



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant:		Phone: 505-506-6310
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST

A Minor Amendment to Site Development Plan

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit: 1
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-9	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

### LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Jonathan Turner</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS****\_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Archaeological Compliance Form with property information section completed
- \_\_\_ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

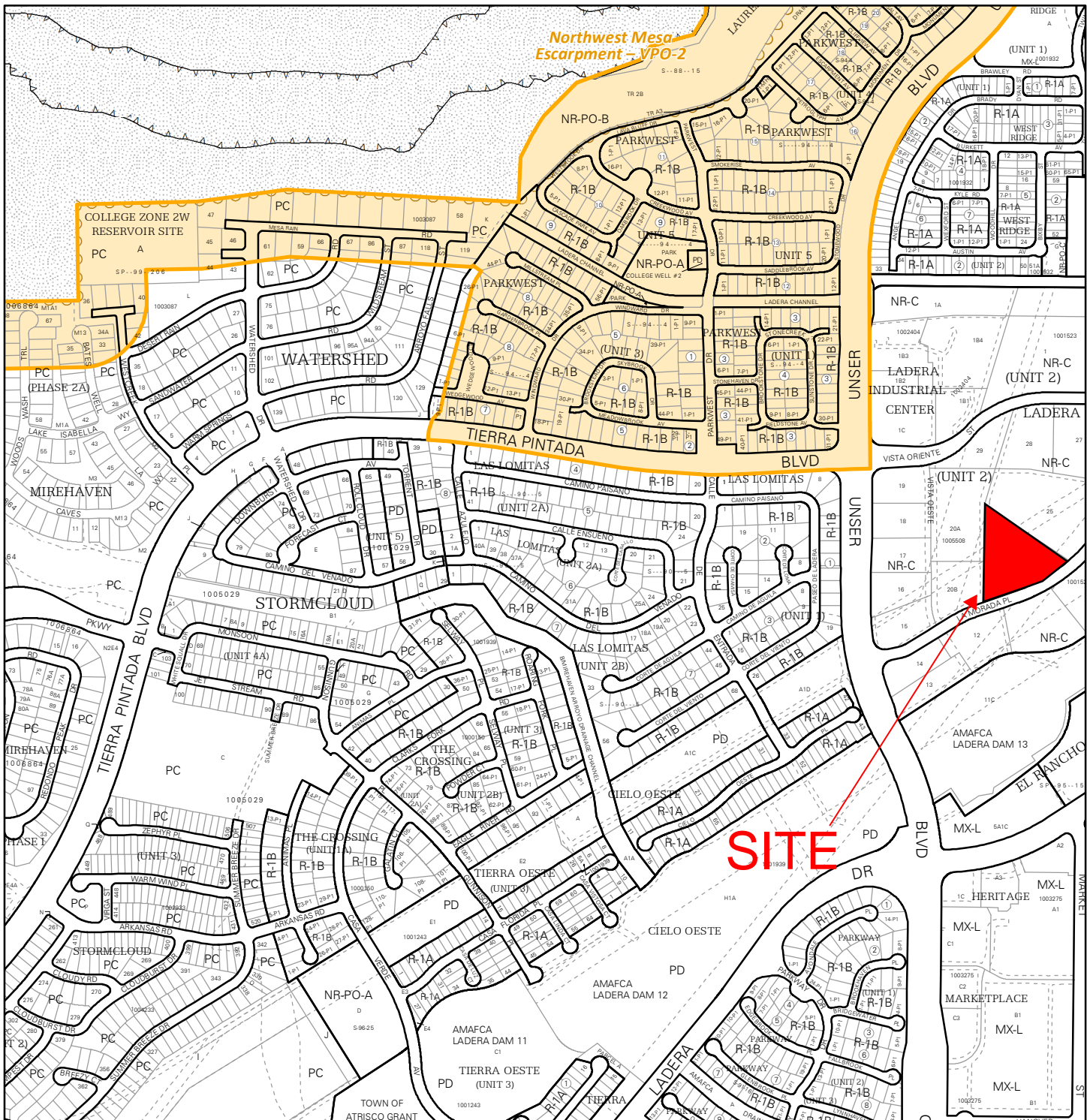
**\_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

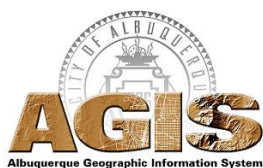
*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

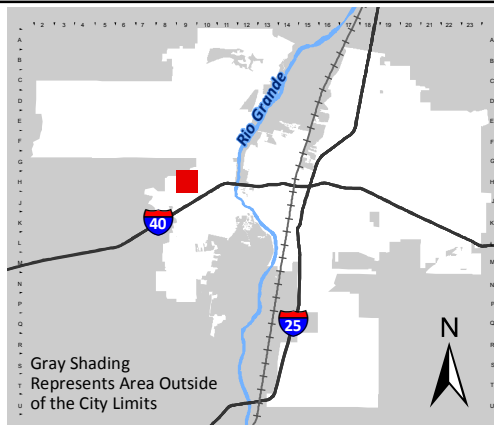


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**H-09-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

January 22, 2024

Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW,  
Albuquerque, NM, 87102

RE: 7801 La Morada PL NW

To Whom It May Concern:

This letter provides authorization for Consensus Planning, Inc. to act as our agent relating to all applications, hearings, submittals, and other formal representation for the subject property legally described as: *TR 24 PLAT FOR LADERA BUSINESS PARK UNIT 1 CONT 2.7185 AC*

Sincerely,

Name: Arcon Carlson

Signature: 

Title: EVP

Date: 1/22/2024





July 12, 2024

Mr. Michael Vos, ZEO  
Albuquerque Planning Department  
600 Second Street NW- 3<sup>rd</sup> Floor  
Albuquerque, NM 87102  
[mvos@cabq.gov](mailto:mvos@cabq.gov)

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
[cp@consensusplanning.com](mailto:cp@consensusplanning.com)  
[www.consensusplanning.com](http://www.consensusplanning.com)

## Minor Amendment – Cactus Patch Plaza – 7801 La Morada Place NW (Project Number: 1000494)

Dear Mr. Vos,

The purpose of this letter is to request a Minor Amendment for the property located at 7801 La Morada Place NW, currently owned by Pacific Cactus LLC. The changes being proposed are to the 2022 DFT approved Site Plan for Ladera Business Park Unit 1 – Cactus Patch Plaza. The purpose of the amendment is to allow for minor revisions to the parking layout and quantities, relocation of a crosswalk, eliminate development phasing, and to make architectural changes to the entry tower, window layout, and the height of the roof parapets for screening purposes.

The subject property (outlined in blue below) is located on the north side of La Morada Place within the Ladera Business Park Subdivision. The site was previously zoned SU-1/Light Industrial under the previous City Zoning Code and is within the boundaries of the prior approved Ladera Business Park Master Plan. The property is now classified as Non-Residential Commercial (NR-C) Zoning District under the Integrated Development Ordinance (IDO). It is legally described as Tract 24 Plat for Ladera Business Park.



Figure 1: Site Location

### PRINCIPALS

James K. Strozier, FAICP  
Jacqueline Fishman, AICP

### ASSOCIATES

Ken Romig, PLA, ASLA

## Background/Scope of request

1. The existing property is approximately 2.7 acres which totals 118,396 square feet in area, and is currently vacant and undeveloped.
2. The DFT approved Site Plan (shown in figure 2 below) allows up to 26,726 total square feet of building area. The existing building footprints per the approved Site Plan are not changing.
3. An increase in the original building height is being requested to raise the building parapet walls to screen mechanical equipment on the roof. Additionally, a height increase for the entry tower on Building C is being proposed for aesthetics and architectural interest. The proposed elevation changes comply with both the maximum allowed building height of the original Site Plan and the underlying NR-C zoning district. This application proposes to increase the building heights within the permissible 10% limit for minor amendments. The exact figures for the original and proposed heights are specified on the attached Site Plan Amendment sheet.
4. Additional alterations to the approved building elevations are confined to revised window locations and layout in order to meet the most current energy code requirements and still maintain consistency with the prior approval for architectural design.
5. The row of parking stalls along the western boundary of the parking lot is being proposed to change from angled parking stalls to head-in parking spaces, and the total provided parking for the development has been revised to add an additional 5 spaces to the previous 72 total provided on the original plan for a total of 77 spaces. This change is also within the permissible 10% limit for minor amendments.
6. The project phasing that is labeled on the approved Site Plan is proposed to be eliminated in its entirety with this amendment. It is the applicant's intent to develop the property and the buildings concurrently; therefore, the plan's development phasing sequence is no longer applicable.

As mentioned above, the controlling Site Plan was approved through the Site Plan – DFT process in 2022. This request for amendment involves revised elevations and minor changes to the site plan. All of the revisions are highlighted in red and annotated with change marks on the attached original site plan sheet and elevation sheets. The minor design changes are clearly shown on the plans by overlaying the changes on the approved Site Plan and elevations which helps facilitate the comparison to the original design. This amendment request is critical to ensure that the property and buildings can be developed concurrently, without the phasing sequence that was originally specified.

