



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

Administrative amendment for addition of a loading ramp at the rear of the building

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

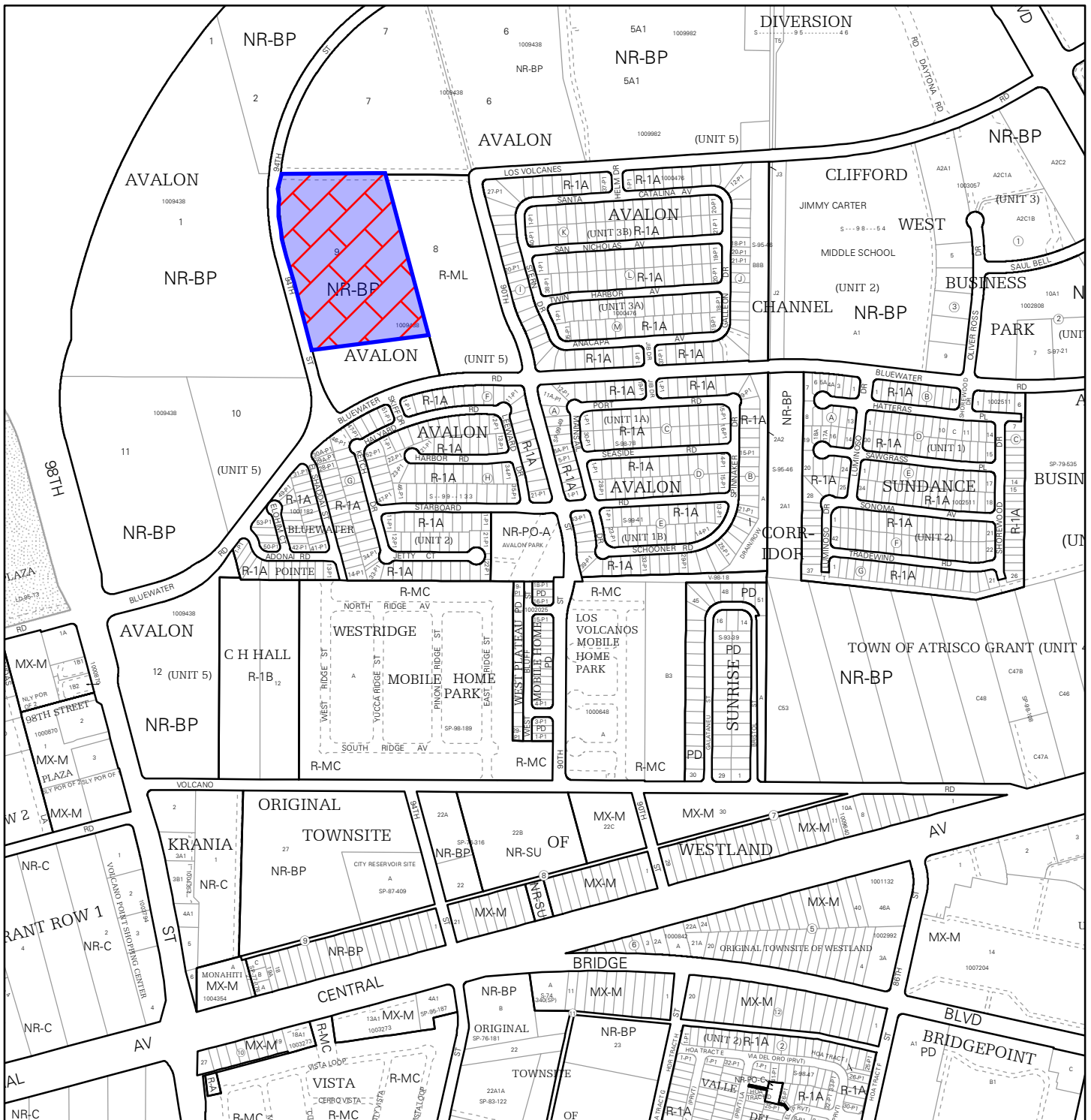
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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

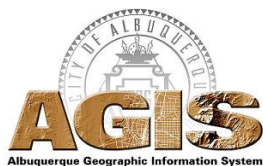
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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

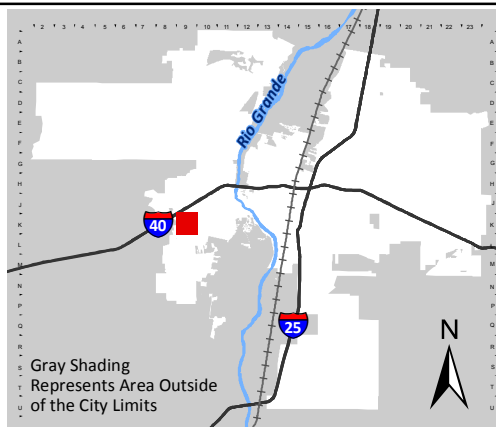


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
K-09-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- Gray Shading
Represents Area Outside
of the City Limits
- 0 250 500 1,000 Feet

June 13, 2024

Mr. James Aranda
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

RE: **TITAN 150K OFFICE/WAREHOUSE
REQUEST FOR ADMINISTRATIVE AMENDMENT
TR 9-A AVALON SUBDIVISION UNIT 5, CONT 9.6888 AC
ZONE ATLAS PAGE K-09-Z**

Dear Mr. Aranda:

As owner of the Property at 9210 Daytona Rd NW, Westpointe40 1, LLC authorizes
Tierra West to submit an administrative amendment for the addition of a loading ramp at
the rear of the Building on behalf of their client.

Bew F Spencer
Print Name
BFS
Signature
MANAGER
Title
6.13.24
Date



June 17, 2024

Mr. James Aranda
City Of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

**RE: TITAN 150K RAMP ADDITION
REQUEST FOR ADMINISTRATIVE AMENDMENT
TR 9-A AVALON SUBDIVISION UNIT 5, CONT 9.6888 AC
ZONE ATLAS PAGE K-09-Z**

Dear Mr. Aranda:

Tierra West, LLC, on behalf of Westpoint40 1, LLC, requests approval for an Administrative Amendment (AA) to the Site Development Plan for the above referenced project. The project is located at 9210 Daytona Rd NW Albuquerque, NM 87121. The request is for a minor modification to add a truck ramp to the east side of the existing 150,000 s.f. office / warehouse building.

The size of the existing building will not change. The minor addition of the proposed truck ramp will not adversely affect the existing parking, traffic circulation, emergency vehicle access or any of the required landscaping. Drainage patterns in the area will remain as is and given the fact that there will be no increase in impervious surfaces, the minor change will not affect hydrology. Peak hour trips into and out of the facility will not be affected by the addition of the truck ramp.

Attached is the previously approved Site Development Plan for Building Permit as well as the proposed administrative amendment site plan showing the new proposed truck ramp as well as a marked up approved grading and drainage plan showing the addition of the ramp.

Should you have any questions or require additional information regarding this matter, please feel free to contact Vince Carrica at 505-858-3100.

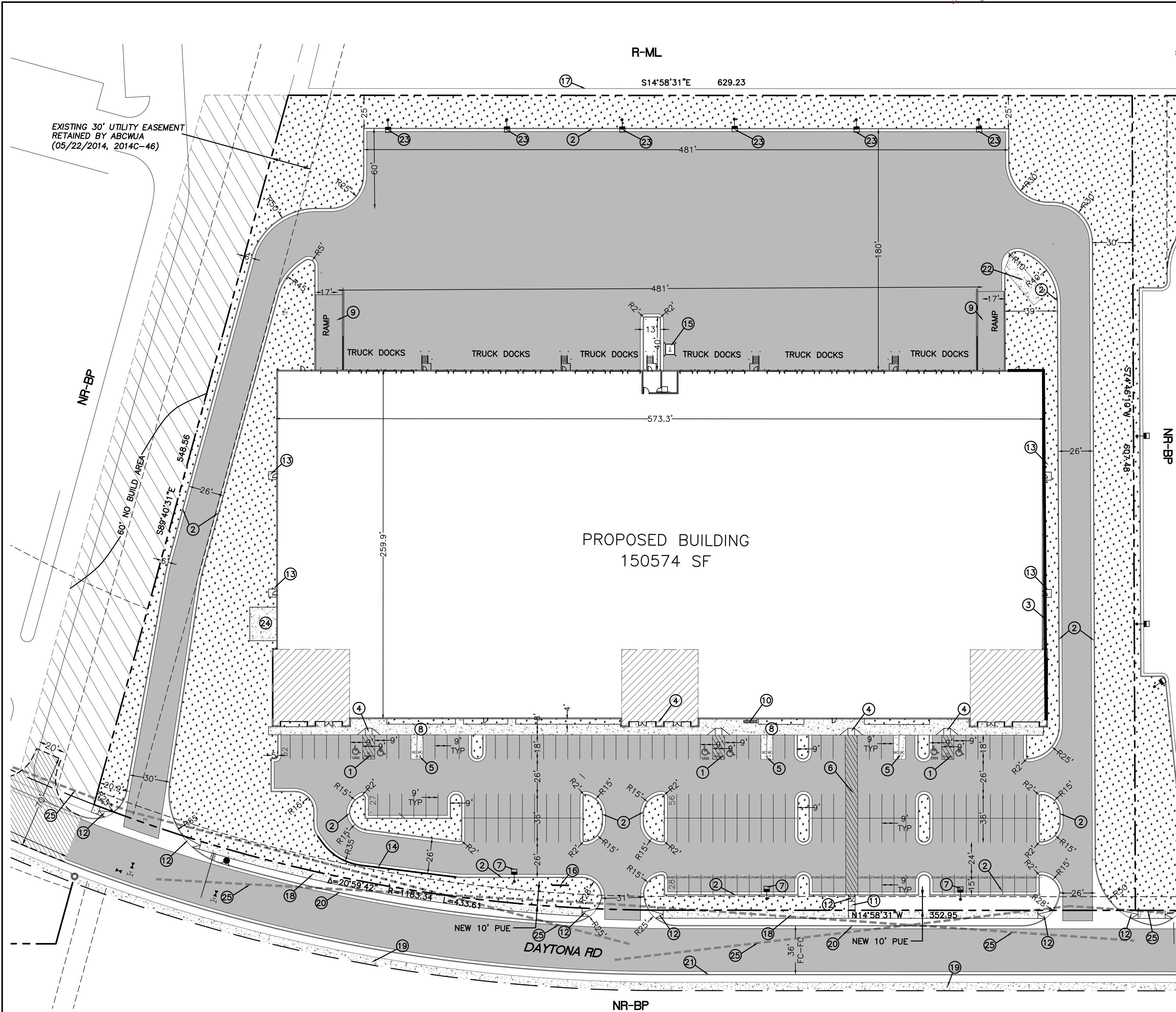
Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

Cc: Sal Perdomo, Westpoint40 1, LLC
Scharles Wilder, Wilderdesign, LLC

JN: 2024044
RRB/VC/ac

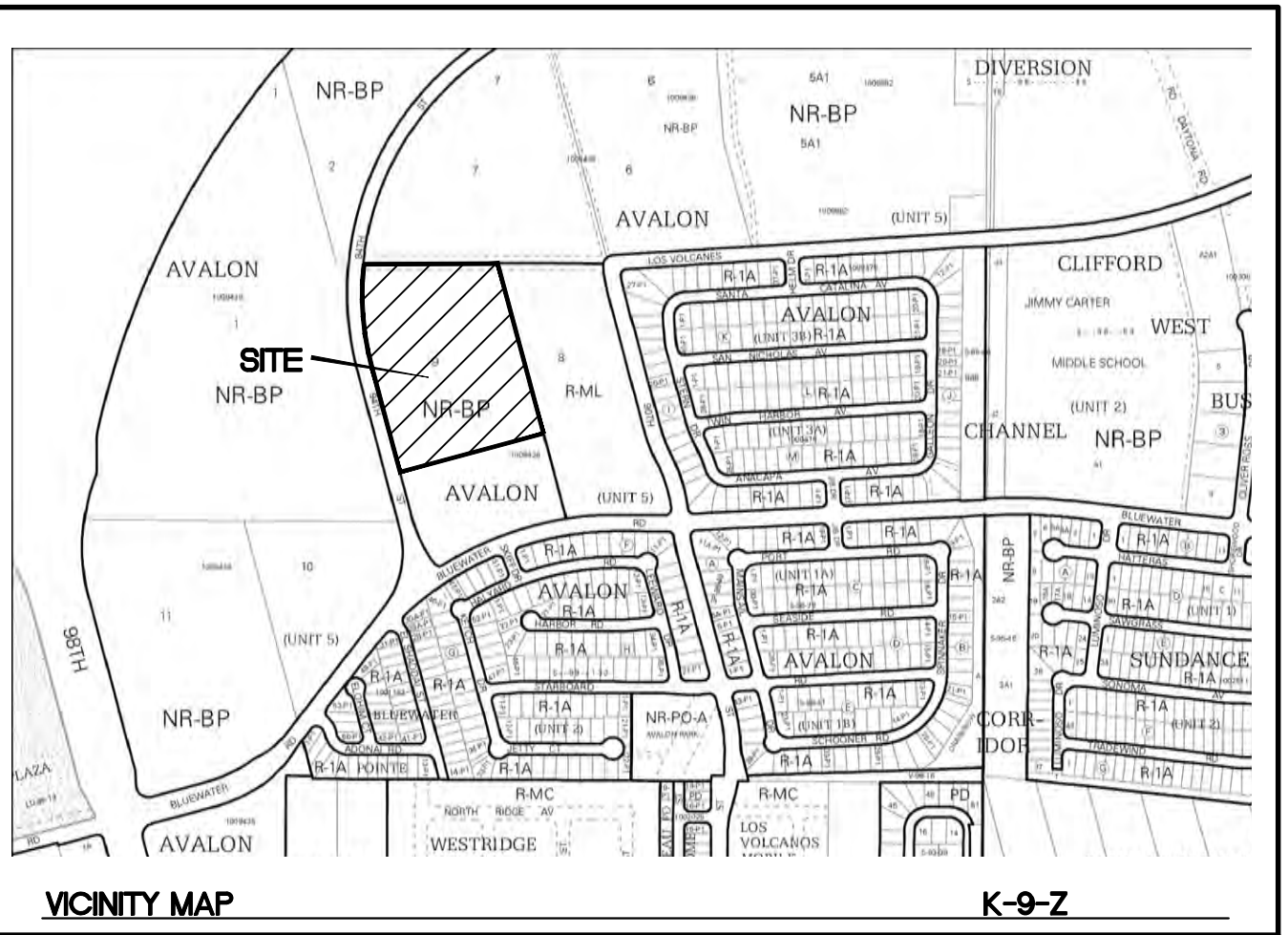


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- RETAINING WALL
- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- LANDSCAPING

