



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Exterior remodel involving repainting the exterior of the store and replacement of the current sign package. Install new sign package per proposed plan.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ☒ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ☒ 4) Letter of authorization from the property owner if application is submitted by an agent
- ☒ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ 6) The approved Site Plan being amended
- ☒ 7) Copy of the Official Notice of Decision associated with the prior approval
- ☒ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

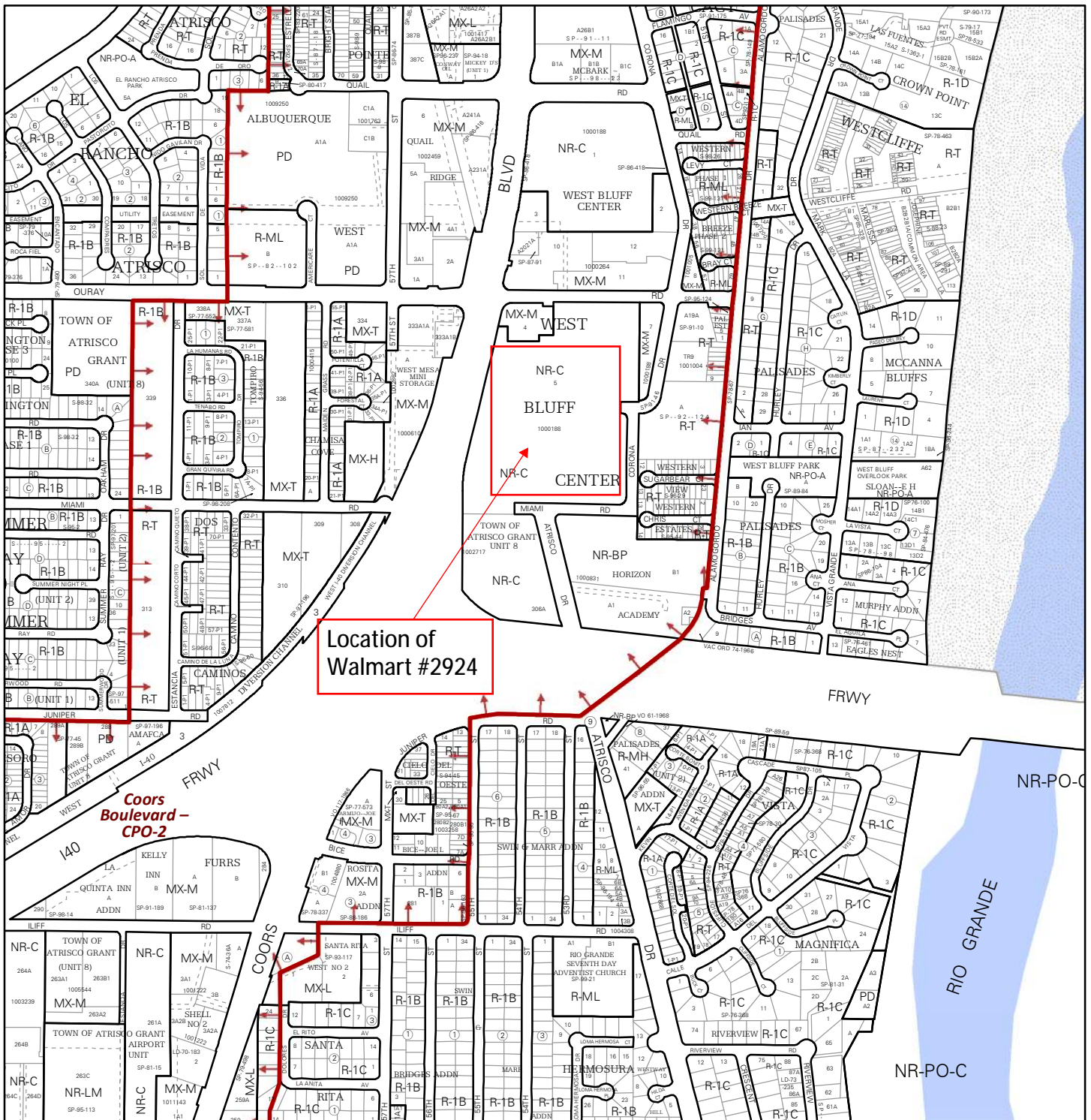
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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

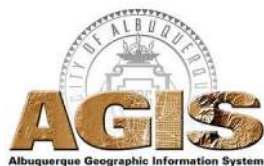
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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

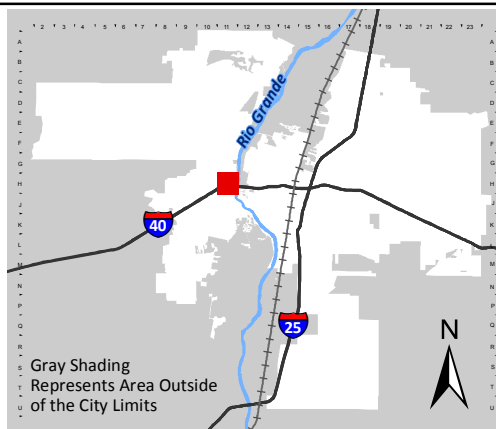


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-11-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet



2608 SE J St
Bentonville, AR 72712

Date: February 29, 2024

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

To Whom it May Concern:

I hereby authorize:

Jeffrey Davis / Permit Coordinator
pb2 architecture + engineering
4886 West Pauline Whitaker Pkwy.
Rogers, AR 72758
479-636-3545

To act as the agent on our behalf for sign applications, permits, and variance at the below address:

Walmart #2924
2550 Coors Blvd. NW
Albuquerque, NM 87120

Sincerely,

DocuSigned by:

Charity Sanchez

1BE8231F489B42A...

Charity Sanchez for Walmart REBT, Property Owner

Property Owner Name:	Wal-Mart Real Estate Business Trust
Property Owner Address:	PO Box 8050 MS 0555 Bentonville, AR 72716
Phone Number:	479-273-4000



4886 west pauline whitaker parkway, suite 200
rogers, arkansas 72758
Phone: 479.636.3545

March 14, 2024

City of Albuquerque – Planning Department
Land Development Coordination
600 Second Street NW
Albuquerque, NM 87109

Re: Walmart #2924 located at 2550 Coors Blvd. NW
Exterior paint and sign update.

The scope of work for this Minor Amendment to Site Plan is to update the exterior paint color scheme and to update the exterior signs to match the current Walmart prototype. Also, part of the scope of work will be to replace the existing faces in the freestanding sign with new faces. There will be no change to the size, shape, dimensions, or height of this sign, only the faces will be removed, and new faces installed.

Walmart's plan for the exterior paint is to use the 3 shades of tan colors accented by the Walmart Blue color over each entrance to the store, behind the Walmart logos, behind the Pickup sign, and behind the Auto Care sign.

The new exterior signs will be better positioned to direct customers already in the parking lot to the goods and services that they are there to receive. The Pickup service is being relocated from the left elevation side of the store to the right elevation side of the store, so the Pickup sign needs to be relocated as well. The Pickup sign is also dropping the Spark logo and replacing it with a directional arrow pointing to the Pickup parking area. Walmart has condensed its logo as well as some of the signs. The result of this is an overall decrease in the amount of square footage of sign space on the building. Currently the store has a total building sign square footage of 819.92 sq. ft. The proposed total building sign square footage will be 620.90 sq. ft.

Per §14-16-6-4(Z)(1)(a), I will address all the criteria regarding this minor amendment request:

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
 - a. In looking at the original Notice of Decision I do not see information pertaining to the exterior colors of the store or exterior signs. The proposed building colors are 3-tones of tan with the Walmart Blue accent color. The exterior sign square footage will decrease from 819.92 sq. ft. to 620.90 sq. ft.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.
 - a. The proposed changes are in line with the thresholds established in Table 6-4-4.
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
 - a. The proposed changes are cosmetic in nature and only affect the paint and signs on the outside of the building. There will be no changes needed to public infrastructure or significant changes to circulation patterns on this site.

