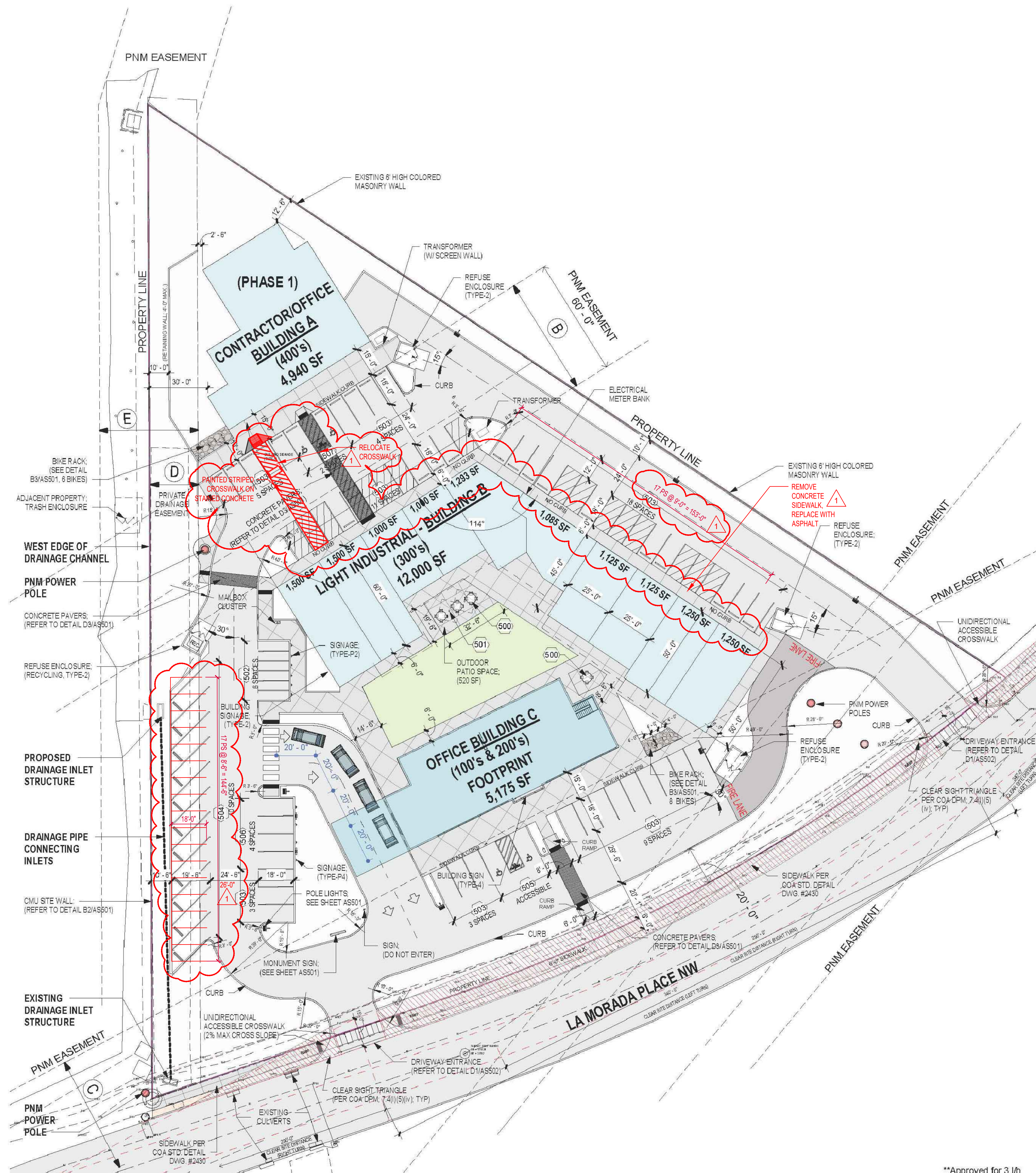


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C

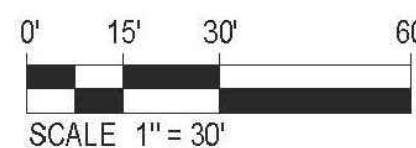
B

A



A1 SITE PLAN  
1" = 30'-0"