KEYED NOTES

- 1 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN
- 2 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- 3 EXTENDED STEM WALL
- 4 ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- 5 MOTORCYCLE PARKING W/SIGN (4'X8' MIN)
- 6 9' PEDESTRIAN CROSSING
- 7 SITE LIGHTING, 30' MAX HEIGHT, LED
- 8 CONCRETE SIDEWALK PER COA STD DWG 2430
- 9 RETAINING WALL, HEIGHT VARIES 1'-4'
- 10 BICYCLE RACK SEE DETAIL SHEET SP-2
- 11 6' CONCRETE WALK PER COA STD DWG 2430
- 12 UNIDIRECTION ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- 13 6'X6' CONCRETE PAD
- 14 RETAINING WALL
- 15 TRANSFORMER W/BOLLARDS
- 16 MONUMENT SIGN (TBD)
- 17 EXISTING CMU PERIMETER WALL, 8' HIGH
- 18 NEW 6' SIDEWALK PER COA STD DWG 2430
- 19 FUTURE 6' SIDEWALK
- 20 8" CURB AND GUTTER PER COA STD DWG 2415A
- 21 FUTURE CURB AND GUTTER
- 22 12'X34' CONCRETE PAD FOR TRASH COMPACTOR AND SCREEN WALLS (TALLER THAN COMPACTOR) IF A TENANT OCCUPIES A SPACE, AND THE TENANT WILL PROCESS, OR DISTRIBUTE FOOD, OR PLACE ANY LIQUIDS IN THE DUMPSTER A SANITARY DRAIN WILL HAVE TO BE INSTALLED
- 23 SITE LIGHTING, 16' MAX HEIGHT, LED
- 24 500 SF OUTDOOR PATIO AREA
- 25 SIGHT LINES



LEGAL DESCRIPTION

PORTION OF LOT 9 AVALON SUBDIVISION

SITE DATA

PROPOSED USAGE COMMERCIAL
LOT AREA 421765 SF (9.68 ACRES)
ZONING NR-BP

BUILDING AREA 150574 SF
BUILDING COVERAGE 36%

BUILDING SETBACK
FRONT 20'
REAR 10'
SIDE 10'

PARKING REQUIRED 76 SPACES (1 SPACE PER 2000 SF)
PARKING PROVIDED 163 SPACES (28 COMPACT=17.2%)
ACCESSIBLE PARKING REQUIRED 5 SPACES
ACCESSIBLE SPACES PROVIDED 6 SPACES
TOTAL 163 SPACES

BICYCLE SPACES REQUIRED 8
BICYCLE SPACES PROVIDED 8
MOTORCYCLE SPACES REQUIRED 3 SPACES
MOTORCYCLE SPACES PROVIDED 6 SPACES

LANDSCAPE REQUIRED 40678 SF
LANDSCAPE PROVIDED 52710 SF

PROJECT NUMBER: PR-2020-006070

APPLICATION NUMBER: SI-2021-01889

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [blank] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Janina Wolfenbarger</i> Traffic Engineer, Transportation Division	Jun 20, 2022
<i>Blaine Carter</i> Water Utility Development	Jun 20, 2022
<i>Chris Rasmussen</i> Parks & Recreation Department	Jun 20, 2022
<i>Ernest Amis</i> City Engineer	Jun 21, 2022
<i>Jim Blair</i> Code Enforcement	Jun 20, 2022
<i>Herman Gallegos</i> Solid Waste Management	05-09-22
<i>Shirley</i> DRB Chairperson, Planning Department	Jun 24, 2022

* Environmental Health, if necessary

NOTE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL BE PER WORK ORDER



TITAN 150K SPEC BUILDING
ALBUQUERQUE, NM

SITE PLAN FOR
BUILDING PERMIT

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY

pm

DATE

5-3-2022

DRAWING

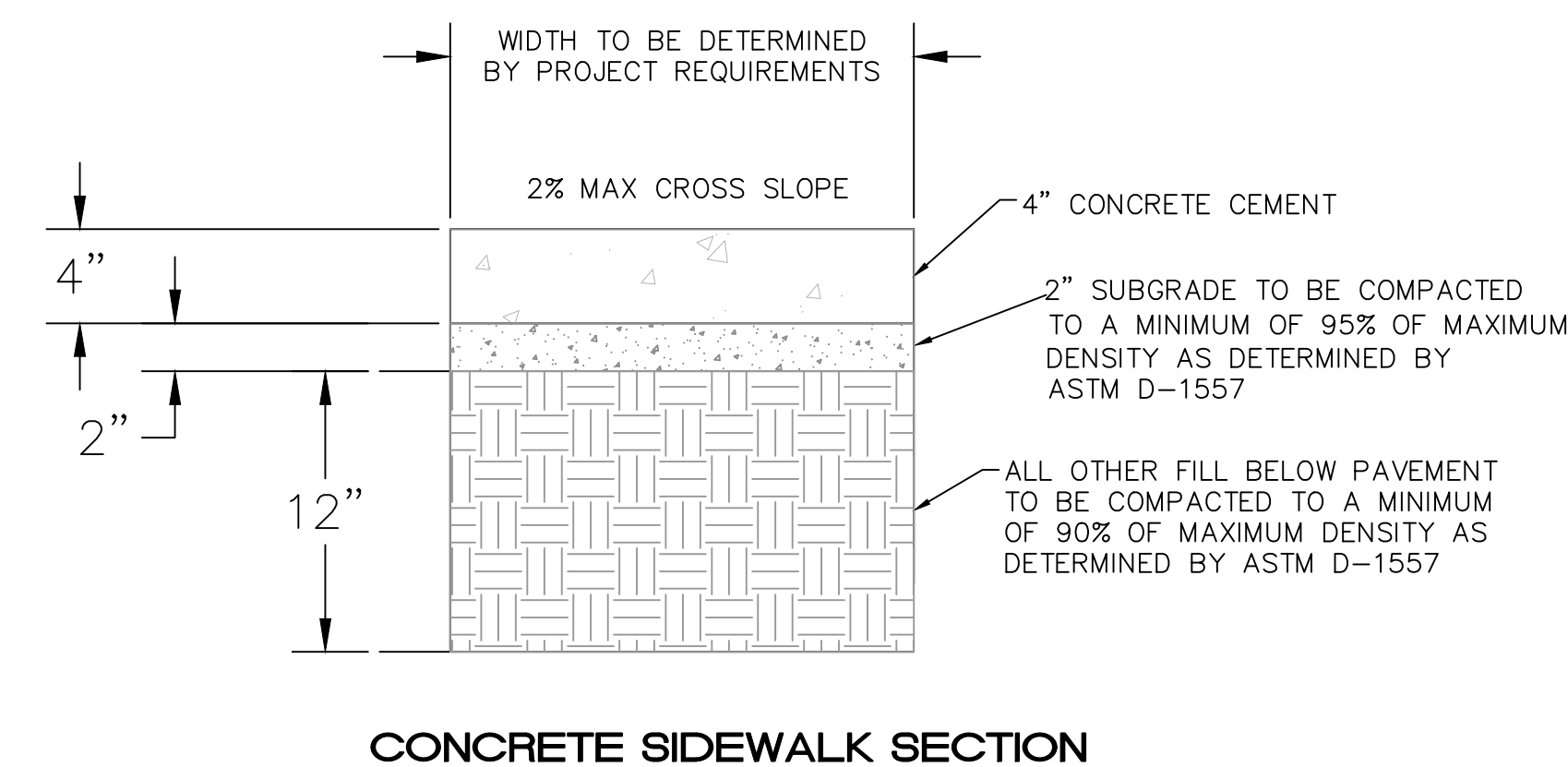
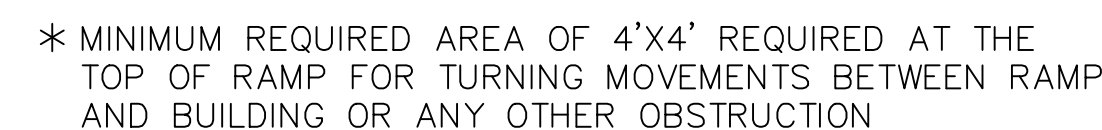
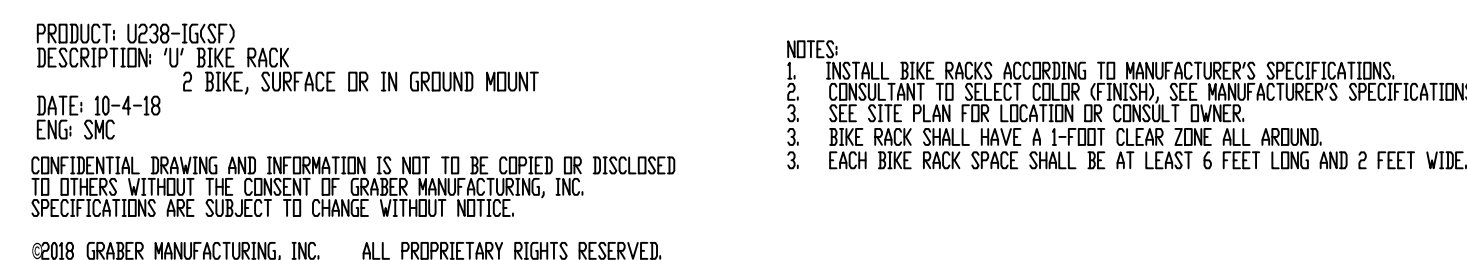
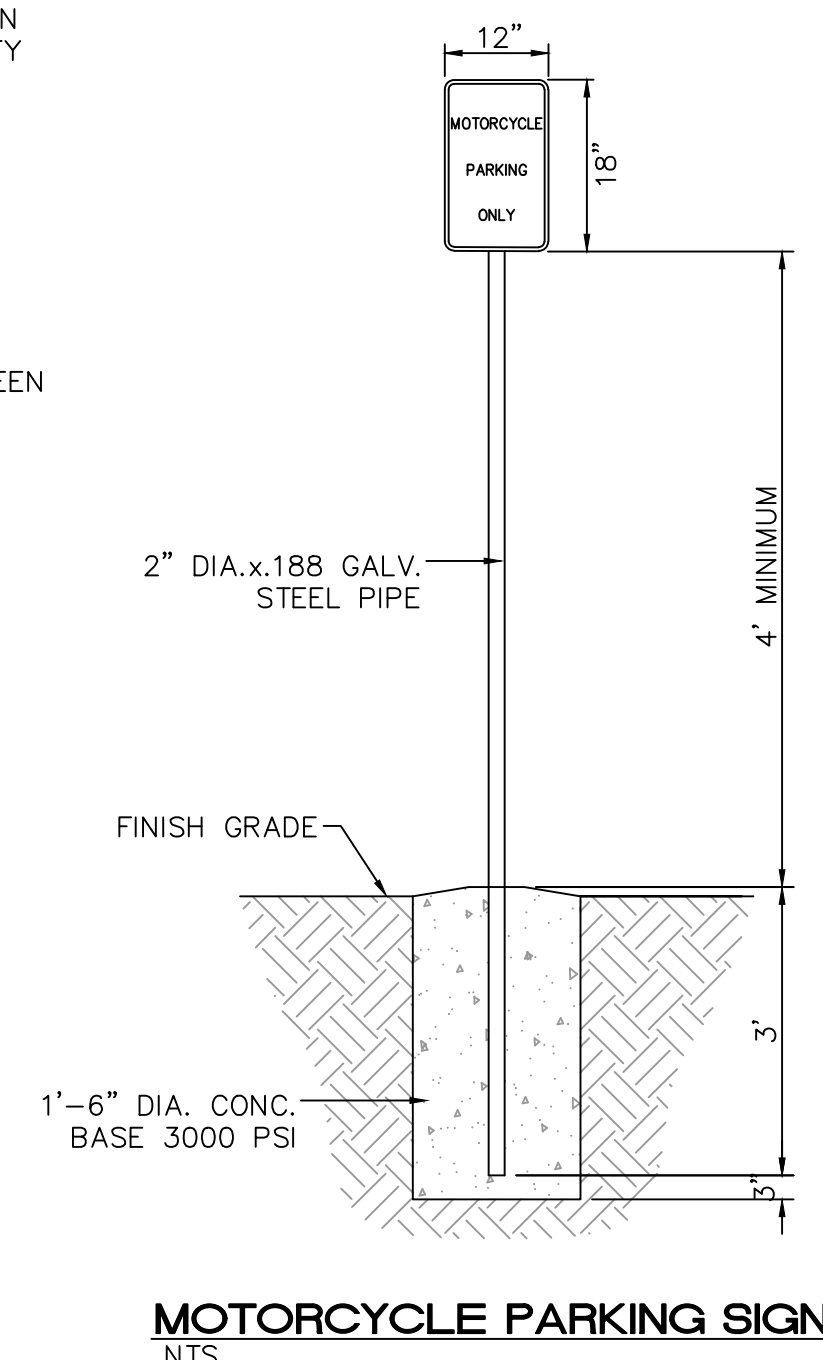
2020088-150K.DWG




