

ADDITION OF ATM DRIVE-UP IN EXISTING #5430 WALMART PARKING LOT
3500 COORS BLVD SW
ALBUQUERQUE, NM 87121



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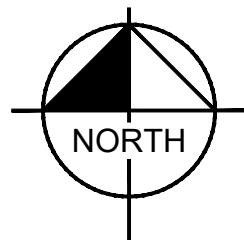
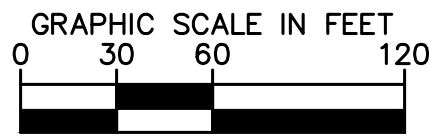
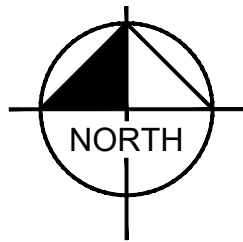
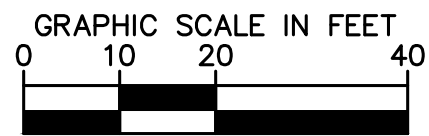
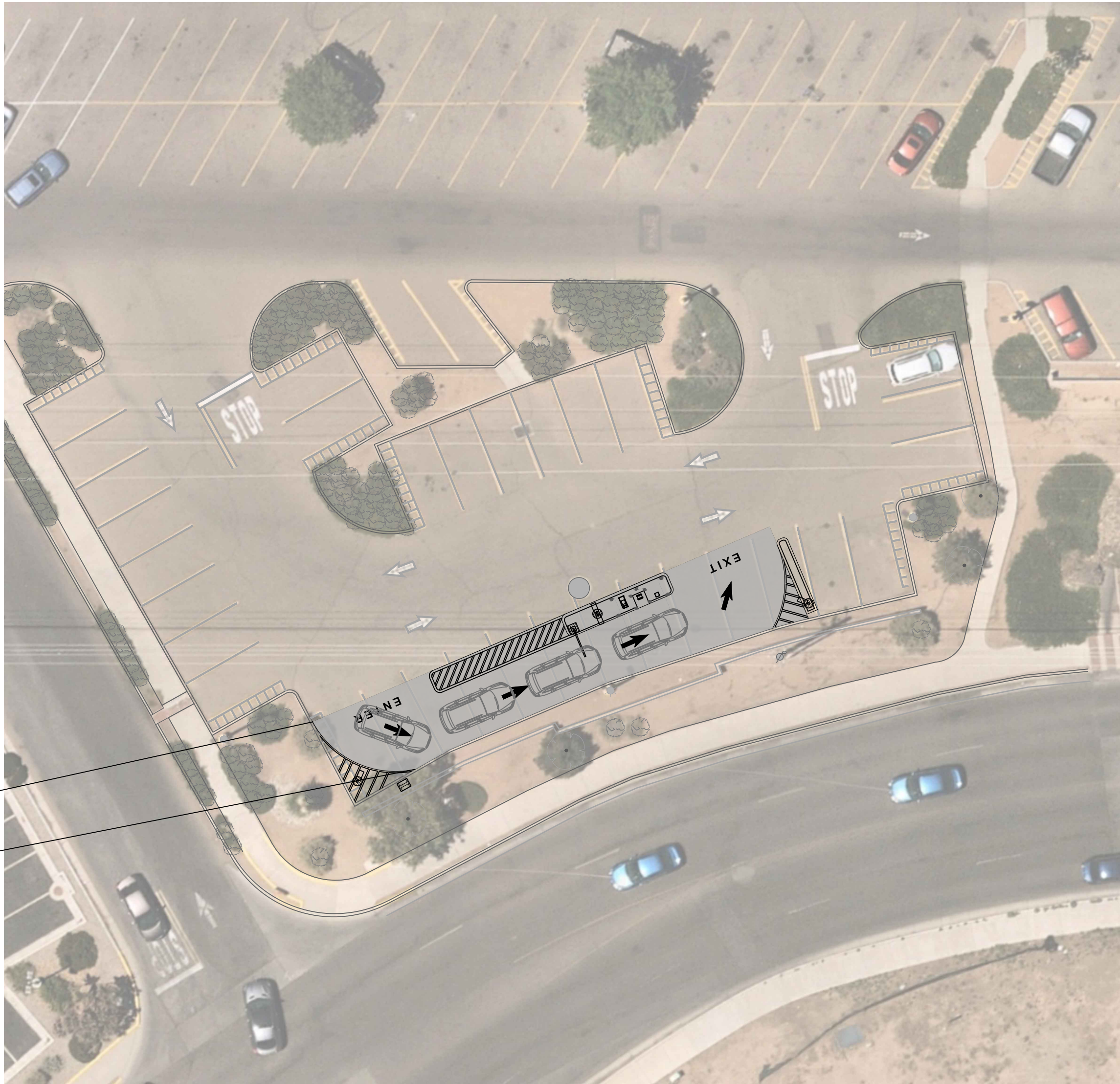


IMAGE SOURCE: NEARMAP
IMAGE DATE: 06/30/2023



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WALMART #5430 ATM ADDITION
FLITE BANKING CENTERS, LLC
ALBUQUERQUE, NM