\*\*Approved for 3 lb  
and 1 recycle lb  
Herman Gallegos  
12-08-21\*\*



## GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE LADERA BUSINESS PARK SPECIFICATIONS. ALL CRITERIA MUST BE MET REGARDING SITE LIGHTING, DUMPSTER DETAILS, AND BUILDING DESIGN REQUIREMENTS.
- THE PROJECT IS WITHIN THE CITY OF ALBUQUERQUE (COA) AND SHALL COMPLY WITH COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 6'-0" WIDE ACCESSIBLE ROUTE IS REQUIRED TO CONNECT ALL BUILDING ENTRANCES.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS AT DRIVEWAY ENTRANCES. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ROOFTOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING BASIC MATERIALS.
  - THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHT-OF-WAY.
  - GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. PROVIDE SITE SCREEN WALL PER DETAIL ON SHEET ASS01.
- ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED PER COA STANDARDS (DWG #2441).
- STREET LIGHTS SHALL MEET THE FOLLOWING SPECIFICATION: G.E. 100 WATT, BRONZE, LUMEN SHOEBOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.
  - PROVIDE FULL CUT-OFF IN COMPLIANCE WITH STATE OF NEW MEXICO NIGHT SKY ORDINANCE.
- PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION REQUIREMENTS.
- NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- SITE LIGHTING DESIGN TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS, OR ROADWAYS WITH UNNECESSARY GLARE OR REFLECTION.
- SOLID WASTE NO CONSTRUCTION WASTE, HAZARDOUS MATERIALS, OR DEMOLITION MATERIALS ARE TO BE PLACED IN REFUSE CONTAINERS.

## SHEET KEYNOTES

- 500 PATIO FURNITURE: PATIO TABLES, MYT00AT 48 INCH ROUND, COATED EXPANDED METAL OR EQUAL
- 501 PATIO FURNITURE: SHADE STRUCTURE: (1) SKYWAYS 20'x40' DOUBLE CANTILEVER H/1 PAR OR EQUAL
- 502 MOTORCYCLE PARKING STALL: SEE SHEET ASS02.
- 503 STANDARD PARKING STALL: SEE SHEET ASS02.
- 504 ANGLE PARKING STALL: SEE SHEET ASS02.
- 505 ACCESSIBLE PARKING STALL: SEE SHEET ASS02.
- 506 PARKING SPACE WITH ELECTRIC VEHICLE CHARGING STATION: SEE SHEET ASS02.
- 507 VAN ACCESSIBLE PARKING STALL AND CROSSING AISLE: SEE SHEET ASS02.

- Minor Amendment:
- Site Plan:
    - Revise parking at west site to head in and add 6 stalls.
    - Increase width of drive aisle from 24'-6" to 26'-0".
    - Adjust location of pedestrian crosswalk at north end of site and paint 4" wide strips at 45 degrees 2'-0" o.c.
    - Eliminate concrete sidewalk at north and east side of building B.
    - Reduce parking stalls at east side of site from 18 to 17 to allow for actual size requirement of trash enclosure.
    - Revise total parking count from 72 stalls to 77 total stalls.
    - Eliminate all phasing for project and to install landscaping.
  - Building A Elevations:
    - Increase building height from 21'-0" to 23'-1" to provide HVAC screening.
    - Add 3'x10' opening in parapet for access for HVAC installation to avoid overhead power lines.
  - Building B Elevations:
    - Increase building height from 20'-0" to 22'-0" to provide HVAC screening.
    - Replace CMU veneer with EIFS.
    - Remove awnings at overhead garage doors.
    - Add 3'x10' opening in parapet for access for HVAC installation to avoid overhead power lines.
  - Building C Elevations:
    - Increase entry tower building height from 29'-3" to 32'-0".
    - Increase building parapet height to 30'-6" to provide HVAC screening.
    - Revise window layouts to meet energy code requirements.
    - Add entry element to north side of the building facing the courtyard and building B.