SHEET #

SP-1

JOB #

2020088



ENGINEER'S SEAL	TITAN 150K SPEC BUILDING ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 12-22-21
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-150K.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # SP-2
		JOB # 2020088

GENERAL LANDSCAPE NOTES

IRRIGATION:
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

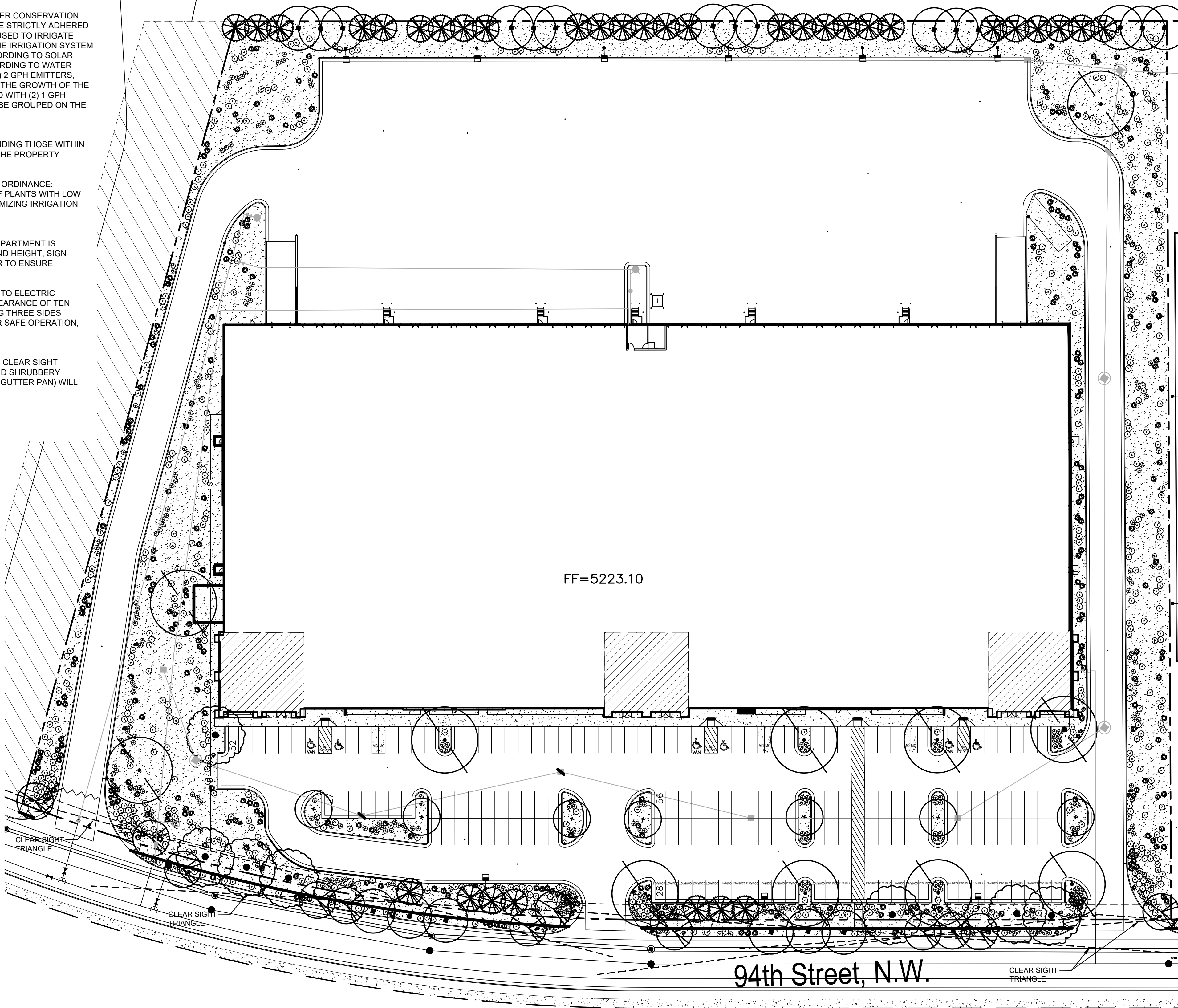
RESPONSIBILITY OF MAINTENANCE:
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE:
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION:
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

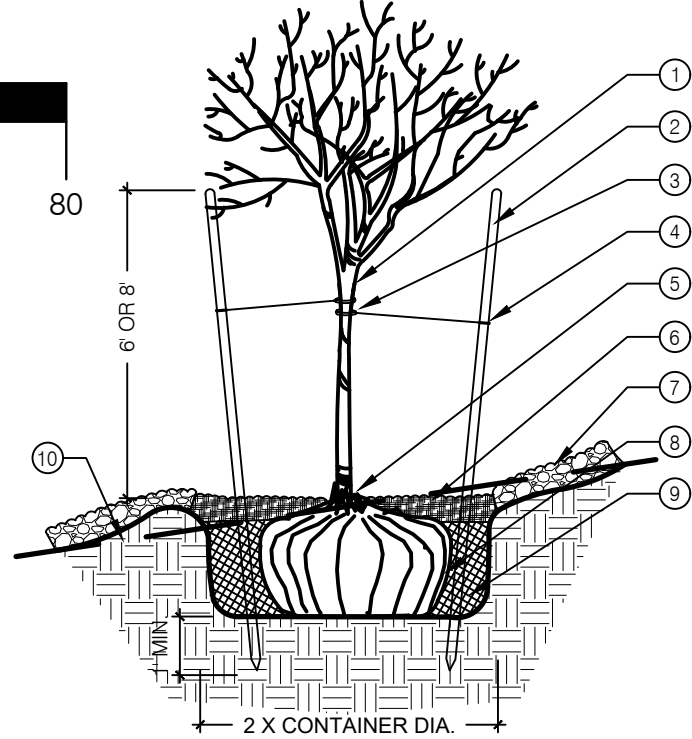
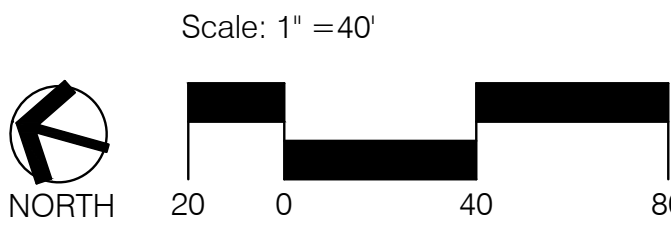
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.



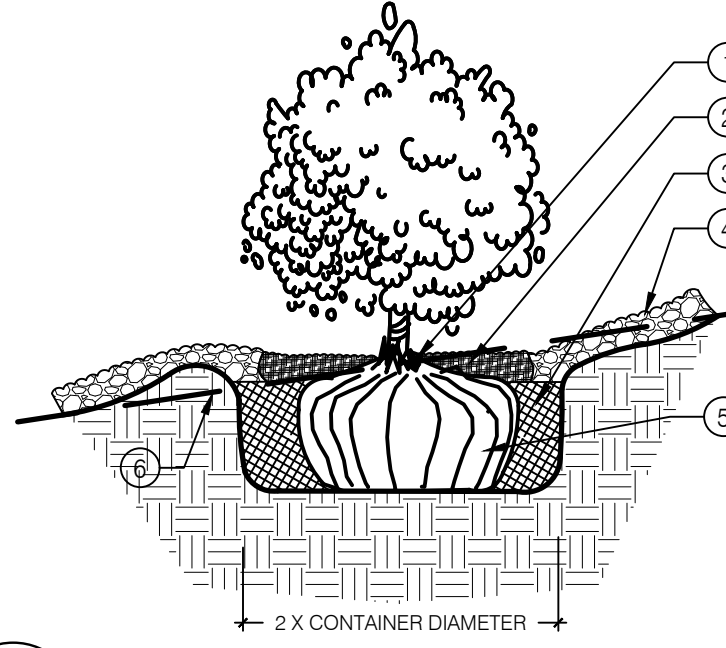
PLANT LEGEND				
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
21		TREES - REFERENCE DETAIL 1/L101 PISTACIA CHINENSIS CHINESE PISTACHE (M)	2.5" B&B	40' HT. X 30' SPR
10		GLIRTSIA TRIACANTHOS 'IMPERIAL' IMPERIAL HONEY LOCUST (M)	2.5" B&B	50' HT. X 45' SPR.
7		CELTIS RETICULATA FRONTIER ELM (L)	2.0" B&B	25' HT. X 25' SPR.
7		ULMUS 'FRONTIER' FRONTIER ELM (M)	2.5" B&B	40' HT. X 40' SPR.
12		CHILOPSIS LINEARIS DESERT WILLOW 'BUBBA' (RW)	2.0" CAL MULTI	20' HT. X 25' SPR.
34		PINUS ELДАРICA AFGHAN PINE (M)	8' HT.	40' HT. X 18' SPR.
540		SHRUBS AND GROUNDCOVERS - REFERENCE DETAIL 2/L101 ERICAMERIA LARICIFOLIA TURPENTINE BUSH (L)	1-GAL	3' HT. X 4' SPR.
		BUDDLEJA DAVIDII 'NANH 'MONGO' PETITE INDIGO BUTTERFLY BUSH (M)	5-GAL	5' HT. X 5' SPR.
		LAVANDULA 'GROSSO' GROSSO LAVENDER (M)	5-GAL	3' HT. X 3' SPR.
		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL	5' HT. X 5' SPR.
		PINUS MUGO VAR. 'PUMILIO' DWARF MUGO PINE (M)	5-GAL	4" HT. X 8' SPR.
		ACHILLEA 'TAYGETEA 'MOONSHINE' MOONSHINE YARROW (M)	5-GAL	2' HT. X 2' SPR.
		BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW BARBERRY (L)	5-GAL	5' HT. X 4' SPR.
		SALVIA GREGGII CHERRY SAGE (L)	5-GAL	2' HT. X 3' SPR.
		AGASTACHE AYA AYA'S HUMMINGBIRD MINT (L)	5-GAL	4' HT. X 2' SPR.
		BACCHARIS X 'STARN THOMPSON' PROSTRATE COYOTE BUSH (L)	5-GAL	2' HT. X 5' SPR.
303		DESERT ACCENTS- REFERENCE DETAIL 2/L101 NOLINA MICROCARPA BEARGRASS (L)	5-GAL	4' HT. X 4' SPR.
		DASYLIRION WHEELERI DESERT SPOON (L)	5-GAL	5' HT. X 5' SPR.
		HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA (L)	5-GAL	3' HT. X 4' SPR.
		OPUNTIA ELLISIANA 'SPINELESS' SPINELESS PRICKLY PEAR (RW)	5-GAL	4' HT. X 5' SPR.
		YUCCA FILAMENTOSA ADAM'S NEEDLE YUCCA (L)	5-GAL	3' HT. X 3' SPR.
292		ORNAMENTAL GRASSES - REFERENCE DETAIL 2/L101 SCHIZACHYRIUM SCOP. 'THE BLUES' THE BLUES LITTLE BLUESTEM GRASS (L)	5-GAL	2' HT. X 2' SPR.
		MISCANTHUS SINENSIS GRACILLIMUS MAIDEN HAIR GRASS (M)	5-GAL	5' HT. X 5' SPR.
		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	5-GAL	4' HT. X 2.5' SPR.
		MULCHES AND BOULDERS LANDSCAPE AREAS WILL BE COVERED WITH ROCK OR WOOD MULCH OVER FILTER FABRIC. A VARIETY OF TYPES WILL BE USED TO ADD INTEREST OR ADDRESS GRADING. TYPES WILL BE VENETIAN BROWN CRUSHER FINES, 1" ULTRA VIOLET GRAVEL, 7/8" SANTA FE BROWN GRAVEL, 3/4" BASALT GRAVEL AND 2"-4" SANGRIA COBBLE		
88,813 SF				
32 EA		PUEBLO ROSE BOULDERS 3'X3'X3'		

LANDSCAPE CALCULATIONS	
SITE AREA (9.7 AC)	422,532 SF
BUILDING FOOTPRINT	- 150,574 SF
NET LOT	271,958 SF
-REQUIRED/PROVIDED LANDSCAPE	40,794 SF (15%)/ 88,813 SF (33%)
COVERAGE	
-REQUIRED/PROVIDED VEGETATIVE COVER	66,610 SF (75%) / 67,250 SF (76%)
-REQUIRED/PROVIDED GROUND-LEVEL COVER	16,652 SF (25%) / 16,708 SF (25%)
PARKING LOT TREES	
PARKING LOT SPACES PROVIDED	162
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
-REQUIRED/PROVIDED PARKING LOT TREES	17/17
PARKING LOT AREA	
AT LEAST 15 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.	
PARKING LOT AREA	59,237 SF
-REQUIRED/PROVIDED PARKING LOT LANDSCAPE	8,886 SF (15%)/ 11,742 SF (20%)
STREET TREES	
STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. 94TH ST NW FRONTAGE IS 780'.	
-REQUIRED/PROVIDED STREET TREES:	31/33
BUFFER LANDSCAPE	
IF A WALL AT LEAST 3 FEET IN HEIGHT IS PROVIDED OR EXISTS ALONG THE PROPERTY LINE BETWEEN THE TWO PROPERTIES, 1 TREE AT LEAST 8 FEET HIGH AT THE TIME OF PLANTING SHALL BE PROVIDED EVERY 15 FEET ALONG THE WALL 628' OF EXISTING WALL	
-REQUIRED/PROVIDED TREES:	42/42



1. STRESS POINT OF TREE
2. 8" OR 10" LODGEPOLE STAKES DRIVEN AT ANGLE (8° FOR MULTI OR CANOPY, 10° FOR TALL COLUMNAR)
3. 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
4. #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
5. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
6. WATER RETENTION BASIN - 3" DEPTH SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
7. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
8. ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
9. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
10. FINISH GRADE

1 TREE PLANTING ON A SLOPE



1. PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
2. 4" WATER RETENTION BASIN - 3" LAYER OF SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
3. SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
4. 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
5. ROOTBALL
6. FINISH GRADE

2 SHRUB PLANTING ON A SLOPE

SCALE: N.T.S. SCALE: N.T.S.