DRAFT
PRELIMINARY
PLANS
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REVISIONS		DATE	BY
REVISION DESCRIPTION		dd/mm/yyyy	xxx
No.	1		
	2		
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DESIGNED BY:		MGK	
DRAWN BY:		MGK	
CHECKED BY:		DNP	
DATE:		10/24/2023	
KIMLEY-HORN PROJECT NO. 196235022			

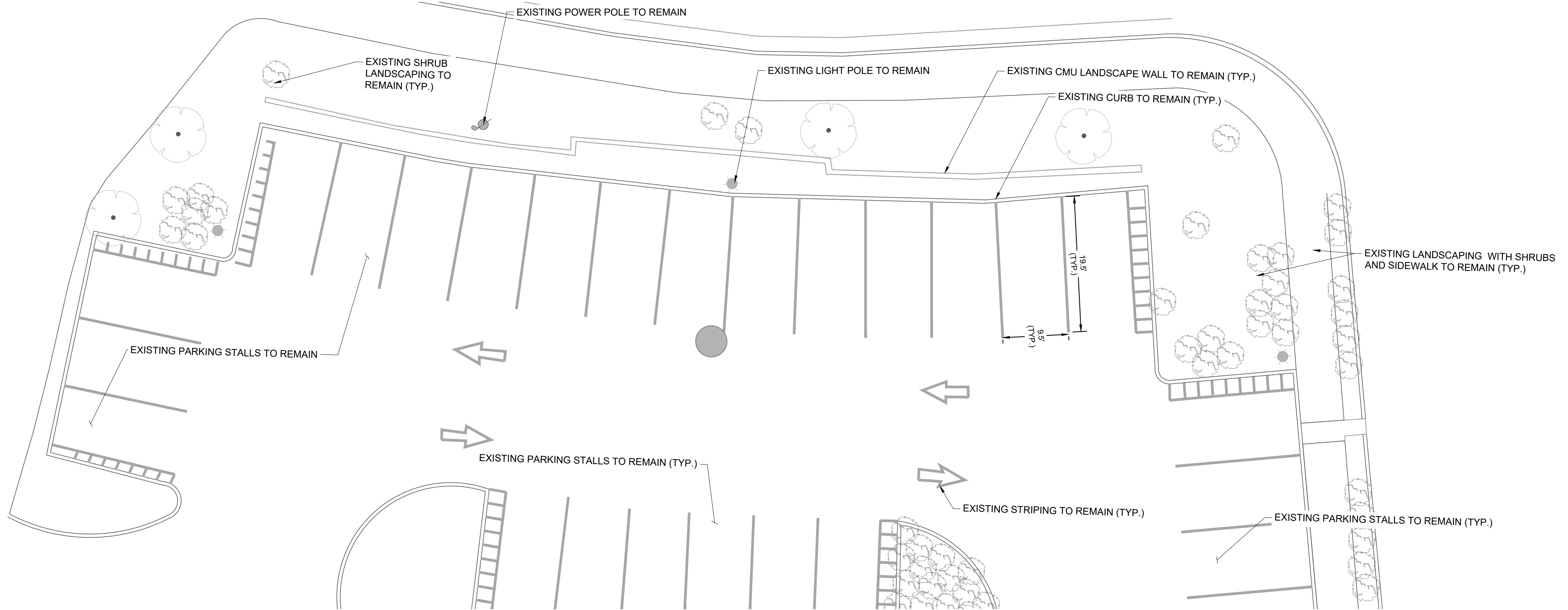
SITE LOCATION

SHEET NUMBER

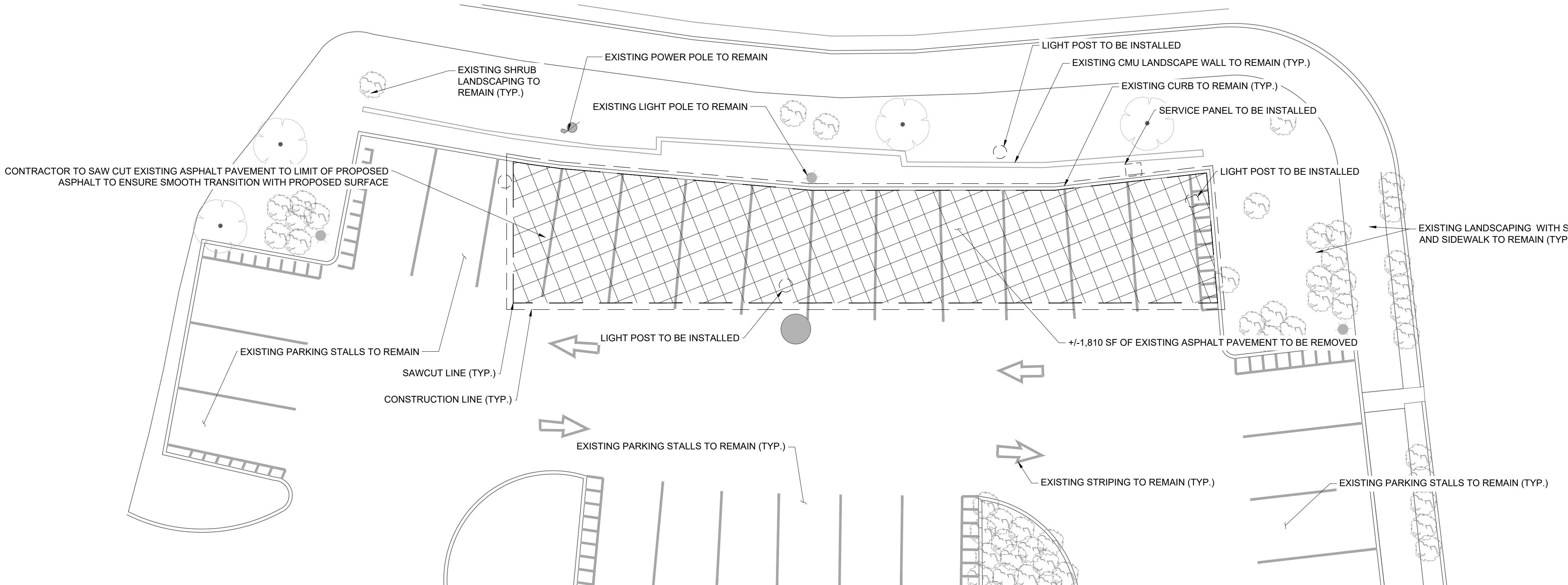
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EXISTING CONDITIONS PLAN



