

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

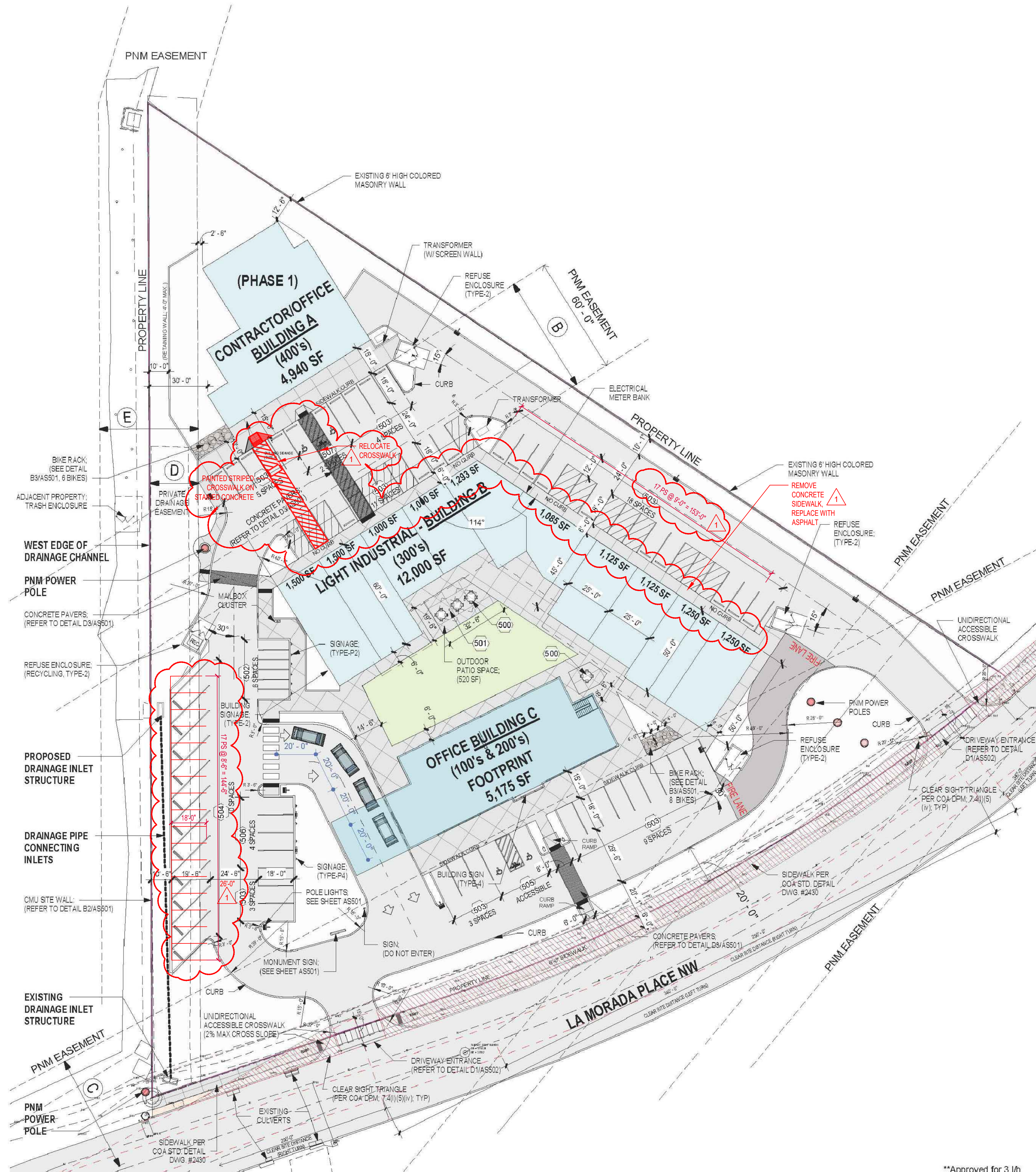
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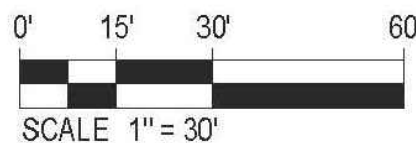
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A



A1 SITE PLAN
1" = 30'-0"