PROJECT NUMBER: PR-2021-005473

Application Number: SI-2021-00709

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved CRO plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Jeanne Wolfenbarger

Traffic Engineering, Transportation Division

Blaine Carter

ABCD

Blaine Carter

Parks and Recreation Department

Ernest Arroyo

City Engineer/Hydrology

Robert Webb

Code Enforcement

\* Environmental Health Department (conditional)

Herman Gallegos

Solid Waste Management

DRB Chairperson, Planning Department

Jan 10, 2022

Date

Jan 25, 2022

Date

Jan 10, 2022

Date

Jan 10, 2022

Date

Jan 10, 2022

Date

Date

12-08-21

Date

Jan 25, 2022

Date

## PROJECT DATA

PROJECT ADDRESS: 7801 LA MORADA ALBUQUERQUE, NEW MEXICO 87120 LADERA BUSINESS PARK UNIT 1 TRACT 24

ZONE/ATLAS PAGE: H-09-Z DO ZONE DISTRICT:

PROPOSED USE: MIXED USE, OFFICE & LIGHT INDUSTRIAL.

GROSS ACRES: 2.7 ACRES BUILDING AREA: 28,725 SF BUILDING 100, 2-STORY OFFICE = 9,650 SF BUILDING 300, LIGHT INDUSTRIAL (WAREHOUSE W/ OFFICE) = 12,125 SF BUILDING 400, OFFICE/CONSTRUCTION CONTRACTOR = 4,950 SF

BUILDING HEIGHT: 30 FEET MAXIMUM.

PARKING REQUIREMENTS: OFFICE AREA = 16,530 SF 3.5 SPACES PER 1,000 SF = 58 PARKING SPACES LIGHT INDUSTRIAL = 10,195 1 SPACE PER 1,000 SF = 10 PARKING SPACES **72 TOTAL SPACES REQUIRED 73 PARKING SPACES PROVIDED 77 PARKING SPACES PROVIDED**

ACCESSIBLE PARKING: = 4 SPACES REQUIRED

MOTORCYCLE PARKING (TABLE 5-5-4): = 3 SPACES REQUIRED; 6 SPACES REQUIRED.

BICYCLE SPACES (TABLE 5-5-5): 3 SPACES OR 10% OF PARKING = 7 BICYCLE PARKING SPACES REQUIRED LOCATED WITHIN 80 FEET OF BUILDING ENTRY.

VEHICLE STACKING (TABLE 5-5-8): GENERAL BANK OR AUTOMATED TELLER MACHINE OR RETAIL = 4 STACKING SPACES REQUIRED

## EASEMENT DESCRIPTIONS

- A EXISTING 100' PNM EASEMENT (04/12/99, BOOK MISC D 348, PGS 43-47)
- B EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- C EXISTING 60' PNM EASEMENT (01/13/2020, DOC #2020003277)
- D EXISTING 25' PRIVATE DRAINAGE EASEMENT (01/22/2004, 2004C-24) GRANTED TO OWNERS OF TRACTS 21, 22, & 23 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
- E EXISTING 50' PNM EASEMENT (01/22/2004, 2004C-24)

## LEGEND

(REFER TO LANDSCAPE PLAN FOR MATERIALS)

- GRAVEL
- PAVING: ASPHALT
- INTERNAL WALKWAYS: CONCRETE
- PEDESTRIAN WALKWAY: CONCRETE PAVERS
- CURB AND GUTTER: REFER TO DETAIL C4 SHEET ASS01
- CLEAR SITE TRIANGLE: REFER TO GENERAL NOTE 4.

## VICINITY MAP



LEGAL DESCRIPTION  
TR 24 PLAT FOR LADERA BUSINESS PARK  
UNIT 1 CONT 2.7185 AC

## HUITT-ZOLLARS

6501 Americas Parkway  
Suite 830  
Albuquerque, New Mexico 87110  
(505) 883-8114  
www.huittzollars.com

## ADVANCEDESIGN™



NOT FOR CONSTRUCTION

## LADERA BUSINESS PARK UNIT 1 - CACTUS PATCH PLAZA

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

MARK DATE DESCRIPTION

## SITE PLAN

AS101

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**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