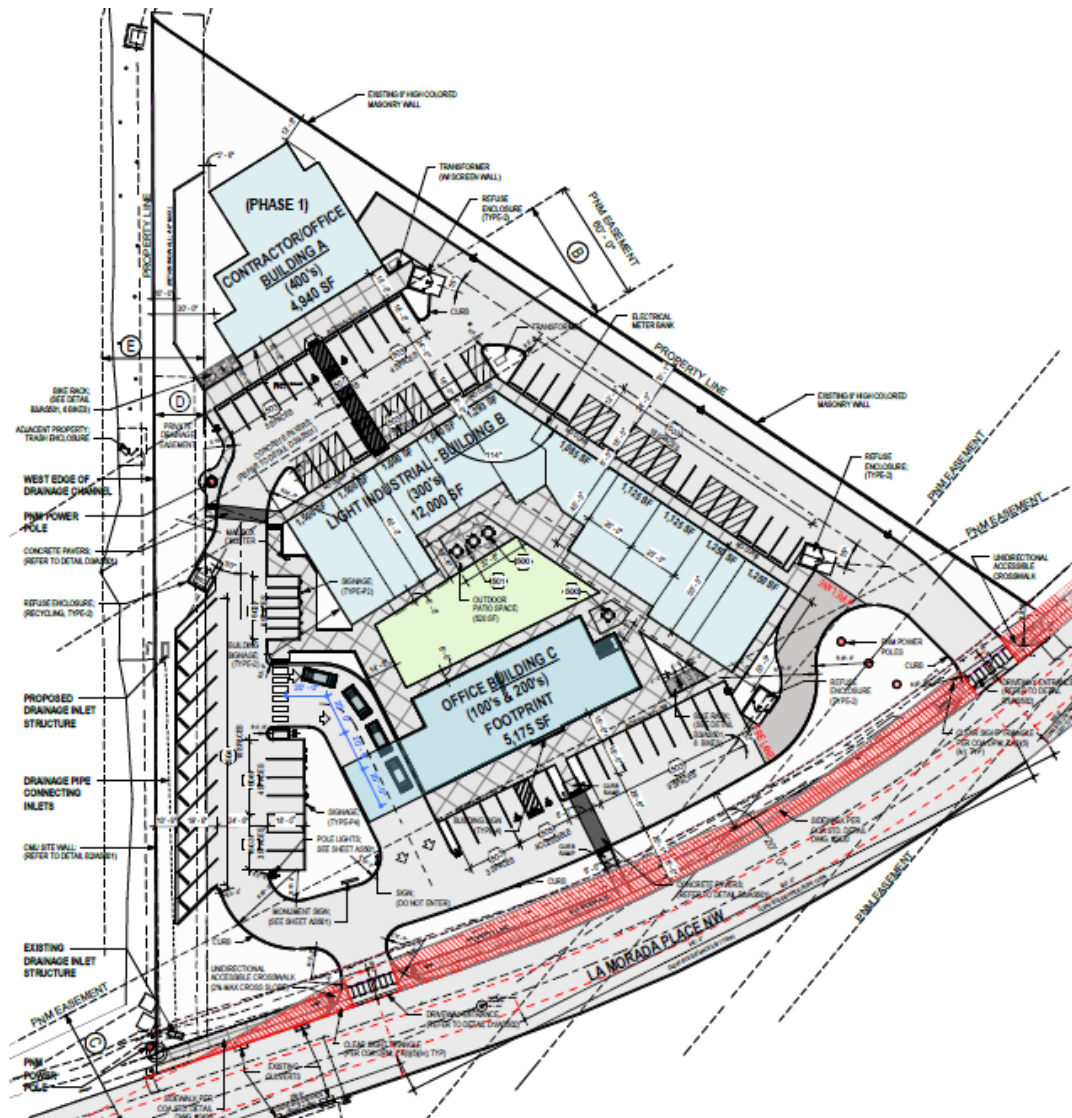


Figure 2: Approved DFT Site Plan- 2022

The general architectural style of the original development approval will still be followed with this amendment request. The applicant's intent is to maintain the established style and character of the buildings by using the originally approved materials, colors, and façade details of the Site Plan. The primary goal is to implement the proposed building alterations in a way that will result in a design that is consistent with the approved Site Plan and the existing architectural character of the Ladera Business Park development.

This amendment request meets the criteria to be considered a minor amendment for any addition or revisions that would be considered a Site Plan - Administrative (building permit) pursuant to Table 6-4-4. The requested changes to the parking area, building façades, and building heights fall within the allowable thresholds for Minor Amendments to allow any amount of change that meets the requirements specified in the approved Site Plan, and a building height increase of 10% or less.

The request is justified under Section and 6-4(Y)(2)(a) of the IDO based on the following (Applicant responses following each criterion in italics):

Table 6-4-4: Allowable Minor Amendments		
Standard	Maximum Threshold (Cumulative of Earlier Approved Deviations and/or Amendments)	
	General	Lot ≤10,000 sq. ft. in any Mixed-use or Non-residential zone district in an Area of Change
Building gross floor area	10%	
Front setback, minimum	15%	
Side setback, minimum	15%	50%
Rear setback, minimum	10%	50%
Building height, maximum	Increase: 10% Decrease: any amount	
Wall and fence height	6 in.	
Any other numerical standard	10%	
Any addition or revision that would otherwise be decided as a Permit – Sign, Permit – Wall or Fence – Minor, or Site Plan – Administrative	Any amount that meets requirements specified in the approved Permit or Site Plan or, if the Permit or Site Plan is silent, the IDO	
All rooftop installations and ground-mounted installations of solar or wind energy generation on premises less than 5 acres	Any amount to accommodate the installation that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
All additions or modifications of battery storage on premises less than 5 acres	Any amount to accommodate the addition that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
Changing the site layout of an electric facility other than an electric generation facility	Any amount to accommodate the change that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
Any standard cited in an application for “reasonable accommodation” or “reasonable modification” under the federal Fair Housing Act Amendments of 1998 (or as amended)	The minimum deviation necessary to comply with the federal Fair Housing Act Amendments	

#### 6-4(Y)(2) Minor Amendments

6-4(Y)(2)(a) A minor amendment must meet all of the following criteria:

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

***Applicant response:*** At the time of the original Plan's approval in 2022, the user requirements were not specifically known; therefore, at the time the City



*approved the Plan, there was no way for the original applicant to anticipate the current user requirements of the property. The minor building and site changes being requested will better facilitate the intended user's requirements, which were not contemplated at the time of the original approval. It is also important to emphasize that these requested modifications are consistent with most of the requirements outlined in the originally approved Site Plan.*

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

***Applicant response:*** *The approved site plan has a 30'-0" maximum building height restriction. The threshold restriction of a 10 percent increase to building height is followed, since the building is being proposed to change from 30'-0" to 32'-0" (.10 x 30 = 3 foot allowance). Also, the underlying NR-C zone allows a maximum building height of 38 feet. It is important to note that there have been no previous plan deviations or amendments requested for this site.*

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

***Applicant response:*** *This amendment maintains the existing open space and landscape. The site does not abut a lot containing a residential use.*

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

***Applicant response:*** *This criterion is not applicable because the amendment does not request a change to building setbacks, nor is the development adjacent to residential uses.*

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

***Applicant response:*** *This criterion is not applicable because the proposed amendment does not include residential uses.*

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.



***Applicant response:*** The amendment does include minor adjustments to the building design but does so by raising the roof parapet heights to accommodate adequate screening for roof-mounted mechanical equipment. Additionally, adjustments to the design of the front entrance will enhance accessibility and improve the front façade's aesthetic. These changes align with the functional needs of the use and maintain the existing architectural style but will also improve the articulation and perception of building quality when viewed from adjacent streets and abutting properties.

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

***Applicant response:*** The requested amendment does not change or reduce any of the Landscaping amounts. The project does not abut any residential use.

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

***Applicant response:*** The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties because no changes are proposed to the site's approved access and circulation.

9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

***Applicant response:*** This request for amendment does not require major public infrastructure. All major public infrastructure is existing, and no changes are needed or required.

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.



***Applicant response:*** To the best of our knowledge, *this amendment does not propose to change a specific condition.*

11. The amendment does not affect a property in an Overlay zone as regulated per 0, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

***Applicant response:*** *This criterion is not applicable because the subject property is not within an Overlay Zone.*

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

***Applicant response:*** *The proposed amendment does not seek the approval of a change in land use; therefore, this criterion is satisfied. The intended office and light industrial uses are permissive in the NR-C zone district and consistent with the Ladera Business Park Master Plan.*

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

***Applicant response:*** *This criterion does not apply since there is not a nonconformity nor an expansion of a nonconformity with this request.*

### **Conclusion**

As previously stated, this request for a Minor Amendment to a Site Plan approved in conformance with the regulations of the IDO and meets the criteria for approval. The proposed changes are not only consistent with the prior approved plan, but also comply with the current IDO standards and regulations for development. Furthermore, the request falls within the allowable thresholds for minor amendments as explained in the justification. In summary, we respectfully request approval of a minor amendment to the prior-approved plan so that the property owner may develop their property within the Ladera Business Park.