**Approved for 3 lb and 1 recycle lb
Herman Gallegos
12-08-21**



GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE LADERA BUSINESS PARK SPECIFICATIONS. ALL CRITERIA MUST BE MET REGARDING SITE LIGHTING, DUMPSTER DETAILS, AND BUILDING DESIGN REQUIREMENTS.
- THE PROJECT IS WITHIN THE CITY OF ALBUQUERQUE (COA) AND SHALL COMPLY WITH COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 6'-0" WIDE ACCESSIBLE ROUTE IS REQUIRED TO CONNECT ALL BUILDING ENTRANCES.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS AT DRIVEWAY ENTRANCES. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ROOFTOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING BASIC MATERIALS.
 - THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHT-OF-WAY.
 - GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. PROVIDE SITE SCREEN WALL PER DETAIL ON SHEET ASS01.
- ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED PER COA STANDARDS (DWG #2441).
- STREET LIGHTS SHALL MEET THE FOLLOWING SPECIFICATION: G.E. 100 WATT, BRONZE, LUMEN SHOEBOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.
 - PROVIDE FULL CUT-OFF IN COMPLIANCE WITH STATE OF NEW MEXICO NIGHT SKY ORDINANCE.
- PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION REQUIREMENTS.
- NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- SITE LIGHTING DESIGN TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS, OR ROADWAYS WITH UNNECESSARY GLARE OR REFLECTION.
- SOLID WASTE NO CONSTRUCTION WASTE, HAZARDOUS MATERIALS, OR DEMOLITION MATERIALS ARE TO BE PLACED IN REFUSE CONTAINERS.

SHEET KEYNOTES

- 500 PATIO FURNITURE: PATIO TABLES, MYT004T 48 INCH ROUND, COATED EXPANDED METAL OR EQUAL
- 501 PATIO FURNITURE: SHADE STRUCTURE (1) SKYWAYS 20x40 DOUBLE CANTILEVER H/1 PAR OR EQUAL
- 502 MOTORCYCLE PARKING STALL: SEE SHEET ASS02
- 503 STANDARD PARKING STALL: SEE SHEET ASS02
- 504 ANGLE PARKING STALL: SEE SHEET ASS02
- 505 ACCESSIBLE PARKING STALL: SEE SHEET ASS02
- 506 PARKING SPACE WITH ELECTRIC VEHICLE CHARGING STATION: SEE SHEET ASS02
- 507 VAN ACCESSIBLE PARKING STALL AND CROSSING AISLE: SEE SHEET ASS02

- Minor Amendment:
- Site Plan:
 - Revise parking at west site to head in and add 6 stalls.
 - Increase width of drive aisle from 24'-6" to 26'-0".
 - Adjust location of pedestrian crosswalk at north end of site and paint 4" wide strips at 45 degrees 2'-0" o.c.
 - Eliminate concrete sidewalk at north and east side of building B.
 - Reduce parking stalls at east side of site from 18 to 17 to allow for actual size requirement of trash enclosure.
 - Revise total parking count from 72 stalls to 77 total stalls.
 - Eliminate all phasing for project and to install landscaping.
 - Building A Elevations:
 - Increase building height from 21'-0" to 23'-1" to provide HVAC screening.
 - Add 3x10' opening in parapet for access for HVAC installation to avoid overhead power lines.
 - Building B Elevations:
 - Increase building height from 20'-0" to 22'-0" to provide HVAC screening.
 - Replace CMU veneer with EIFS.
 - Remove awnings at overhead garage doors.
 - Add 3x10' opening in parapet for access for HVAC installation to avoid overhead power lines.
 - Building C Elevations:
 - Increase entry tower building height from 29'-3" to 32'-0".
 - Increase building parapet height to 30'-6" to provide HVAC screening.
 - Revise window layouts to meet energy code requirements.
 - add entry element to north side of the building facing the courtyard and building B.

PROJECT NUMBER: PR-2021-005473
Application Number: SI-2021-00709

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved CRO plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger
Traffic Engineering, Transportation Division
Blaine Carter
Parks and Recreation Department
Ernest Arroyo
City Engineer/Hydrology
Robert Webb
Code Enforcement

Jan 10, 2022

Date

Jan 25, 2022

Date

Jan 10, 2022

Date

Jan 10, 2022

Date

Jan 10, 2022

Date

* Environmental Health Department (conditional)

Herman Gallegos

Solid Waste Management

DRB Chairperson, Planning Department

Date

12-08-21

Date

Jan 25, 2022

Date

PROJECT DATA

PROJECT ADDRESS: 7801 LA MORADA ALBUQUERQUE, NEW MEXICO 87120 LADERA BUSINESS PARK UNIT 1 TRACT 24

ZONE/ATLAS PAGE: H-09-Z DO ZONE DISTRICT: NR-C

PROPOSED USE: MIXED USE, OFFICE & LIGHT INDUSTRIAL

GROSS ACRES: 2.7 ACRES
BUILDING AREA: 28,725 SF
BUILDING 100, 2-STORY OFFICE = 9,650 SF
BUILDING 300, LIGHT INDUSTRIAL (WAREHOUSE W/ OFFICE) = 12,125 SF
BUILDING 400, OFFICE/CONSTRUCTION CONTRACTOR = 4,950 SF