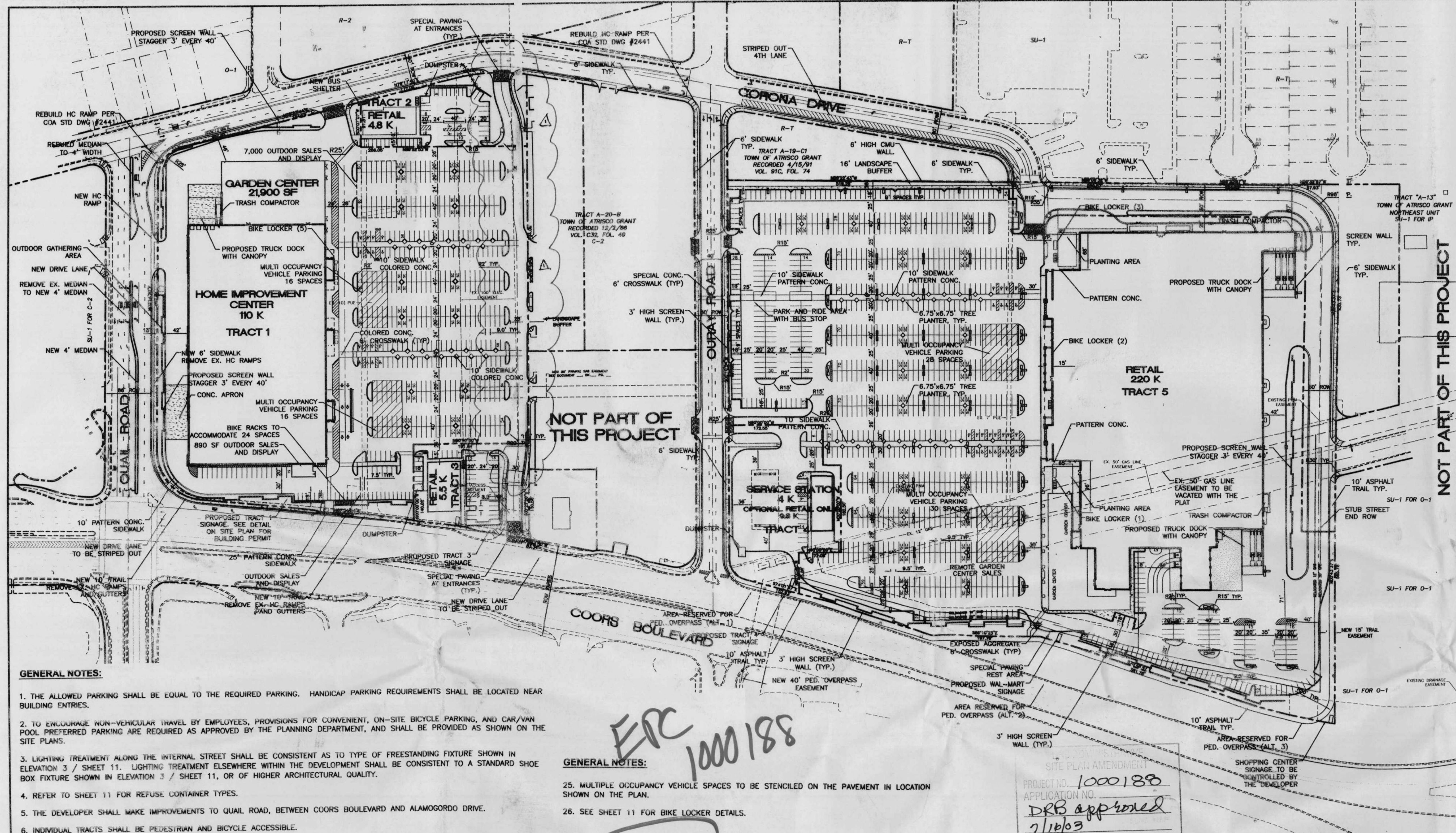
4. No Deviations, Variances, or Waivers shall be granted for minor amendments.

Please feel free to contact me with any questions.

Thank you,



Jeffrey Davis – Permit Coordinator
pb2 architecture + engineering
4886 west pauline whitaker parkway, suite 200
Rogers, AR 72758
jeff.davis@pb2ae.com



LEGAL DESCRIPTION
TRACT A QUAIL RIDGE SHOPPING CENTER. TRACT A-2122-A TOWN OF ATRISCO GRANT. TRACT A-19-C2 TOWN OF ATRISCO NORTHEAST UNIT. TRACT A-1-A LANDS OF KOMADINA. TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT. TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT 8

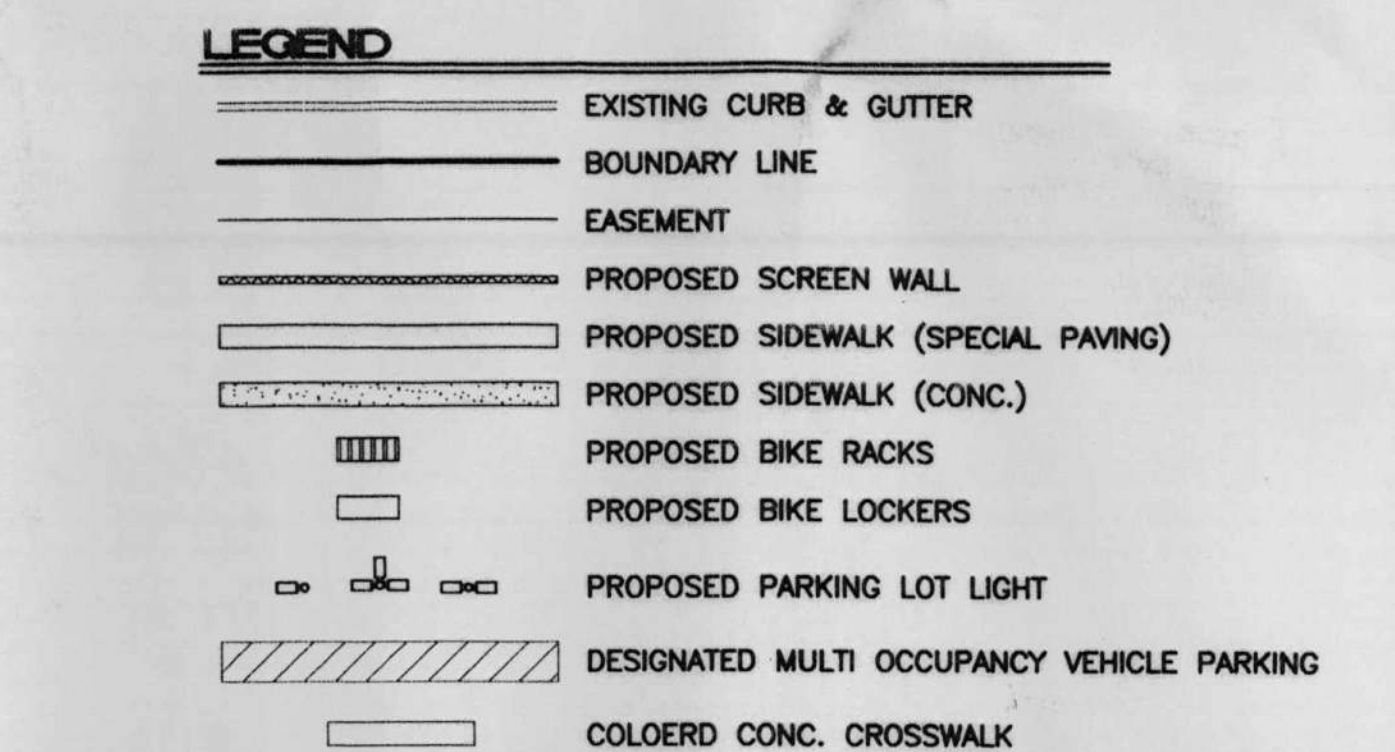
CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	57.78	589.50	05°36'56"	28.91
C2	33.69	306.62	06°17'45"	16.86
C3	49.22	38.00	74°12'50"	28.75
C4	34.31	136.00	14°27'18"	17.25
C5	33.18	25.00	76°02'51"	19.55
C6	47.37	250.00	10°51'24"	23.76
C7	36.31	150.00	13°52'08"	18.24
C8	34.73	136.00	14°38'00"	17.46

SITE DATA TABLE					
TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.
1	9.9922	131,924	RETAIL	SU-1 FOR C-2	0.25
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14
3	0.7626	5,500	RETAIL	SU-1 FOR C-2	0.19
4	1.2510	4,000 *	RETAIL/GAS	SU-1 FOR C-2	0.05
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24

* OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
1	561	529	16	16	29
2	24	49	3	4	2
3	28	40	2	2	2
4	49	52	4	4	1
5	1100	1108	21	24	55

LANDSCAPE DATA	
TOTAL PARKING AREA FOR TRACTS 1, 2, & 3	152,796 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	30,559 SF ±
LANDSCAPE PROVIDED	58,764 SF ±
TOTAL PARKING AREA FOR TRACTS 4 & 5	319,958 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	63,992 SF ±
LANDSCAPE PROVIDED	109,538 SF ±



