



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Tulas Kitchen c/o Don Winebrenner		Phone: 505-858-1010
Address: 8525 Jefferson Street NE		Email: dwinebrenner@dions.com
City: Albuquerque	State: NM	Zip: 87113
Professional/Agent (if any): Consensus Planning Inc.		Phone: 505-764-9801 x109
Address: 302 Eighth Street NW		Email: turner@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Developer		List all owners: Pappas Restaurants Inc

BRIEF DESCRIPTION OF REQUEST

A Minor Amendment to a Site Development Plan for Building Permit approved prior to the effective date of the IDO to for minor changes to the exterior of the building including a new front entry, new colors and roof, mural, updated signs

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: LT 2 PLAT OF LOTS 1-6 JEFFERSON COMMONS II BEING A REPLAT OF PARCEL 3 DIGITAL PROPERTIES	Block:	Unit: --
Subdivision/Addition: CONT 2.3135 AC	MRGCD Map No.:	UPC Code: 101706120439620207
Zone Atlas Page(s): F-17	Existing Zoning: NR-BP	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: --	Total Area of Site (acres): 2.31 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5021 Pan American Fwy NE	Between: Jefferson St	and: Office Blvd
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-97-20, 1003009, 03EPC-01665

Signature: Jonathan Turner	Date: 12/18/23
Printed Name: Jonathan Turner	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

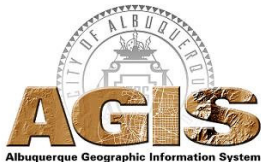
- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

SITE

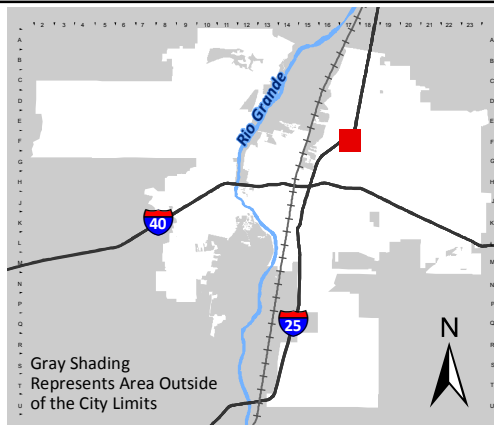


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page: F-17-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

December 26, 2023

Albuquerque Planning Department
600 2nd Street NW,
Albuquerque, NM, 87102


RE: 5021 Pan American Fwy NE

To Whom It May Concern:

This letter provides authorization for Consensus Planning, Inc. to act as our agent relating to all applications, hearings, submittals, and other formal representation for the subject property legally described as: ***LT 2 PLAT OF LOTS 1-6 JEFFERSON COMMONS II BEING A REPLAT OF PARCEL 3 DIGITAL PROPERTIES CONT 2.3135 AC***

Sincerely,

Name: Christopher Pappas

Signature: 

Title: Executive Chairman

Date: 1/10/2024



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

December 18, 2023

Mr. James Aranda, Deputy Director
Planning Department
600 2nd St NW, 3rd Floor
Albuquerque, New Mexico 87102

RE: Administrative Amendment - Tula's Kitchen
Planning case file: 03EPC 01665 / Project# 1003009

Dear Mr. Aranda,

The applicant for the property located at 5021 Pan American Fwy NE, Tula's Kitchen, is requesting an administrative amendment to the Jefferson Commons Site Development Plan for Building permit. The applicant's intent is to renovate and re-brand the existing, vacant 6,432 square foot restaurant into a Tula's Kitchen II restaurant. As part of the scope of renovations, the applicant is proposing to make minor changes to the existing signage, exterior façades, and roof materials.

The subject site was originally zoned Industrial Park (IP) and was developed pursuant to an approved Site Plan for Building Permit under the prior City Zoning Code. The property is now zoned Non-residential Business Park (NR-BP) as regulated by the 2018 Integrated Development Ordinance (IDO).



Figure 1- Subject Site

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

Ken Romig, PLA, ASLA

Reason for Request

The original Site Plan for Building permit for this property was approved for a Johnny Carino's restaurant in 2004. Later, the building took new ownership and became a Nick and Jimmy's restaurant. In January of 2023, Nick and Jimmy's permanently closed and the Tula's Kitchen restaurant group is interested in acquiring the property to be redeveloped as a Tula's II restaurant. The management team hired a local architect, Peter Butterfield, to lead the effort in preparing the plans to update the architecture and re-brand the existing restaurant building to be more consistent and harmonious with the character of the original concept for Tula's Kitchen.