BUILDING HEIGHT: 30 FEET MAXIMUM

PARKING REQUIREMENTS: OFFICE AREA = 16,530 SF
3.5 SPACES PER 1,000 SF = 58 PARKING SPACES
LIGHT INDUSTRIAL = 10,195
1 SPACE PER 1,000 SF = 10 PARKING SPACES
72 TOTAL SPACES REQUIRED
72 PARKING SPACES PROVIDED - 17 PARKING SPACES PROVIDED

ACCESSIBLE PARKING: = 4 SPACES REQUIRED

MOTORCYCLE PARKING (TABLE 5-5-4): = 3 SPACES REQUIRED; 6 SPACES REQUIRED.

BICYCLE SPACES (TABLE 5-5-5): 3 SPACES OR 10% OF PARKING
= 7 BICYCLE PARKING SPACES REQUIRED
LOCATED WITHIN 50 FEET OF BUILDING ENTRY.

VEHICLE STACKING (TABLE 5-5-8): GENERAL BANK OR AUTOMATED TELLER MACHINE OR RETAIL
= 4 STACKING SPACES REQUIRED

EASEMENT DESCRIPTIONS

- A EXISTING 100' PNM EASEMENT (04/12/99, BOOK MISC D 348, PGS 43-47)
- B EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- C EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- D EXISTING 25' PRIVATE DRAINAGE EASEMENT (01/22/2004, 2004C-24)
GRANTED TO OWNERS OF TRACTS 21, 22, & 23 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
- E EXISTING 50' PNM EASEMENT (01/22/2004, 2004C-24)

LEGEND

(REFER TO LANDSCAPE PLAN FOR MATERIALS)

- GRAVEL
- PAVING: ASPHALT
- INTERNAL WALKWAYS: CONCRETE
- PEDESTRIAN WALKWAY: CONCRETE PAVERS
- CURB AND GUTTER: REFER TO DETAIL C4 SHEET ASS01
- CLEAR SITE TRIANGLE: REFER TO GENERAL NOTE 4.

VICINITY MAP



LEGAL DESCRIPTION
TR 24 PLAT FOR LADERA BUSINESS PARK
UNIT 1 CONT 2.7185 AC

HUITT-ZOLLARS

6501 Americas Parkway
Suite 830
Albuquerque, New Mexico 87110
(505) 883-8114
www.hiutt-zollars.com

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NOT FOR CONSTRUCTION

LADERA BUSINESS PARK UNIT 1 - CACTUS PATCH PLAZA

7801 LA MORADA PLACE NW
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

MARK DATE DESCRIPTION

SITE PLAN

AS101

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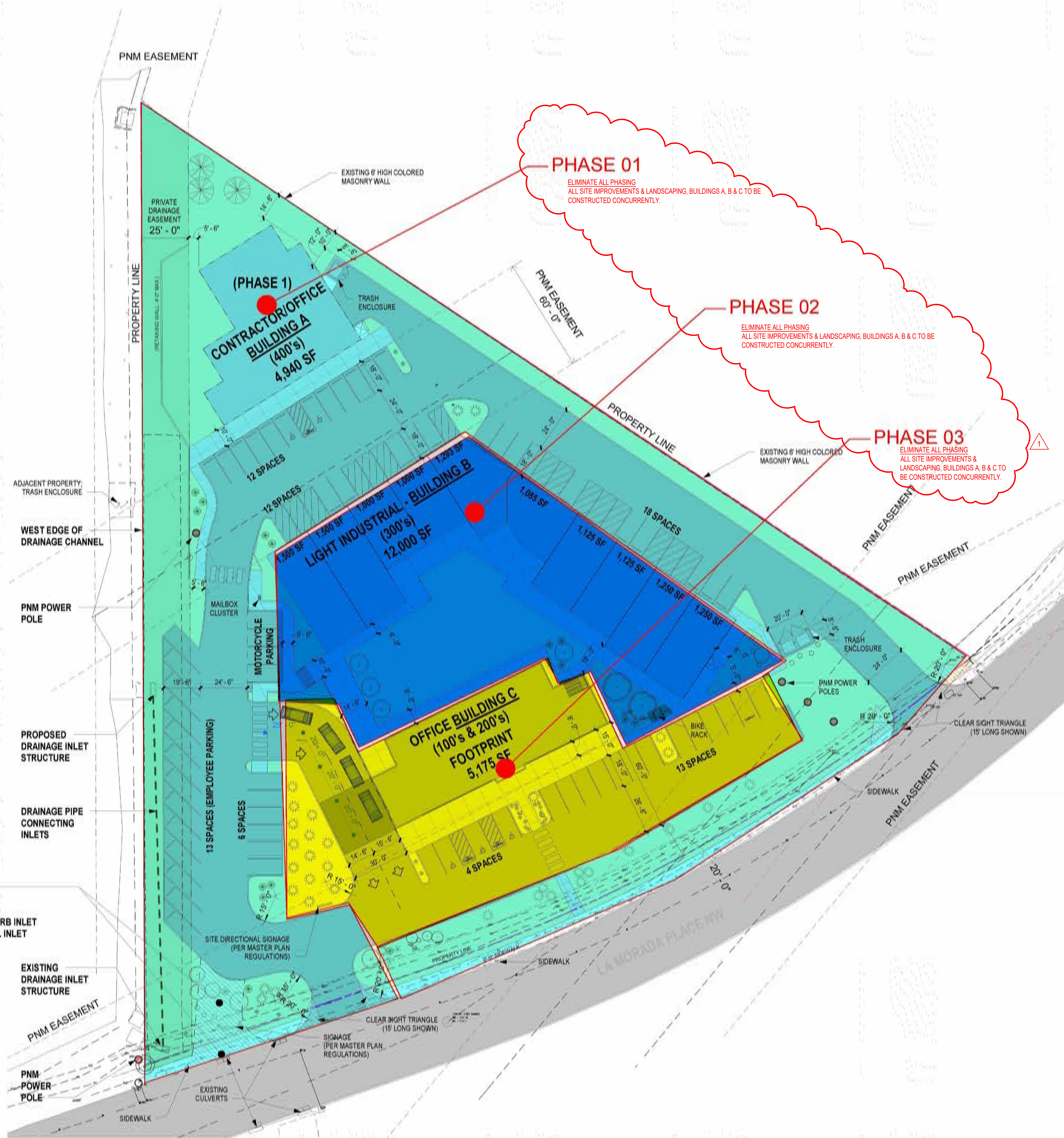
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B