CONSENSUS
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

CONSULTANTS



NOT FOR CONSTRUCTION

WESTPOINT 40
150K BUILDING
ALBUQUERQUE, NM

DECEMBER 9, 2021

SUBMITTAL: DRB

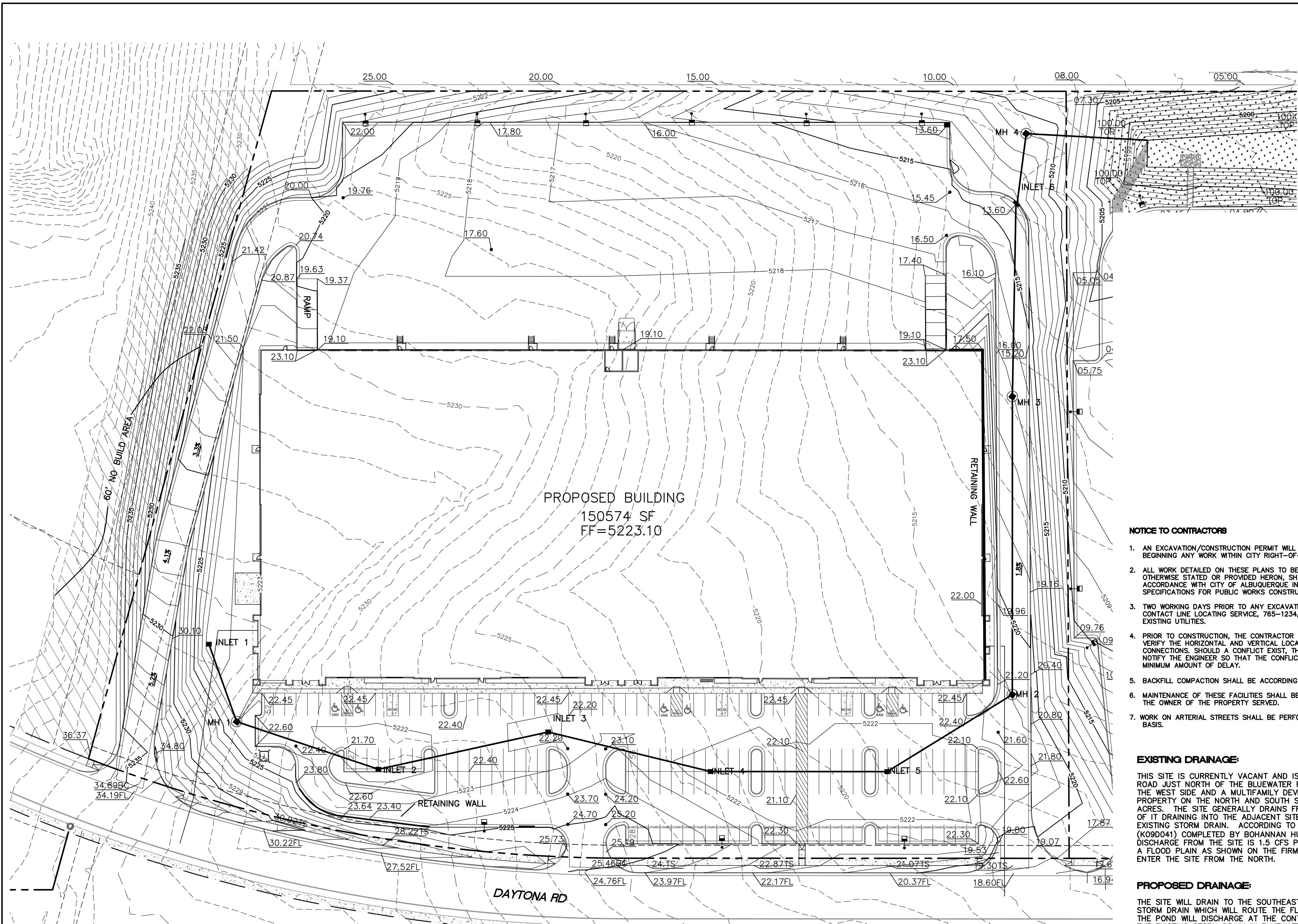
REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: 1634-37
CAD DWG FILE:
DESIGNED BY: KP
DRAWN BY: KP
CHECKED BY: CG
SHEET TITLE

LANDSCAPE
PLAN

DRAWING SHEET



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- RETAINING WALL

STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
INLET 1	TYPE 'C'	5221.30	5134.70
INLET 2	TYPE 'C'	5221.40	5130.09
INLET 3	TYPE 'C'	5221.60	5127.76
INLET 4	TYPE 'C'	5221.40	5134.00 IN 5131.42 OUT
INLET 5	TYPE 'C'	5221.40	5134.00 IN 5131.42 OUT
INLET 6	TYPE 'D'	5213.60	5128.29

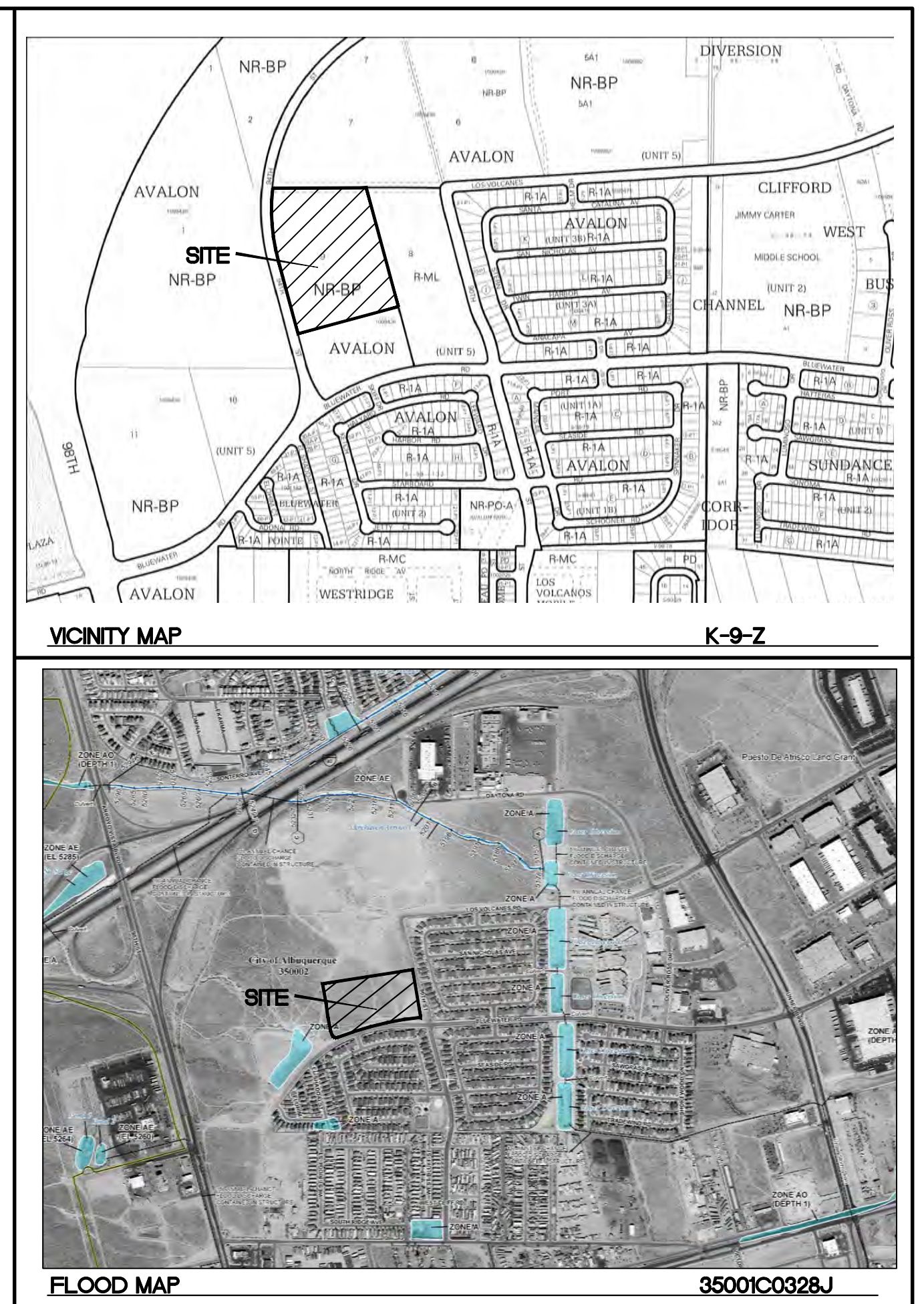
MH TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH 1	TYPE 'C' 4' DIA	5223.00	5134.70
MH 2	TYPE 'C' 4' DIA	5221.02	5130.09
MH 3	TYPE 'C' 4' DIA	5216.52	5127.76
MH 4	TYPE 'C' 4' DIA	5211.25	5134.00 IN 5131.42 OUT



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EXISTING DRAINAGE:

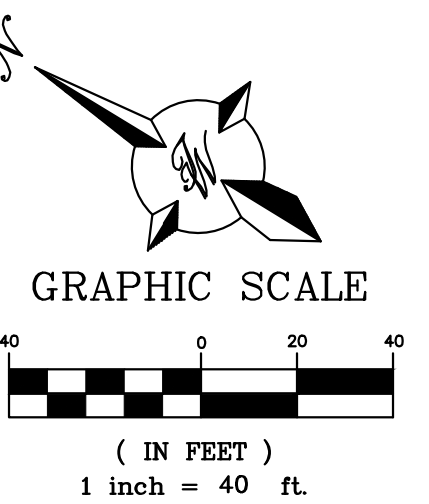
THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE EAST SIDE OF DAYTONA ROAD JUST NORTH OF THE BLUEWATER RD. THE SITE IS BOUNDED BY ROADS ON THE WEST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE EAST SIDE AND VACANT PROPERTY ON THE NORTH AND SOUTH SIDES. IT CONTAINS APPROXIMATELY 9.69 ACRES. THE SITE GENERALLY DRAINS FROM NORTHWEST TO SOUTHEAST WITH MOST OF IT DRAINING INTO THE ADJACENT SITE WHICH DRAINS TO BLUEWATER ROAD EXISTING STORM DRAIN. ACCORDING TO AN APPROVED MASTER DRAINAGE PLAN (K09D041) COMPLETED BY BOHANNAN HUSTON INC. THE ALLOWABLE DEVELOPED DISCHARGE FROM THE SITE IS 1.5 CFS PER ACRE. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE OFFSITE FLOWS THAT ENTER THE SITE FROM THE NORTH.

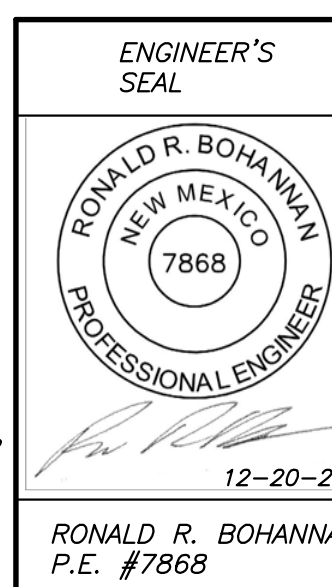
PROPOSED DRAINAGE:

THE SITE WILL DRAIN TO THE SOUTHEAST CORNER OF THE SITE INTO A PROPOSED STORM DRAIN WHICH WILL ROUTE THE FLOWS TO A PROPOSED DETENTION POND. THE POND WILL DISCHARGE AT THE CONTROLLED RATE OF 1.5 CFS PER ACRE TO THE EXISTING STORM DRAIN IN BLUEWATER ROAD. THIS POND WILL ALSO RETAIN THE WATER QUALITY VOLUME FOR THIS PARCEL.