Thank you in advance for your review and consideration.

Sincerely,

Jonathan Turner







**ADVANCEDDESIGN™**



NOT FOR CONSTRUCTION

**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO. R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

## ISSUE DRAWING LOG

[illegible]

**BLDG B -  
EXTERIOR  
ELEVATIONS**

## A-203

COPYRIGHT 2018 HUITT-ZOLLARS INC.



B1 BLDG B - ELEVATION WEST-B  
1/8" = 1'-0"

SIGN AREA: 108 SF  
4% OF ELEVATION

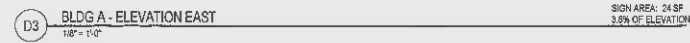


**A1** BLDG B - ELEVATION WEST-A  
1/8" = 1'-0"

SIGN AREA: 24 SF  
2% OF ELEVATION



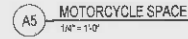
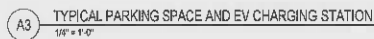
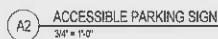




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**B1** PARKING SIGN SCHEDULE  
3/4" = 1'-0"



ADVANCEDDESIGN™



**NOT FOR CONSTRUCTION**

**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

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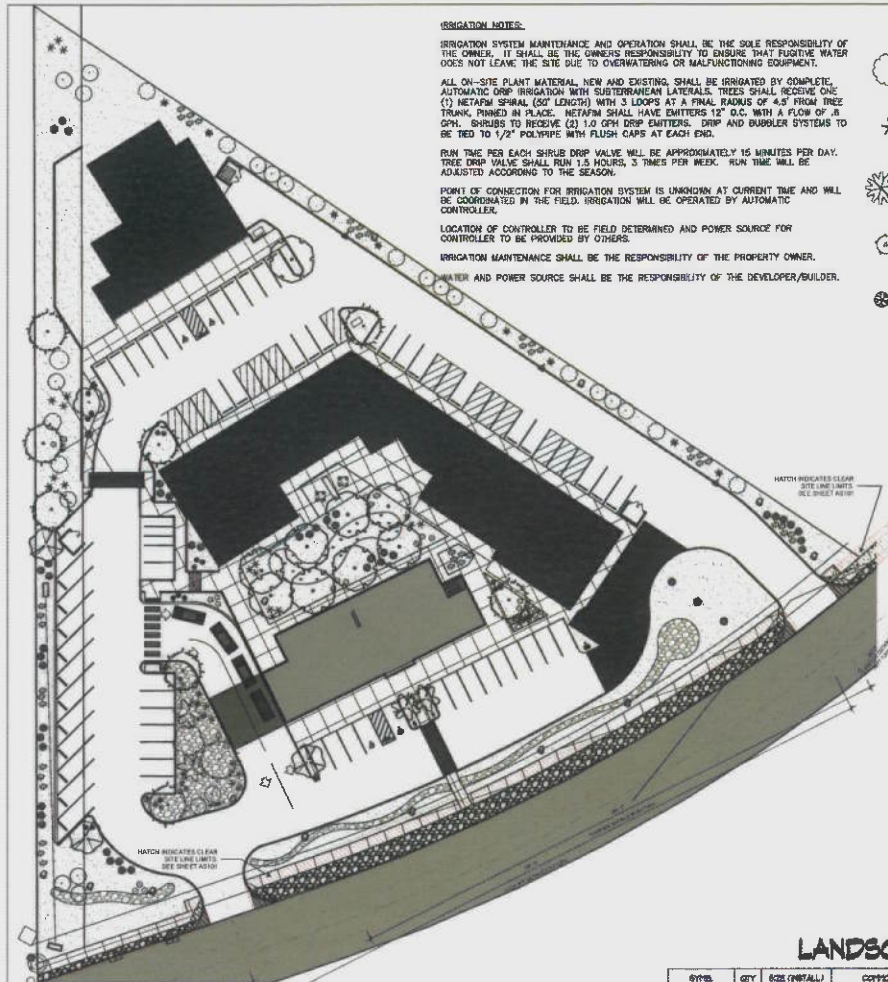
## SITE DETAILS

AS502

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IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBSURFACE LATERALS. TREES SHALL RECEIVE ONE (1) METAFM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. METAFM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .8 GPM. SHRUBS TO RECEIVE (2) 1.0 GPM DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

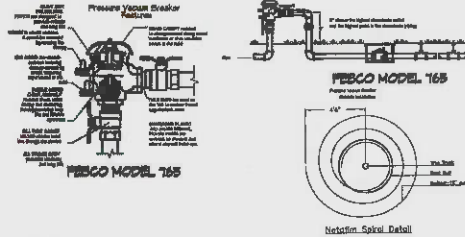
POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

Shrub Planting Schedule						
SYMBOL	QTY	SIZE (INSTALL)	CORRESPONDING	MATURE H&D	MATURE USE	COVER (EA)
15	5	5' Gal	Blue Mist Spruce <i>Calliandra x ciliolata</i>	2' x 3'	Low	8
16	5	5' Gal	Cur-Land Mountain Palmetto <i>Chamaecyparis lawsoniana</i>	8' x 8'	Low	225
17	5	5' Gal	Sweetgum <i>Liquidambar styraciflua</i>	9' x 9'	MU	25
18	5	5' Gal	Red Yucca <i>Yucca parviflora</i>	9' x 3'	Low	5
19	5	5' Gal	Alamo Rose of Sharon <i>Hibiscus syriacus</i>	10' x 10'	M	100
20	5	5' Gal	Festive Plant Grass <i>Chloroglossa arundinacea</i>	10' x 2'	M	5
21	5	5' Gal	Goldgrass <i>Panicum virgatum</i>	4' x 4'	M	16
22	5	5' Gal	Three-Leaf Bush <i>Rhus copallina</i>	6' x 6'	Low	36
23	5	5' Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16
24	5	5' Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low	5
25	106					Total Shrub Coverage: 672



GENERAL NOTES:

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRACTICES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5" - 1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

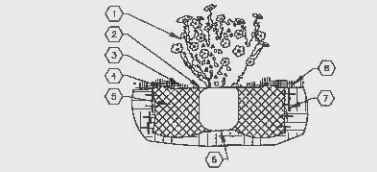
POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

LANDSCAPE LEGEND

SYMBOL	QTY	SIZE (INSTALL)	CORRESPONDING	MATURE H&D	MATURE USE	COVER (EA)	TOTAL
1	3	5' Gal	Desert Yucca <i>Chrysothamnus</i>	20' x 20'	L	625	1875
2	2	3' x 3' x 3'	New Mexico Olive <i>Forsteria laetifolia</i>	10' x 10'	M	225	450
3	5	8' x 8' Gal	Autumn Pine <i>Pinus nigra</i>	30' x 30'	M	625	3125
4	3	3' x 3' Gal	Chamaecyparis <i>Platanus albertiana</i>	40' x 30'	M	1200	3600
5	4	5' Gal	Chamaecyparis <i>Viburnum acerifolium</i>	20' x 30'	M	400	1600
26	21					Total Tree Coverage: 7160	

LANDSCAPE CALCULATIONS

ZONING	APPLICABLE REGULATIONS
TOTAL LOT AREA (ACRES)	1.162
TOTAL LOT AREA (SQ)	24,775
BUILDING AREA (SQ)	36,891
NET LOT AREA (SQ)	10,884
REQUIRED LANDSCAPE (SQ)	13633
REQUIRED LANDSCAPE (SQ)	33,710
VEGETATIVE COVER (SQ - REG)	18,729
VEGETATIVE COVER (SQ - PROV)	14,981
VEGETATIVE COVER (SQ - PROV)	14,981
REG. TREES - 1ST AND 2ND STORY UNITS	21
PROVIDED UNIT TREES	21

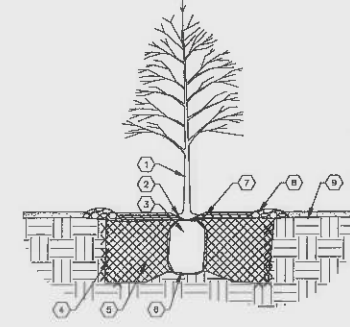


SHRUB PLANTING KEYED NOTES

1. SHRUB LOCATION, SPECIES AND CONDITION AS PER PLAN.
2. INSTALL WITH TOP OF ROOT BALL FLUSH WITH SURFACE PROTRUSION OF MULCH.
3. USE BRUSH OR MULCH OVER ROOTBALL, PLANTED TO A 2" DEPTH AND HELD BACK 1" FROM TRUNK AND ASPERS AND TO COVER DRIP LINE.
4. 2" HIGH x 16" DEEP MULCH.
5. MULCH FOR PRECIPITATIONS LIGHTLY TAMP IN LITS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL.
7. SCARP AND LOCKER ROADS OF PLANTING PIT.
8. MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING

SHRUB PLANTING DETAIL



TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES AND CONDITION AS PER PLAN.
2. REMOVING EXISTING SOIL FROM HURDLY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SURFACE (BOTTOM OF MULCH).
3. INSTALL TREE PLANT. REMOVE WIRE BARK, WOOD BOX, PLASTIC TUBE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP BAGGERS FROM BOTTOM OF ROOT BALL.
4. SCARP AND LOCKER ROADS OF PLANTING PIT.
5. MULCH FOR PRECIPITATIONS LIGHTLY TAMP IN LITS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 1" BACK FROM TREE TRUNK.
8. 4" HIGH x 16" DEEP MULCH. TAMP AT DRIP LINE.
9. MULCH - SEE PLANTING PLAN.