A

A1 SITE PLAN

1" = 30'-0"



PROJECT DATA

PROJECT ADDRESS:	7801 LA MORADA ALBUQUERQUE, NEW MEXICO 87120 LADERA BUSINESS PARK UNIT 1 TRACT 24
ZONE ATLAS PAGE:	H-09-2
IDO ZONE DISTRICT:	NR-C
PROPOSED USE:	MIXED USE; OFFICE & LIGHT INDUSTRIAL
GROSS ACRES:	2.7 ACRES
BUILDING AREA:	28,725 SF BUILDING 100, 2-STORY OFFICE = 9,650 SF BUILDING 300, LIGHT INDUSTRIAL (WAREHOUSE W/ OFFICE) = 12,125 SF BUILDING 400, OFFICE/CONSTRUCTION CONTRACTOR = 4,950 SF
BUILDING HEIGHT:	32 FEET (APPROXIMATE)
PARKING REQUIREMENTS:	OFFICE AREA = 16,530 SF 3.5 SPACES PER 1,000 SF = 56 PARKING SPACES LIGHT INDUSTRIAL = 10,195 1 SPACE PER 1,000 SF = 10 PARKING SPACES 68 TOTAL SPACES REQUIRED 77 PARKING SPACES PROVIDED - 77 PARKING SPACES PROVIDED
ACCESSIBLE PARKING	(TABLE 5-5-4) = 4 SPACES REQUIRED
MOTORCYCLE PARKING	(TABLE 5-5-4) = 3 SPACES REQUIRED
BICYCLE SPACES	(TABLE 5-5-5) 3 SPACES OR 10% OF PARKING = 7 BICYCLE PARKING SPACES REQUIRED
VEHICLE STACKING:	(TABLE 5-5-6) GENERAL, BANK OR AUTOMATED TELLER MACHINE OR RETAIL = 4 STACKING SPACES REQUIRED

PHASING DESCRIPTION

- PHASE 01- INCLUDE PERIMETER DRIVES, PARKING, PRIMARY UTILITIES, AND LANDSCAPING.
- PHASE 02- THE CENTER LANDSCAPE SECTION WILL BE COMPLETED.
- PHASE 03- COMPLETE THE SOUTHERN PORTION OF THE PARKING AREA AND CONNECT THE PERIMETER DRIVES.
- ELIMINATE ALL PHASING
ALL SITE IMPROVEMENTS & LANDSCAPING, BUILDINGS A, B & C TO BE CONSTRUCTED CONCURRENTLY.

