90 C. DEGREES FAHRENHEIT SHALL BE POURED. LOWER CONCRETE TEMPERATURE BY COOLING WATER AND AGGREGATE. FORMS, STEEL, AND SUBGRADE SHALL BE SPRINKLED WITH COLD WATER. AFTER FINISHING CONCRETE USE LIGHT FOG SPRAY **GRADING NOTES:** COLD WEATHER CONCRETING SHALL COMPLY WITH ACI 306. SPECIAL MATERIAL D. A. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S PROCEDURES SHALL BE PROVIDED DURING PLACING AND CURING OF CONCRETE REPRESENTATIVE. DRAINAGE SHALL ROUT AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT THE LOSS OF TOPSOIL MATERIAL E. E. CURING, HOT, AND COLD WEATHER CONCRETING PROCEDURES ARE ONLY GIVEN AS A GUIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT CONCRETE B. UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL DAMAGE AND CRACKS. DAMAGED OR CRACKED CONCRETE WILL NOT BE ACCEPTED. AREAS AND COVERED WITH TOPSOIL AND SEEDED. C. FILL AREA SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE **REINFORCING STEEL INFORMATION (SITE WORK ONLY):** SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RE-COMPACTION OF THESE SOILS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR). 1. PRODUCT CRITERIA: CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 AND GRADE 40 FOR #3 Α. MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH AND SMALLER BARS. MINIMUM LAP 48" DIAMETER. OF 12" AND RE-COMPACTED TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR). WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, MINIMUM LAP SHALL BE 8". В. E. ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK C. REINFORCING THAT IS WELDED SHALL BE WELDABLE TYPE AND CONFORM TO ASTM LISTED IN THE BID DOCUMENTS. A-706. F. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION. **PAVEMENT INFORMATION:** G. GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 10 CALENDAR DAYS PF ACHIEVING OPTIMUM SUBGRADE COMPACTION. 1. PAVEMENT H. SOILS TESTING LABORATORY/ SOILS ENGINEER. CONTRACTOR WILL EMPLOY A ALL MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION, AND WORKMANSHIP SHALL QUALIFIED SOILS TESTING LABORATORY/ ENGINEER TO OBSERVE THIS WORK AND MAKE CONFORM TO THE NEW MEXICO DEPARTMENT OF TRANSPORTATION, NMDOT, TESTS AS REQUIRED. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION. HAVE EARTH BORROW FILL, AGGREGATE, AND TOPSOIL, AND STRUCTURAL FILL TESTED AND APPROVED BY DESIGNATED TESTING LABORATORY BEFORE MOVING IT TO THE JOB SEE PAVEMENT DETAILS ON CONSTRUCTION DOCUMENTS FOR SPECIFIC DESIGN SITE INFORMATION AND REQUIREMENTS. CONTRACTOR SHALL OBSERVE PROOF-ROLLING OF AREAS WHERE BUILDING AND C. ALL CURB AND GUTTER TO BE 24" AND CONSTRUCTED OF 3000 P.S.I. CONCRETE UNLESS PAVING WILL BE LOCATED TO DETERMINE ADEQUACY OF SOIL COMPACTION AND OTHERWISE NOTED. IN-PLACE SOILS. OTHER AREAS WILL BE INSPECTED BY SOILS ENGINEER TO DETERMINE ADEQUACY IN THOSE AREAS. IF SOILS ARE NOT ADEQUATE TO BEAR WEIGHTS THAT SIGNING AND STRIPING: 2. WILL BE IMPOSED, TESTING LABORATORY WILL OBSERVE AND REPORT CORRECTIVE ACTION TAKEN. A. SIGNING AND STRIPING TO BE PROVIDED BY THE CONTRACTOR ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. K. TEST IN-PLACE SOIL AND FILLED AND COMPACTED AREAS. IF THESE ARE NOT ADEQUATE TO BEAR WEIGHTS IMPOSED. TESTING LABORATORY WILL ADVICE THE OWNER'S ALL PAVEMENT MARKINGS SHALL CONFORM TO CURRENT MUTCD STANDARDS. ALL Β. REPRESENTATIVE OF THEIR RECOMMENDATIONS. HE WILL DIRECT ANY CORRECTIVE PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL BE PAINT, UNLESS NOTED MEASURES THAT ARE NECESSARY. OTHERWISE. ALL PAVEMENT MARKINGS ON PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC, UNLESS NOTED OTHERWISE. SOILS COMPACTION TESTING OF IN-PLACE AND FILLED AND COMPACTED AREAS WILL BE PERFORMED BY TESTING LABORATORY IN ACCORDANCE WITH THEIR REQUIREMENTS. **STORM SEWER NOTES:** M. THE SOILS ENGINEER'S AND TESTING LABORATORY'S FEES WILL BE PAID BY THE CONTRACTOR. 