02 TREE PLANTING

TREE PLANTING DETAIL

SYMBOL	QTY	TYPE
1	1	PA
2	1	PA
3	1	PA
4	1	PA
5	1	PA
6	1	PA
7	1	PA
8	1	PA
9	1	PA
10	1	PA
11	1	PA
12	1	PA
13	1	PA
14	1	PA
15	1	PA
16	1	PA
17	1	PA
18	1	PA
19	1	PA
20	1	PA
21	1	PA
22	1	PA
23	1	PA
24	1	PA
25	1	PA
26	1	PA
27	1	PA
28	1	PA
29	1	PA
30	1	PA
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92	1	PA
93	1	PA
94	1	PA
95	1	PA
96	1	PA
97	1	PA
98	1	PA
99	1	PA
100	1	PA



The Hiltop  
Landscape Architects  
1000 La Morada Pk NW  
Albuquerque, NM 87102  
505.263.1111  
hiltoplandscape.com



Cactus Patch Plaza  
1000 La Morada Pk NW  
Albuquerque, NM  
Landscape Design Development

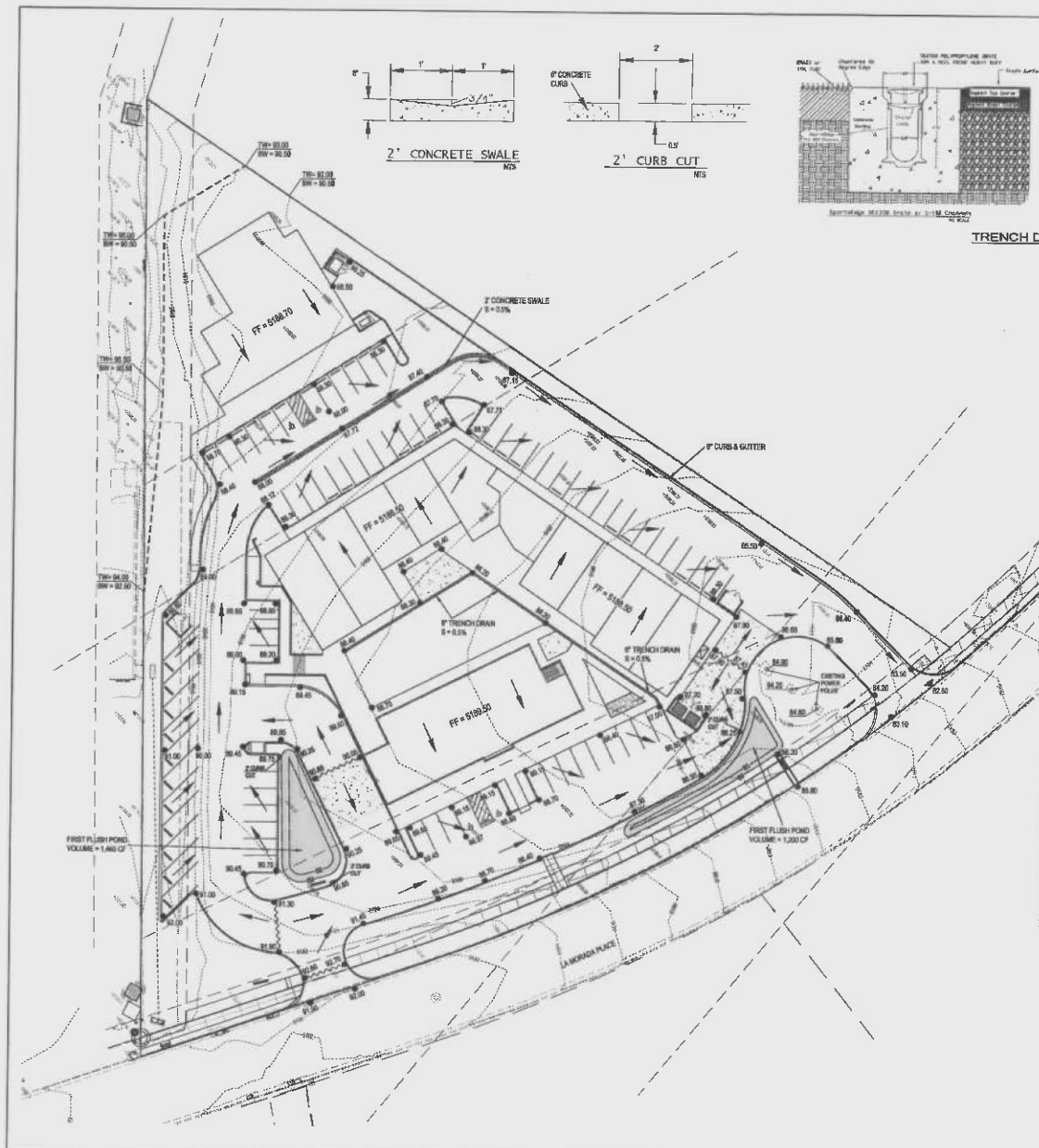
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DESIGNED BY  
THE HILTOP  
LANDSCAPE ARCHITECTS  
DATE  
01/06/2022  
SHEET #  
1-101







TRENCH DRAIN DETAIL

Drainage Plan:

LEGAL DESCRIPTION: TRACT 24, LADERA BUSINESS PARK UNIT 1

SITE AREA: 2.72 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED NOVEMBER 14, 2018 (PANEL NO. 3800100324) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

EXISTING DRAINAGE CONDITIONS:

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH CHAPTER 6, ARTICLE 6.2, SECTION 6.2(A), ENTITLED "PROCEDURE FOR 40-ACRE AND SMALLER BASINS." THE DESIGN STORM USED FOR BOTH UNDEVELOPED AND DEVELOPED CONDITIONS IS THE 100-YEAR, 6-HOUR STORM EVENT FOR RUNOFF. THE SITE IS LOCATED IN ZONE 1 SO THE 100-YEAR, 6-HOUR STORM EVENT IS 2.17 INCHES. UNDER EXISTING CONDITIONS, THE PROPERTY IS PARTIALLY DEVELOPED WITH SOME PAVING AND BASE COURSE.

THE PROPERTY IS LOCATED ON LA MORADA EAST OF UNSER BLVD. THE TRACT IS CURRENTLY VACANT. THE SITE GENERALLY DRAINS FROM NORTHWEST TO SOUTHEAST TO LA MORADA PLACE. THERE IS A STORM DRAIN AND TORM INLETS IN LA MORADA DRIVE. THIS PROPERTY IS LOCATED IN ZONE 2. THE PEAK RUNOFF UNDER EXISTING CONDITIONS IS 4.19 CFS DURING A 100-YEAR, 6-HOUR STORM.

DEVELOPED DRAINAGE CONDITIONS:

THIS PROPERTY WILL BE DEVELOPED INTO AN OFFICE AND LIGHT INDUSTRIAL PARK. THIS TRACT IS PART OF THE LADERA BUSINESS PARK MASTER DRAINAGE PLAN. RUNOFF FROM THE TRACT DRAINS TO LA MORADA PLACE. THE RUNOFF THAT REACHES LA MORADA IS COLLECTED IN A STORM DRAIN SYSTEM AND EVENTUALLY DISCHARGES TO THE MIREHAYEN CHANNEL. ACCORDING TO THE LADERA BUSINESS PARK MASTER DRAINAGE PLAN, THE TRACT IS ALLOWED A PEAK DISCHARGE OF 12 CFS. THE PEAK DISCHARGE FROM THE SITE UNDER DEVELOPED CONDITIONS DURING A 100-YEAR, 6-HOUR STORM IS 9.97 CFS, WHICH IS LESS THAN THE 12 CFS ALLOWED. RUNOFF FROM THE SITE WILL ENTER LA MORADA THROUGH THE EASTERN DRIVEWAY AND THROUGH A SIDEWALK CULVERT. TWO FIRST FLUSH PONDS ARE LOCATED ON SITE WITH A TOTAL VOLUME OF 2,665 CUBIC FEET. ONE OF THE FIRST FLUSH PONDS WILL DISCHARGE TO LA MORADA THROUGH A 24-INCH SIDEWALK CULVERT.