LEGEND

- OPEN AREA - GRASS
- OPEN AREA - XERISCAPE
- PAVING; ASPHALT
- INTERNAL WALKWAYS; CONCRETE
- SIDEWALK; PUBLIC WAY (8'-0" WIDE)

VICINITY MAP



LEGAL DESCRIPTION
TR 24 PLAT FOR LADERA BUSINESS PARK
UNIT 1 CONT 2.7185 AC

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6501 Americas Parkway
Suite 830
Albuquerque, New Mexico 87110
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LADERA
BUSINESS
PARK UNIT 1 -
CACTUS
PATCH PLAZA

7801 LA MORADA PLACE NW
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

(ISSUE DRAWING LOG:

MARK	DATE	DESCRIPTION
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SITE PLAN

AS-101

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**LADERA
BUSINESS
PARK UNIT 1 -
CACTUS
PATCH PLAZA**

PACIFIC CACTUS LLC

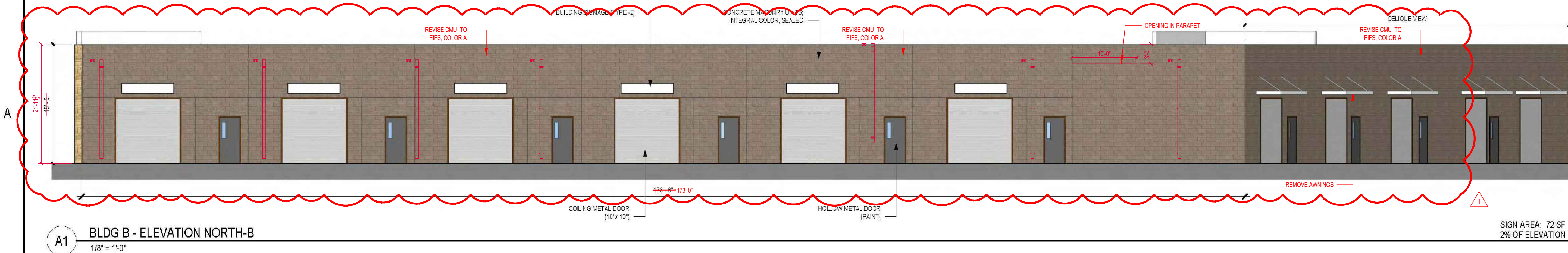
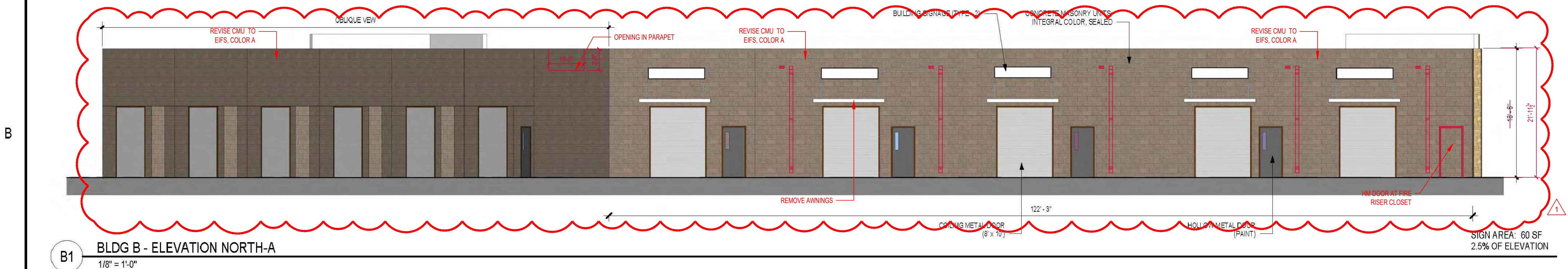
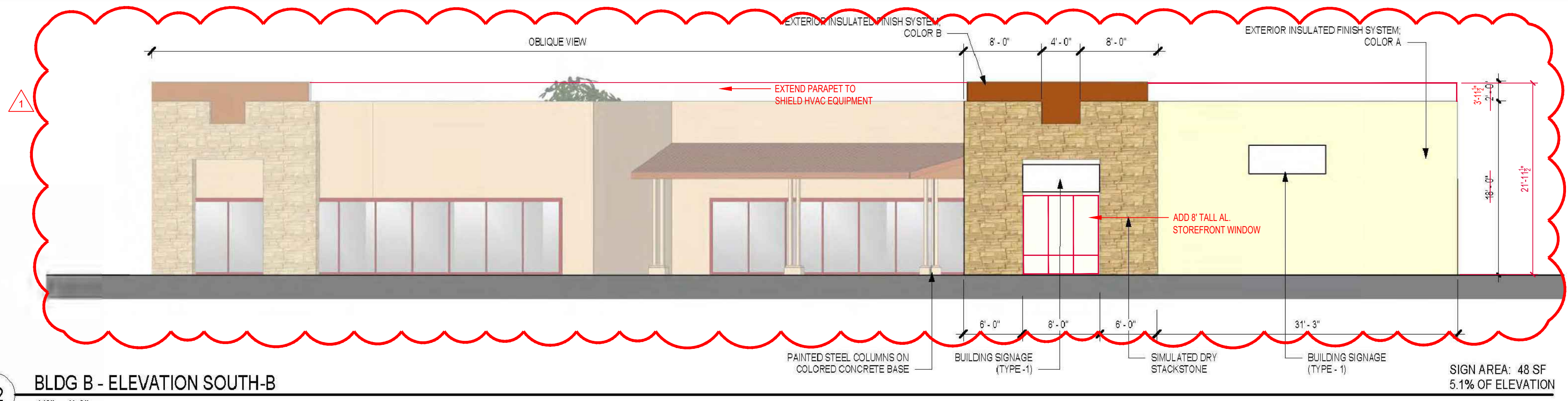
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PARK UNIT 1 -
CACTUS
PATCH PLAZA**