DEMOLITION PLAN



DEMOLITION LEGEND	
	REMOVE FULL-DEPTH ASPHALT PAVEMENT
	RIGHT OF WAY LINE
	SAW CUT LINE
	CONSTRUCTION LINE
	SERVICE PANEL TO BE INSTALLED
	LIGHT POST TO BE INSTALLED

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.

NOTES

- CONTRACTOR TO PROVIDE A 6'-0" CHAIN LINK FENCE AROUND CONSTRUCTION AREA.
- CONTRACTOR TO MATCH ALL EXISTING PAVEMENT ELEVATIONS. ALL PROPOSED ISLAND TO BE 6" ABOVE EXISTING PAVEMENT. NEW WORK TO BE DONE WITHIN THE CONSTRUCTION AREA.
- ONE CALL NOTIFICATION SYSTEM. CALL BEFORE YOU DIG!!!
- CONTRACTOR TO SAW CUT, REMOVE AND HAUL OFF EXISTING ASPHALT AND/OR CONCRETE WITHIN DEMO AREA.

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONCRETE/ASPHALT/BRICK, ETC. CAN BE CRUSHED (ON SITE OR OFFSITE) AND REUSED AS BASE MATERIAL FOR FUTURE PAVING AND BUILDING AREAS AS LONG AS IT MEETS REQUIRED GRADATION PER PLANS, CITY/CTOCC REQUIREMENTS AND GEOTECH REPORT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN FOR THE LOCATION OF THE TREES THAT ARE ALLOWED TO REMAIN/TO BE REMOVED ONCE A TREE REMOVAL PERMIT IS OBTAINED BY THE CONTRACTOR.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRAFFIC CONTROL PLAN AND THE INSTALLATION OF TRAFFIC CONTROL DEVICES FOR ANY STREET WORK.
- ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL CLOSELY COORDINATED WITH TREE PRESERVATION ACTIVITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPANCY HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ANY RECYCLED MATERIAL, TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPIILING.
- CONTRACTOR TO PULL ALL TREE REMOVAL PERMITS FOR ANY REQUIRED TREE REMOVAL.
- QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.

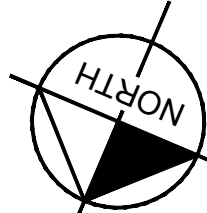
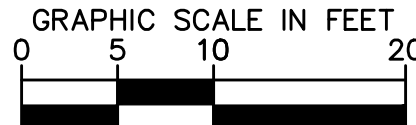
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SEE DEMOLITION NOTES, SHEET C0-01.



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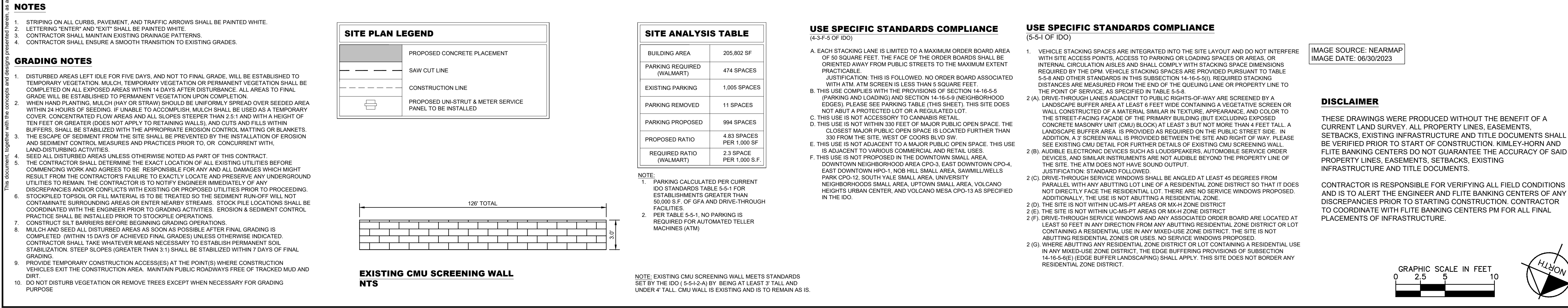
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DRAWN BY: MGK				
CHECKED BY: DNP				
DATE: 10/24/2023				
KIMLEY-HORN PROJECT NO. 196235022				

