

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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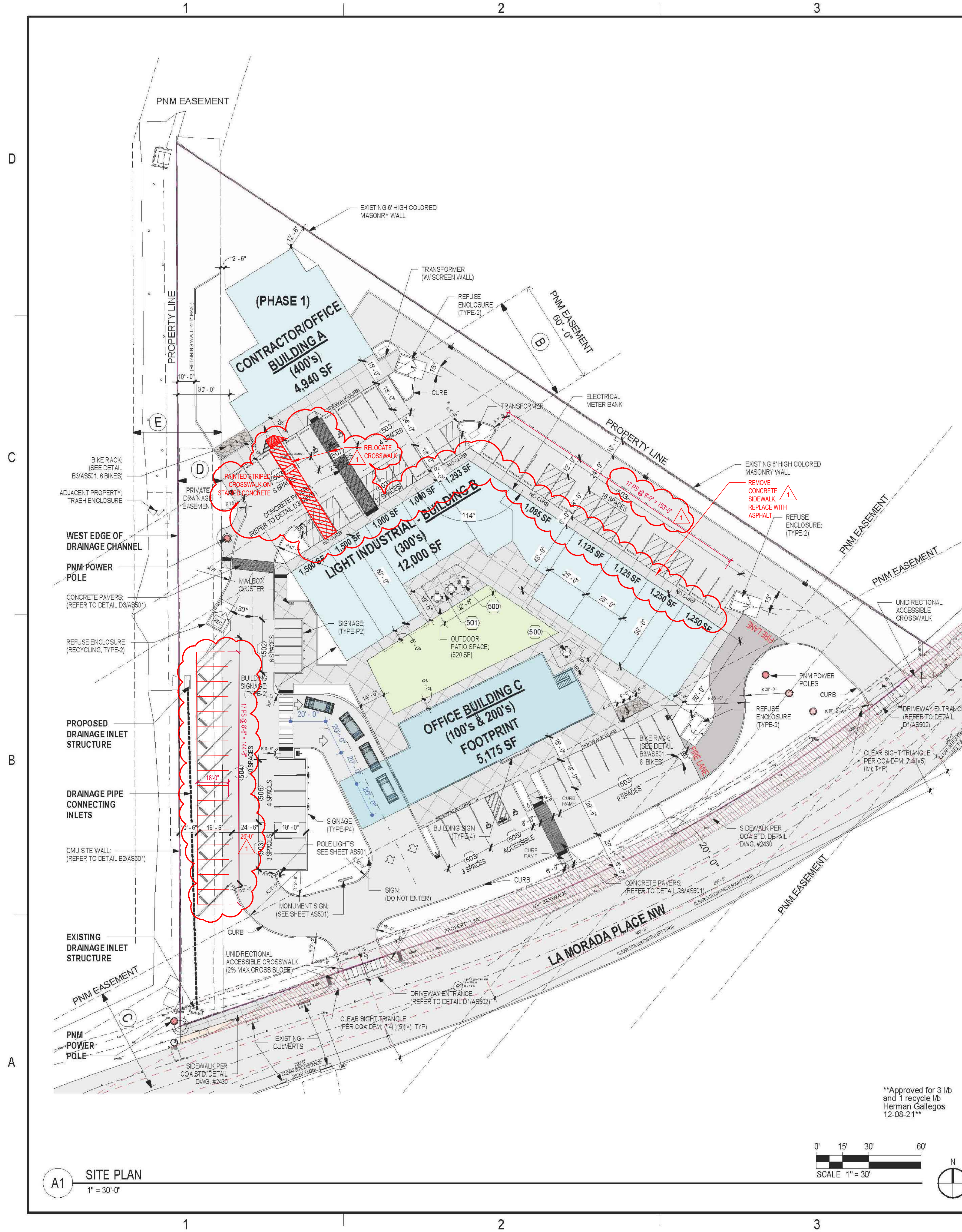
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\_\_\_\_\_  
APPROVED BY

\_\_\_\_\_  
DATE





A1 SITE PLAN  
1" = 30'-0"

## GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE LADERA BUSINESS PARK SPECIFICATIONS. ALL CRITERIA MUST BE MET REGARDING SITE LIGHTING, DUMPSTER DETAILS, AND BUILDING DESIGN REQUIREMENTS.
- THE PROJECT IS WITHIN THE CITY OF ALBUQUERQUE (COA) AND SHALL COMPLY WITH COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 6'-0" WIDE ACCESSIBLE ROUTE IS REQUIRED TO CONNECT ALL BUILDING ENTRANCES.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS AT DRIVEWAY ENTRANCES. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ROOFTOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING BASIC MATERIALS.
  - THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHT-OF-WAY.
  - GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. PROVIDE SITE SCREEN WALL PER DETAIL ON SHEET ASS01.
- ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED PER COA STANDARDS (DWG #2441).
- STREET LIGHTS SHALL MEET THE FOLLOWING SPECIFICATION: G.E. 100 WATT, BRONZE, LUMEN SHOEBOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.
  - PROVIDE FULL CUT-OFF IN COMPLIANCE WITH STATE OF NEW MEXICO NIGHT SKY ORDINANCE.
- PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION REQUIREMENTS.
- NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- SITE LIGHTING DESIGN TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS, OR ROADWAYS WITH UNNECESSARY GLARE OR REFLECTION.
- SOLID WASTE NO CONSTRUCTION WASTE, HAZARDOUS MATERIALS, OR DEMOLITION MATERIALS ARE TO BE PLACED IN REFUSE CONTAINERS.