1. REINFORCED CONCRETE PIPE SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS. N. APPLICABLE SPECIFICATIONS FOR COMPACTED FILL: THE FOLLOWING CURRENT AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) STANDARDS ARE HEREBY MADE 2. FILL HEIGHTS OVER 13' REQUIRE CLASS IV RCP STORM PIPE. PART OF THIS SPECIFICATION: 3. STORM INLETS SHALL BE PRECAST IN ACCORDANCE WITH CITY OF ALBUQUERQUE PUBLIC • D421-58, DRY PREPARATION OF SOIL SAMPLES FOR GRAIN-SIZE ANALYSIS AND WORKS SPECIFICATIONS WHICH MEET OR EXCEED ASTM C 478. DETERMINATION OF SOIL CONSTANTS. • D422-63, STANDARD METHOD OF PARTICLE SIZE ANALYSIS OF SOILS. 4. ALL MANHOLE FRAMES AND COVERS ARE TO BE PER CITY OF ALBUQUERQUE PUBLIC WORKS • D1140-54, METHOD OF TEST FOR AMOUNT OF MATERIAL IN SOILS FINER THAN NO.200 STANDARD DETAIL FOR DIMENSIONS AND MATERIALS AND AS BELOW IF NOT OTHERWISE SIEVE. INDICATED. FERROUS; 24-INCH (610-MM) ID BY 7- TO 9-INCH (175- TO 225-MM) RISER WITH 4-INCH- D698, METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING (102-MM-) MINIMUM WIDTH FLANGE AND 26-INCH- (660-MM-) DIAMETER COVER. INCLUDE STANDARD EFFORT INDENTED TOP DESIGN WITH LETTERING CAST INTO COVER, USING WORDING EQUIVALENT TO D1557-78, STANDARD TEST METHODS FOR MOISTURE-DENSITY RELATIONS OF SOILS "STORM SEWER." AND SOIL-AGGREGATE MIXTURES USING 10 LB. (4.54-KG) RAMMER AND 18-INCH (457 MM) DROP. 5. MATERIAL: GRAY IRON ASTM A48 CLASS 30 UNLESS OTHERWISE INDICATED. O. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL LOCATIONS UNLESS 6. ALL HDPE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE SMOOTH INTERIOR PIPE. OTHERWISE NOTED. HDPE PIPE SHALL CONFORM TO ASTM D3350 WITH SOIL TIGHT JOINTS. P. CONTRACTOR SHALL REVIEW THE SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO 7. ALL HDPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND AASHTO COMMENCING WITH GRADING OPERATIONS. WHERE CONFLICTS BETWEEN THE GRADING SECTION 30. NOTES AND GEOTECHNICAL REPORT EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. 8. CONTRACTOR TO PROVIDE AND INSTALL MANUFACTURER RECOMMENDED FITTINGS ON RCP CONNECTIONS TO HDPE STRUCTURES. Q. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING WITH LOAD TICKETS, PHOTOGRAPHS, LOG BOOK, VIDEO RECORDING AND OTHER MEANS AS NECESSARY TO 9. REFER TO PIPE CHART FOR CASTING TYPES. INSTALL REDUCERS AS NECESSARY PER VERIFY THE INSTALLATION OF STORMWATER BEST MANAGEMENT PRACTICES REQUIRED MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER INLET SIZES. BY THE LOCAL MUNICIPALITY AND JURISDICTION. AS-BUILT TOPOGRAPHY AND UTILITY PLANS HAVING BEEN PREPARED BY A QUALIFIED LAND SURVEYOR ARE REQUIRED TO BE 10. FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND SUBMITTED TO KIMLEY-HORN AT THE CONCLUSION OF THE PROJECT FOR VERIFICATION INSTALLATION INSTRUCTION AS INCLUDED WITHIN THE PLANS AND PROVIDED BY OF DESIGN INTENT. ANY MODIFICATIONS TO THE GRADING AND UTILITY SYSTEMS MANUFACTURER FOR THE INSTALLATION OF WATER QUALITY AND DETENTION SYSTEMS. REQUIRED, NOT PREVIOUSLY APPROVED BY THE OWNER AND ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR 11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND DETENTION STRUCTURES FOR ENGINEER AND OWNER