EXISTING CONDITIONS
& DEMOLITION PLAN

SHEET NUMBER

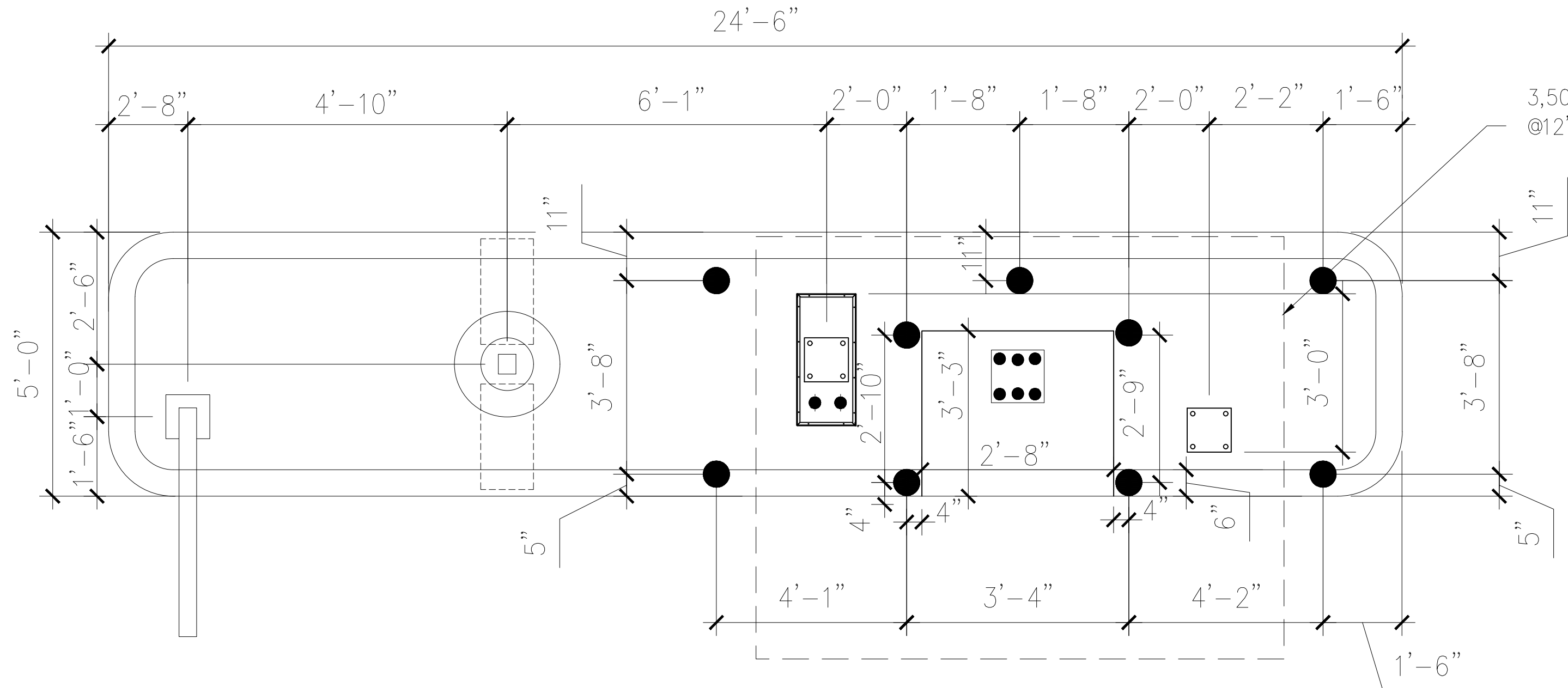
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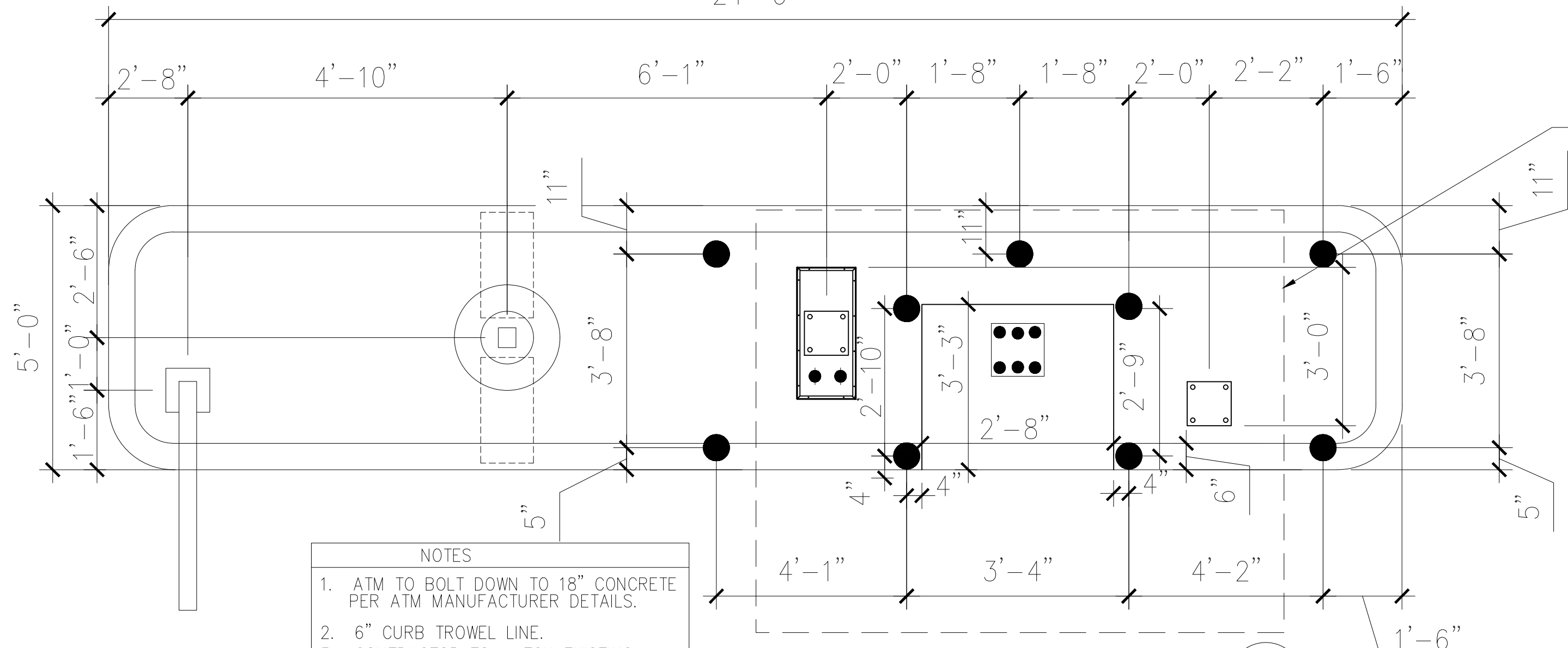