## SHEET KEYNOTES

- 500 PATIO FURNITURE: PATIO TABLES, MYT004T 48 INCH ROUND, COATED EXPANDED METAL OR EQUAL
- 501 PATIO FURNITURE: SHADE STRUCTURE: (1) SKYWAYS 20x40 DOUBLE CANTILEVER H/1 PAR OR EQUAL
- 502 MOTORCYCLE PARKING STALL: SEE SHEET ASS02.
- 503 STANDARD PARKING STALL: SEE SHEET ASS02.
- 504 ANGLE PARKING STALL: SEE SHEET ASS02.
- 505 ACCESSIBLE PARKING STALL: SEE SHEET ASS02.
- 506 PARKING SPACE WITH ELECTRIC VEHICLE CHARGING STATION: SEE SHEET ASS02.
- 507 VAN ACCESSIBLE PARKING STALL AND CROSSING AISLE: SEE SHEET ASS02.

- Minor Amendment:**
- Site Plan:
    - Revise parking at west site to head in and add 6 stalls.
    - Increase width of drive aisle from 24'-6" to 26'-0".
    - Adjust location of pedestrian crosswalk at north end of site and paint 4" wide strips at 45 degrees 2'-0" o.c.
    - Eliminate concrete sidewalk at north and east side of building B.
    - Reduce parking stalls at east side of site from 18 to 17 to allow for actual size requirement of trash enclosure.
    - Revise total parking count from 72 stalls to 77 total stalls.
    - Eliminate all phasing for project and to install landscaping.
  - Building A Elevations:
    - Increase building height from 21'-0" to 23'-1" to provide HVAC screening.
    - Add 3'x10' opening in parapet for access for HVAC installation to avoid overhead power lines.
  - Building B Elevations:
    - Increase building height from 20'-0" to 22'-0" to provide HVAC screening.
    - Replace CMU veneer with EIFS.
    - Remove awnings at overhead garage doors.
    - Add 3'x10' opening in parapet for access for HVAC installation to avoid overhead power lines.
  - Building C Elevations:
    - Increase entry tower building height from 29'-3" to 32'-0".
    - Increase building parapet height to 30'-6" to provide HVAC screening.
    - Revise window layouts to meet energy code requirements.
    - add entry element to north side of the building facing the courtyard and building B.

PROJECT NUMBER: PR-2021-005473  
Application Number: SI-2021-00709

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved CRO plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DRB SITE DEVELOPMENT PLAN APPROVAL:

*Jeanne Wolfenbarger*  
Traffic Engineering, Transportation Division  
Blaine Carter  
Parks and Recreation Department  
Ernest Arroyo  
City Engineer/Hydrology  
Robert Webb  
Code Enforcement

Jan 10, 2022  
Date  
Jan 25, 2022  
Date  
Jan 10, 2022  
Date  
Jan 10, 2022  
Date  
Jan 10, 2022  
Date  
Jan 10, 2022  
Date  
Jan 25, 2022  
Date

\* Environmental Health Department (conditional)

Herman Gallegos  
Solid Waste Management

DRB Chairperson, Planning Department

## PROJECT DATA

PROJECT ADDRESS: 7801 LA MORADA ALBUQUERQUE, NEW MEXICO 87120 LADERA BUSINESS PARK UNIT 1 TRACT 24

ZONE/ATLAS PAGE: H-09-Z DO ZONE DISTRICT:

PROPOSED USE: MIXED USE, OFFICE & LIGHT INDUSTRIAL.

GROSS ACRES: 2.7 ACRES  
BUILDING AREA: 28,725 SF  
BUILDING 100, 2-STORY OFFICE = 9,650 SF  
BUILDING 300, LIGHT INDUSTRIAL (WAREHOUSE W/ OFFICE) = 12,125 SF  
BUILDING 400, OFFICE/CONSTRUCTION CONTRACTOR = 4,950 SF

BUILDING HEIGHT: 30 FEET MAXIMUM.