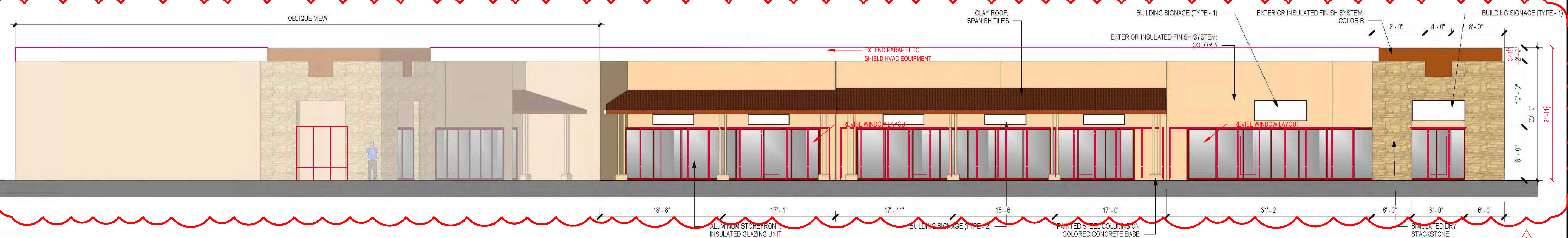
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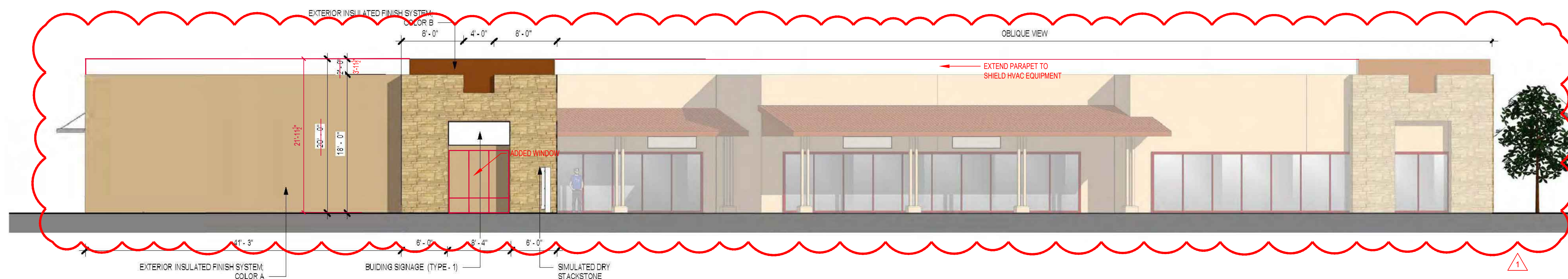
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