FIRST FLUSH VOLUME =  $(0.42 \text{ IN} \times 12 \text{ IN} \times 1 \text{ FT}) \times (2.72 \text{ AC} \times 43,560 \text{ SF/AC}) = 2,673 \text{ CF}$  REQUIRED.

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED C (in)	100-YEAR PRECIPITATION				
		A (%)	B (%)	C (%)	D (%)		V (4.44") (acre-in)	V(2.17") (acre-in)	V(2.49") (acre-in)	G (in)	
		EXISTING CONDITIONS									
SITE	27,200	100.00	0.00	0.00	0.00	0.00	0.12	0.12	0.12	4.19	
TOTAL RUNOFF	27,200						0.12	0.12	0.12	4.19	
FULL DEVELOPMENT CONDITIONS											
SITE	27,200	0.00	14.10	14.20	71.70	1.84	0.42	16.20	0.47	20.47	9.97
TOTAL RUNOFF	27,200						0.42	16.20	0.47	20.47	9.97
EXCESS PEAK FLOW DISCHARGE											
		0.00	0.73	0.00	2.94	C <sub>in</sub> (in)					
		1.84	0.18	0.07	4.15	C <sub>in</sub> (in)					
ZONE 1 -											
WEIGHTED C (in) = (W <sub>1</sub> *(C <sub>1</sub> W <sub>1</sub> ) + (W <sub>2</sub> *(C <sub>2</sub> W <sub>2</sub> )) + (W <sub>3</sub> *(C <sub>3</sub> W <sub>3</sub> ))							Peak (in) = 2.17				
W <sub>1</sub> = (acre-in) / (WEIGHTED EXPOSURE)							Peak (in) = 2.49				
W <sub>2</sub> = (acre-in) / (W <sub>1</sub> + W <sub>2</sub> + W <sub>3</sub> )							Peak (in) = 3.90				
Q (cfs) = (C <sub>1</sub> W <sub>1</sub> ) + (C <sub>2</sub> W <sub>2</sub> ) + (C <sub>3</sub> W <sub>3</sub> ) + (C <sub>4</sub> W <sub>4</sub> )											

WEIGHTED C (in) =  $(C_A \times A) + (C_B \times B) + (C_C \times C) + (C_D \times D)$   
 $V_{in} (\text{acre-in}) = (\text{WEIGHTED C}) \times (\text{AREA}) / 12$   
 $V_{out} (\text{acre-in}) = V_{in} - (A \times P_{100} - P_{100} \times 12)$   
 $G (\text{in}) = (C_A \times A) + (C_B \times B) + (C_C \times C) + (C_D \times D)$

ZONE = 1  
Precip (in) = 2.17  
Precip (in) = 2.49  
Precip (in) = 3.90

LEGEND	
EXISTING SPOT ELEVATION	PROPOSED 2' WIDE CURB CUT
EXISTING MAJOR CONTOUR	PROPOSED 2' WIDE SIDEWALK CULVERT PER CDA STD DWG 2238
EXISTING MINOR CONTOUR	PROPOSED WATER BLOCK
EXISTING CURB AND GUTTER	PROPOSED RETAINING WALL
PROPOSED SPOT ELEVATION	PROPOSED PONDING
PROPOSED FLOW DIRECTION	



**TECHNICAL CONSULTANTS, INC.**  
ENGINEERING  
CONSULTANTS, INC.  
P.O. BOX 6075  
ALBUQUERQUE, NM 87116  
TEL: 505.262.5045  
FAX: 505.262.5046

NO.	REVISION	BY	DATE

PROJECT	DATE	DRAWN BY: CSM	CHECKED BY:	APPROVED BY:	FILE



CACTUS PATCH PLAZA  
7801 LA MORADA PL. NW  
GRADING AND DRAINAGE PLAN

CITY/COUNTY REVIEW		DATE	SIGN-OFF
DEPARTMENT			
WATER/SEWER DIV.			
WATER SERVICES			
SUBDIVISION ENG.			
STREETS			
TRAFFIC			

FOR CITY/COUNTY USE ONLY

C-1



PLANNING DEPARTMENT  
DEVELOPMENT SERVICES DIVISION  
600 2nd Street NW, Ground Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3946

## OFFICIAL NOTIFICATION OF DECISION

**Project# PR-2021-005473**

**Application#**

**SI-2021-00709 SITE PLAN**

Aaron Carlson

### LEGAL DESCRIPTION:

For all or a portion of:

**LOT 24 UNIT 1, LADERA BUSINESS PARK**

**SUBDIVISION** zoned NR-C, located at **7801 LA**

**MORADA PL and UNSER** containing

approximately 2.7 acre(s). (H-9)

On November 17, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to Transportation and Planning, based on the following Findings:

1. This is a request to develop two office buildings and a light industrial building in three phases.

1. Pursuant to 6-6(I)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:

a. 6-6(I)(3)(a) *The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.*

The dimensions, parking, landscaping/screening, and façade design meet/exceed the IDO requirements. The proposed development is set back in accordance with the requirements of the N-RC zone district. The 25-foot 8 inch maximum height of the proposed building is less than the 38-foot maximum permitted building height. The Site Plan includes 33,170 square feet of landscaping where 13,633square feet is required.

- b. 6-6(l)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A Traffic Study was not required for this request.

- c. 6-6(l)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The site is within the Ladera Business Park Master Plan. The development is consistent with the plan requirements.

2. The applicant provided notice as required by 6-1-1 of the IDO.

**Conditions:**

1. This Site Plan is valid 7 years from DRB approval (11/17/2021). An extension may be requested prior to the expiration date.
2. Final sign off is delegated to Transportation for bike rack detail, to provide a complete 6 foot ada pathway throughout the site, to call out curb locations, provide details on clear site triangles per comments, and to work out the details within the public right-of-way regarding the sidewalk, curb ramps and driveways.
3. Final sign off is delegated to Planning for notes to be added to the site plan indicating that all specifications of the Ladera Business Park must be met, with items such as site lighting, dumpster detail, and building design being referenced, for Solid Waste signature, the professional signing of plan sheets, and verification of grading. if the site has not been graded, a Sensitive Lands Analysis shall be provided.
4. The applicant will obtain final sign off from Transportation and Planning by January 6, 2021 or the case may be scheduled for the next DRB hearing and could be denied her the DRB Rules of Procedure.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **DECEMBER 2, 2021**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to [PLNDRS@CABQ.GOV](mailto:PLNDRS@CABQ.GOV) (if files are less than 9MB in size). For files larger than 9 MB in size, please send an email to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) and request that staff send you a link via Smartfile to upload the files to. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Wolfley', written in a cursive style.

Jolene Wolfley  
DRB Chair

JW/mg

HuittZollars





## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

10-10-2003

**14. Project # 1001523**

03DRB-01361 Major-Vacation of Public Easements  
03DRB-01360 Major-Preliminary Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98<sup>th</sup> ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [*Deferred from 9/10/03, 9/17/03, 9/24/03, 10-1-03*] (H-10)

At the October 8, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to these provisions:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements, or:
2. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.
3. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
4. Final disposition shall be through the City Real Estate Office.
5. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

With the signing of the infrastructure list dated 10/8/03 and approval of the grading plan engineer stamp dated 11/21/02 the preliminary plat was approved.

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



**OFFICIAL NOTICE OF DECISION  
PAGE 2**

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

If you wish to appeal this decision, you must do so by October 23, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

**Project # 1001523**

03DRB-01458 Minor-SiteDev Plan Subd/EPC

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH ST PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for light industrial, located on UNSER BLVD NW, between 98<sup>th</sup> ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: AX-81-810, Z-81-49, 01EPC-01405, 02DRB-00518] [Deferred from 9/10/03, 9/17/03, 9/24/03, 10/1/03] [**RUSSELL BRITO, EPC CASE PLANNER**] (H-10)

At the October 8, 2003, Development Review Board meeting, the site plan for subdivision was approved with final sign off delegated to Planning for perimeter wall submittal.