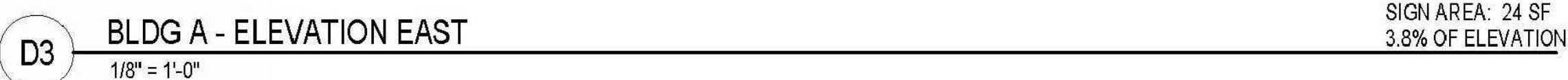
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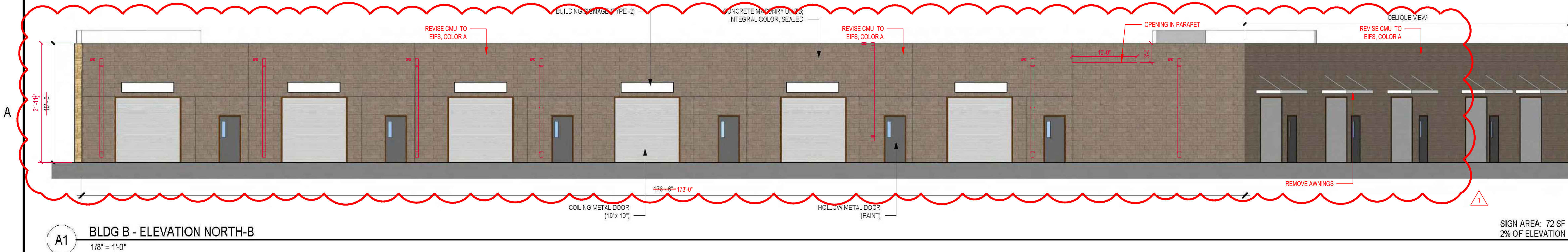
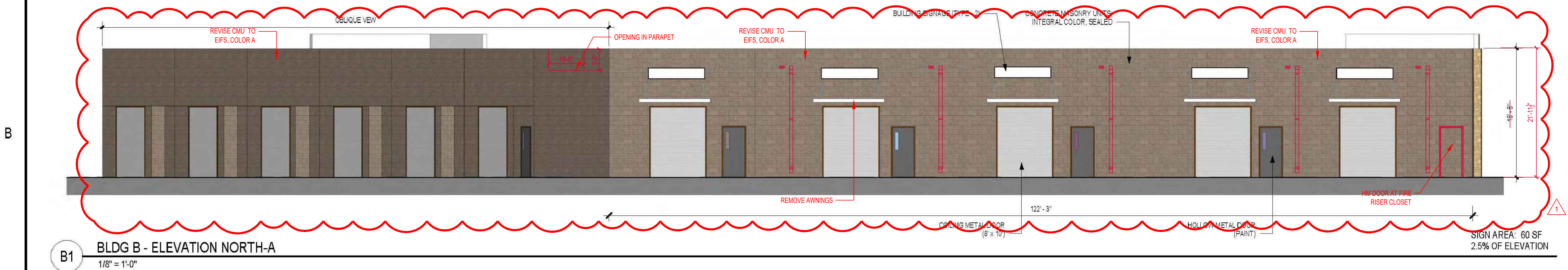
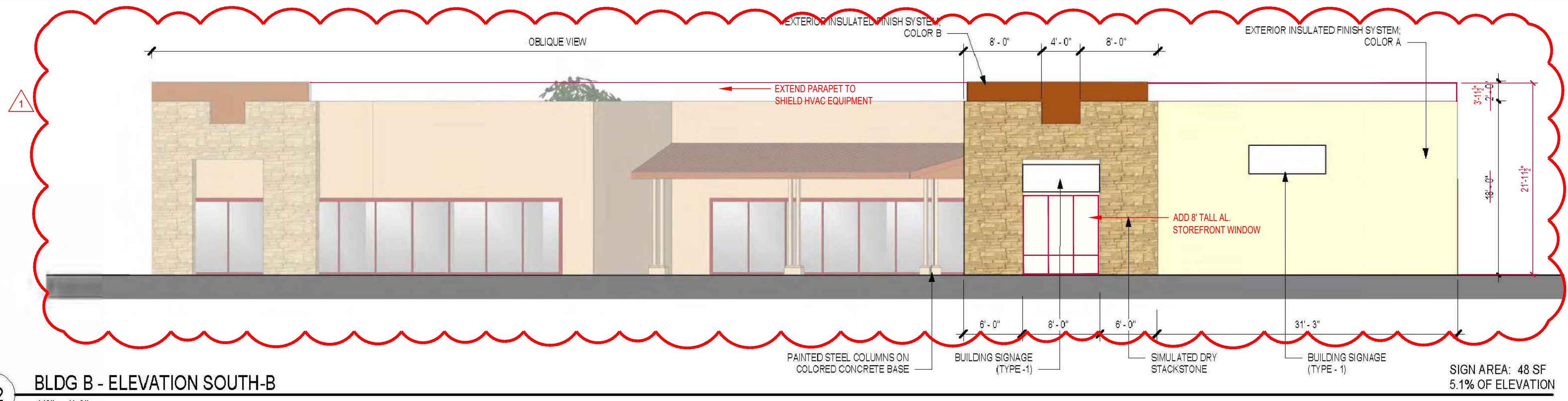
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# BLDG A - EXTERIOR ELEVATIONS