The requested changes for this amendment are listed in detail below and are also circled in red and noted on the prior approved **Jefferson Commons II- Site Plan for Building Permit**. It is the applicant's intent to incorporate changes to the building which are not in conflict with any of the regulations or other requirements of the approved Site Development Plan.

It is important to note that are no changes being proposed with this amendment that affect parking, access, traffic circulation, grading and drainage, or landscaping.



Figure 2- Existing conditions

Scope of Amendment

The proposed changes to the building are as follows:

1. Extend height of existing entry to 23'-6" from 11'-6" and add windows to create a new decorative main entryway.
2. Paint existing stone white.
3. Remove existing stone below windows and install tile.
4. Add a new storefront door on the north side.
5. Change stucco color to white throughout.
6. Add painted mural at south wall at southeast corner.

7. Remove brick details at south wall and east wall at southeast corner and at the existing chimney and infill with stone to match existing.
8. Replace fence material with horizontal simulated wood.
9. Install new black metal standing seam roof.
10. Paint existing trim.
11. Remove fabric awning at entry.
12. Replace signage with non-illuminated flat cut aluminum building mounted lettering for building face with painted black finish.

Criteria for Approval

Pursuant to the site plan amendment procedures of the IDO, this application follows subsection 14-16-6-4(Z) which addresses applications for amendments to site development plans approved prior to the effective date of this IDO.

Below is an explanation of how the application meets the criteria for approval as outlined in subsection 6-4(Z)(1)(a) – for Minor Amendments to site development plans approved prior to the effective date of this IDO.

The Planning Director may grant minor amendments that meet all of the following requirements.

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.

Applicant response: *The requested changes still meets all the original requirements of the approved Site Plan. The applicant intends to use different exterior colors, materials, and architectural design to make cosmetic changes to the building with the intent to create a new look for the building that is representative of the character of the Tula's Kitchen brand. The proposed changes being requested are not in conflict with any of the regulations or other requirements of the prior approved Site Plan.*

2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.

Applicant response: *This application for a minor amendment to the Site Plan falls within the allowed thresholds as established in IDO Table 6-4-4. The requested changes meet the requirements specified in the approved Site Plan and are also compliant with the regulations of the IDO where the Plan is silent. In fact, all of the proposed changes are also consistent with and compliant with the regulations of the underlying NR-BP zone.*

3. The requested change does not require major public infrastructure, significant changes to access to the subject property, or a traffic impact study, which would warrant additional review by the original decision-making body.



Applicant response: The requested changes for this amendment does not require major public infrastructure, significant changes to access to the subject property, or a traffic impact study; therefore, this criterion does not apply. As stated previously, the requested minor amendment does not change any aspect of the access, circulation, grading and drainage, or landscaping.

4. No deviations, Variances, or Waivers shall be granted for minor amendments.

Applicant response: This application is not requesting any Deviations, Variances, or Waivers; therefore, this criterion does not apply.

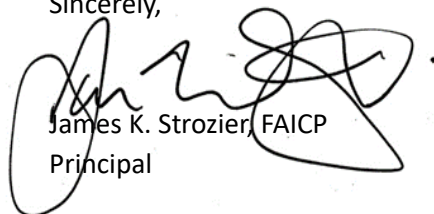
Summary

The requested changes to the building facades are circled and noted on the original building elevations on the EPC approved Site Plan for Building Permit. We believe that the proposed changes to the façades are in harmony and consistent with the originally approved Site Plan for Subdivision but will also further compliance with the newer regulations of the IDO for glazing requirements of street facing building façades. Although the existing building façades were approved prior to the adoption of the IDO, the minor changes requested with the amendment will help incorporate and further achieve the façade design requirements of §14-16-5-11(E)(2)(a) of the IDO for street facing building façades in non-residential zones.