EROSION CONTROL NOTES:

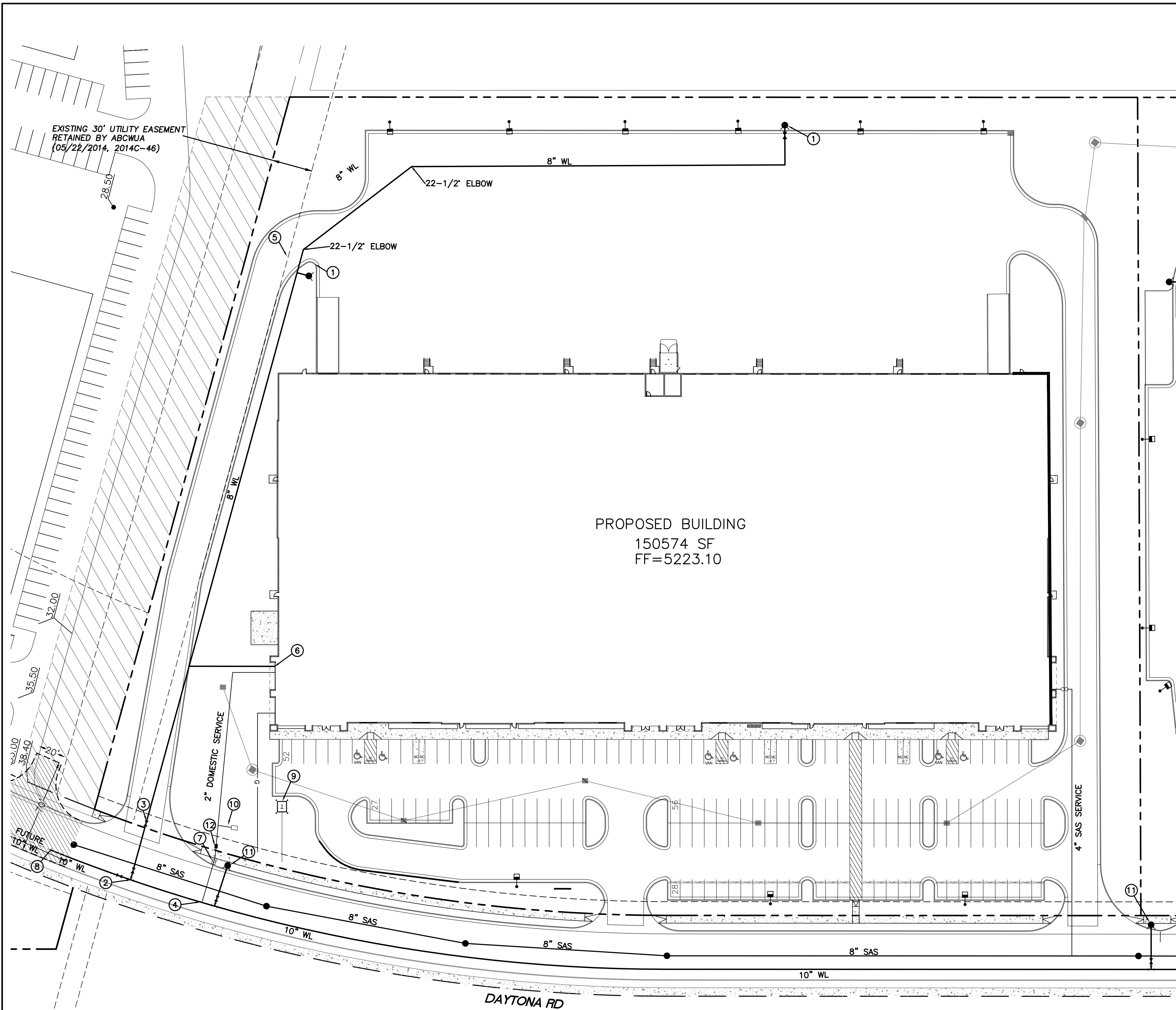
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR $\frac{3}{4}$ " GRAVEL.



	TITAN 150K SPEC BUILDING ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWN BY pm
		DATE 12-20-21
		DRAWING 2020088-150K-GR.DWG
		SHEET # GR-1

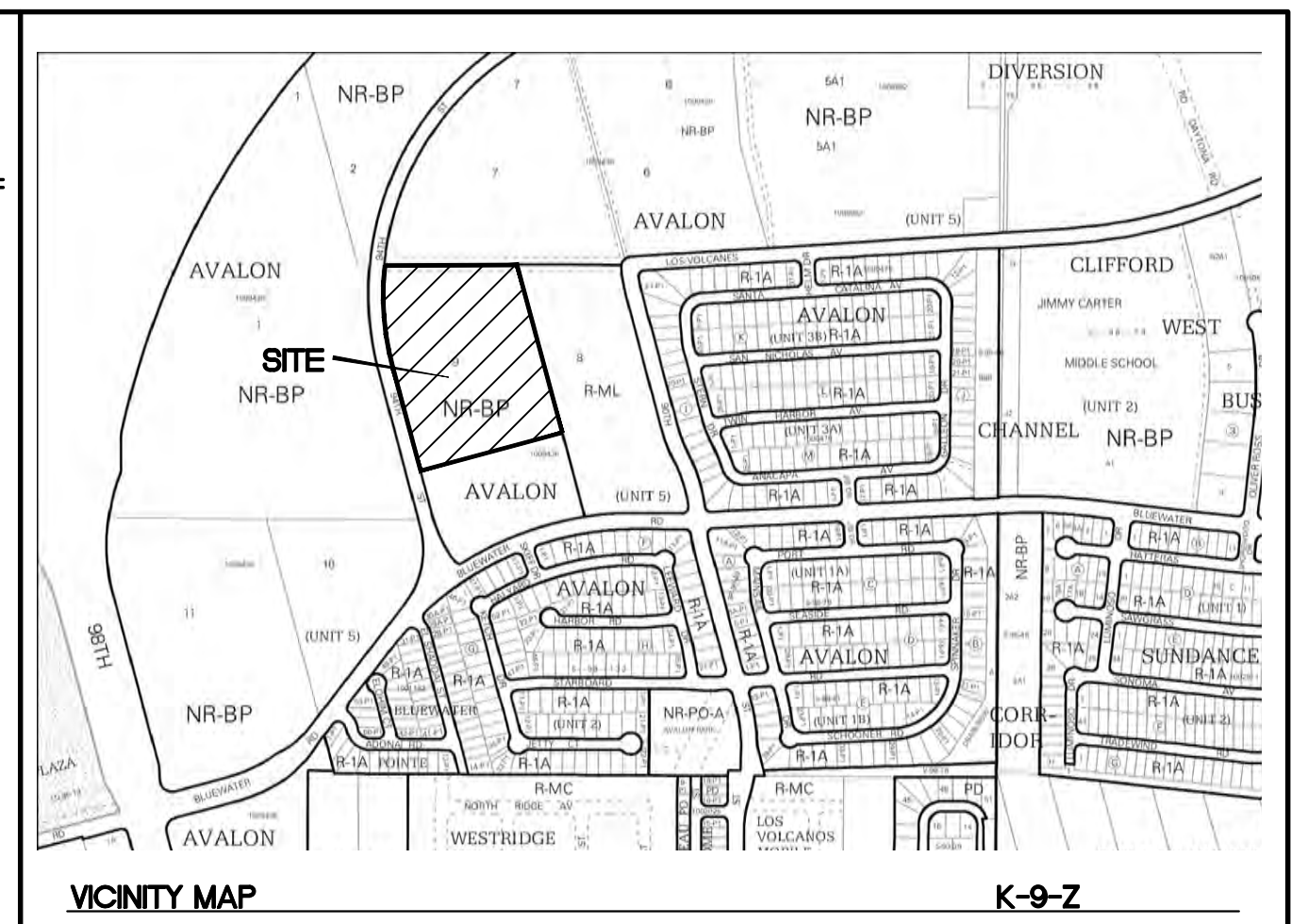
TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

JOB #
2020088



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - RETAINING WALL
 - 8" SAS
 - 8" WL
 - PROPOSED HYDRANT
 - NEW SAS MH
 - NEW WATER METER

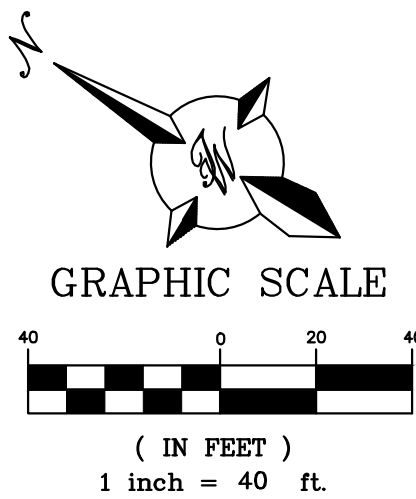
- KEYED NOTES**
- 1 NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340 (PRIVATE)
 - 2 10"x10"x8" TEE
10" GATE VALVE N=_____, E=_____, (PUBLIC)
8" GATE VALVE N=_____, E=_____, (PUBLIC)
 - 3 8" GATE VALVE (PRIVATE)
 - 4 10"x10"x6" TEE
6" GATE VALVE N=_____, E=_____, (PUBLIC)
 - 5 8"x8"x6" TEE
6" GATE VALVE
 - 6 6" FIRE LINE
 - 7 2" WATER METER PER COA STD DWG 2367
 - 8 10" CAP
 - 9 TRANSFORMER
 - 10 IRRIGATION SERVICE/BFP
 - 11 NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340 (PUBLIC)
 - 12 BACKFLOW PREVENTER (2"x3')



- GENERAL UTILITY NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
 7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
 11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	TITAN 150K SPEC BUILDING ALBUQUERQUE, NM		DRAWN BY pm
	CONCEPTUAL MASTER UTILITY PLAN		DATE 12-22-21
	TERRA WEST, LLC 5571 MIDWAY PARK, PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2020088-150K-MU.DWG
			SHEET # MU-1

JOB #
2020088

ALBUQUERQUE WESTPOINTE40
ALBUQUERQUE NM



REV	DATE	DESCRIPTION
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PROJECT NUMBER	14904
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DATE	11/05/2021
DESIGN REVIEW SET	

DESIGNED:	JRV
DRAWN:	TRH
REVIEWED:	CDR

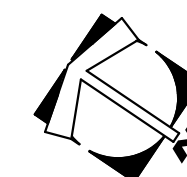
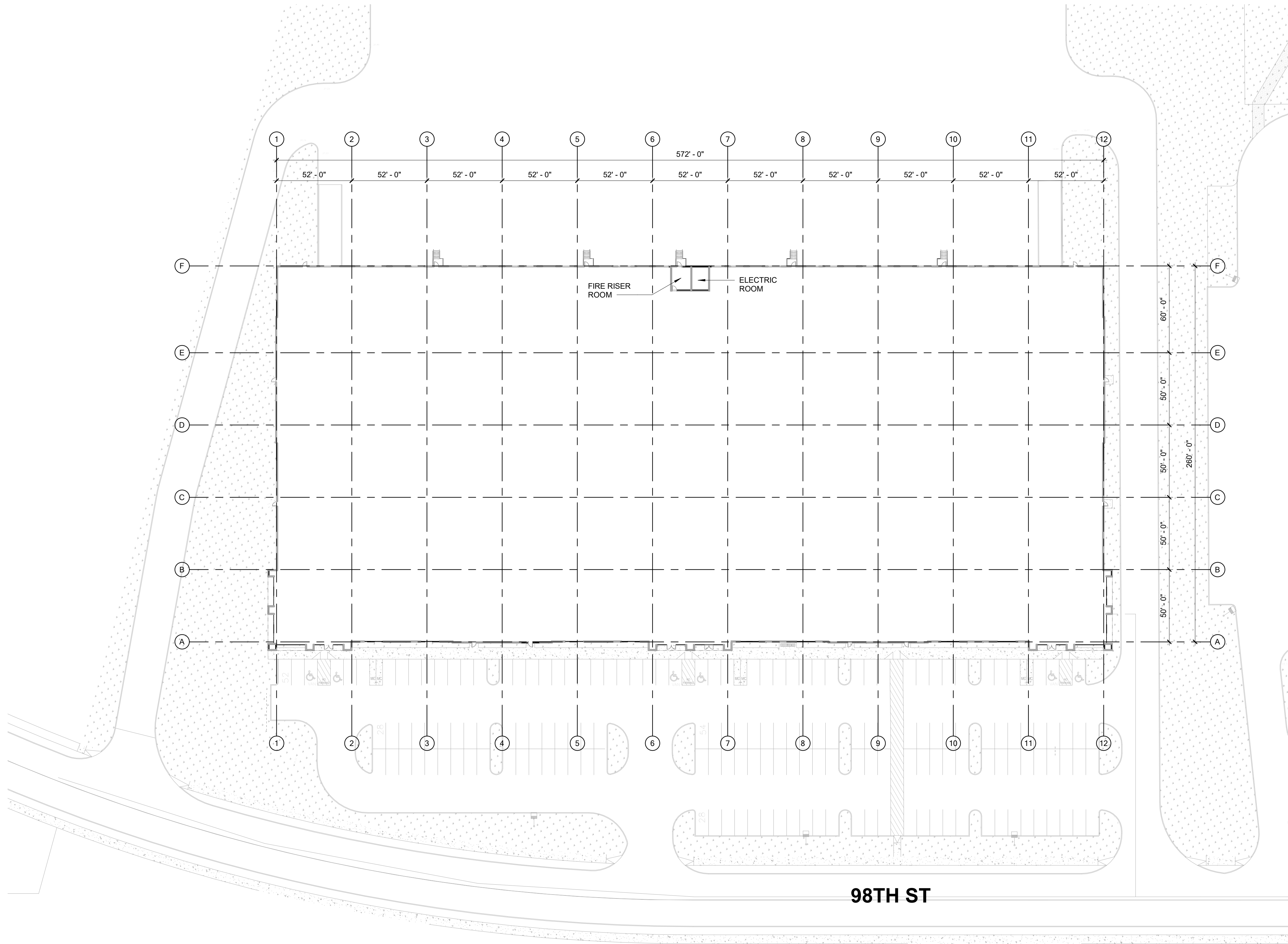
SHEET TITLE