If you wish to appeal this decision, you must do so by October 23, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



**OFFICIAL NOTICE OF DECISION**  
**PAGE 3**

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Sheran Matson, AICP, DRB Chair

Cc: Unser-98<sup>th</sup> Street Partnership, P.O. Box 90548, 87199  
Mark Goodwin & Associates PA, P.O. Box 90606, 87199  
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.  
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File

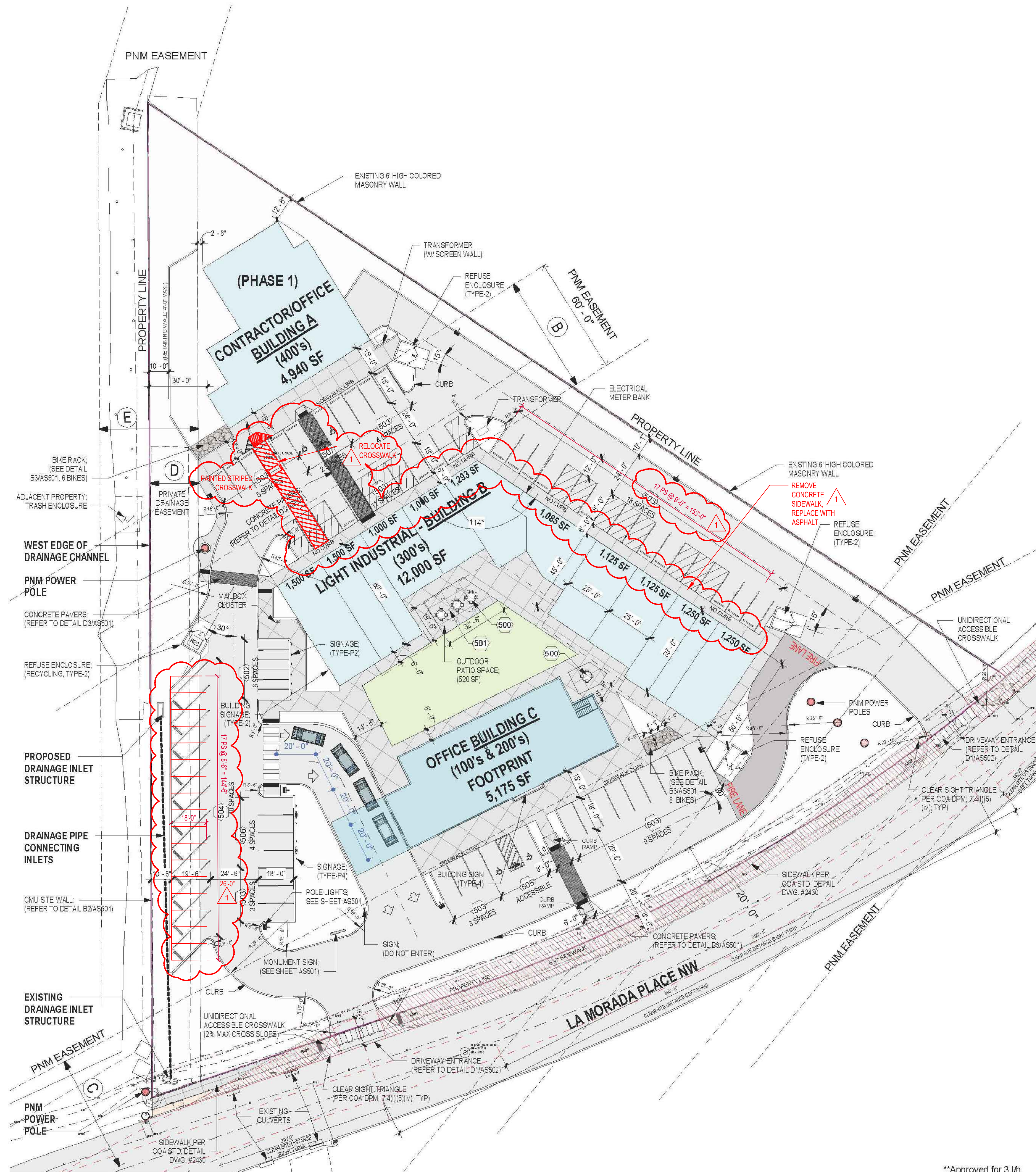


D

C

B

A



A1 SITE PLAN  
1" = 30'-0"

## GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE LADERA BUSINESS PARK SPECIFICATIONS. ALL CRITERIA MUST BE MET REGARDING SITE LIGHTING, DUMPSTER DETAILS, AND BUILDING DESIGN REQUIREMENTS.
- THE PROJECT IS WITHIN THE CITY OF ALBUQUERQUE (COA) AND SHALL COMPLY WITH COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 6'-0" WIDE ACCESSIBLE ROUTE IS REQUIRED TO CONNECT ALL BUILDING ENTRANCES.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS AT DRIVEWAY ENTRANCES. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ROOFTOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING BASIC MATERIALS.
  - THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHT-OF-WAY.
  - GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. PROVIDE SITE SCREEN WALL PER DETAIL ON SHEET ASS01.
- ALL ACCESSIBLE RAMPS SHALL BE BE CONSTRUCTED PER COA STANDARDS (DWG #2441).
- STREET LIGHTS SHALL MEET THE FOLLOWING SPECIFICATION: G.E. 100 WATT, BRONZE, LUMEN SHOEBOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.
  - PROVIDE FULL CUT-OFF IN COMPLIANCE WITH STATE OF NEW MEXICO NIGHT SKY ORDINANCE.
- PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION REQUIREMENTS.
- NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- SITE LIGHTING DESIGN TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS, OR ROADWAYS WITH UNNECESSARY GLARE OR REFLECTION.
- SOLID WASTE NO CONSTRUCTION WASTE, HAZARDOUS MATERIALS, OR DEMOLITION MATERIALS ARE TO BE PLACED IN REFUSE CONTAINERS.

## SHEET KEYNOTES

- 500 PATIO FURNITURE: PATIO TABLES, MYT00AT 48 INCH ROUND, COATED EXPANDED METAL OR EQUAL.
- 501 PATIO FURNITURE: SHADE STRUCTURE: (1) SKYWAYS 20x40 DOUBLE CANTILEVER H/1 PAR OR EQUAL.
- 502 MOTORCYCLE PARKING STALL: SEE SHEET ASS02.
- 503 STANDARD PARKING STALL: SEE SHEET ASS02.
- 504 ANGLE PARKING STALL: SEE SHEET ASS02.
- 505 ACCESSIBLE PARKING STALL: SEE SHEET ASS02.
- 506 PARKING SPACE WITH ELECTRIC VEHICLE CHARGING STATION: SEE SHEET ASS02.
- 507 VAN ACCESSIBLE PARKING STALL AND CROSSING AISLE: SEE SHEET ASS02.

- Minor Amendment:
- Site Plan:
    - Revise parking at west site to head in and add 6 stalls.
    - Increase width of drive aisle from 24'-6" to 26'-0".
    - Adjust location of pedestrian crosswalk at north end of site and paint 4" wide strips at 45 degrees 2'-0" o.c.
    - Eliminate concrete sidewalk at north and east side of building B.
    - Reduce parking stalls at east side of site from 18 to 17 to allow for actual size requirement of trash enclosure.
    - Revise total parking count from 72 stalls to 77 total stalls.
    - Revise phasing to install landscaping at phase 3.
  - Building A Elevations:
    - Increase building height from 21'-0" to 23'-1" to provide HVAC screening.
  - Building B Elevations:
    - Increase building height from 20'-0" to 22'-0" to provide HVAC screening.
    - Replace CMU veneer with EIFS.
    - Remove awnings at overhead garage doors.
  - Building C Elevations:
    - Increase entry lower building height from 29'-3" to 32'-0".
    - Increase building parapet height to 30'-4" to provide HVAC screening.
    - Revise window layouts to meet energy code requirements.
    - add entry element to north side of the building facing the courtyard and building B.

PROJECT NUMBER: PR-2021-005473  
Application Number: SI-2021-00709

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger  
Traffic Engineering, Transportation Division  
Blaine Carter  
Parks and Recreation Department  
Ernest Arroyo  
City Engineer/Hydrology  
Robert Webb  
Code Enforcement

Jan 10, 2022  
Date  
Jan 25, 2022  
Date  
Jan 10, 2022  
Date  
Jan 10, 2022  
Date  
Jan 10, 2022  
Date

\* Environmental Health Department (conditional)  
Herman Gallegos  
Solid Waste Management  
DRB Chairperson, Planning Department

Jan 10, 2022  
Date  
12-08-21  
Date  
Jan 25, 2022  
Date

## PROJECT DATA

PROJECT ADDRESS: 7801 LA MORADA, ALBUQUERQUE, NEW MEXICO 87120, LADERA BUSINESS PARK UNIT 1, TRACT 24

ZONE/ATLAS PAGE: H-09-Z, NR-C

PROPOSED USE: MIXED USE, OFFICE & LIGHT INDUSTRIAL.

GROSS ACRES: 2.7 ACRES

BUILDING AREA: 28,725 SF  
BUILDING 100, 2-STORY OFFICE = 9,650 SF  
BUILDING 300, LIGHT INDUSTRIAL (WAREHOUSE W/ OFFICE) = 12,125 SF  
BUILDING 400, OFFICE/CONSTRUCTION CONTRACTOR = 4,950 SF

BUILDING HEIGHT: 30 FEET MAXIMUM.

PARKING REQUIREMENTS: OFFICE AREA = 16,530 SF  
3.5 SPACES PER 1,000 SF = 58 PARKING SPACES  
LIGHT INDUSTRIAL = 10,195  
1 SPACE PER 1,000 SF = 10 PARKING SPACES

ACCESSIBLE PARKING: 4 SPACES REQUIRED

MOTORCYCLE PARKING (TABLE 5-5-4): 3 SPACES REQUIRED; 6 SPACES REQUIRED.

BICYCLE SPACES (TABLE 5-5-5): 3 SPACES OR 10% OF PARKING  
= 7 BICYCLE PARKING SPACES REQUIRED  
LOCATED WITHIN 50 FEET OF BUILDING ENTRY.