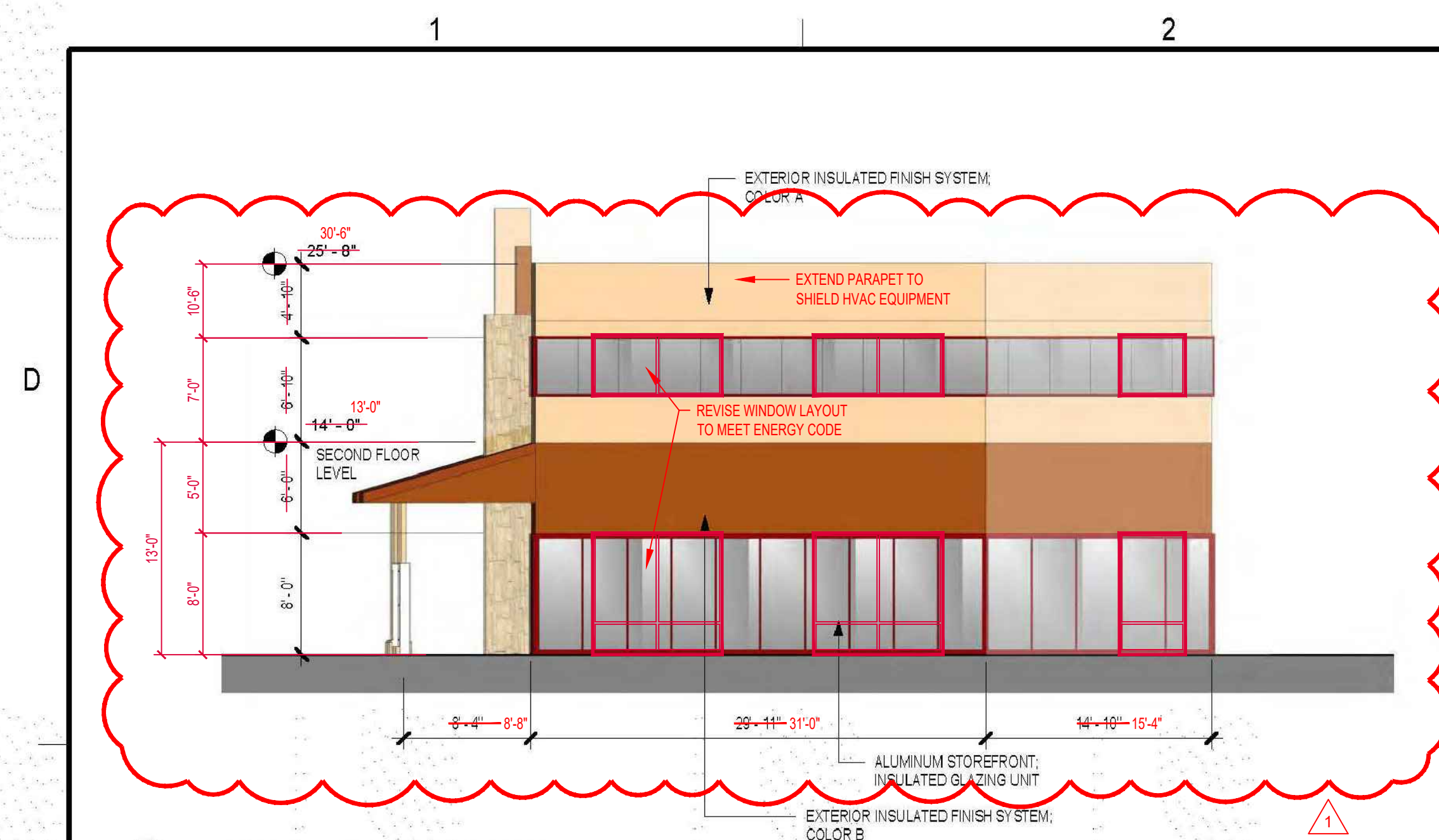
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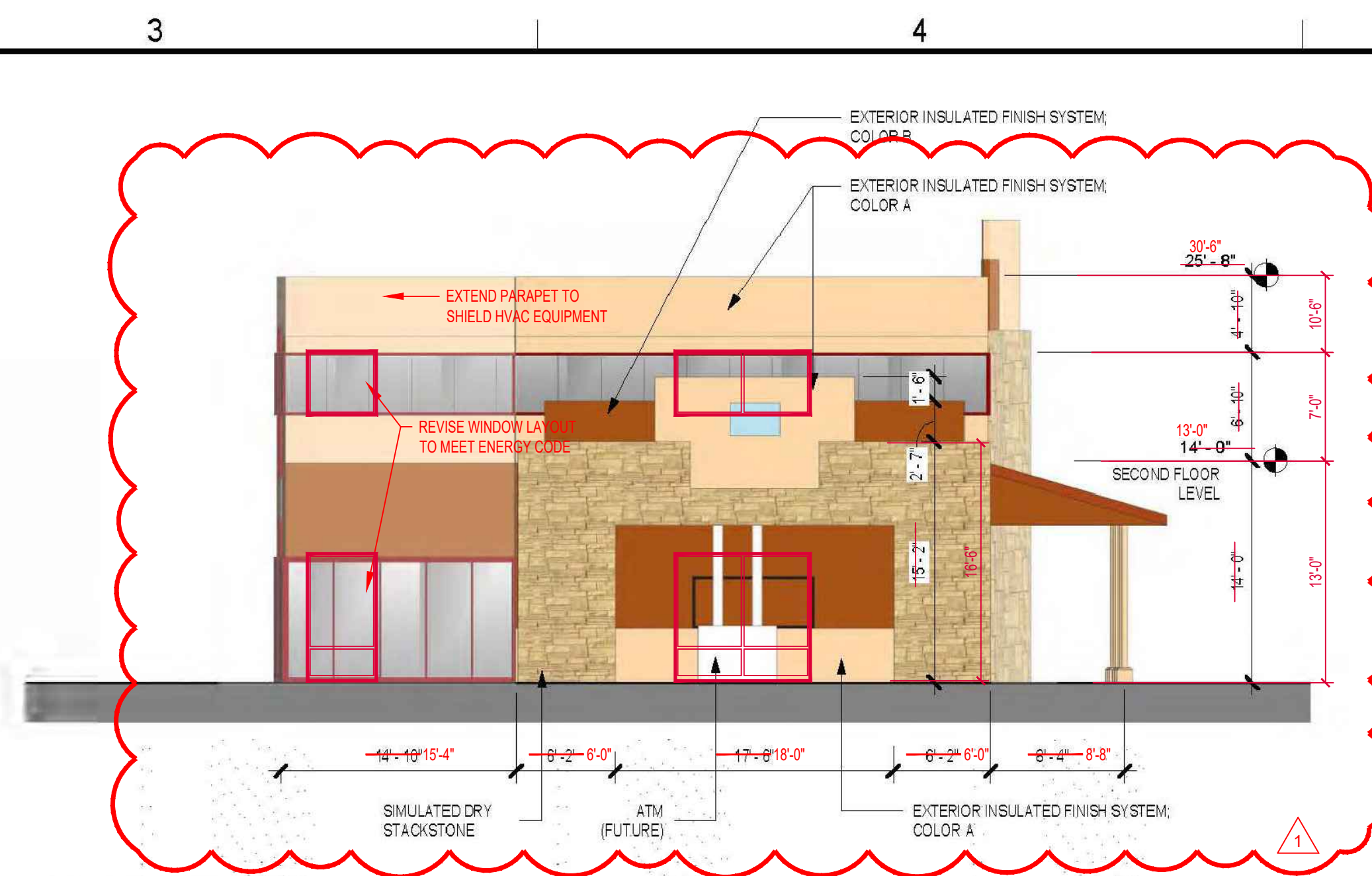
SIGN AREA: 108 SF
4% OF ELEVATION