ARCHITECTURAL SITE
PLAN

SHEET NUMBER

A1.01

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Engineering COA# E-92
Architecture COA# A-45
Land Surveying COA# LS-8



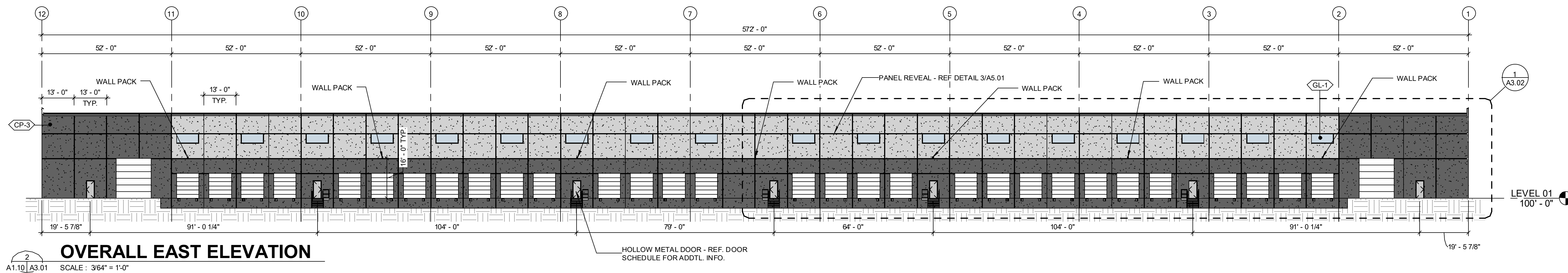


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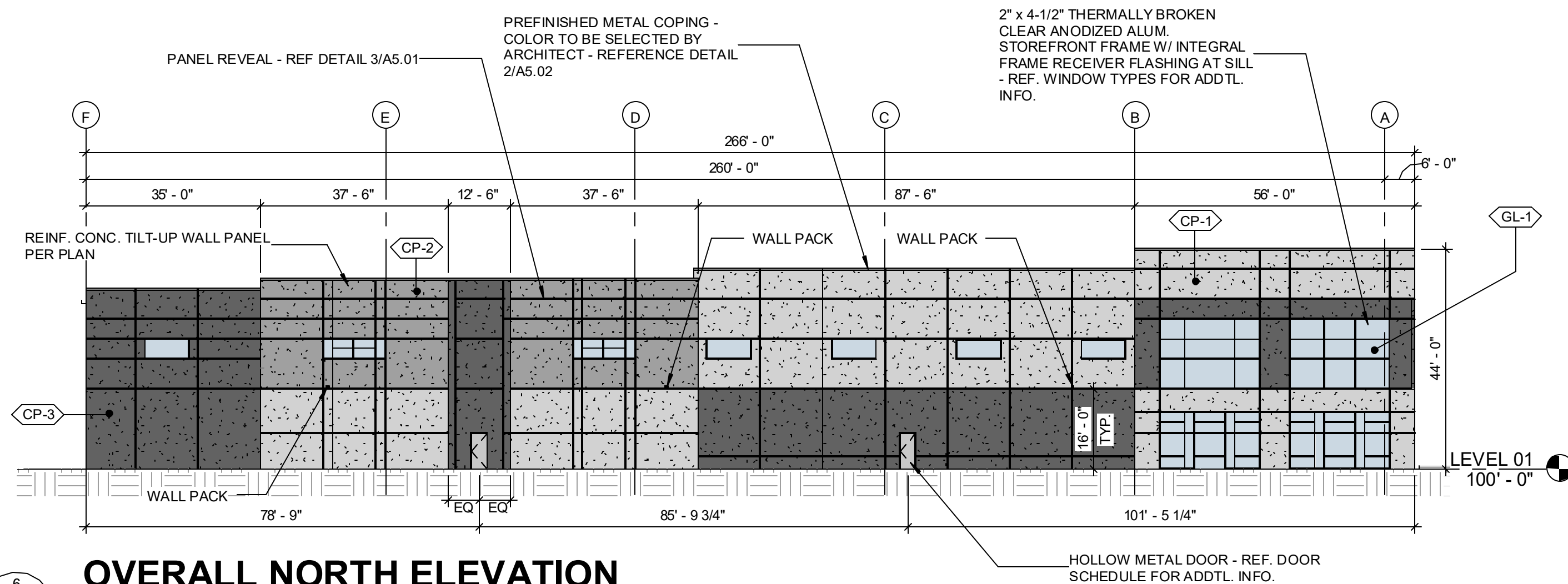
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14904DATE
11/05/2021
DESIGN REVIEW SETDESIGNED: JRV
DRAWN: TRH
REVIEWED: CDR
SHEET TITLE

EXTERIOR ELEVATIONS

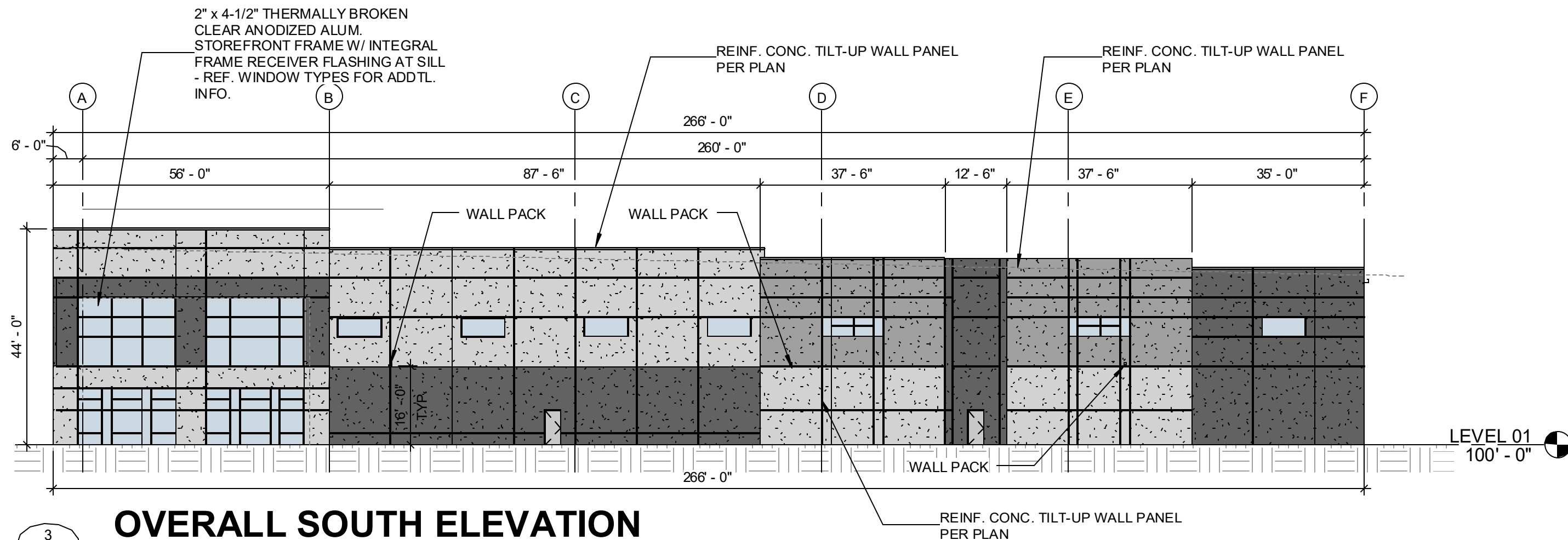
SHEET NUMBER

A3.01© George Butler Associates, Inc. 2021
Engineering COA# E-92
Architecture COA# A-45
Land Surveying COA# LS-8**OVERALL EAST ELEVATION**

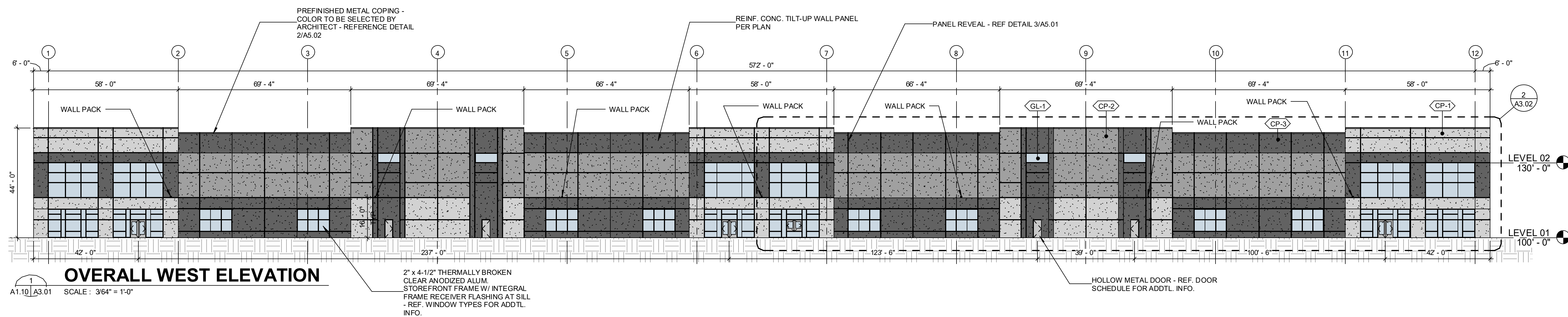
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**OVERALL NORTH ELEVATION**

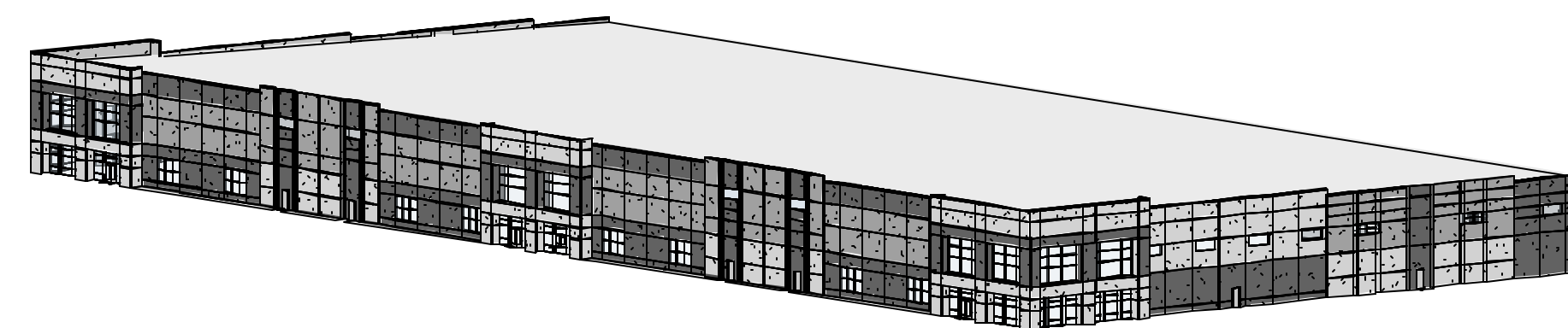
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**OVERALL SOUTH ELEVATION**

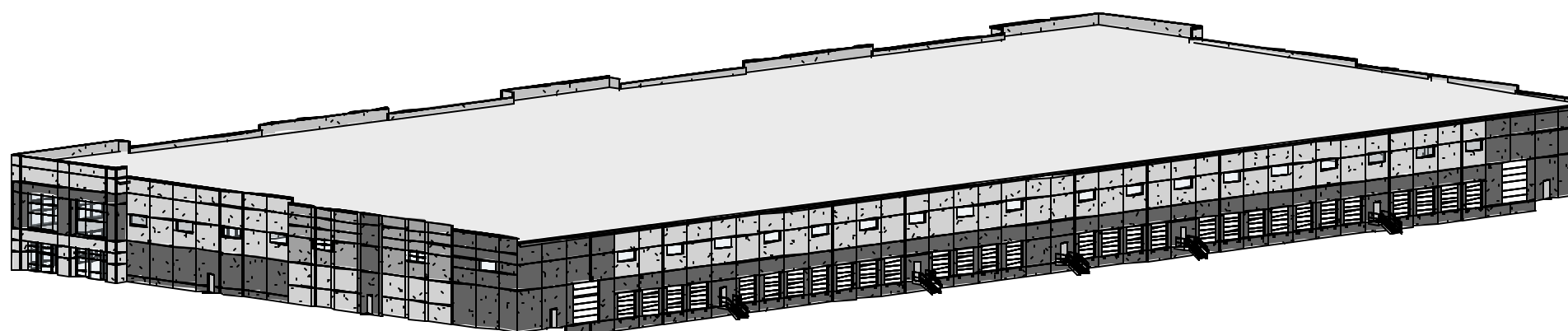
A1.10 | A3.01 SCALE: 3/64" = 1'-0"

**OVERALL WEST ELEVATION**

A1.10 | A3.01 SCALE: 3/64" = 1'-0"