PARKING REQUIREMENTS: OFFICE AREA = 16,530 SF  
3.5 SPACES PER 1,000 SF = 58 PARKING SPACES  
LIGHT INDUSTRIAL = 10,195  
1 SPACE PER 1,000 SF = 10 PARKING SPACES  
**72 TOTAL SPACES REQUIRED**  
**72 PARKING SPACES PROVIDED - 17 PARKING SPACES PROVIDED**

ACCESSIBLE PARKING: = 4 SPACES REQUIRED

MOTORCYCLE PARKING (TABLE 5-5-4): = 3 SPACES REQUIRED; 6 SPACES REQUIRED.

BICYCLE SPACES (TABLE 5-5-5): 3 SPACES OR 10% OF PARKING  
= 7 BICYCLE PARKING SPACES REQUIRED  
LOCATED WITHIN 80 FEET OF BUILDING ENTRY.

VEHICLE STACKING (TABLE 5-5-8): GENERAL BANK OR AUTOMATED TELLER MACHINE OR RETAIL  
= 4 STACKING SPACES REQUIRED

## EASEMENT DESCRIPTIONS

- A EXISTING 100' PNM EASEMENT (04/12/99, BOOK MISC D 348, PGS 43-47)
- B EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- C EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- D EXISTING 25' PRIVATE DRAINAGE EASEMENT (01/22/2004, 2004C-24)  
GRANTED TO OWNERS OF TRACTS 21, 22, & 23 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
- E EXISTING 50' PNM EASEMENT (01/22/2004, 2004C-24)

## LEGEND

(REFER TO LANDSCAPE PLAN FOR MATERIALS)

- GRAVEL
- PAVING: ASPHALT
- INTERNAL WALKWAYS: CONCRETE
- PEDESTRIAN WALKWAY: CONCRETE PAVERS
- CURB AND GUTTER: REFER TO DETAIL C4 SHEET ASS01
- CLEAR SITE TRIANGLE: REFER TO GENERAL NOTE 4.

## VICINITY MAP



LEGAL DESCRIPTION  
TR 24 PLAT FOR LADERA BUSINESS PARK  
UNIT 1 CONT 2.7185 AC

## HUITT-ZOLLARS

6501 Americas Parkway  
Suite 830  
Albuquerque, New Mexico 87110  
(505) 883-8114  
www.hiutt-zollars.com

## ADVANCEDESIGN™



NOT FOR CONSTRUCTION

## LADERA BUSINESS PARK UNIT 1 - CACTUS PATCH PLAZA

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM  
PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

MARK	DATE	DESCRIPTION
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## SITE PLAN

## AS101

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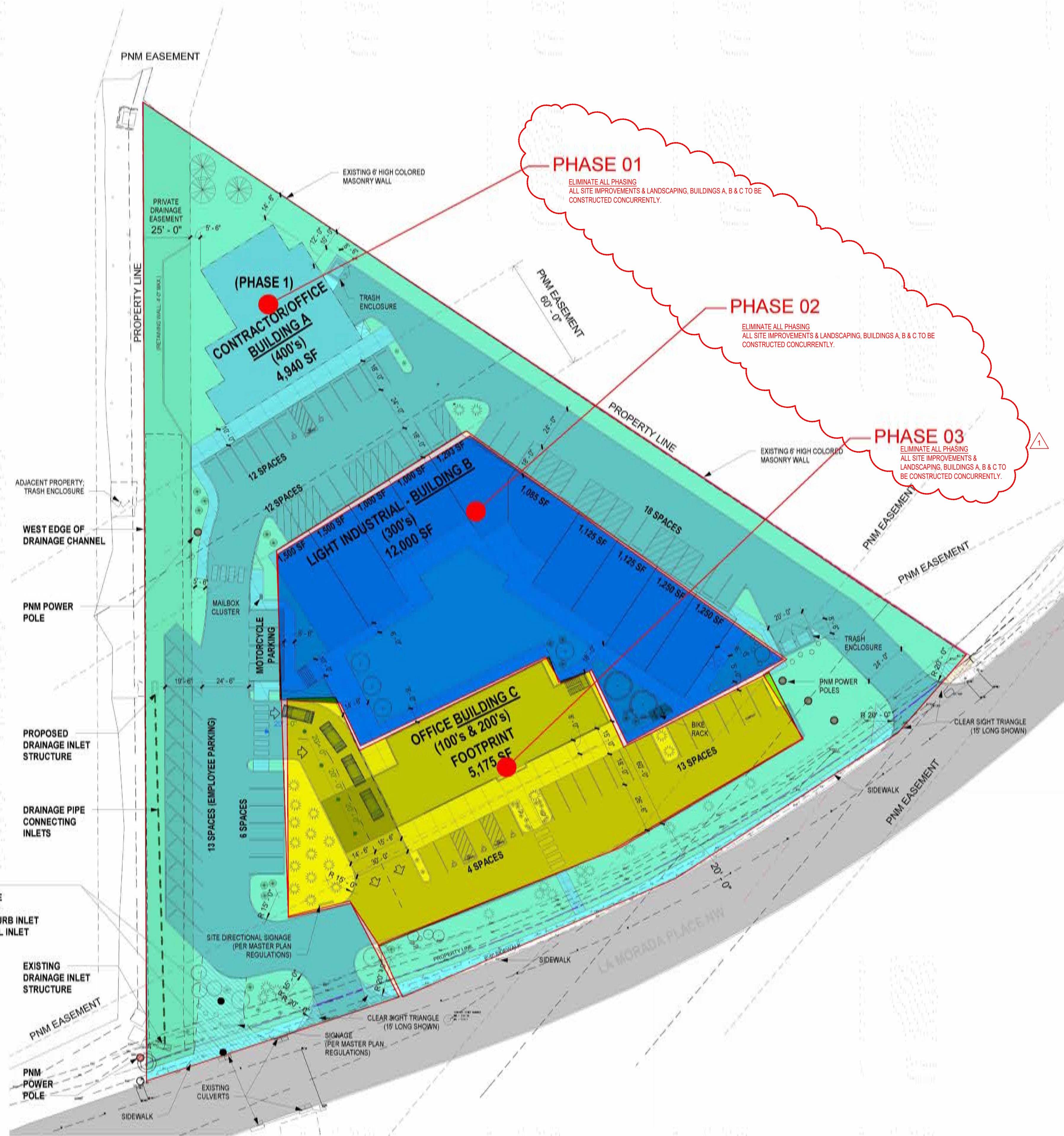
C