- APPROVAL PRIOR TO ORDERING MATERIALS.

THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY

- NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
- REAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, IT PADS, AND ALL MISCELLANEOUS PAVING.
- DM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED ACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. ND EXCAVATIONS RESULTING FROM DEMOLITION.
- BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE

- OTED "TO REMAIN" AND ALL ITEMS TO BE TURNED OVER TO THE OWNER IECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING HE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR ETERMINED BY THE OWNER.
- ANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO E TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN ION NOT SHOWN ON THE PLANS.
- NES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY GROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED
- E TO ALL CIVIL DOCUMENTS:
- YPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL ILAR CONDITIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
- ONTOURS ARE AT ONE (1) FOOT INTERVALS.
- CE OF CURB UNLESS OTHERWISE NOTED.
- ED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS SLOPE.
- E MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE

INT CONTROL INFORMATION:

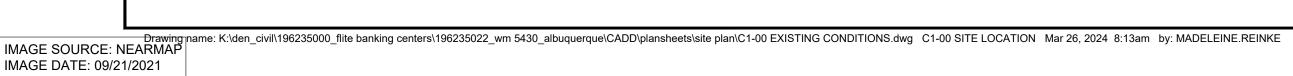
- FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION EASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH
- ROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN EQUIREMENTS OF THE NEW MEXICO EROSION AND SEDIMENT CONTROL MENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE ONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE . OR TREAT THE SEDIMENT SOURCE.
- ATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL PPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO IN THE NEW MEXICO EROSION AND SEDIMENT CONTROL HANDBOOKS,
- RES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND JRES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT
- S SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF ITROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE AGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL ERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION E ENGINEER IMMEDIATELY.
- E SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN ITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN
- L BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO IIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS LEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS D, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY ATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE NTIL THE SITE IS STABILIZED.
- STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED NSTRUCTION DETAILS AND SPECIFICATIONS.
- HE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA /E A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF JDING FLARES.
- ENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND L CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- PROJECT SERVING MULTIFAMILY DWELLINGS IN BUILDINGS THAT HAVE 4 OR SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH IGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- T. CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE AISLES, AND ACCESSIBLE ROUTES, IN NO CASE SHALL AN ACCESSIBLE RAMP TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING S SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS INT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

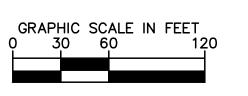


 \bigcirc

 $\widehat{\}$

SHEET NUMBER









DISCLAIMER

THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. KIMLEY-HORN AND FLITE BANKING CENTERS DO NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND FLITE BANKING CENTERS OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH FLITE BANKING CENTERS PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