- GENERAL NOTES:**
- THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING. HANDICAP PARKING REQUIREMENTS SHALL BE LOCATED NEAR BUILDING ENTRIES.
 - TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING, AND CAR/VAN POOL PREFERRED PARKING ARE REQUIRED AS APPROVED BY THE PLANNING DEPARTMENT, AND SHALL BE PROVIDED AS SHOWN ON THE SITE PLANS.
 - LIGHTING TREATMENT ALONG THE INTERNAL STREET SHALL BE CONSISTENT AS TO TYPE OF FREESTANDING FIXTURE SHOWN IN ELEVATION 3 / SHEET 11. LIGHTING TREATMENT ELSEWHERE WITHIN THE DEVELOPMENT SHALL BE CONSISTENT TO A STANDARD SHOE BOX FIXTURE SHOWN IN ELEVATION 3 / SHEET 11, OR OF HIGHER ARCHITECTURAL QUALITY.
 - REFER TO SHEET 11 FOR REFUSE CONTAINER TYPES.
 - THE DEVELOPER SHALL MAKE IMPROVEMENTS TO QUAIL ROAD, BETWEEN COORS BOULEVARD AND ALAMOGORDO DRIVE.
 - INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
 - CROSS ACCESS EASEMENTS SHALL BE PROVIDED.
 - SEE SITE DATA TABLE FOR BUILDING AREAS AND F.A.R.'S. THIS SHEET.
 - CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
 - CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. (SEE COA WATER AND SEWER AVAILABILITY LETTER DATED 2-15-99)
 - PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
 - ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
 - NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY AS INDICATED IN THE ELEVATIONS.
 - UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
 - ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
 - BASED ON THE TRAFFIC IMPACT STUDY FOR THE SITE AT COORS & I-40, DATED JULY 22, 1999, AND PREPARED BY TERRY O. BROWN, INTENSITY OF DEVELOPMENT IS TO BE MAINTAINED IN ACCORDANCE WITH THE TIS. ANY PROPOSAL SUBSTANTIALLY EXCEEDING THE TIS & AQUA MAY REQUIRE A TIS AMENDMENT.
 - ALL H.C. RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
 - EMPLOYEE LOCKERS, SHOWERS, DINING FACILITY/BREAK ROOM AND OUTDOOR GATHERING/DINING AT THE TWO MAJOR BUILDINGS SHALL BE PROVIDED. (AS SHOWN ON THE SITE PLAN FOR BUILDING PERMIT)
 - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
 - OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
 - SEE DETAILS SHEET EXTERIOR FINISH NOTE #8 FOR ALL SPECIAL CONCRETE AREAS
 - CHAIN LINK FENCING SHALL NOT BE USED.
 - LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

GENERAL NOTES:

25. MULTIPLE OCCUPANCY VEHICLE SPACES TO BE STENCILED ON THE PAVEMENT IN LOCATION SHOWN ON THE PLAN.

26. SEE SHEET 11 FOR BIKE LOCKER DETAILS.

CASE NUMBER: Z - 99 - 38 DRB 91-030

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division **8-9-00** Date

Public Works, General Services Department **8-9-00** Date

Public Works, Water Utilities Division **8-9-00** Date

City Engineer, Engineering Division / AMAFCA **9-27-00** Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual. **9/27/00** Date

City Planner, Albuquerque / Bernalillo County Planning Division **9-15-2000** Date

Solid Waste **9-15-2000** Date

PLNZ (10706) 4/96

SHEET INDEX

- OVERALL SITE PLAN FOR SUBDIVISION
- GRADING PLAN
- MASTER UTILITY PLAN
- SITE PLAN FOR SUBDIVISION TRACTS 1, 2, AND 3
- SITE PLAN FOR BUILDING PERMIT TRACTS 1, 2, AND 3
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ELEVATIONS TRACT 1
- ELEVATIONS TRACT 2 AND 3
- DETAILS
- SITE PLAN FOR SUBDIVISION TRACTS 4 AND 5
- SITE PLAN FOR BUILDING PERMIT TRACTS 4 AND 5
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- GRADING AND DRAINAGE PLAN DETAILS
- MASTER UTILITY PLAN
- ELEVATIONS TRACT 4
- ELEVATIONS TRACT 5

Revised Elevations Sheet 10A & 10B

GRAPHIC SCALE

100 50 0 50 100

SCALE: 1"=100'

Added Access to Southern Parcel

ENGINEER'S SEAL

WEST BLUFF RETAIL CENTER

OVERALL SITE PLAN FOR SUBDIVISION

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG

DATE
8-09-00

EPC-SP.DWG

SHEET #
1

JOB #
980063

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 17, 1999

OFFICIAL NOTIFICATION OF DECISION

Geltmore, Inc.
4408 Canyon Court NE
Albuq. NM 87111

FILE: Z-99-38

LEGAL DESCRIPTION: For land generally located in the northeast quadrant of Coors Boulevard and I-40, more particularly described as Tract A, Quail Ridge Shopping Center; Tract A-2122-A, Town of Atrisco Grant; Tract A-19-C2 and A-19-C1, Town of Atrisco Grant; Tract A-1-A, Tract A-15-A and Tract A-16-A, Town of Atrisco Grant; Tract 330, Tract 331-A and Tract 332, Town of Atrisco Grant, containing a total of approximately 35 acres. (H-11) Bob Torres, Staff Planner (DEFERRED FROM AUGUST 19, 1999)

On September 16, 1999, the Environmental Planning Commission voted to approve Z-99-38, a site plan for subdivision based on the following Finding and subject to the following Conditions:

FINDINGS:

1. This is a request for a Site Plan Subdivision for a 34 acre site located on the northeast quadrant of Interstate I-40 and Coors Boulevard NW creating 5 tracts on 2 separate parcels.
2. This Site Plan for Subdivision request is filed in conjunction with a related Site Plan for Building Permit. Together these approvals will permit an approximately 347,000 square foot commercial development.
3. This request is in general conformance with applicable plans and policies of the *Comprehensive Plan* the *Coors Corridor Plan*, *West Side Strategic Plan* and applicable City ordinances.

The existing zoning on the site is SU-1 for C-2 Uses and C-2. The commercial uses proposed by the site development plan are allowed under the existing zoning. Both zone categories require EPC site plan review. The C-2 zone requires EPC site plan approval because it is a parcel larger than 5 acres which brings it under the Zoning Code Shopping Center regulations. (*Zoning Code*, Section 14-16-3-2, page 206).

CONDITION:

1. The site shall be replatted to conform to the Site Plan for Subdivision.
-

On September 16, 1999, the Environmental Planning Commission voted to approve Z-99-38, a site plan for building permit based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a Site Plan for Building permit for a 347,00 square foot commercial development on a 34 acre site located on the northeast quadrant of Interstate I-40 and Coors Boulevard NW.
2. This request is in general in conformance with applicable plans and policies of the *Comprehensive Plan* which allow a full range of urban land uses in the Established Urban Area, and state that new growth shall be accommodated through development in areas where vacant land is contiguous to existing or programed urban facilities and services and where the integrity of existing neighborhoods can be assured and that the location, intensity, and design of new development shall respect existing neighborhood values.
3. This site is located in the Coors Boulevard Community Adjacent Area of the *West Side Strategic Plan*. The Plan recommended uses for the adjacent area are medium to high density residential, open space, education and religious uses. However, the existing zoning of C-2 and SU-1/C-2 allows commercial development as proposed.
4. This request is in conformance with the *Coors Corridor Plan* which calls for mixed use development and commercial development at this location and for maintenance of Coors Boulevard as a limited access highway.
5. The City's Air Quality Division is actively seeking permanent and temporary air quality monitoring sites on the Westside and the applicant has agreed to work with the AQD to establish the necessary easement on this site.
6. The applicant has supplied the Transit Department with a TDM program proposal. Agreement has been reached with transit regarding on site transit facilities but these facilities are not reflected on the present plan.
7. The Interstate Corridor Enhancement Plan (ICEPlan) draft recommends "El Pedregal - Rock Garden" theme for I-40. The proposed landscaping along Coors Boulevard and toward I-40 should reflect this theme. The developer has expressed willingness to work with the City and the New Mexico State Highway and Transportation Department to do so.

OFFICIAL NOTICE OF DECISION

SEPTEMBER 16, 1999

9-38

PAGE 3

8. The applicant intends to continue the 10' wide landscaped trail along the now vacant parcel between the north and south parcels of this request pending that owner's approval.
9. Landscape regulations of the *Zoning Code* require a 10' landscape buffer and a 6' opaque wall between a parking area of a commercial use and a residential zone. (*Zoning Code*, Section 14-16-3-10(E)(4)(a)(c), page 221.
10. The City Attorney's Office has indicated that in cases where the uses desired by a general plan are in conflict with the uses allowed by the zoning ordinance, the zoning ordinance will prevail.
11. WSSP policy 1.3. States that the plan is "... is not intended to affect the uses allowed in commercial zones or to alter the current zone of any properties." (WSSP, page 42.)
12. The *West Side Strategic Plan* does not restrict the location of regional shopping centers to the West Side Regional Center at Seven Bar Ranch.
13. The *Comprehensive Plan* does not restrict the location of regional shopping centers to Urban Centers.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal to the DRB indicating how the site plan has been modified to meet each of the EPC conditions.
2. Designate five percent of the total parking spaces as multiple occupancy vehicle parking located near building entrances, and identified on the site plan.
3. Locate five bicycle locker units at convenient locations and identify them on the site plan.
4. Provide employee lockers, showers, dining facility/break room and outdoor gathering/dining at the two major buildings.
5. Refuse enclosures and lift bins shall be located in accessible locations acceptable to the Solid Waste Management Department.
6. Pedestrian crossings of vehicle circulation areas shall be minimum 6' wide, of an alternative textured material and slightly raised. Where parking spaces are perpendicular or angled to pedestrian walks, the pedestrian walk shall be protected by providing tire stops so that parked cars do not overlap the pedestrian walk or by making the walk 10' wide if there is parking on one, 10' wide if there is parking on both sides.
7. Pedestrian areas in front of major buildings shall be minimum 15' wide; 10' wide in front of smaller buildings.