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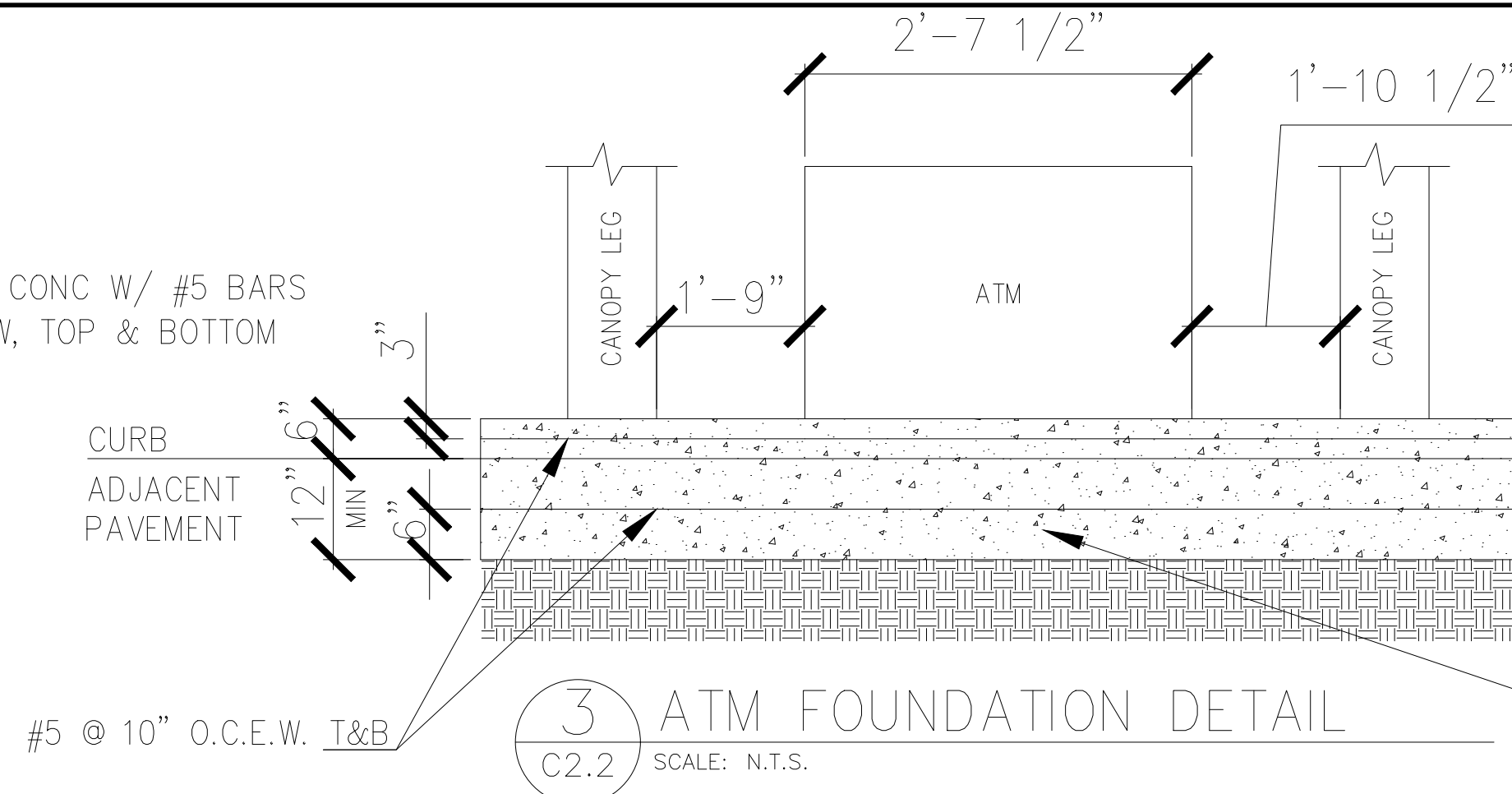