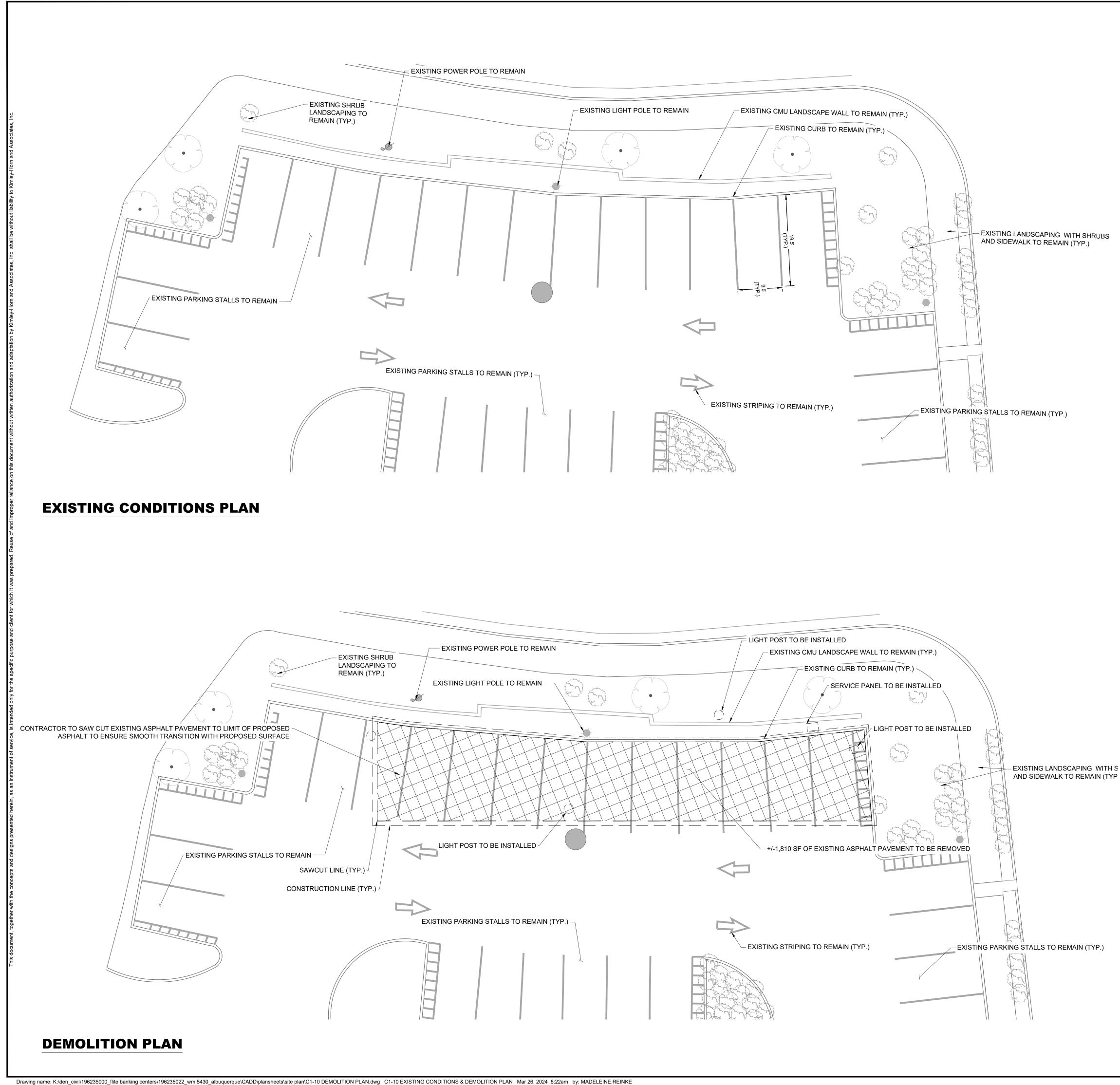
> IMAGE SOURCE: NEARMAP IMAGE DATE: 06/30/2023



						6200 SOUTH SYRACUSE WAY, S	GREENWOOD VILLAGE, CO	Main: 615.564.2701 www.kimley	© 2021 Kimley-Horn and Associates, I
WALMART #5430 ATM ADDITION FLITE BANKING CENTERS, LLC Albuquerque, NM									
DRAFT PRELIMINARY PLANS FOR REVIEW ONLY									
w XXX									
DATE dd/mm/vvvv									
REVISIONS REVISION DESCRIPTION									
No.	2	ю	4	ъ	9	7	ø	თ	10
DESI DRAV			Y:					MC MC	
CHEC	CKED		':					DI	١P
DATE ۴	: KIML	EY-ł		RN P				4/20 D.	23