HA-29-

000516

8. Average light levels shall be limited to 2 foot candles with maximum levels limited to 16 foot candles as measured from 4 feet above the surface level of any point on the site. Luminaries shall have glare cut off angles of maximum 75 degrees.
9. Off premise signs shall not be permitted on this site.
10. Roof equipment shall be below parapet height.
11. Reserve an easement for a landing area for a pedestrian bridge across Coors Boulevard at the southeast corner of the intersection of Coors and Ouray Road.
12. A buffer consisting of a 6' high opaque wall and 15' landscape strip shall be provided between the Walmart parking lot and the R-T zone.
13. Enlarged plans of plazas and pedestrian rest areas showing street furniture shall be provided prior to DRB approval.
14. The landscape plan shall reflect landscape areas in front of Walmart as indicated on the site plan.
15. Landscaping on the south side of Walmart shall be located on the south side of the screen wall rather than the north side of the wall as shown.
16. Provide details of the sales area fencing, which shall be painted wrought iron or tubular metal. Chain link fence shall not be used.
17. Comply with the following Transportation Department recommended conditions:
 - A) The implementation of and/or monetary contributions for mitigation measures as required by the TIS negotiations between the developer and the City must be completed prior to DRB sign-off.
 - B) Compliance with requirements of the Coors Corridor Plan and the Westside Strategic Plan;
 - C) Compliance with requirements of the NMSH&TD regarding compatibility of the site plan with the existing I-40 / Coors Interchange.
 - D) Dedication or transfer of rights-of-way as appropriate and construction of needed improvements, such as acceleration / deceleration lanes, channelization, signalization, bus bays. The DPM standards must be met, i.e., the minimum rights-of-way and curvature for proposed large vehicles on proposed street realignments.
 - E) Access to the adjacent parcels must be provided via a 60 public right-of-way or a 30 foot access easement. Stub street configuration are permissible for short distances, 150 or less.
 - F) The site access, circulation pattern, structure orientation / configuration must be constructed to the satisfaction of the Traffic Engineer. This includes the layout of the parking areas which require modification to meet minimum DPM standards.
 - G) Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional handicapped ramps should be used at all entrances.

OFFICIAL NOTICE OF DECISION

SEPTEMBER 16, 1999

.99-38

PAGE 5

- H) Location of walls, fences and signs must meet the clear sight distance requirements.
 - I) Provision of street trees and landscaping on Coors Boulevard and Quail Road.
 - J) Construction of 10 foot pedestrian bicycle trail on Coors Boulevard.
 - K) Dedication of right-of-way for a pedestrian crossing structure over Coors Boulevard. Provisions for internal paths connecting the structure with the trail east of the development. A Pedestrian Overcrossing of Coors Boulevard at Ouray Road may provide an alternate access route for pedestrians and bicycles from the west side of Coors due to the massive configuration of the Coors / Quail Intersection.
 - L) Service / loading areas must be provided for on-site, and served by a 30 foot unobstructed service drive. Provision for adequate turnaround area for large vehicles in the dock areas. Construction of 25 foot corner radii are required for the service route.
18. Pedestrian accesses with material of different types shall be installed on the perimeter pedestrian ways to the smaller retail stores.
19. Add architectural elements similar to the front elevations for the side and rear elevations of the two large buildings. Such elements shall include towers, varied roof and parapet treatments wall offsets, building plane offsets and related techniques to reduce massing and break up large facades.
20. Additional landscaping for purposes of buffering the neighborhood shall be added to the east side of the Walmart.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY OCTOBER 1, 1999 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

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OFFICIAL NOTICE OF DECISION

SEPTEMBER 16, 1999

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PAGE 6

Sincerely,



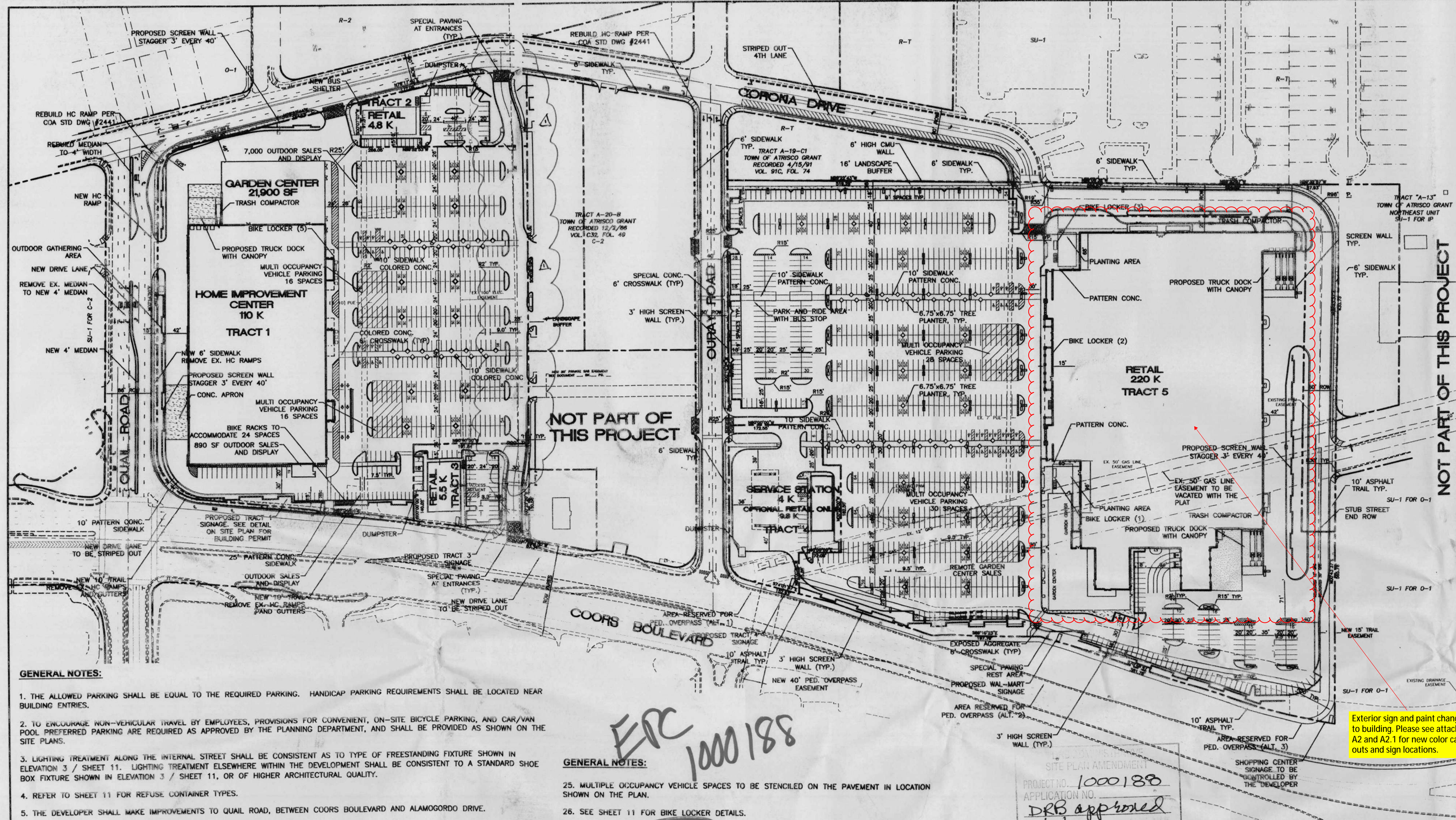
FOR Robert R. McCabe, AIA, APA
Planning Director