1 BOLLARD LAYOUT PLAN
C2.2 SCALE: N.T.S.



2 ATM LAYOUT PLAN
C2.2 SCALE: N.T.S.

- NOTES
- ATM TO BOLT DOWN TO 18" CONCRETE PER ATM MANUFACTURER DETAILS.
 - 6" CURB TROWEL LINE.
 - CONTRACTOR TO MATCH EXISTING PAVEMENT ELEVATIONS. PROPOSED ISLAND TO BE 6" ABOVE EXISTING PAVEMENT DONE WITHIN THE CONSTRUCTION AREA.
 - 4500PSI CONCRETE MIX AS MIN, PREFER 5000/5500 PSI WHEN AVAILABLE.

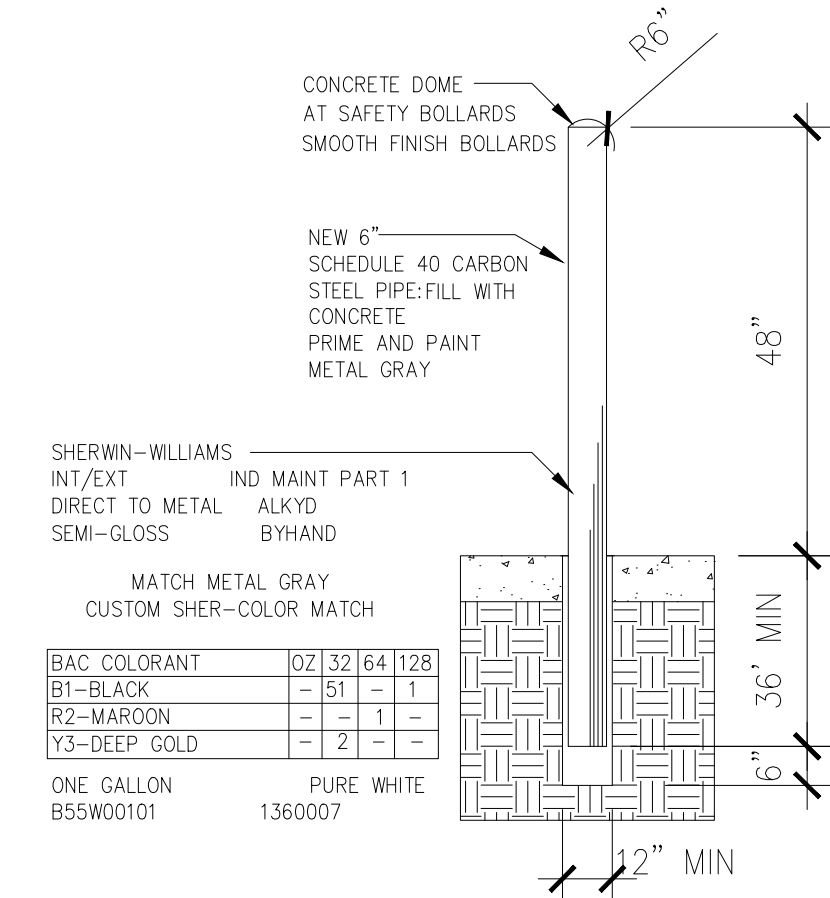


3 ATM FOUNDATION DETAIL
C2.2 SCALE: N.T.S.

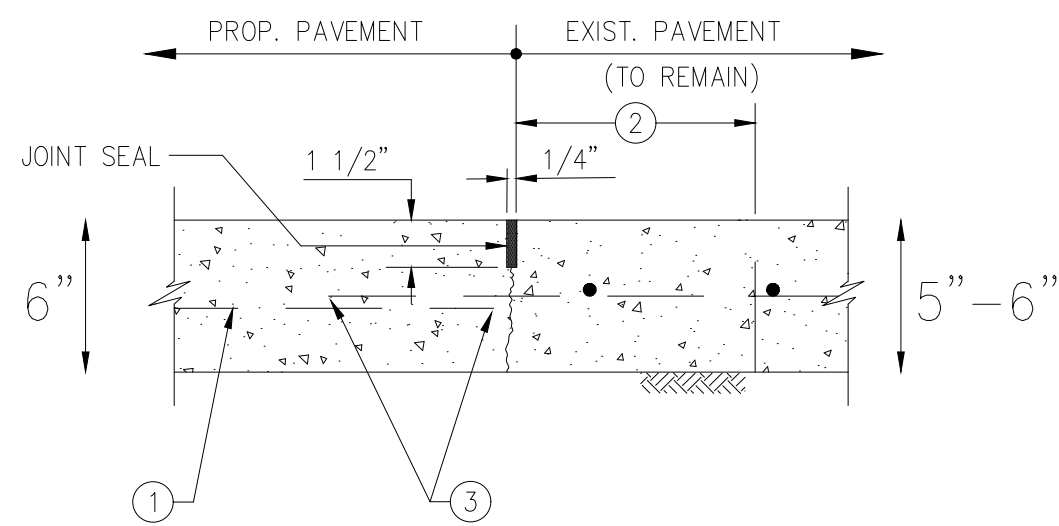