C1-00

0



DEMOLITION LEGEND

REMOVE FULL-DEPTH ASPHALT PAVEMENT \times \times \times \rangle RIGHT OF WAY LINE ---- --- SAW CUT LINE _ _ _ _ _ _ _ |____ ()

- CONSTRUCTION LINE
- SERVICE PANEL TO BE INSTALLED
- LIGHT POST TO BE INSTALLED

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

NOTES

- CONTRACTOR TO PROVIDE A 6'-0" CHAIN LINK FENCE AROUND CONSTRUCTION AREA. CONTRACTOR TO MATCH ALL EXISTING PAVEMENT ELEVATIONS. ALL PROPOSED ISLAND TO BE 6"
- ABOVE EXISTING PAVEMENT. NEW WORK TO BE DONE WITHIN THE CONSTRUCTION AREA.
- ONE CALL NOTIFICATION SYSTEM. CALL BEFORE YOU DIG!!! CONTRACTOR TO SAW CUT, REMOVE AND HAUL OFF EXISTING ASPHALT AND/OR CONCRETE WITHIN DEMO AREA.

DEMOLITION NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL 3. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES,
- ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. 4. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER
- CONSTRUCTION MATERIALS SHALL BE NEW. 5. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
- 6. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. CONCRETE/ASPHALT/BRICK, ETC. CAN BE CRUSHED (ON SITE OR OFFSITE) AND REUSED AS BASE MATERIAL FOR FUTURE PAVING AND BUILDING AREAS AS LONG AS IT MEETS REQUIRED GRADATION
- PER PLANS, CITY/NCTCOG REQUIREMENTS AND GEOTECH REPORT. 8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES
- PRIOR TO BEGINNING CONSTRUCTION. 9. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN FOR THE LOCATION OF THE TREES THAT ARE ALLOWED TO REMAIN/TO BE REMOVED ONCE A TREE REMOVAL PERMIT IS OBTAINED BY THE CONTRACTOR.
- 10. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK. 11. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE
- CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP). 12. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER
- WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM. 13. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRAFFIC CONTROL PLAN AND THE INSTALLATION OF TRAFFIC CONTROL DEVICES FOR ANY STREET WORK.
- 14. ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL CLOSELY COORDINATED WITH TREE PRESERVATION ACTIVITIES. 15. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR
- EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA. 16. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER
- OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED. 17. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA
- AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING. 18. CONTRACTOR TO PULL ALL TREE REMOVAL PERMITS FOR ANY REQUIRED TREE REMOVAL.
- 19. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN

DISCLAIMER

THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. KIMLEY-HORN AND FLITE BANKING CENTERS DO NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND FLITE BANKING CENTERS OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH FLITE BANKING CENTERS PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

SEE DEMOLITION NOTES, SHEET C0-01.



ZU Ο \Box ∢ш Ζ

ШЩ

C

Zğ

 \square

∠ ⊓

 α

Ш

₹ O .