RM/BT/ac

cc: Dekker, Perich & Sabatini, 6801 Jefferson NE, Suite 100, Albuquerque, NM 87109
Tony Sousa, P.O. Box 66136, Albuquerque, NM 87193-6136
Dean McCann, 1719 Tierra del Oso Dr. NW, Albuquerque, NM 87120
Pam Micker, 2608 Sol de Vida NW, Albuquerque, NM 87120
Ernie Saiz, 2701 Los Compadres NW, Albuquerque, NM 87120
Bob & Joan Pratt, 3220 Grande Vista Pl. NW, Albuquerque, NM 87120
John Myers, 1401 Central Ave. NW, Albuquerque, NM 87104
J. Douglas Guinn, 3131 Vista Grande Pl. NW, Albuquerque, NM 87120
Joe Valles, 500 Central Ave. SE, Albuquerque, NM 87102
Bruce Feldman, 8010 Mountain Rd. NE, Albuquerque, NM 87110
Mary Utton, 3400 Grande Vista Pl. NW, Albuquerque, NM 87120
Antoine Predock, 300 12th Street NW, Albuquerque, NM 87102
Adele Williams, Ladera East Neigh. Assoc., 2823 Prenda de Oro, Albuquerque, NM 87120
Raymond J. Bahm, 2513 Kimberley Ct. NW, Albuquerque, NM 87120
RW, Kirschner, 5004 Grande Vista NW, Albuquerque, NM 87120
Lou Trost, 3225 Grande Vista Pl. NW, Albuquerque, NM 87120
Paul Bolton, 820 72nd St. NW, Albuquerque, NM 87120
Bob McCannon, 2808 El Tesoro Escondido, Albuquerque, NM 87120
Larry Weaver, 6001 Unitas Ct. NW, Albuquerque, NM 87114
John Benavidez, 4912 Laurene Ct. NW, Albuquerque, NM 87120
Louis Tafoya, 6411 Avalon Rd. NW, Albuquerque, NM 87105
Billy Quintana, 733 Vista del Camino NW, Albuquerque, NM 87120
Enedelia Guajardo, 2501 Alamogordo NW, Albuquerque, NM 87120
Robert Sully, 2216 Alamogordo NW, Albuquerque, NM 87120
Shane Youtz, 2929 Coors Blvd. Ste 100, Albuquerque, NM 87120
Ray Ruiz, 4901 El Aguila, Albuquerque, NM 87120
John Steinhart, 5000 Sequoia Rd. NW, Albuquerque, NM 87120
Gerri Paiz, 6913 Roble Blanco Dr. SW, Albuquerque, NM 87105
Jeri Vargas, 481 Loma Hermosa Dr. NW, Albuquerque, NM 87105
Albert Kolb, 2330 La Vista Ct. NW, Albuquerque, NM 87120-1025
ET Realty, 1625 San Patricio Ave. SW, Albuquerque, NM 87104
Mr. & Mrs. Richard Saylor, 5565 Eakes Rd. NW, Albuquerque, NM 87107
Ann & Frances Kimadina & Mary Cullender, Lewinger Hamilton Inc., 2340 Menaul NE, Suite 200, Albuquerque, NM 87107
Linda Socha, 3516 Vista Grande NW, Albuquerque, NM 87120

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GENERAL NOTES:

1. THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING. HANDICAP PARKING REQUIREMENTS SHALL BE LOCATED NEAR BUILDING ENTRIES.
2. TO ENCOURAGE NON-VEHICULAR TRAVEL BY EMPLOYEES, PROVISIONS FOR CONVENIENT, ON-SITE BICYCLE PARKING, AND CAR/VAN POOL PREFERRED PARKING ARE REQUIRED AS APPROVED BY THE PLANNING DEPARTMENT, AND SHALL BE PROVIDED AS SHOWN ON THE SITE PLANS.
3. LIGHTING TREATMENT ALONG THE INTERNAL STREET SHALL BE CONSISTENT AS TO TYPE OF FREESTANDING FIXTURE SHOWN IN ELEVATION 3 / SHEET 11. LIGHTING TREATMENT ELSEWHERE WITHIN THE DEVELOPMENT SHALL BE CONSISTENT TO A STANDARD SHOE BOX FIXTURE SHOWN IN ELEVATION 3 / SHEET 11, OR OF HIGHER ARCHITECTURAL QUALITY.
4. REFER TO SHEET 11 FOR REFUSE CONTAINER TYPES.
5. THE DEVELOPER SHALL MAKE IMPROVEMENTS TO QUAIL ROAD, BETWEEN COORS BOULEVARD AND ALAMOGORDO DRIVE.
6. INDIVIDUAL TRACTS SHALL BE PEDESTRIAN AND BICYCLE ACCESSIBLE.
7. CROSS ACCESS EASEMENTS SHALL BE PROVIDED.
8. SEE SITE DATA TABLE FOR BUILDING AREAS AND F.A.R.'S. THIS SHEET.
9. CROSS INGRESS/EGRESS, PEDESTRIAN STORM DRAINAGE AND UTILITY EASEMENTS ARE PROVIDED TO EACH TRACT.
10. CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE PROPERTIES MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE. (SEE COA WATER AND SEWER AVAILABILITY LETTER DATED 2-15-99)
11. PARKING AREAS SHALL BE LANDSCAPED TO INCLUDE SHADE TREES TO REDUCE NEGATIVE VISUAL AND HEAT-SINK EFFECTS. ALL SPACES SHALL BE WITHIN 50 FEET OF A TREE TRUNK.
12. ALL H.C. RAMPS AT CORNER AND DRIVE LOTS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
13. NO GENERIC BUILDING ELEVATIONS SHALL BE PERMITTED. BUILDINGS SHALL RELATE ARCHITECTURALLY AS INDICATED IN THE ELEVATIONS.
14. UPLIGHTING OF MONUMENT SIGNS WILL NOT BE ALLOWED.
15. ALL HVAC/ROOF EQUIPMENT UNITS WILL BE BELOW PARAPET HEIGHT OR SCREENED FROM PUBLIC VIEW, WITH THE ENCLOSURE AT LEAST AS HIGH AS THE EQUIPMENT. (SEE ELEVATIONS FOR SPECIFIC HEIGHT)
16. BASED ON THE TRAFFIC IMPACT STUDY FOR THE SITE AT COORS & I-40, DATED JULY 22, 1999, AND PREPARED BY TERRY O. BROWN, INTENSITY OF DEVELOPMENT IS TO BE MAINTAINED IN ACCORDANCE WITH THE TIS. ANY PROPOSAL SUBSTANTIALLY EXCEEDING THE TIS & AQA MAY REQUIRE A TIS AMENDMENT.
17. ALL HC RAMPS ARE UNIDIRECTIONAL AT ALL ENTRANCES INTO THE SITE. (NOT AT BUILDINGS)
18. EMPLOYEE LOCKERS, SHOWERS, DINING FACILITY/BREAK ROOM AND OUTDOOR GATHERING/DINING AT THE TWO MAJOR BUILDINGS SHALL BE PROVIDED. (AS SHOWN ON THE SITE PLAN FOR BUILDING PERMIT)
19. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM 75°.
20. OFF PREMISE SIGNS SHALL NOT BE PERMITTED ON THIS SITE.
21. SEE DETAILS SHEET EXTERIOR FINISH NOTE #8 FOR ALL SPECIAL CONCRETE AREAS
22. CHAIN LINK FENCING SHALL NOT BE USED.
24. LOCATION OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS. (AS PER DPM STANDARDS)

GENERAL NOTES:

25. MULTIPLE OCCUPANCY VEHICLE SPACES TO BE STENCILED ON THE PAVEMENT IN LOCATION SHOWN ON THE PLAN.
26. SEE SHEET 11 FOR BIKE LOCKER DETAILS.

00450 - 00000 - 00235
00450 - 00000 - 00124 PROJECT# 1000188

CASE NUMBER: Z - 99 - 38 DRB 91-030

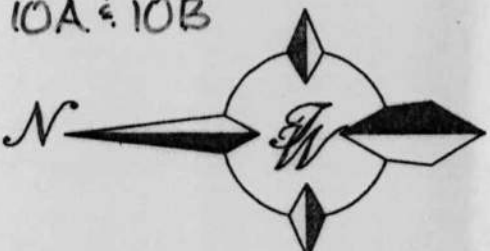
This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

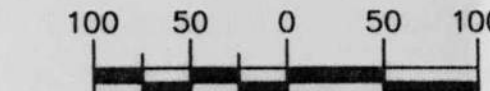
[Signature] Date 8-09-00
Traffic Engineer, Transportation Division
[Signature] Date 8-9-00
Public Works General Services Department
[Signature] Date 8-9-00
Public Works Water Utilities Division
[Signature] Date 9-27-00
City Engineer, Engineering Division / AMAFCA
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
[Signature] Date 9/27/00
City Planner, Albuquerque / Bernalillo County Planning Division
[Signature] Date 8-15-2000
Solid Waste
PLNZ (10706) 4/96

SHEET INDEX

1. OVERALL SITE PLAN FOR SUBDIVISION
2. GRADING PLAN
3. MASTER UTILITY PLAN
4. SITE PLAN FOR SUBDIVISION TRACTS 1, 2, AND 3
5. SITE PLAN FOR BUILDING PERMIT TRACTS 1, 2, AND 3
6. LANDSCAPE PLAN
7. GRADING AND DRAINAGE PLAN
8. MASTER UTILITY PLAN
9. ELEVATIONS TRACT 1
10. ELEVATIONS TRACT 2 AND 3
11. DETAILS
12. SITE PLAN FOR SUBDIVISION TRACTS 4 AND 5
13. SITE PLAN FOR BUILDING PERMIT TRACTS 4 AND 5
14. LANDSCAPE PLAN
15. GRADING AND DRAINAGE PLAN
16. GRADING AND DRAINAGE PLAN DETAILS
17. MASTER UTILITY PLAN
18. ELEVATIONS TRACT 4
19. ELEVATIONS TRACT 5