**FRONT AXON**

A1.10 | A3.01 SCALE: 3/64" = 1'-0"

**REAR AXON**

A1.10 | A3.01 SCALE: 3/64" = 1'-0"



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT
PERMIT NUMBER: FP 21-007555
APPROVED DATE: 09/14/21
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 4000GPM 4" HYDRANT 140,000SQFT II-B



LEGAL DESCRIPTION:

PORTION OF TRACT 9 AVALON SUBDIVISION UNIT 5

NOTES:

UPC NO: 100905719339420401

WESTPOINTE 40 SPEC #1
PORTION OF AVALON SUBDIVISION TRACT 9
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY

COMMERCIAL
OCCUPANCY TYPE: S-1 (MODERATE HAZARD STORAGE)

LOT AREA: 421765 SF (9.68 ACRES)
BUILDING AREA: 148720 SF

CONSTRUCTION TYPE: TYPE II-B

FULLY SPRINKLED
MAX BUILDING HEIGHT 45'

NOTES

1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

KEYED NOTES

- ① NEW FIRE HYDRANT (PRIVATE)
- ② EXISTING FIRE HYDRANT
- ③ NEW FIRE HYDRANT (PUBLIC)
- ④ PUBLIC GATE VALVE
- ⑤ PRIVATE GATE VALVE
- ⑥ KNOX BOX
- ⑦ BUILDING ADDRESS
- ⑧ FDC
- ⑨ PV



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

CAUTION

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	WESTPOINTE 40 SPEC#1 ALBUQUERQUE, NM	DRAWN BY AS
	FIRE ONE PLAN AVALON SUBDIVISION UNIT 5	DATE 9-8-21
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021066-FO
		SHEET # FO-1
		JOB # 2021066











PR-2021-006070_SI-2021-01889_Site_Plan_North_Approved_1-12-22

Final Audit Report

2022-06-24

Created:	2022-06-20
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAsbth3acToSIfiQm30yb6Vacf5tVPkFh7

"PR-2021-006070_SI-2021-01889_Site_Plan_North_Approved_1-12-22" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Document emailed to jwolfley@cabq.gov for signature
2022-06-20 - 5:12:15 PM GMT
-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature
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-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
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-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature
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-  Document emailed to bcarter@abcwua.org for signature
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-  Document e-signed by Blaine Carter (bcarter@abcwua.org)
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Signature Date: 2022-06-20 - 11:12:09 PM GMT - Time Source: server- IP address: 67.0.8.32



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Signature Date: 2022-06-21 - 1:37:52 PM GMT - Time Source: server- IP address: 143.120.132.81



Email viewed by jwolfley@cabq.gov

2022-06-24 - 1:57:23 PM GMT- IP address: 143.120.133.169



Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

Signature Date: 2022-06-24 - 1:58:04 PM GMT - Time Source: server- IP address: 143.120.133.169

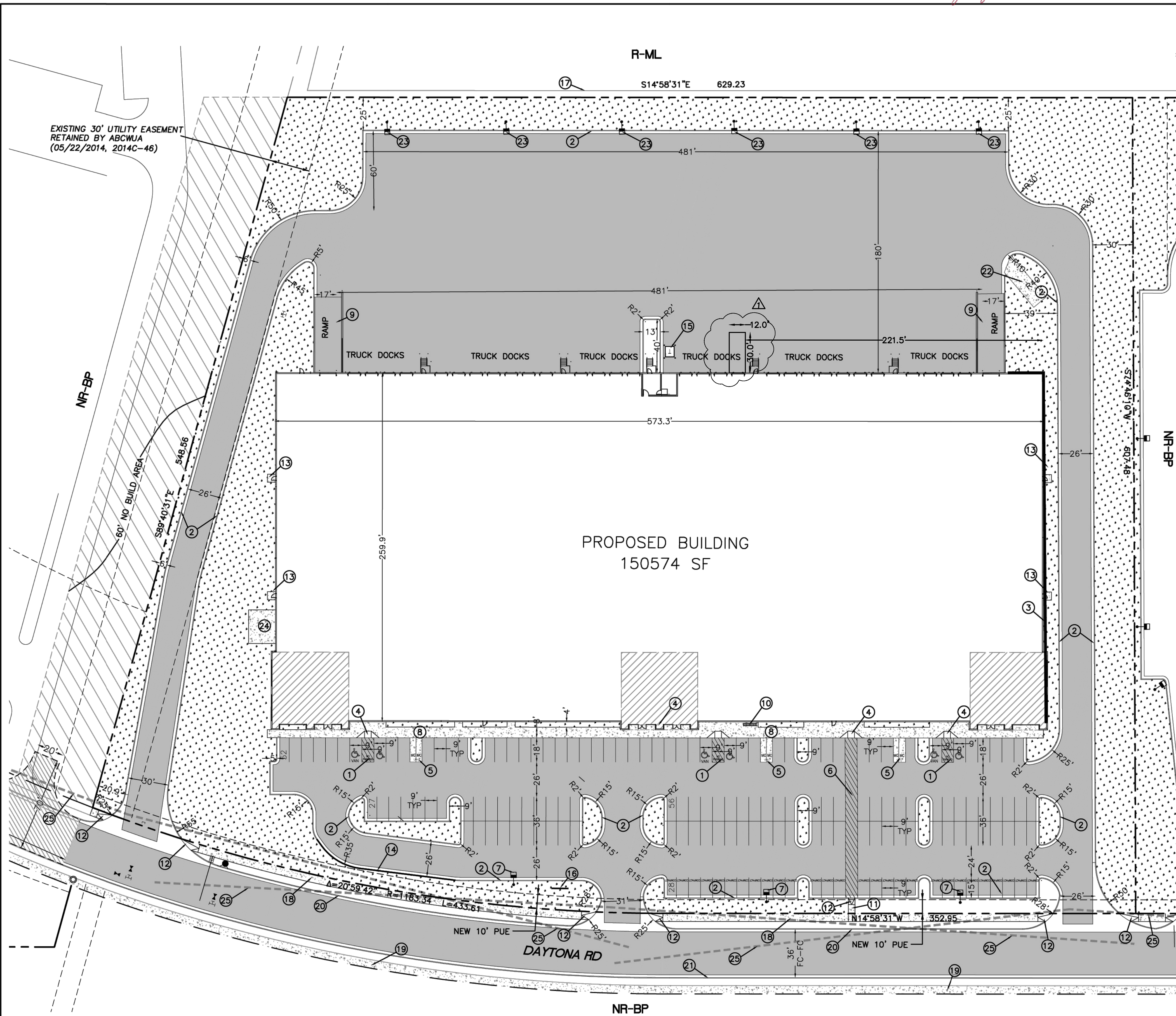


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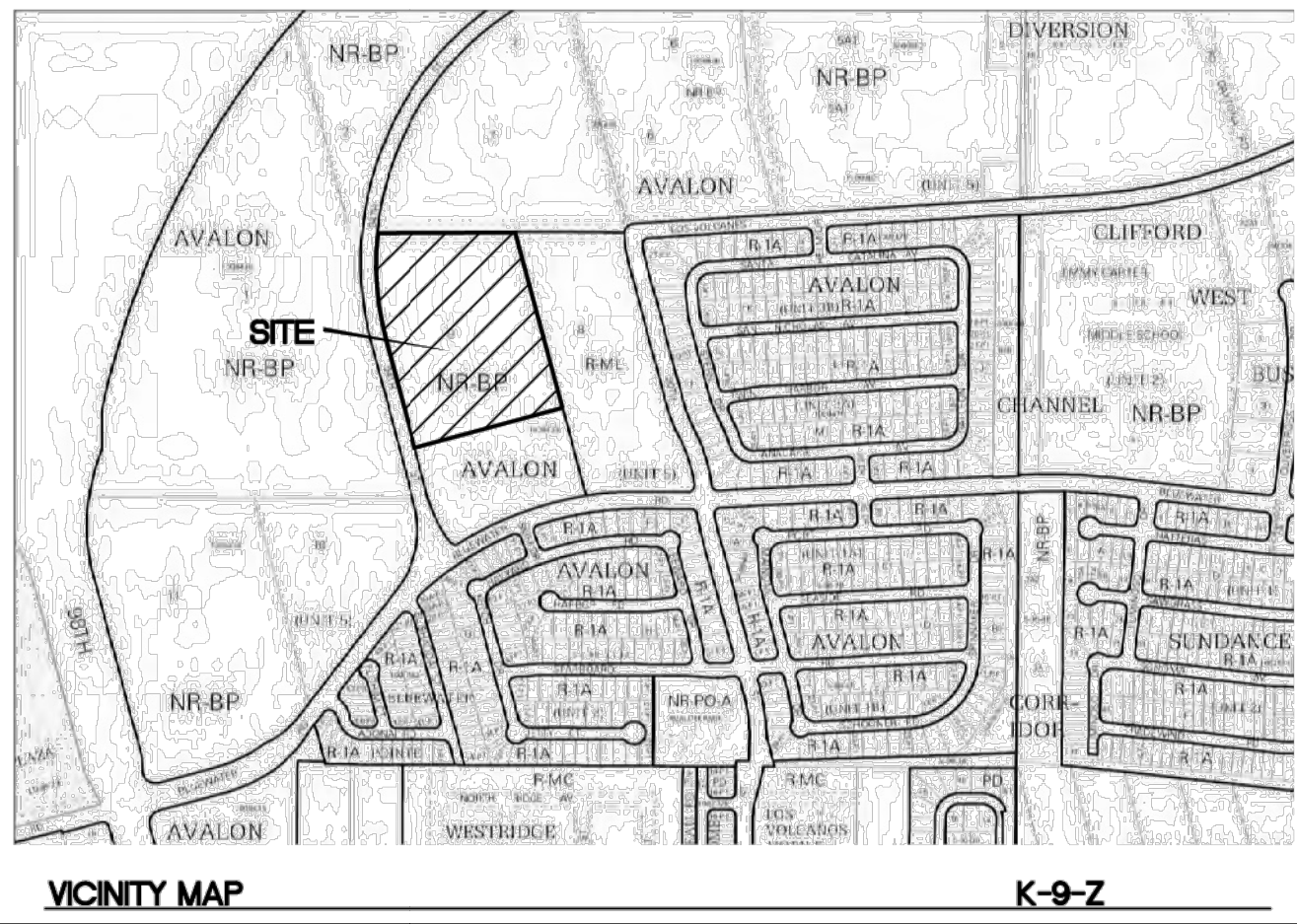


Adobe Acrobat Sign



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - RETAINING WALL
 - HEAVY DUTY PAVING
 - LIGHT DUTY PAVING
 - LANDSCAPING

- KEYED NOTES**
- ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN
 - 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
 - EXTENDED STEM WALL
 - ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
 - MOTORCYCLE PARKING W/SIGN (4'X8' MIN)
 - 9' PEDESTRIAN CROSSING
 - SITE LIGHTING, 30' MAX HEIGHT, LED
 - CONCRETE SIDEWALK PER COA STD DWG 2430
 - RETAINING WALL, HEIGHT VARIES 1'-4'
 - BICYCLE RACK SEE DETAIL SHEET SP-2
 - 6" CONCRETE WALK PER COA STD DWG 2430
 - UNIDIRECTION ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
 - 6'X6' CONCRETE PAD
 - RETAINING WALL
 - TRANSFORMER W/BOLLARDS
 - MONUMENT SIGN (TBD)
 - EXISTING CMU PERIMETER WALL, 8' HIGH
 - NEW 6" SIDEWALK PER COA STD DWG 2430
 - FUTURE 6" SIDEWALK
 - 8" CURB AND GUTTER PER COA STD DWG 2415A
 - FUTURE CURB AND GUTTER
 - 12'X34' CONCRETE PAD FOR TRASH COMPACTOR AND SCREEN WALLS (TALLER THAN COMPACTOR) IF A TENANT OCCUPIES A SPACE, AND THE TENANT WILL PROCESS, OR DISTRIBUTE FOOD, OR PLACE ANY LIQUIDS IN THE DUMPSTER A SANITARY DRAIN WILL HAVE TO BE INSTALLED
 - SITE LIGHTING, 16' MAX HEIGHT, LED
 - 500 SF OUTDOOR PATIO AREA
 - SIGHT LINES



LEGAL DESCRIPTION:
PORTION OF LOT 9 AVALON SUBDIVISION

SITE DATA	
PROPOSED USAGE	COMMERCIAL
LOT AREA	421765 SF (9.68 ACRES)
ZONING	NR-BP
BUILDING AREA	150574 SF
BUILDING COVERAGE	36%
BUILDING SETBACK	
FRONT	20
REAR	10'
SIDE	10'
PARKING REQUIRED	
PARKING PROVIDED	76 SPACES (1 SPACE PER 2000 SF)
ACCESSIBLE PARKING REQUIRED	163 SPACES (28 COMPACT=17.2%)
ACCESSIBLE SPACES PROVIDED	5 SPACES
ACCESSIBLE SPACES PROVIDED	6 SPACES
ACCESSIBLE SPACES PROVIDED	163 SPACES
BICYCLE SPACES REQUIRED	
BICYCLE SPACES PROVIDED	8
MOTORCYCLE SPACES REQUIRED	3 SPACES
MOTORCYCLE SPACES PROVIDED	6 SPACES
LANDSCAPE REQUIRED	
LANDSCAPE PROVIDED	40678 SF