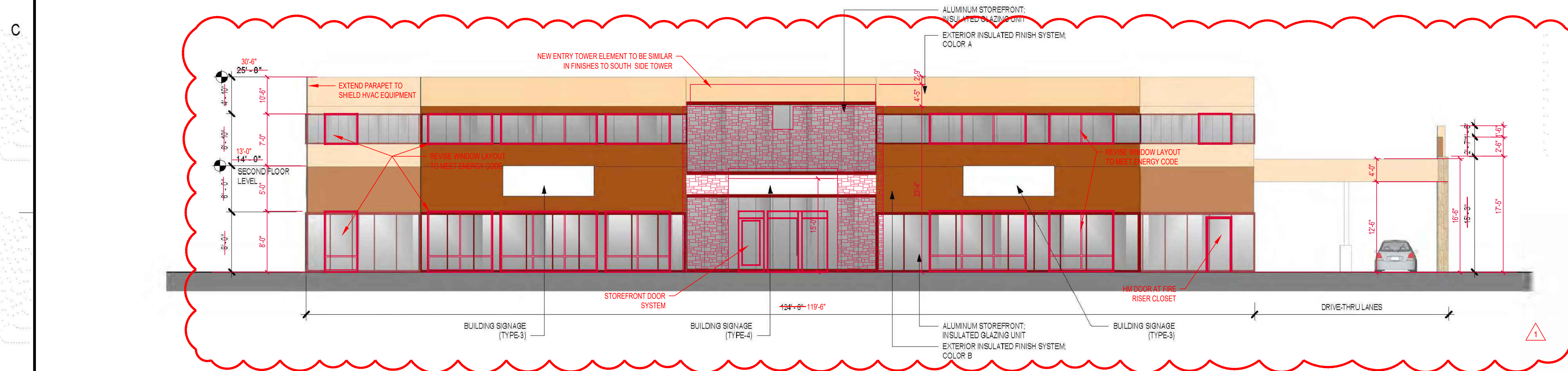
SIGN AREA: 24 SF
2% OF ELEVATION



D1 BLDG C - ELEVATION EAST
1/8" = 1'-0"



D3 BLDG C - ELEVATION WEST
1/8" = 1'-0"



B1 BLDG C - ELEVATION NORTH
1/8" = 1'-0"

SIGN AREA: 86 SF
2.7% OF ELEVATION



A1 BLDG C - ELEVATION SOUTH
1/8" = 1'-0"

SIGN AREA: 48 SF
1.5% OF ELEVATION

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BLDG C - EXTERIOR ELEVATIONS

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