B

A

# A1 SITE PLAN

1" = 30'-0"



## PROJECT DATA

PROJECT ADDRESS:	7801 LA MORADA ALBUQUERQUE, NEW MEXICO 87120 LADERA BUSINESS PARK UNIT 1 TRACT 24
ZONE ATLAS PAGE:	H-09-2
IDO ZONE DISTRICT:	NR-C
PROPOSED USE:	MIXED USE; OFFICE & LIGHT INDUSTRIAL
GROSS ACRES:	2.7 ACRES
BUILDING AREA:	26,725 SF BUILDING 100, 2-STORY OFFICE = 9,650 SF BUILDING 300, LIGHT INDUSTRIAL (WAREHOUSE W/ OFFICE) = 12,125 SF BUILDING 400, OFFICE/CONSTRUCTION CONTRACTOR = 4,950 SF
BUILDING HEIGHT:	32 FEET (APPROXIMATE)
PARKING REQUIREMENTS:	OFFICE AREA = 16,530 SF 3.5 SPACES PER 1,000 SF = 56 PARKING SPACES  LIGHT INDUSTRIAL = 10,195 1 SPACE PER 1,000 SF = 10 PARKING SPACES  68 TOTAL SPACES REQUIRED 77 PARKING SPACES PROVIDED - 77 PARKING SPACES PROVIDED
ACCESSIBLE PARKING	(TABLE 5-5-4) = 4 SPACES REQUIRED
MOTORCYCLE PARKING	(TABLE 5-5-4) = 3 SPACES REQUIRED
BICYCLE SPACES	(TABLE 5-5-5) 3 SPACES OR 10% OF PARKING = 7 BICYCLE PARKING SPACES REQUIRED
VEHICLE STACKING:	(TABLE 5-5-6) GENERAL, BANK OR AUTOMATED TELLER MACHINE OR RETAIL = 4 STACKING SPACES REQUIRED

## PHASING DESCRIPTION

- PHASE 01- INCLUDE PERIMETER DRIVES, PARKING, PRIMARY UTILITIES, AND LANDSCAPING.
  - PHASE 02- THE CENTER LANDSCAPE SECTION WILL BE COMPLETED.
  - PHASE 03- COMPLETE THE SOUTHERN PORTION OF THE PARKING AREA AND CONNECT THE PERIMETER DRIVES.
- ELIMINATE ALL PHASING  
ALL SITE IMPROVEMENTS & LANDSCAPING, BUILDINGS A, B & C TO BE CONSTRUCTED CONCURRENTLY.

## LEGEND

- OPEN AREA - GRASS
- OPEN AREA - XERISCAPE
- PAVING; ASPHALT
- INTERNAL WALKWAYS; CONCRETE
- SIDEWALK; PUBLIC WAY (8'-0" WIDE)

## VICINITY MAP



LEGAL DESCRIPTION  
TR 24 PLAT FOR LADERA BUSINESS PARK  
UNIT 1 CONT 2.7185 AC

HUITT-ZOLLARS

6501 Americas Parkway  
Suite 830  
Albuquerque, New Mexico 87110  
(505) 883-8114  
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INTERIM REVIEW ONLY  
DOCUMENT INCOMPLETE AND  
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PERMIT OR CONSTRUCTION.