PROJECT NUMBER: PR-2020-006070
APPLICATION NUMBER: SI-2021-01889

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated Planning Department and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
<i>Jaime Wolfenbarger</i> Traffic Engineer, Transportation Division	Jun 20, 2022
<i>Blaine Carter</i> Water Utility Development	Jun 20, 2022
<i>Chris Thompson</i> Parks & Recreation Department	Jun 21, 2022
<i>Ernest Amigo</i> City Engineer	Jun 21, 2022
<i>John P. ...</i> Code Enforcement	Jun 20, 2022
<i>Herma Gallegos</i> Solid Waste Management	05-09-22
<i>...</i> DRB Chairperson, Planning Department	Jun 24, 2022

* Environmental Health, if necessary

NOTE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL BE PER WORK ORDER

NO.	DATE	REVISIONS	BY
1	6-13-24	ADDED NEW WAREHOUSE RAMP	pm

ENGINEER'S SEAL

RONALD R. BOHANNAN
NEW MEXICO
P.E. #7868

TITAN 150K SPEC BUILDING
ALBUQUERQUE, NM

SITE PLAN FOR
BUILDING PERMIT

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

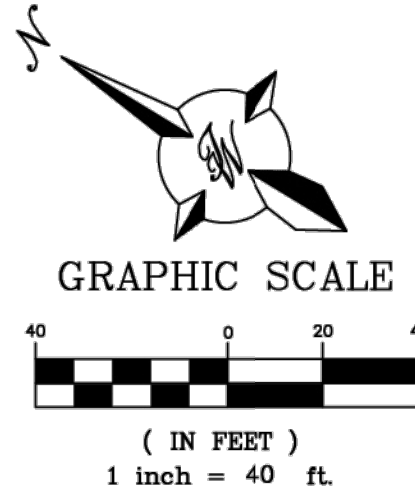
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pm

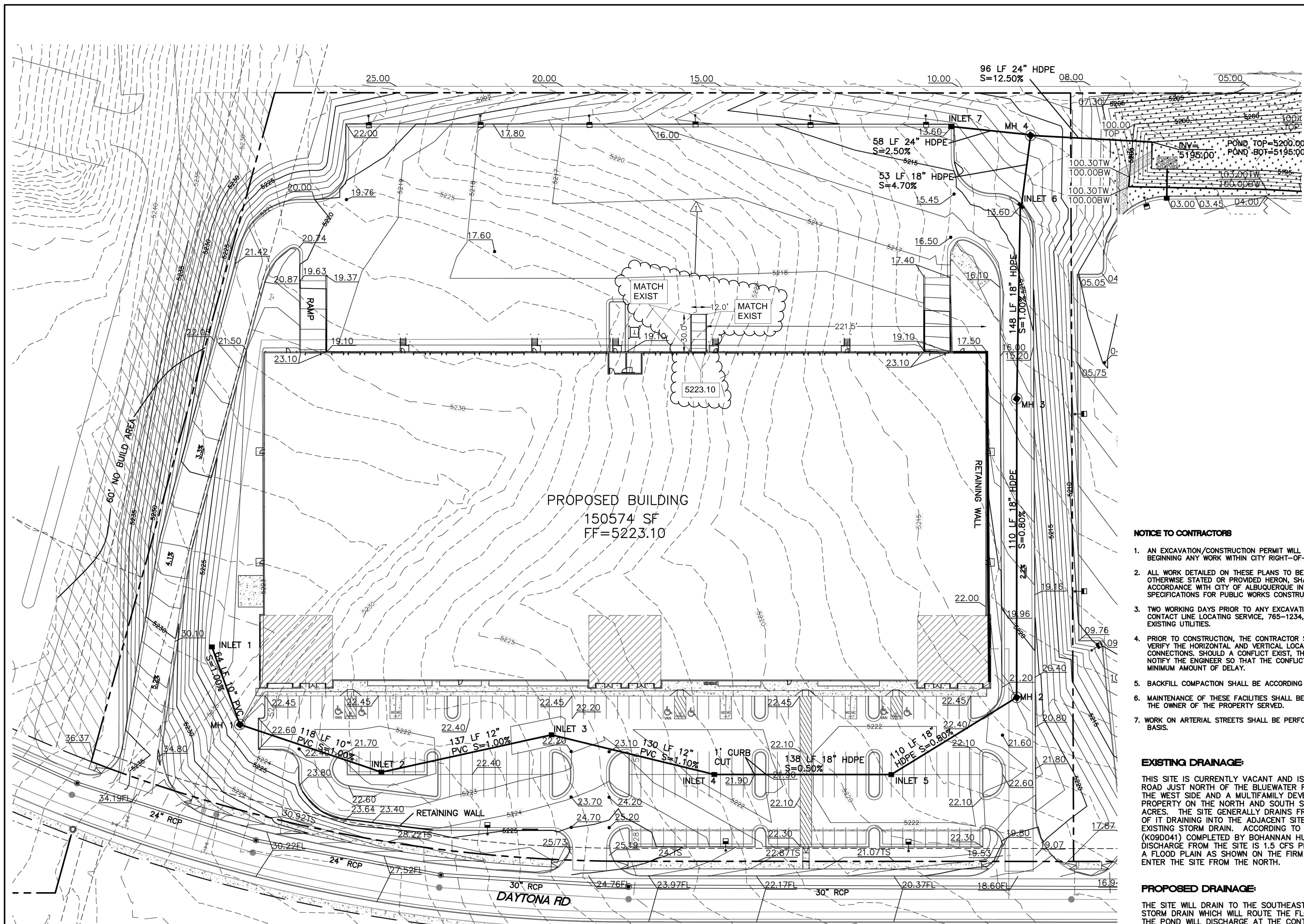
DATE
5-3-2022

DRAWING
2020088-150K.DWG

SHEET #
SP-1

JOB #
2020088





LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	RETAINING WALL

STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
INLET 1	TYPE 'C'	5221.30	5219.10
INLET 2	TYPE 'C'	5221.40	5217.3
INLET 3	TYPE 'C'	5221.60	5215.90
INLET 4	TYPE 'C'	5221.40	5214.50
INLET 5	TYPE 'C'	5221.40	5213.80
INLET 6	TYPE 'D'	5213.60	5209.50
INLET 7	TYPE 'C'	5213.60	5208.50

MH TABLE

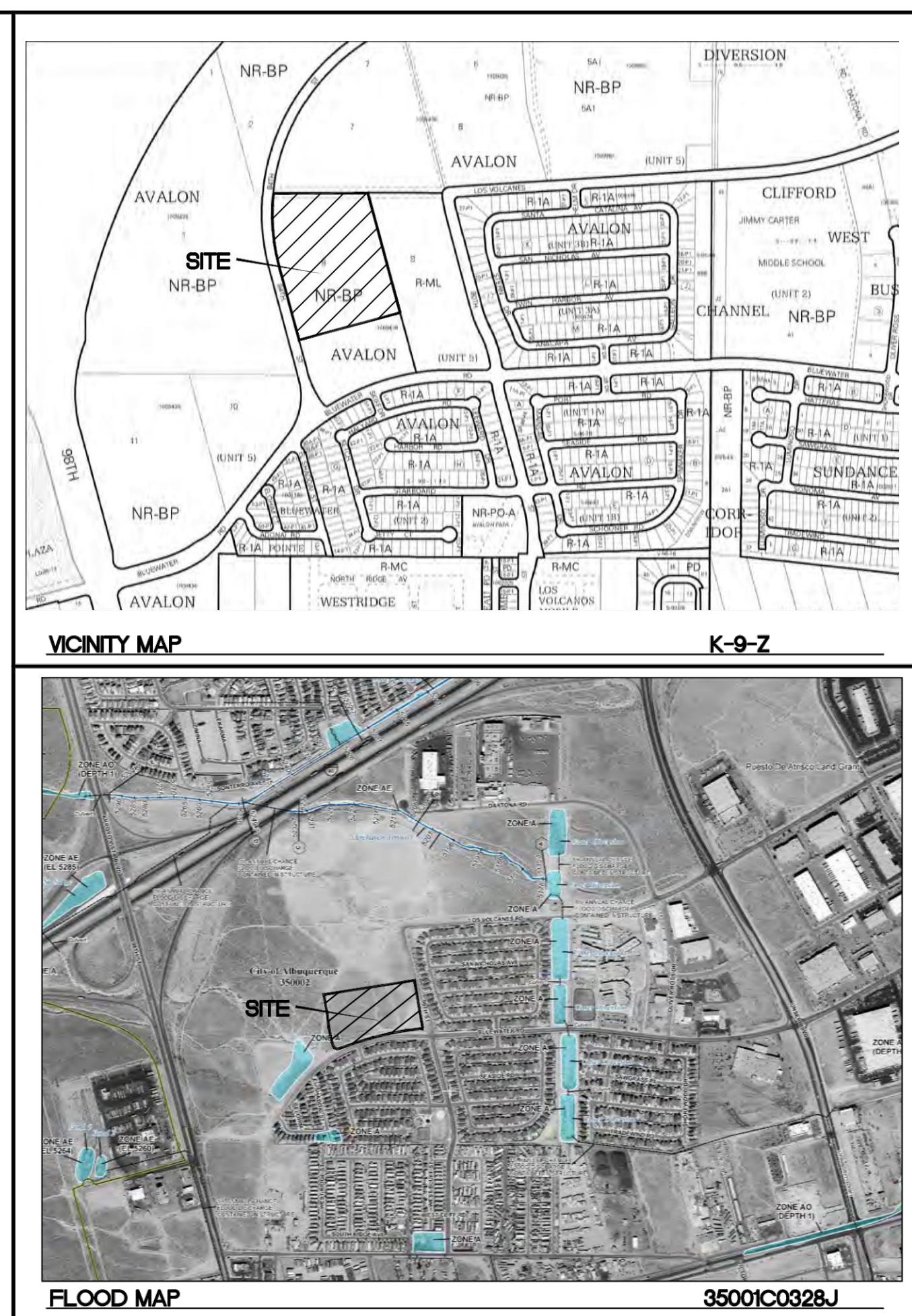
STRUCTURE	SIZE/TYPE	RIM	INVERT
MH 1	TYPE 'C' 4' DIA	5223.00	5218.50
MH 2	TYPE 'C' 4' DIA	5221.02	5212.90
MH 3	TYPE 'C' 4' DIA	5216.52	5211.00
MH 4	TYPE 'C' 4' DIA	5211.25	5207.00



NO.	DATE	REVISIONS
1	6-13-24	ADDED NEW WAREHOUSE RAMP

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EXISTING DRAINAGE:

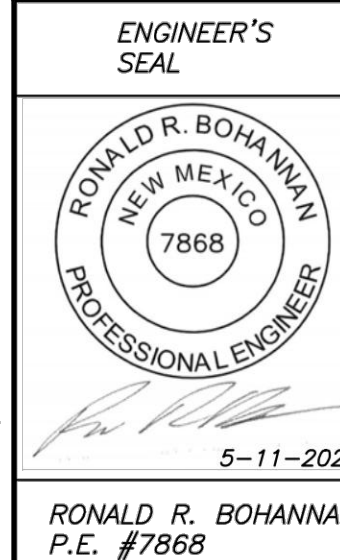
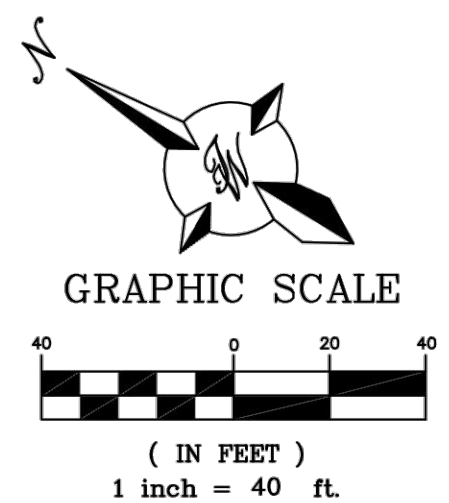
THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE EAST SIDE OF DAYTONA ROAD JUST NORTH OF THE BLUEWATER RD. THE SITE IS BOUNDED BY ROADS ON THE WEST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE EAST SIDE AND VACANT PROPERTY ON THE NORTH AND SOUTH SIDES. IT CONTAINS APPROXIMATELY 9.69 ACRES. THE SITE GENERALLY DRAINS FROM NORTHWEST TO SOUTHWEST WITH MOST OF IT DRAINING INTO THE ADJACENT SITE WHICH DRAINS TO BLUEWATER ROAD EXISTING STORM DRAIN. ACCORDING TO AN APPROVED MASTER DRAINAGE PLAN (K09D041) COMPLETED BY BOHANNAN HUSTON INC. THE ALLOWABLE DEVELOPED DISCHARGE FROM THE SITE IS 1.5 CFS PER ACRE. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE OFFSITE FLOWS THAT ENTER THE SITE FROM THE NORTH.

PROPOSED DRAINAGE:

THE SITE WILL DRAIN TO THE SOUTHEAST CORNER OF THE SITE INTO A PROPOSED STORM DRAIN WHICH WILL ROUTE THE FLOWS TO A PROPOSED DETENTION POND. THE POND WILL DISCHARGE AT THE CONTROLLED RATE OF 1.5 CFS PER ACRE TO THE EXISTING STORM DRAIN IN BLUEWATER ROAD. THIS POND WILL ALSO RETAIN THE WATER QUALITY VOLUME FOR THIS PARCEL.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.



TITAN 150K SPEC BUILDING ALBUQUERQUE, NM

GRADING AND DRAINAGE PLAN

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