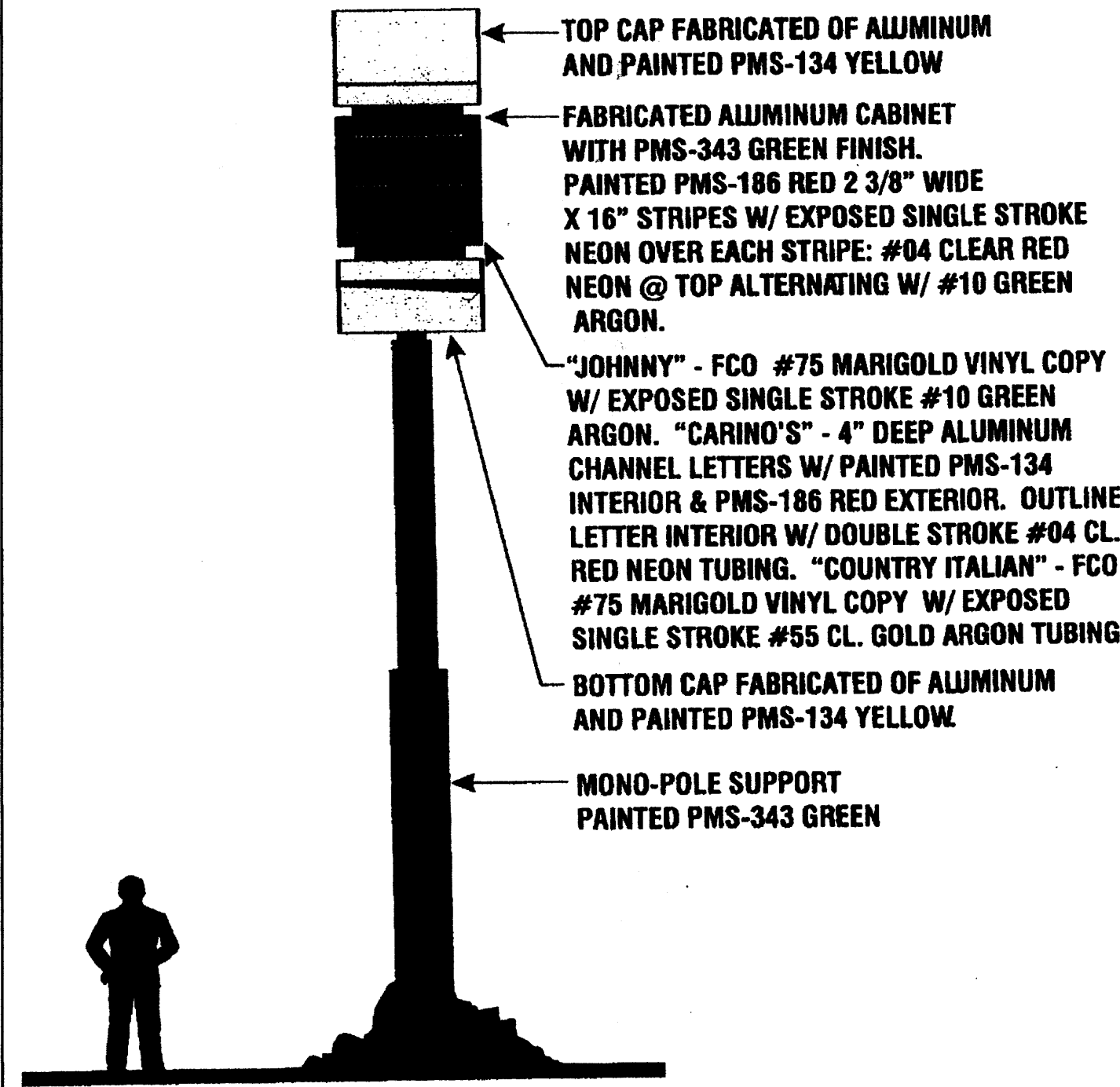
In conclusion, the proposed amendment involves very minor aesthetic changes to the approved plan and does not impact approved building square footage, grading and drainage, landscaping, building height, access, or traffic circulation. For the reasons stated above, and on behalf of the applicant, we respectfully request approval of the Minor Amendment to allow the proposed changes. Approval will allow the applicant to make reasonable changes to the existing building prior to taking occupancy and will support the efforts of a local business to renovate and re-use an existing vacant building along the I-25 corridor.

Please feel free to contact me should you require any additional information or if you have any questions.