GRAPHIC SCALE



SCALE: 1"=100'



LEGAL DESCRIPTION

TRACT A QUAIL RIDGE SHOPPING CENTER. TRACT A-2122-A TOWN OF ATRISCO GRANT. TRACT A-19-C2 TOWN OF ATRISCO NORTHEAST UNIT. TRACT A-1-A LANDS OF KOMADINA. TRACT A-15-A AND A-16-A TOWN OF ATRISCO GRANT. TRACTS 332, 331A, AND 330 TOWN OF ATRISCO GRANT UNIT 8

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	57.78	589.50	05°36'56"	28.91
C2	33.69	306.62	06°17'45"	16.86
C3	49.22	38.00	74°12'50"	28.75
C4	34.31	136.00	14°27'18"	17.25
C5	33.18	25.00	76°02'51"	19.55
C6	47.37	250.00	10°51'24"	23.76
C7	36.31	150.00	13°52'08"	18.24
C8	34.73	136.00	14°38'00"	17.46

SITE DATA TABLE

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
1	9.9922	131,924	RETAIL	SU-1 FOR C-2	0.25	45' SOLAR SETBACK
2	0.8197	4,800	RETAIL	SU-1 FOR C-2	0.14	45' SOLAR SETBACK
3	0.7626	5,500	RETAIL	SU-1 FOR C-2	0.19	45' SOLAR SETBACK
4	1.2510	4,000 *	RETAIL/GAS	SU-1 FOR C-2	0.05	45' SOLAR SETBACK
5	20.6083	220,000	RETAIL	SU-1 FOR C-2	0.24	45' SOLAR SETBACK

* OPTIONAL 9,800 SF RETAIL ONLY BUILDING OR 4,000 RETAIL W/SERVICE STATION

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
1	561	529	16	16	29
2	24	49	3	4	2
3	28	40	2	2	2
4	49	52	4	4	1
5	1100	1108	21	24	55

LANDSCAPE DATA

TOTAL PARKING AREA FOR TRACTS 1, 2 & 3	152,796 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	30,559 SF ±
LANDSCAPE PROVIDED	58,764 SF ±
TOTAL PARKING AREA FOR TRACTS 4 & 5	319,958 SF ±
LANDSCAPE REQUIRED (20% OF PARKING AREA)	63,992 SF ±
LANDSCAPE PROVIDED	109,538 SF ±

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK (SPECIAL PAVING)
- PROPOSED SIDEWALK (CONC.)
- PROPOSED BIKE RACKS
- PROPOSED BIKE LOCKERS
- PROPOSED PARKING LOT LIGHT
- DESIGNATED MULTI OCCUPANCY VEHICLE PARKING
- COLORED CONC. CROSSWALK

ENGINEER'S SEAL

RONALD R. BOHANNON
P.E. #7868

**WEST BLUFF
RETAIL CENTER**

**OVERALL SITE PLAN
FOR SUBDIVISION**

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY BDG

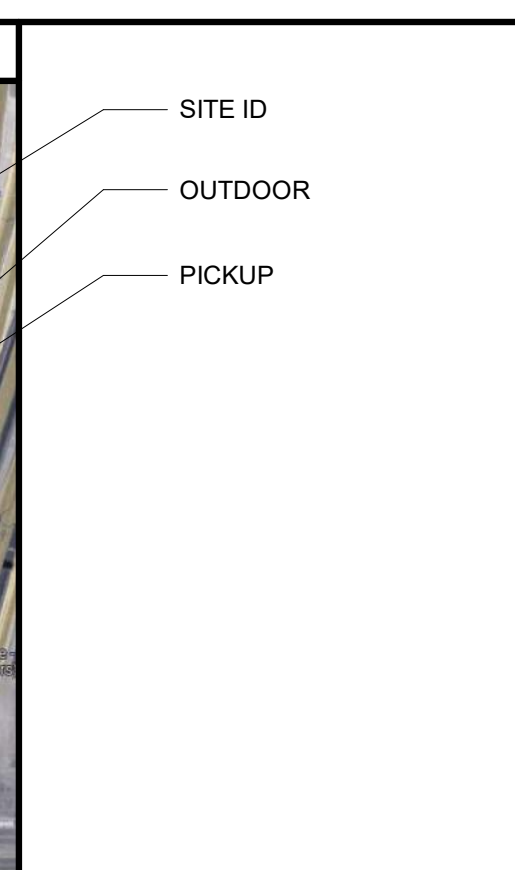
DATE 8-09-00

EPC-SP.DWG

SHEET # 1

JOB # 980063

A Added Access to Southern Parcel



REF 17 - A2.1

$$1'' = 20'-0''$$

Diagram 14 shows the rear elevation of the building. It includes a rear door on the left with a height of 1'2" and a width of 3'0". Above the door is a sign for 'CAP P215E' with a height of 4'-9" TYP. To the right of the door is a large sign for 'Auto Care' with a height of 6'-0" TYP. The sign is divided into sections labeled 1, 2, 3, and 4. Below the sign are two new signs: 'NEW SIGN TYP OF 4 REF 42, A21' and 'NEW SIGN TYP OF 2 REF 10, A21'. The building has a height of 13'-2" and a width of 43'-6". A red circle highlights the rear door and the 'Auto Care' sign. A red arrow points from the yellow box in Diagram 1 to the 'Auto Care' sign.

$$1'' = 20'-0''$$

8 REA
1" = 20'-0"

$$1'' = 20' - 0$$

5 $1'' = 20'-0''$

4 SID
1" = 20'-0"

$$1'' = 20'-0''$$

6 $1'' = 20'$

$$1'' = 20' \cdot 0$$

3 $1'' = 20'-0''$

—

2 1" = 20' 0"

1. 2000

1" = 20'-0"

10


COLOR LEGEND	
P#	COLOR NAME
P5E	SAFETY YELLOW OSHA STANDARD
P21E	SAFETY RED
P33E	CREAM
P36E	BLACK
P76U	WALMART BLUE (URETHANE-LIKE)
P83E	DARK BROWN
P124E	LIGHT BROWN
P215E	LIGHT TAN

SHEET NOTES

1. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED.
2. REPAIR DETAIL SURFACES TO MATCH EXISTING AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
3. REPAIR EXISTING EIFS TO NEAREST PLANE WHERE SIGNAGE IS BEING REMOVED OR REPLACED.
4. NOT USED.
5. REPAIR PAINTING WALL AT LOCATION(S) OF LIT ID LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALLMOUNT CM.
6. PAINTING ADJACENT WALLS' PAINT FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH. PSE FOR ADJACENT BUILDING COLOR UNO.
7. PAINT ANY ROOFTOP GAS PIPING PSE.
 - a. WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDING.
 - b. DO NOT PAINT METER OR VALVES.
8. PAINTING ADJACENT WALLS' PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL COLORS.
9. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY BUILDING, PAINT UNDERSIDE OF CANOPY DECK P336. DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
10. INSTALL BLUE BOLLARD SLEEVES AT ALL ENTRANCE BOLLARDS. PAINT ALL SAFETY BOLLARDS. PSE FOR BOLLARD COLOR.
11. PAINT SECURITY WALL PATCH HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
12. DO NOT PAINT LED WALL PACK HOUSINGS
13. DO NOT PAINT GARDEN CENTER STEEL DOORS AND FRAMES P36E.
14. NOT USED.
15. DO NOT PAINT QUIK-BRICK, FENCE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS.
16. AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REMOVED, REMOVE MASONRY TO MATCH EXISTING COLOR TO MATCH EXISTING COLOR. REF SPEC 09000.
17. PAINT JIB CRANE P36E ON JIB BOOM. PSE ON HANDRAILS.
18. PAINT CRANE LENSES P36E.
 - a. DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.

STIPULATION FOR REUSE

THE DRAWINGS WERE PREPARED FOR
ALBUQUERQUE, NEW MEXICO
DATE OF 10/23/2007 AND IS NOT
TO BE REUSED FOR ANY OTHER
PROJECT SITE OR AT A LATER TIME. USE
OF THESE DRAWINGS FOR ANY OTHER
EXAMPLE OR ANOTHER PROJECT
WITHOUT THE WRITTEN CONSENT OF
LENNARD ARCHITECTS AND ENGINEERS
IS PROHIBITED. ANY REUSE OF THESE
DRAWINGS FOR ANY OTHER PROJECT IS NOT
PERMITTED. ANY REUSE OF THESE DRAWINGS
FOR ANY OTHER PROJECT IS SUBJECT TO
THE LAW.