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1

2

3

4

5

D

C

B

A

B4 WEST ELEVATION

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

OBLIQUE VIEW

CLAY ROOF,  
SPANISH TILES

BUILDING SIGNAGE (TYPE - 1)

EXTERIOR INSULATED FINISH SYSTEM,  
COLOR B

BUILDING SIGNAGE (TYPE - 1)

EXTEND PARAPET TO  
SHIELD HVAC EQUIPMENT

REVISE WINDOW LAYOUT

REVISE WINDOW LAYOUT

ALUMINUM STOREFRONT  
INSULATED GLAZING UNIT

BUILDING SIGNAGE (TYPE - 2)

PAINTED STEEL COLUMNS ON  
COLORED CONCRETE BASE

SIMULATED DRY  
STACKSTONE

1

B1

BLDG B - ELEVATION WEST-B

1/8" = 1'-0"

SIGN AREA: 108 SF  
4% OF ELEVATION

OBLIQUE VIEW

EXTEND PARAPET TO  
SHIELD HVAC EQUIPMENT

ADDED WINDOW

EXTERIOR INSULATED FINISH SYSTEM,  
COLOR A

BUILDING SIGNAGE (TYPE - 1)

SIMULATED DRY  
STACKSTONE

A1

BLDG B - ELEVATION WEST-A

1/8" = 1'-0"