## LADERA BUSINESS PARK UNIT 1 - CACTUS PATCH PLAZA

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

(ISSUE DRAWING LOG)

MARK	DATE	DESCRIPTION
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## SITE PLAN

# AS-101

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**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

PACIFIC CACTUS LLC

APPROVED BY: STAFF

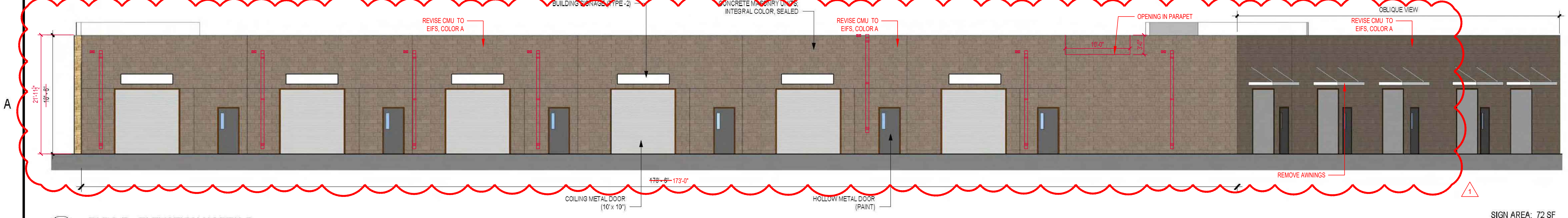
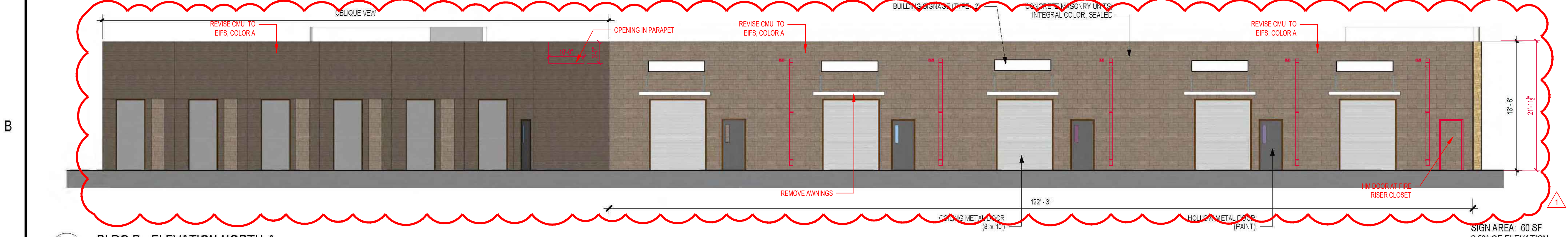
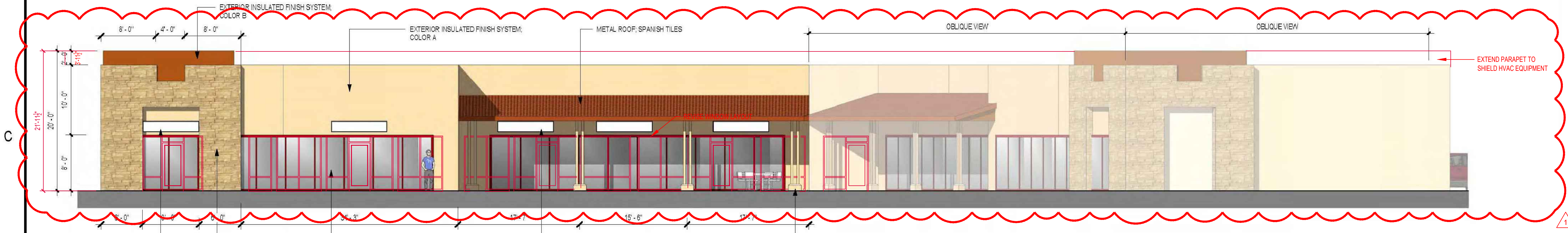
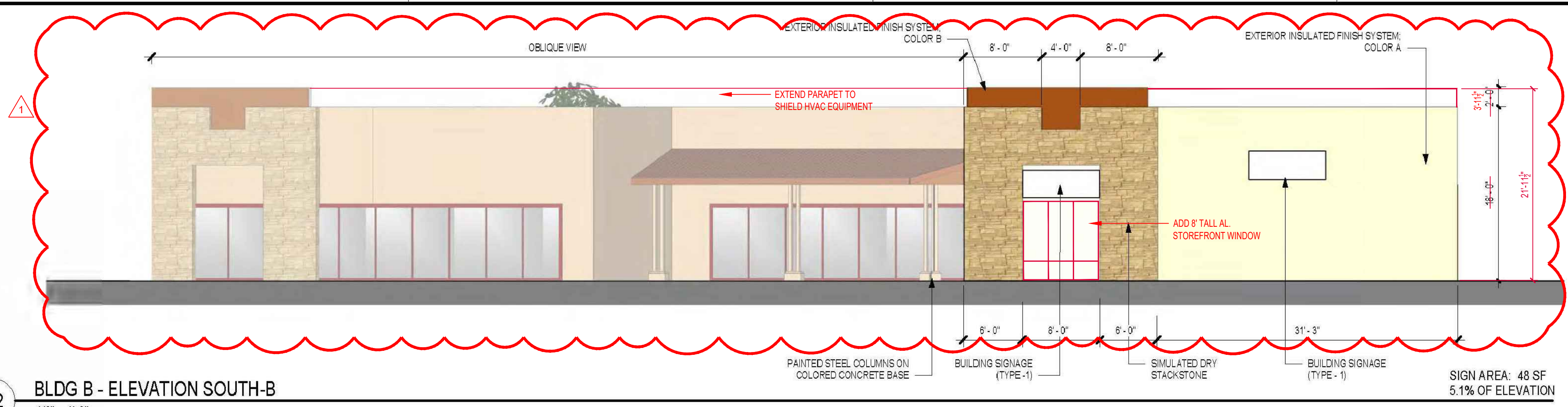
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**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