VEHICLE STACKING (TABLE 5-5-8): GENERAL BANK OR AUTOMATED TELLER MACHINE OR RETAIL  
= 4 STACKING SPACES REQUIRED

## EASEMENT DESCRIPTIONS

- A EXISTING 100' PNM EASEMENT (04/12/99, BOOK MISC D 348, PGS 43-47)
- B EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- C EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- D EXISTING 25' PRIVATE DRAINAGE EASEMENT (01/22/2004, 2004C-24)  
GRANTED TO OWNERS OF TRACTS 21, 22, & 23 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
- E EXISTING 50' PNM EASEMENT (01/22/2004, 2004C-24)

## LEGEND (REFER TO LANDSCAPE PLAN FOR MATERIALS)

- GRAVEL
- PAVING: ASPHALT
- INTERNAL WALKWAYS: CONCRETE
- PEDESTRIAN WALKWAY: CONCRETE PAVERS
- CURB AND GUTTER: REFER TO DETAIL C4 SHEET ASS01
- CLEAR SITE TRIANGLE: REFER TO GENERAL NOTE 4.

## VICINITY MAP









**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

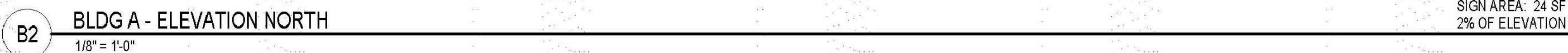
PACIFIC CACTUS LLC

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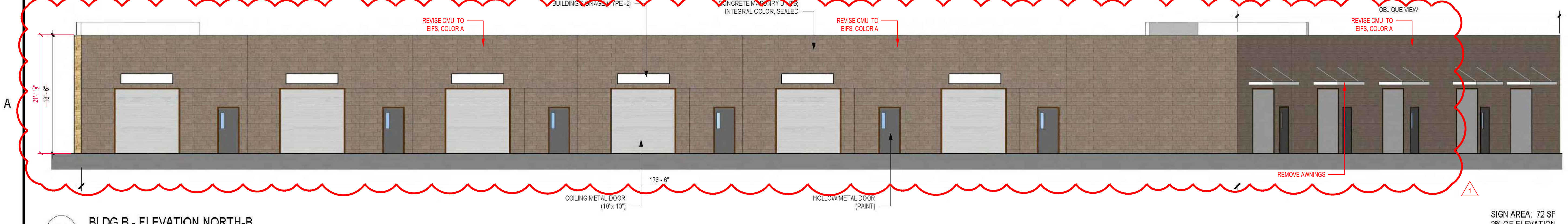
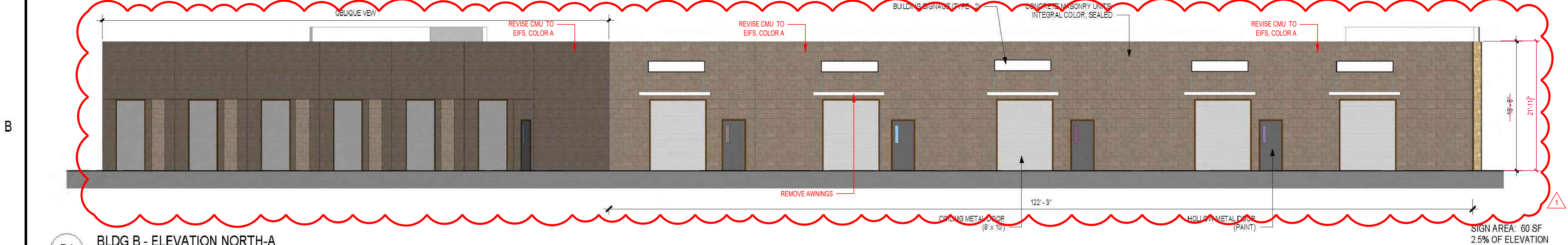
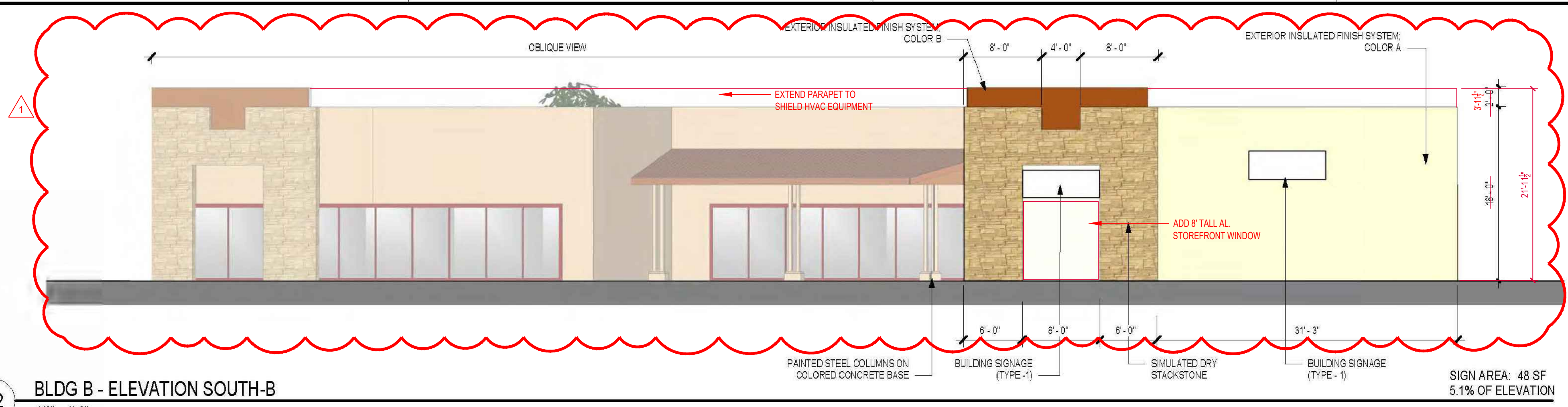
## BLDG A - EXTERIOR ELEVATIONS

# A-201

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7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

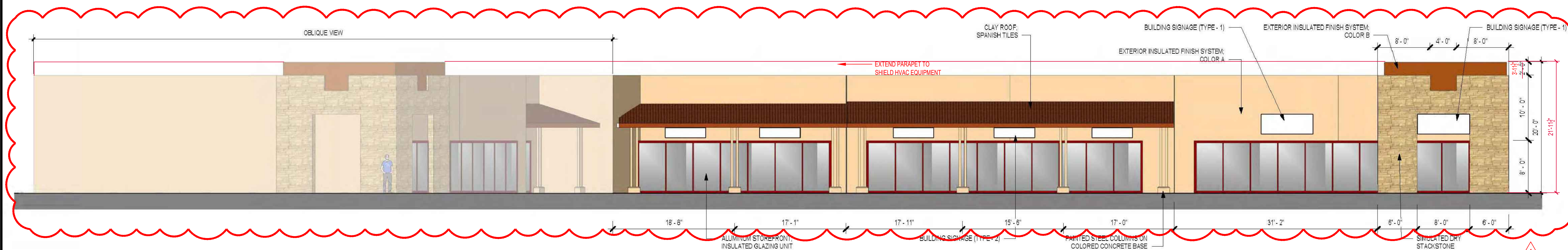
APPROVED BY: STAFF

ISSUE DRAWING LOG:

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B1 BLDG B - ELEVATION WEST-B  
1/8" = 1'-0"