REMOVED	 <p>ALBUQUERQUE(W), NEW MEXICO 2550 COORS BOULEVARD NORTHWEST STORE NO.02824-246</p>	JOB NUMBER: 208230114 208
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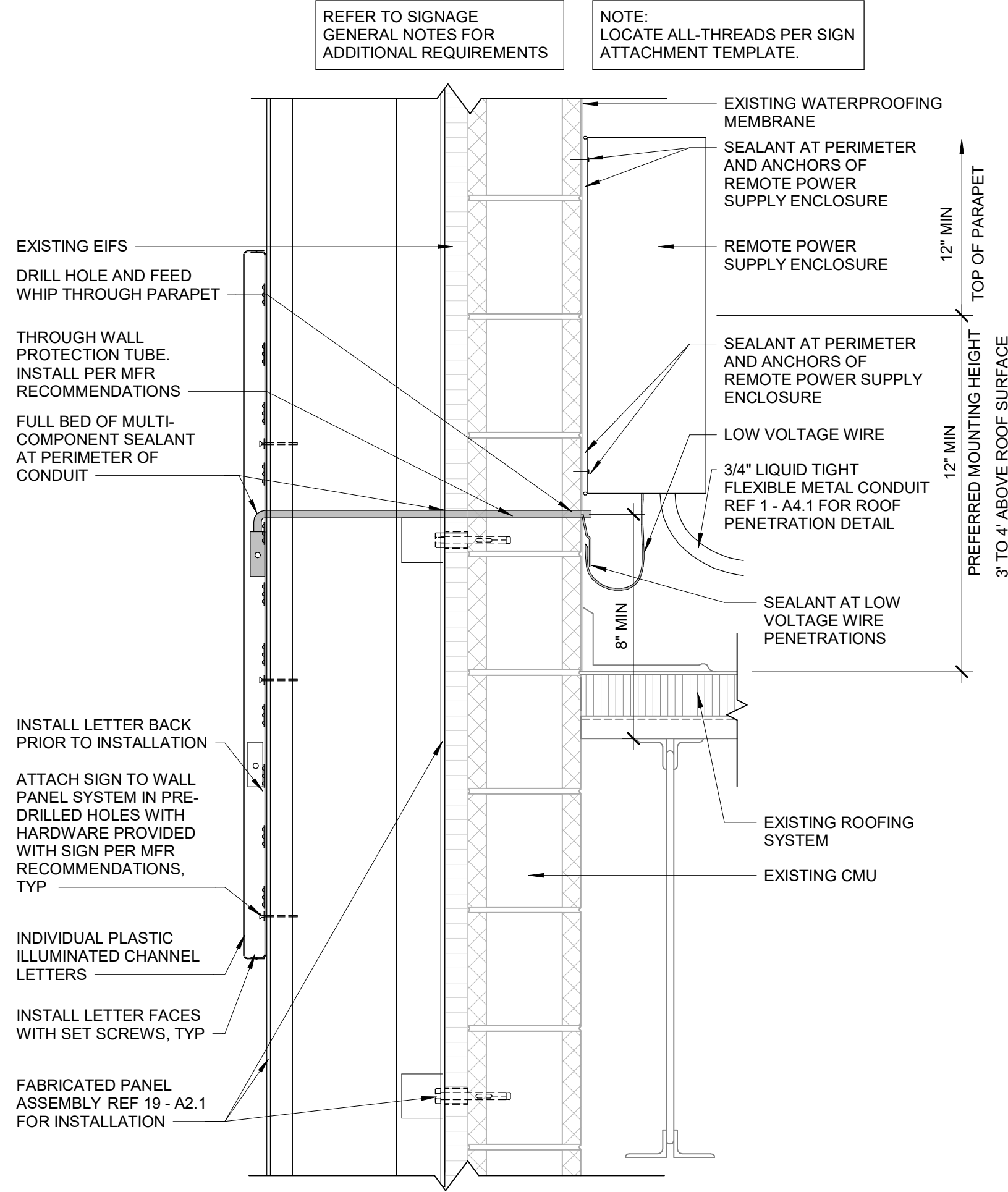
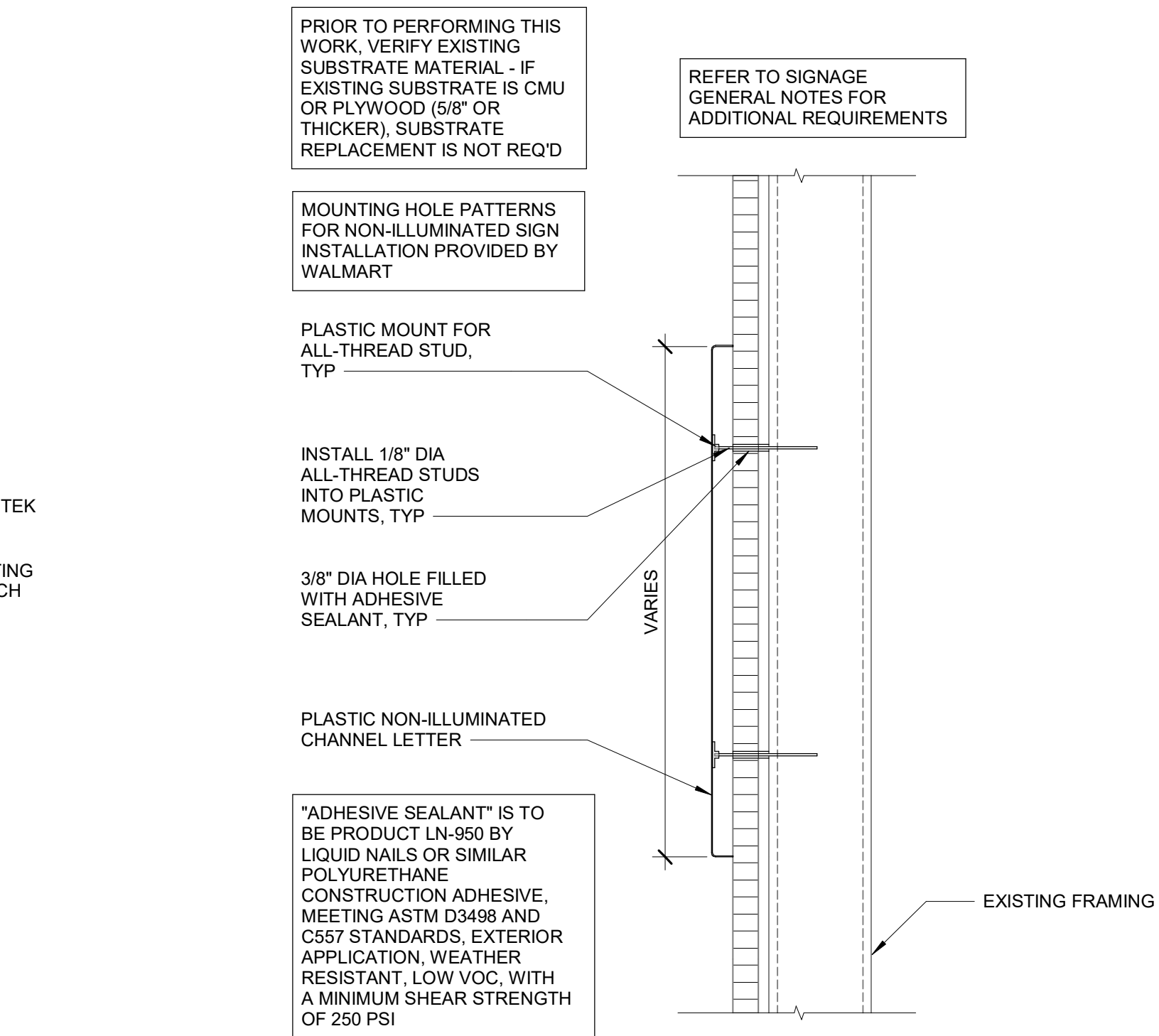
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CHECKED BY:	TB
DRAWN BY:	JGM
PROTO:	208
PROTO CYCLE:	07/28/2023
DOCUMENT DATE:	10/23/2023