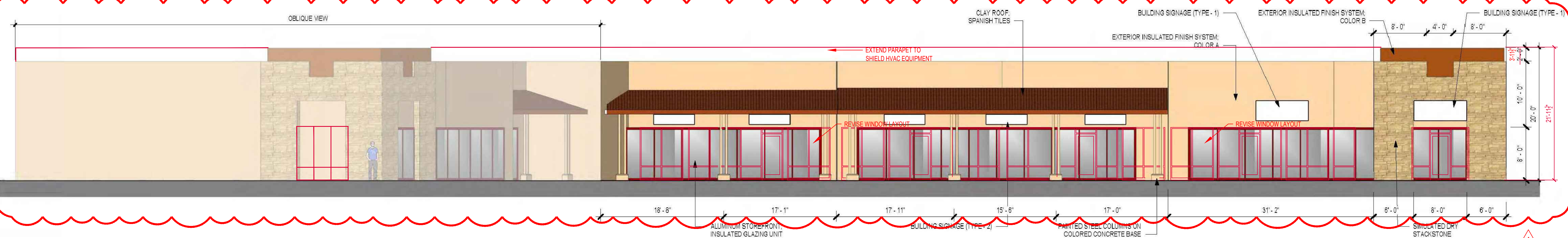
PACIFIC CACTUS LLC

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