11 ATM CANOPY LAYOUT
C2.2 SCALE: N.T.S.
DIMENSIONS ARE SHOWN IN INCHES AND ARE FOR REFERENCE ONLY.

	ATM PIT WITH CONDUIT STUB UP
	ATM CANOPY WITH CONDUIT STUB UP

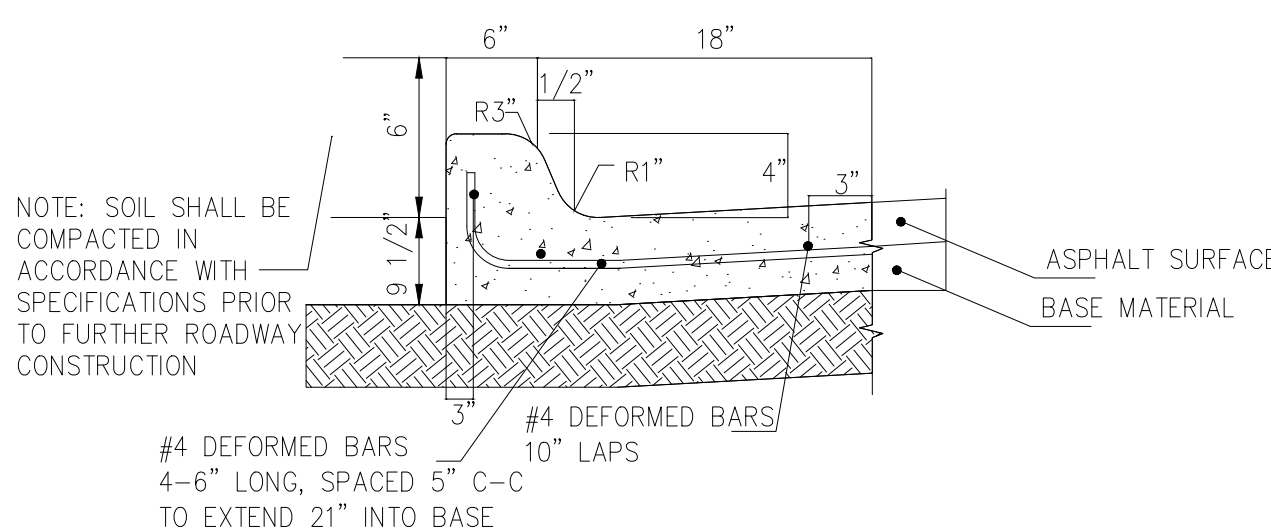


4 BOLLARD DETAIL
C2.2 SCALE: N.T.S.

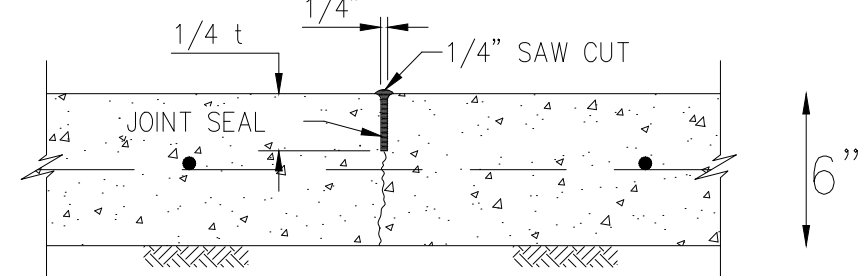


- REINFORCING CENTERED IN PROPOSED PAVEMENT, 3" CLEAR AT EDGES.
- SAW-CUT & REMOVE 2" EXISTING PAVEMENT OR PAVEMENT WITH CURB. EXPOSE AND CLEAN EXISTING REINFORCING.
- 24" BAR - LAP OR WELD, IF DIRECTED.