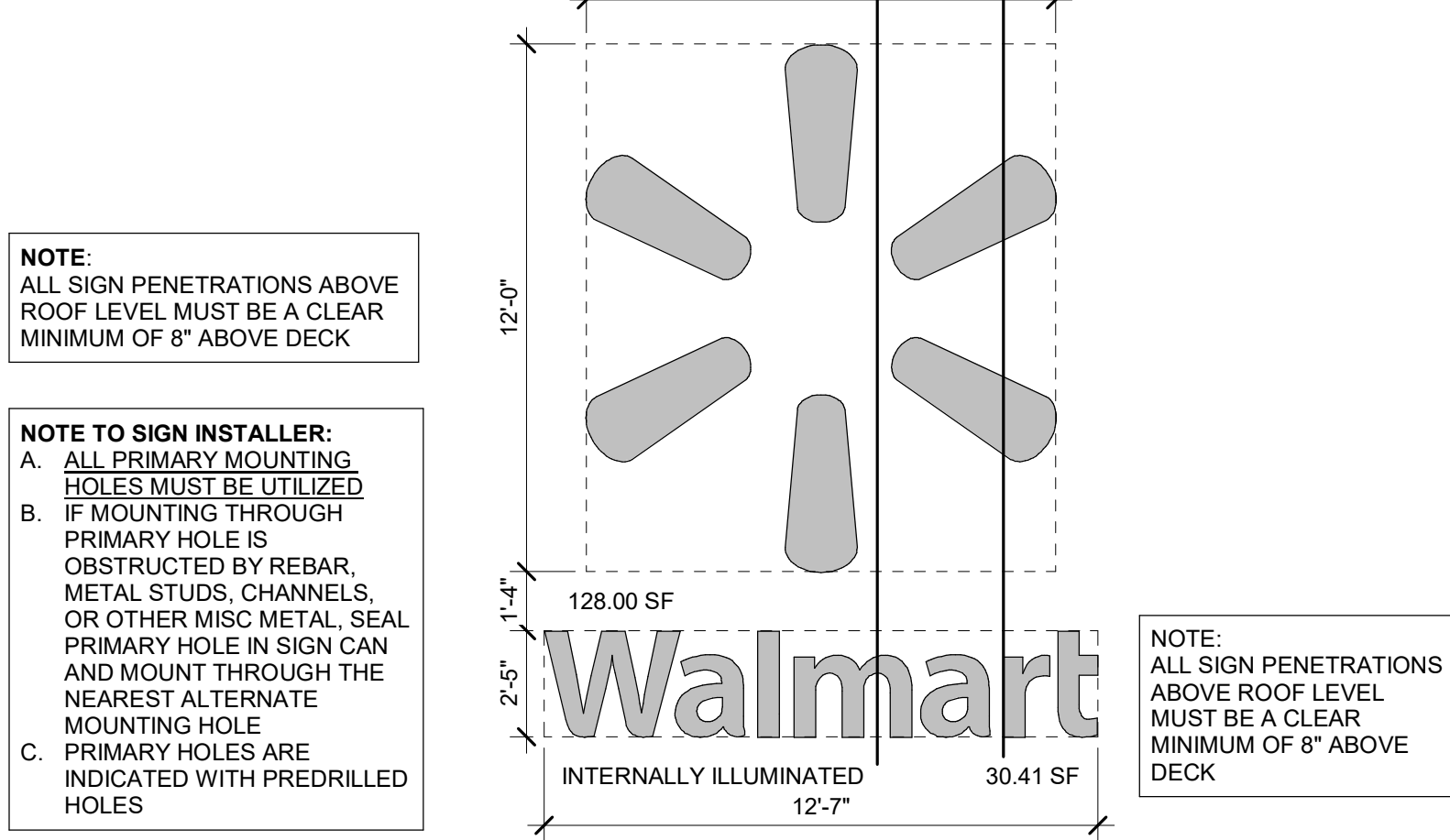
DOCUMENTS THAT DO NOT
HAVE THE ARCHITECT OR
ENGINEER OF RECORD SEAL
AND SIGNATURE SHALL BE
CONSIDERED NOT FOR
CONSTRUCTION

EXTERIOR ELEVATIONS

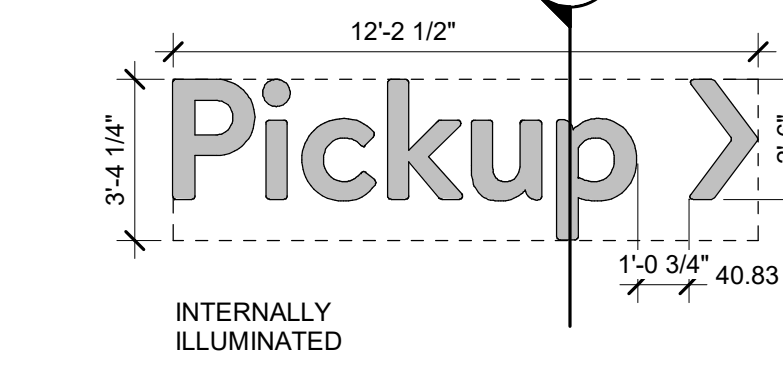
SHEET: A2


$$1\frac{1}{2}'' = 1'-0''$$


16 SIGN
1 1/2" = 1'-0"



ATT A
1 1/2" = 1'-0"



1 12'-0" WALMART SIGN

NEW SIGNAGE SCHEDULE						
SIGNAGE	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart * (Spark)	1	LED	WHITE/YELLOW	12'-0"	158.41	158.41
Pickup >	1	LED	WHITE	2'-6"	40.83	40.83
Home & Pharmacy	1	N/A	WHITE	2'-6"	94.90	94.90
Grocery	1	N/A	WHITE	2'-6"	41.05	41.05
Outdoor	1	N/A	WHITE	2'-0"	20.67	20.67
Vision	1	N/A	WHITE	1'-6"	8.19	8.19
Auto Care >	1	N/A	WHITE	1'-6"	16.25	16.25
Address (2550)	1	N/A	WHITE	1'-0" WHITE	0.00	0.00
FRONT SIGNAGE						380.30
AUTO CARE SIGNAGE						
Auto Care	1	N/A	WHITE	2'-0"	24.75	24.75
Oil Change	2	N/A	BLACK	1'-0" BLACK	9.33	18.66
Tire	4	N/A	BLACK	1'-0" BLACK	2.33	9.33
Auto Numerl 1	1	N/A	BLACK	2'-6" BLACK	4.91	4.91
Auto Numerl 2	1	N/A	BLACK	2'-6" BLACK	4.91	4.91
Auto Numerl 3	1	N/A	BLACK	2'-6" BLACK	4.91	4.91
Auto Numerl 4	1	N/A	BLACK	2'-6" BLACK	4.91	4.91
Auto Numerl 5	1	N/A	BLACK	2'-6" BLACK	4.91	4.91
Auto Numerl 6	1	N/A	BLACK	2'-6" BLACK	4.91	4.91
AUTO CARE SIGNAGE						82.16
REAR SIGNAGE						
Walmart * (Spark)	1	LED	WHITE/YELLOW	12'-0"	158.41	158.41
REAR SIGNAGE						
TOTAL BUILDING SIGNAGE						620.90

SIGNAGE GENERAL NOTES

SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.

A. EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDINGS UNTIL THE GC SIGN COMPLETION IS ON SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED AND REPLACED WITH THE NEW SIGNAGE. ALL SIGNAGE TO BE COMPLETED AT SIGN LOCATIONS. AND SIGNAGE WILL BE INSTALLED PER PLANS.

B. TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND SIGNAGE INSTALLED.

C. TEMPORARY BANNER WILL BE APPROXIMATELY 12' (X25').

D. ALL SIGN WORK SHOULD BE TO BE SCHEDULED AND COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.

E. GENERAL SIGNAGE REQUIREMENTS:

A. BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE LOCATED. EXISTING SIGNAGE TO BE REMOVED. REVIEW SIGN ATTACHMENT DETAILS SHOWN. REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO BE IN ACCORDANCE WITH SECTION 05255. NO DIFFERENCE IN CONSTRUCTION, INCLUDED DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.

B. PROVIDE MATERIALS SUITABLE FOR INSTALLATION SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED IDOLOGO SIGNS.

C. PROVIDE SIGNAGE BOXES AND CIRCUITRY TO "Walmart" and "spark" SIGNAGE. EXISTING (6) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.

D. NOT USED.

E. NOT USED.

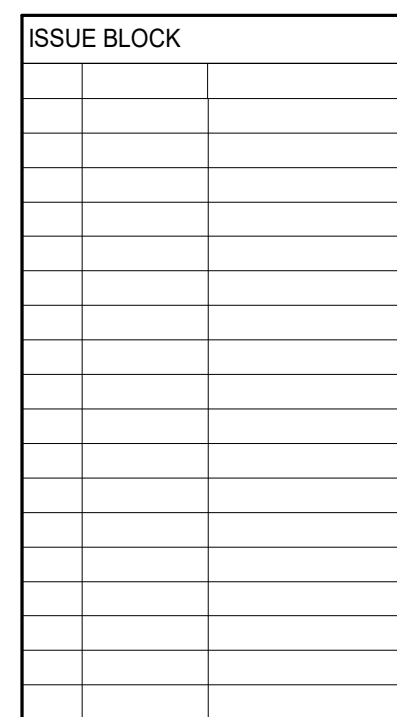
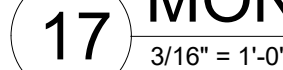
F. VERIFY UTILITY LOCATIONS AT CIRCUITS FEEDING LIGHTED SIGNAGE.

G. MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.

H. REMOVE ALL LIT IDOLOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDINGS SIGNS, UNLESS NOTED OTHERWISE.

I. MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER APPROVED SECTION 05070.

J. INSTALL SIGNAGE PER DETAILS.



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DOCUMENTS THAT DO NOT
HAVE THE ARCHITECT OR
ENGINEER OF RECORD SEAL
AND SIGNATURE SHALL BE
CONSIDERED NOT FOR
CONSTRUCTION

EXTERIOR SIGNAGE

SHEET:
A2.1