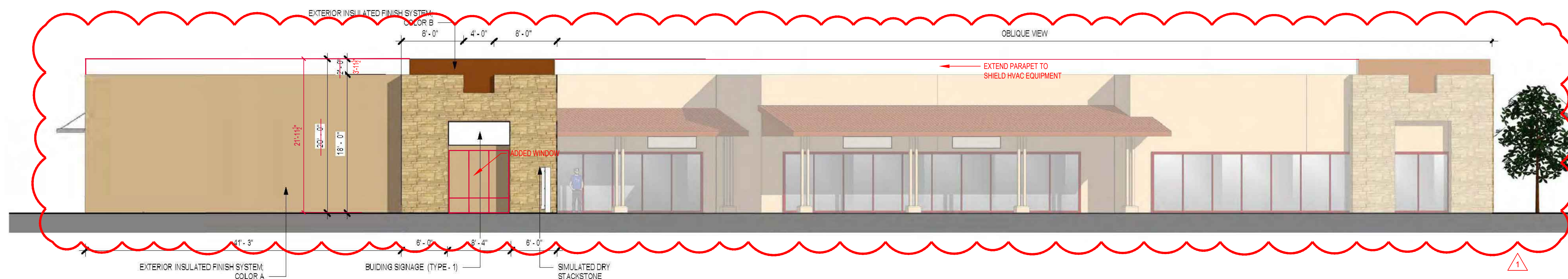
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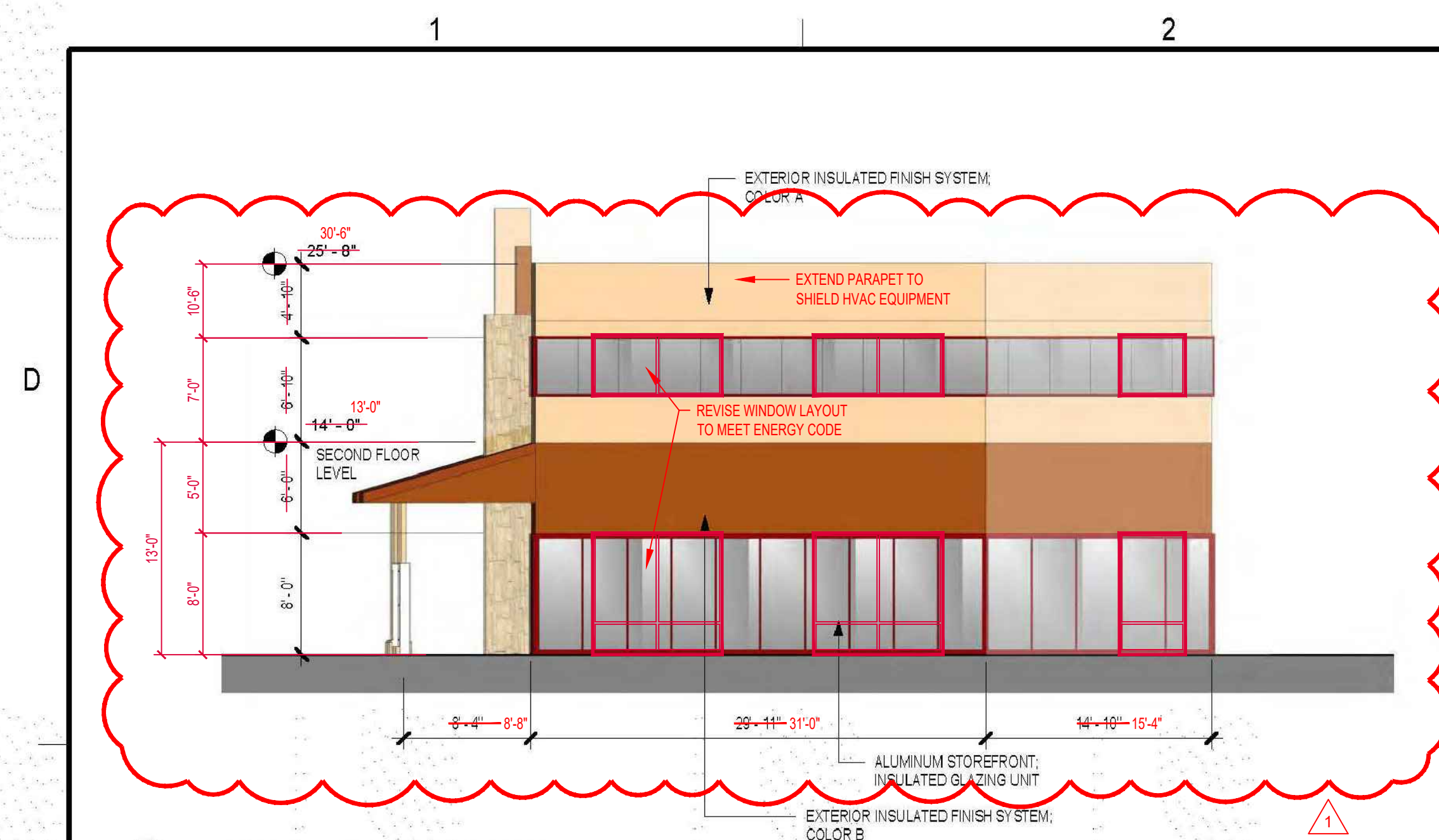