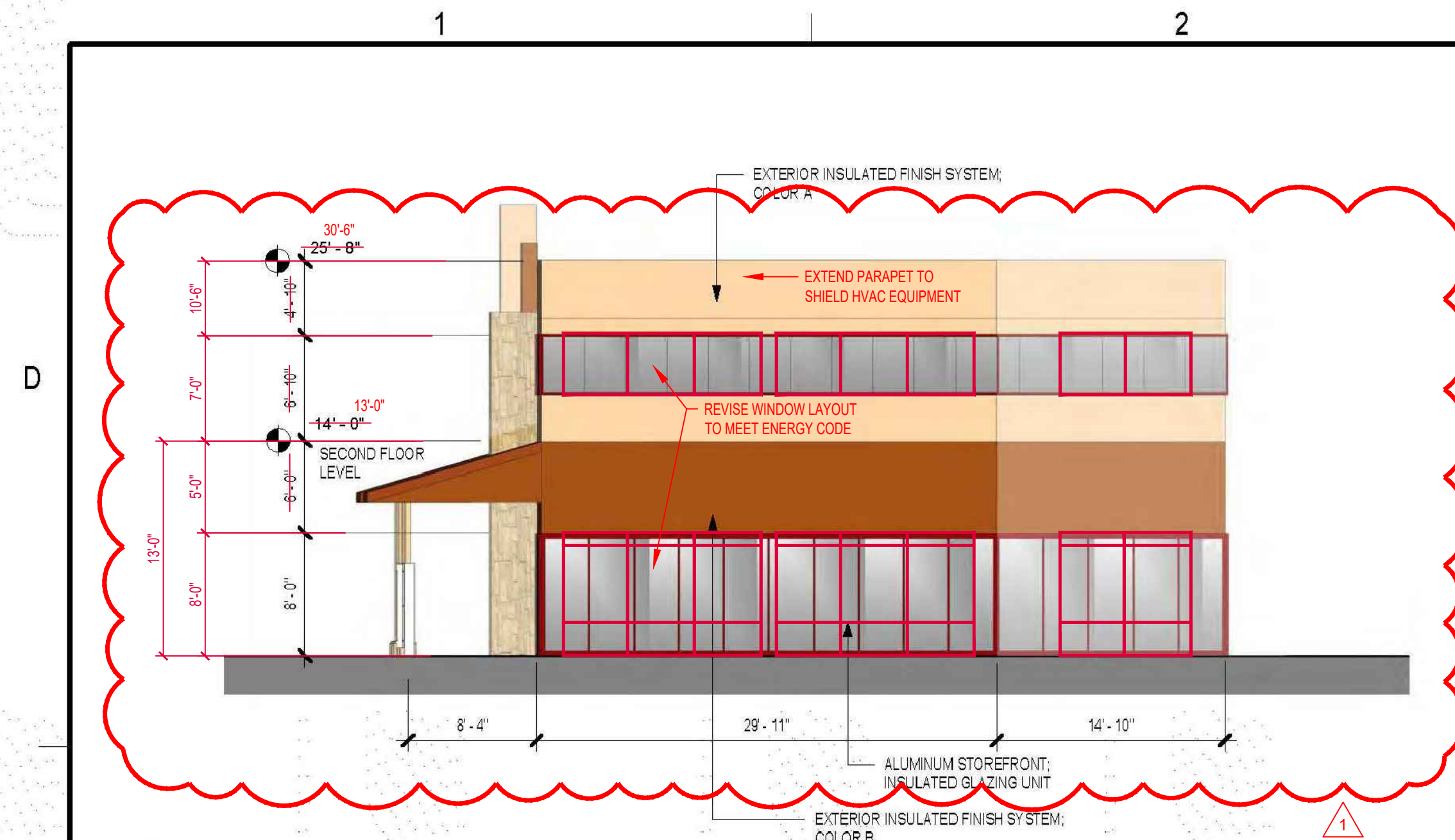
SIGN AREA: 108 SQ  
4% OF ELEVATION



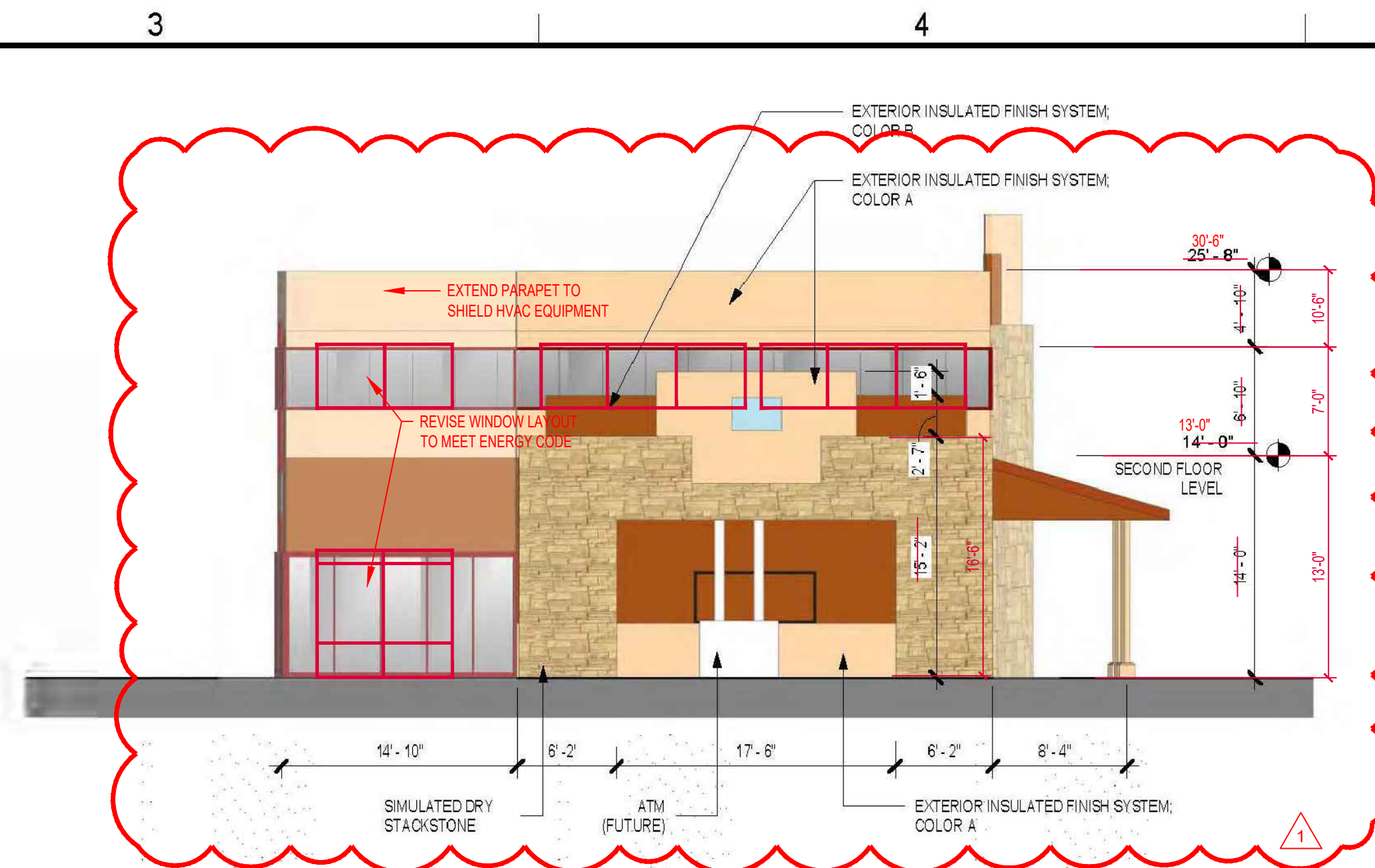
A1 BLDG B - ELEVATION WEST-A  
1/8" = 1'-0"

SIGN AREA: 24 SF  
2% OF ELEVATION

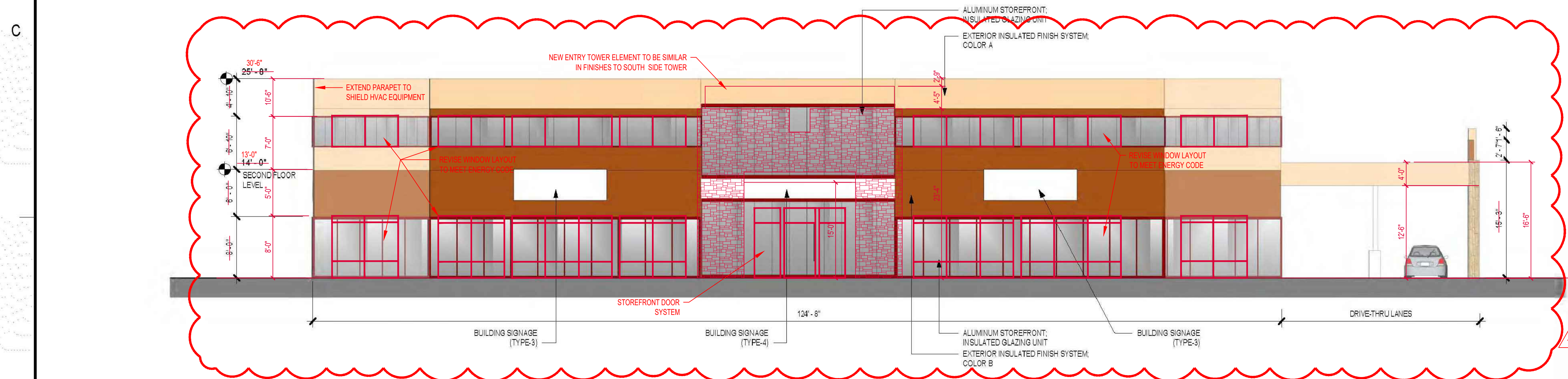




D1 BLDG C - ELEVATION EAST  
1/8" = 1'-0"



D3 BLDG C - ELEVATION WEST  
1/8" = 1'-0"



B1 BLDG C - ELEVATION NORTH  
1/8" = 1'-0"

SIGN AREA: 86 SF  
2.7% OF ELEVATION



A1 BLDG C - ELEVATION SOUTH  
1/8" = 1'-0"

SIGN AREA: 48 SF  
1.5% OF ELEVATION

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**ADVANCEDDESIGN<sup>SM</sup>**

**NOT FOR CONSTRUCTION**

**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

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## BLDG C - EXTERIOR ELEVATIONS

**A-204**

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