SIGN AREA: 24 SF  
2% OF ELEVATION

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## LADERA BUSINESS PARK UNIT 1 - CACTUS PATCH PLAZA

7801 LA MORADA PLACE NW  
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

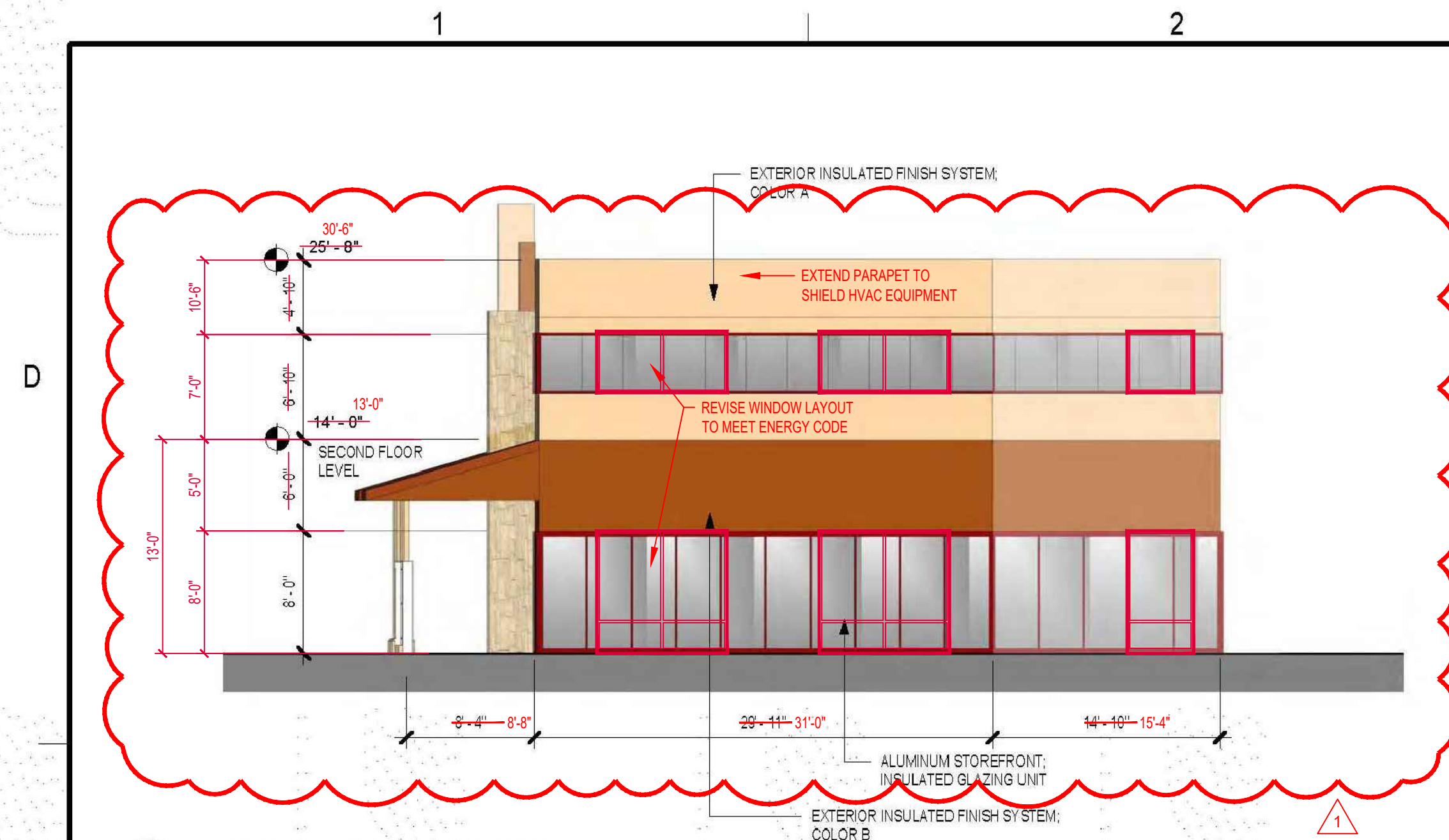
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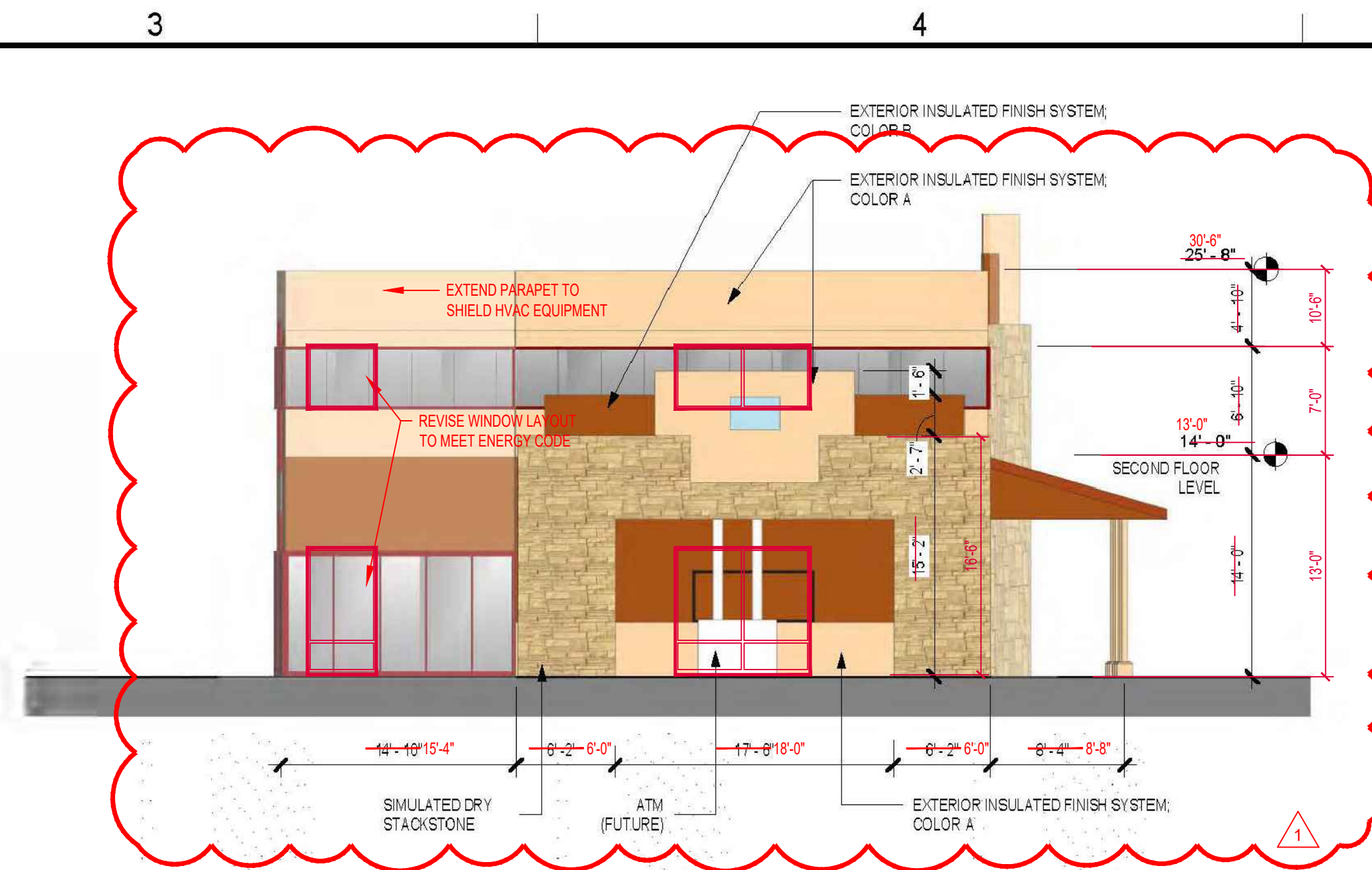
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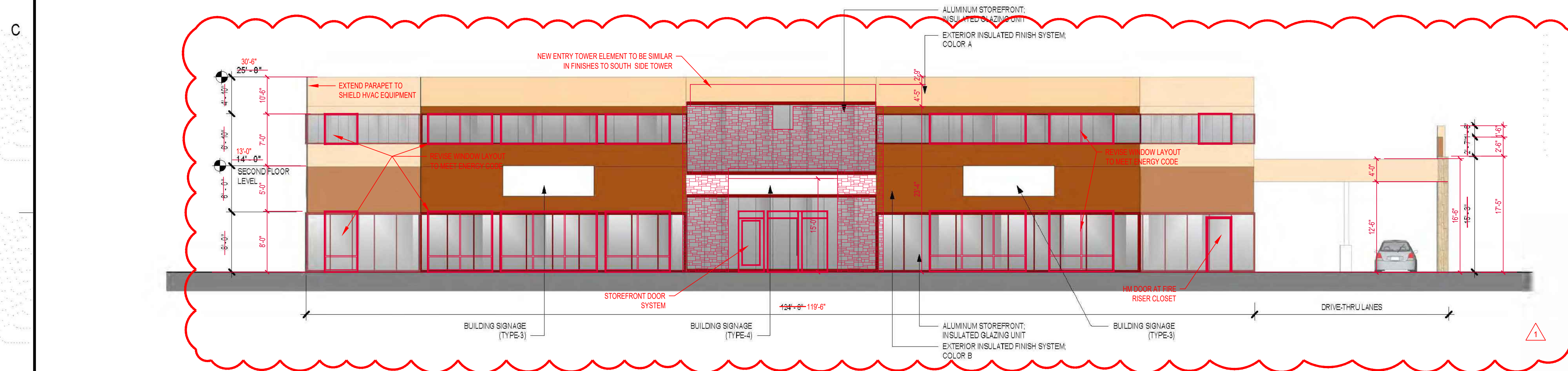




D1 BLDG C - ELEVATION EAST  
1/8" = 1'-0"



D3 BLDG C - ELEVATION WEST  
1/8" = 1'-0"



B1 BLDG C - ELEVATION NORTH  
1/8" = 1'-0"



**A1** BLDG C - ELEVATION SOUTH  
1/8" = 1'-0"

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**LADERA  
BUSINESS  
PARK UNIT 1 -  
CACTUS  
PATCH PLAZA**

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PACIFIC CACTUS LLC

[illegible]

# BLDG C - EXTERIOR ELEVATIONS

**A-204**

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