0

 \mathcal{O}

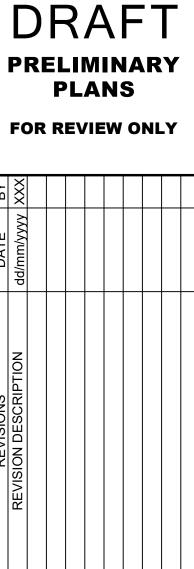
4

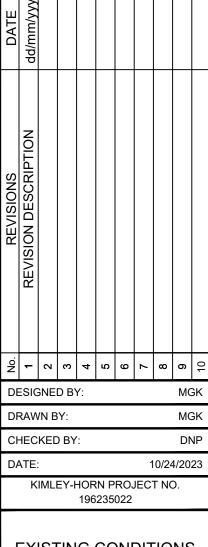
S

#

 $\overline{}$

 $\widehat{\ }$

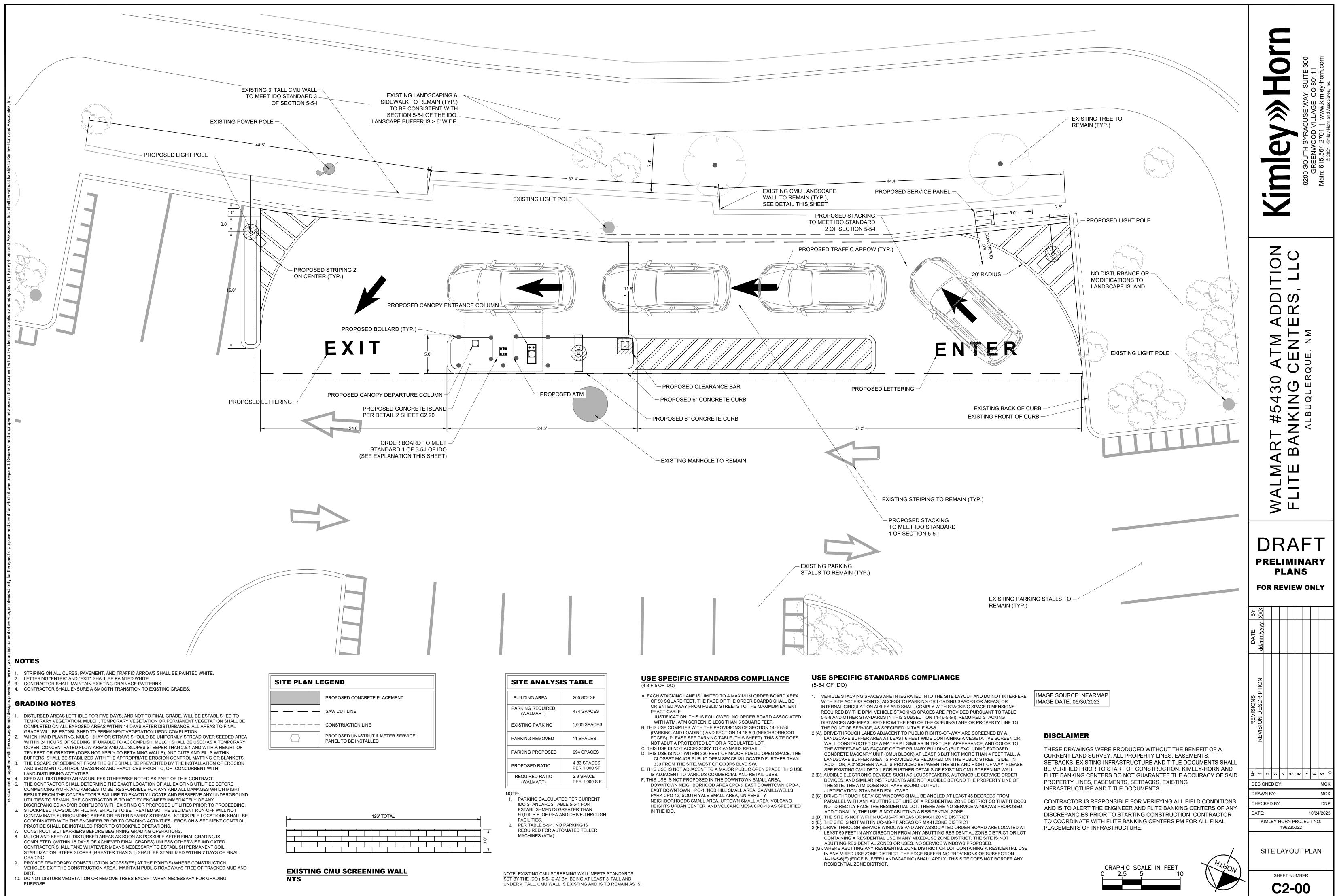




EXISTING CONDITIONS & DEMOLITION PLAN



SHEET NUMBER **C1-20**



Drawing name: K:\DEN_Civil\196235000_Flite Banking Centers\196235022_WM 5430_Albuquerque\CADD\PlanSheets\Site Plan\C2-00 SITE LAYOUT - OVERALL.dwg C2-00 SITE LAYOUT PLAN Mar 26, 2024 8:18am by: MADELEINE.REINKE