SIGN AREA: 108 SF  
4% OF ELEVATION

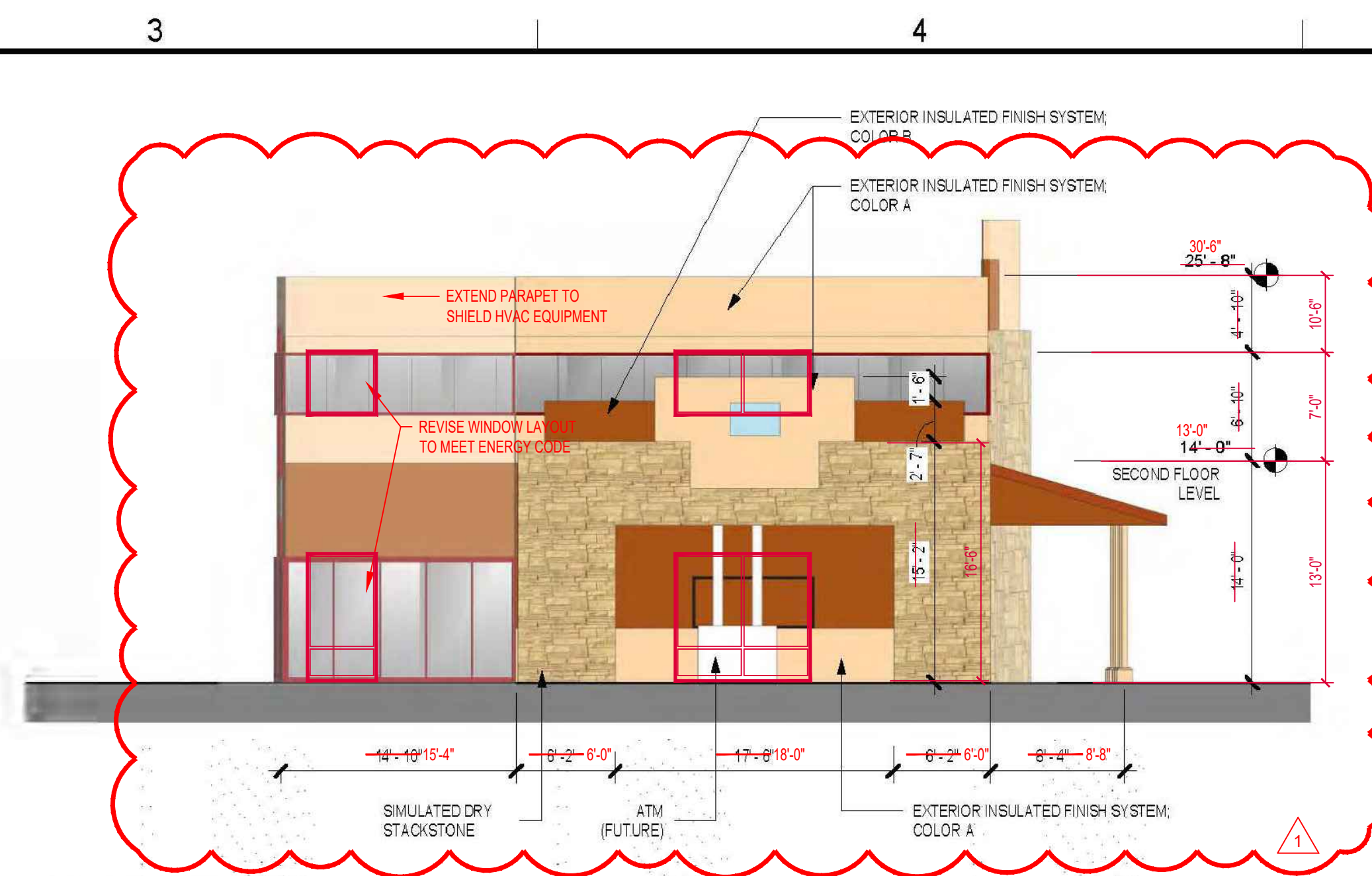


SIGN AREA: 24 SF  
2% OF ELEVATION

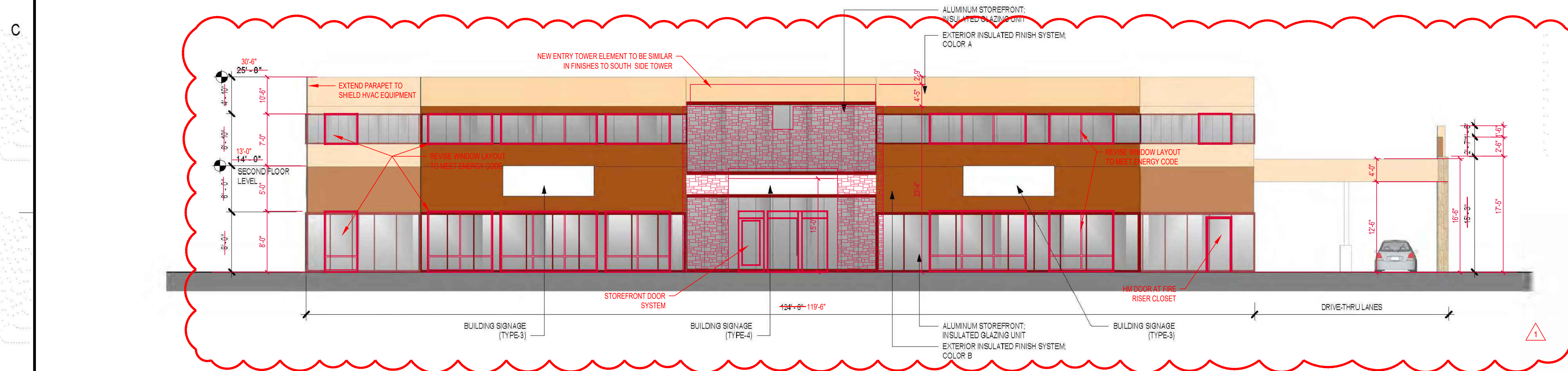




D1 BLDG C - ELEVATION EAST  
1/8" = 1'-0"



D3 BLDG C - ELEVATION WEST  
1/8" = 1'-0"



B1 BLDG C - ELEVATION NORTH  
1/8" = 1'-0"



**A1** **BLDG C - ELEVATION SOUTH**  
1/8" = 1'-0"

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**ADVANCEDDESIGN<sup>SM</sup>**



**NOT FOR CONSTRUCTION**

**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

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# BLDG C - EXTERIOR ELEVATIONS

**A-204**

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