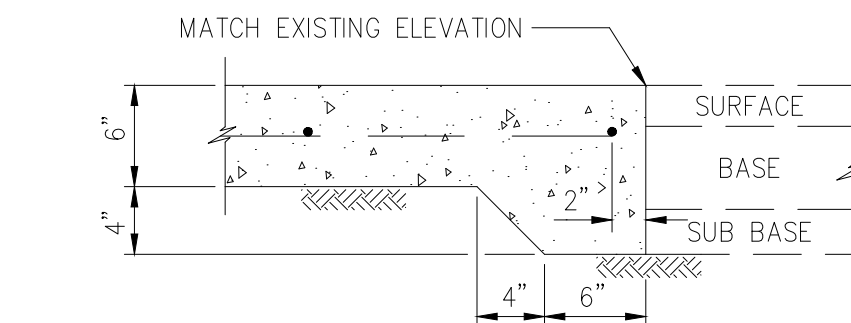
5 CONCRETE TO CONCRETE STANDARD PAVEMENT TIE-IN
C2.2 SCALE: N.T.S. (SEE NOTES)



6 MONOLITHIC CONCRETE CURB & GUTTER DETAIL
C2.2 SCALE: N.T.S.

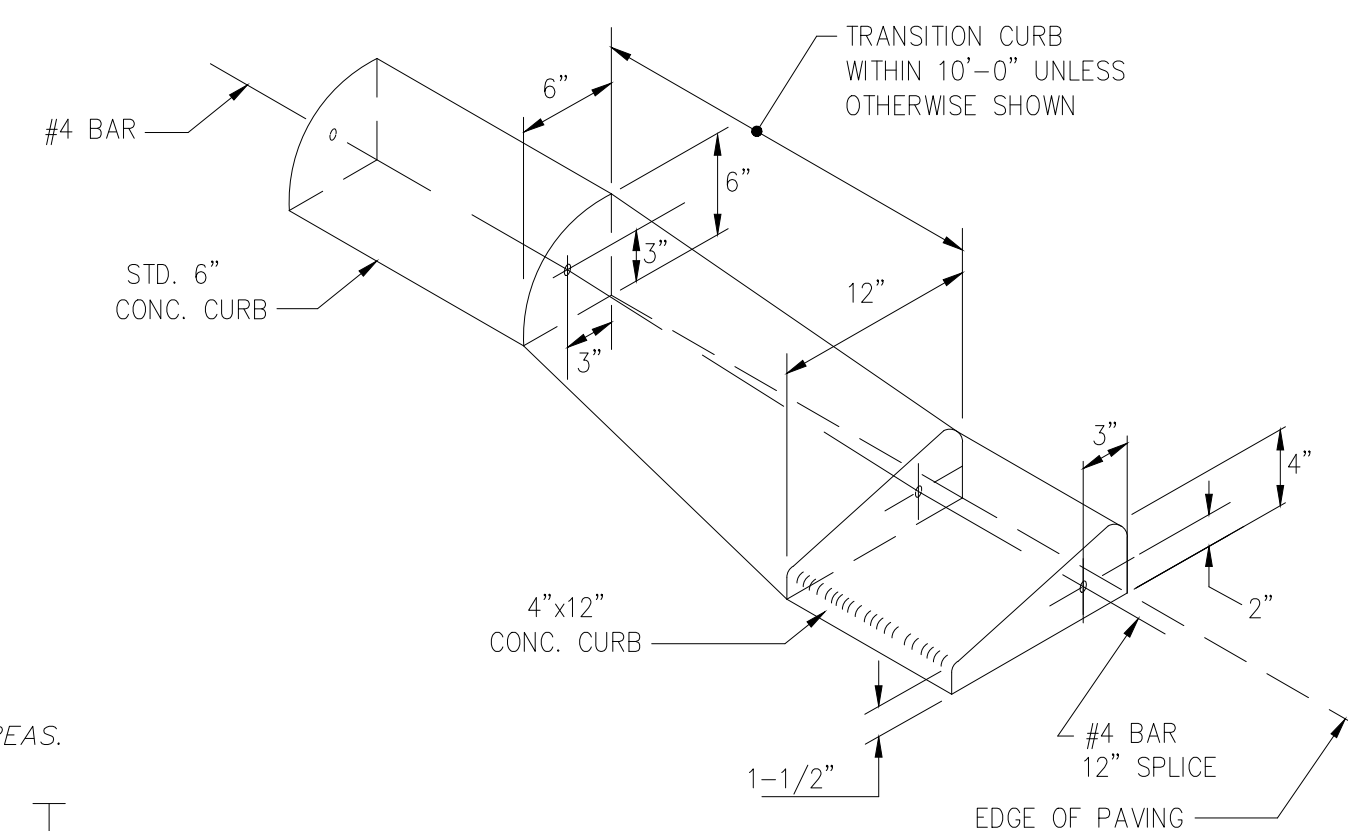


7 SAW-CUT CONTRACTION JOINT DETAIL
C2.2 SCALE: N.T.S.



- 1 HEADER REQUIRED FOR ALL CONCRETE TO ASPHALT AREAS.

8 CONCRETE TO ASPHALT STANDARD PAVING HEADER
C2.2 SCALE: N.T.S.



9 TYPICAL CURB TRANSITION
C2.2 SCALE: N.T.S.

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ATM & BOLLARD PLAN

SHEET NUMBER

C2-20