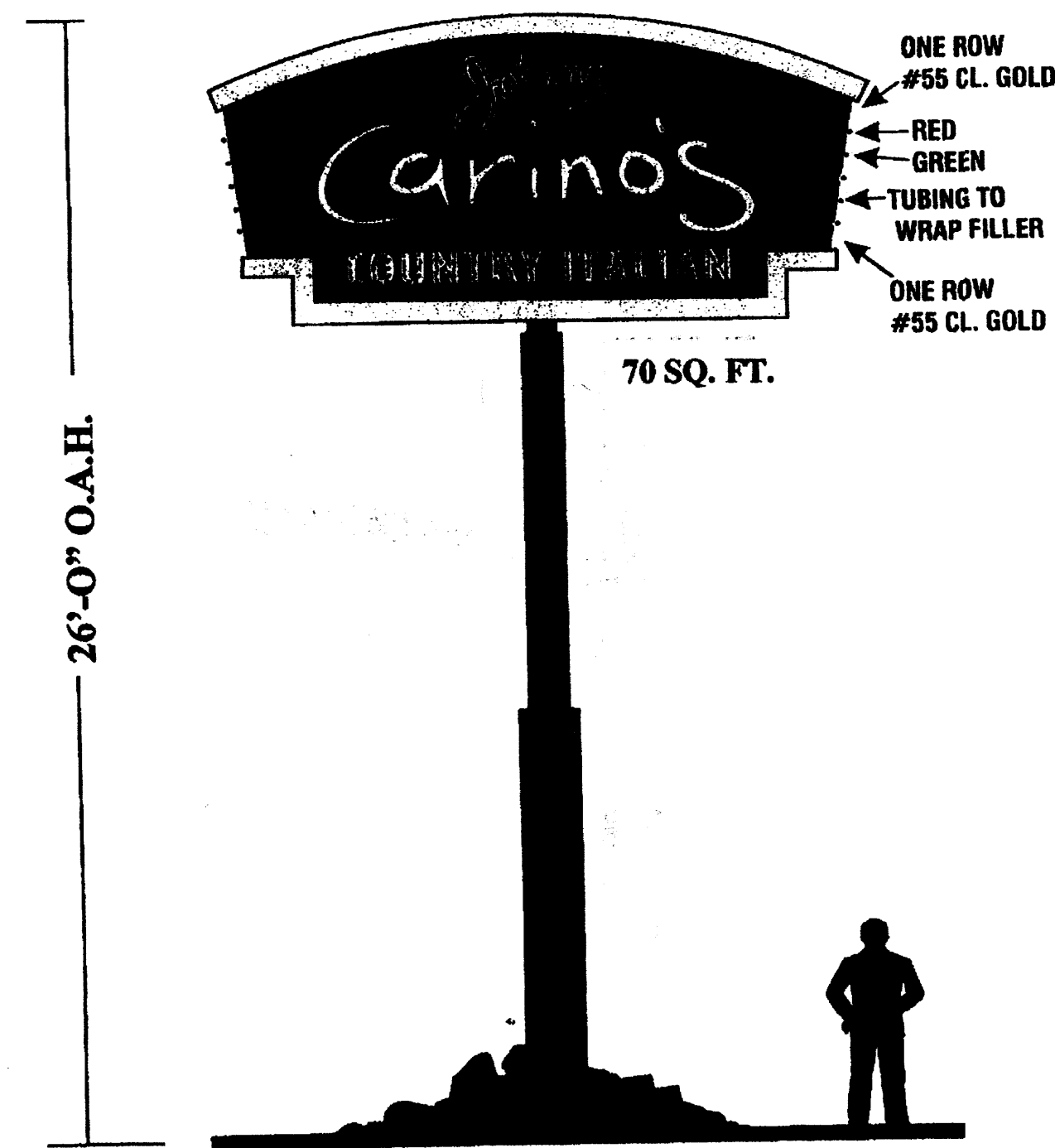
Sincerely,



James K. Strozier, FAICP
Principal



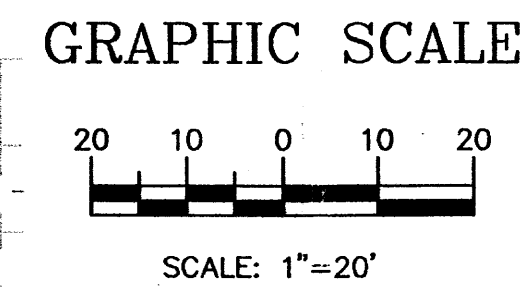
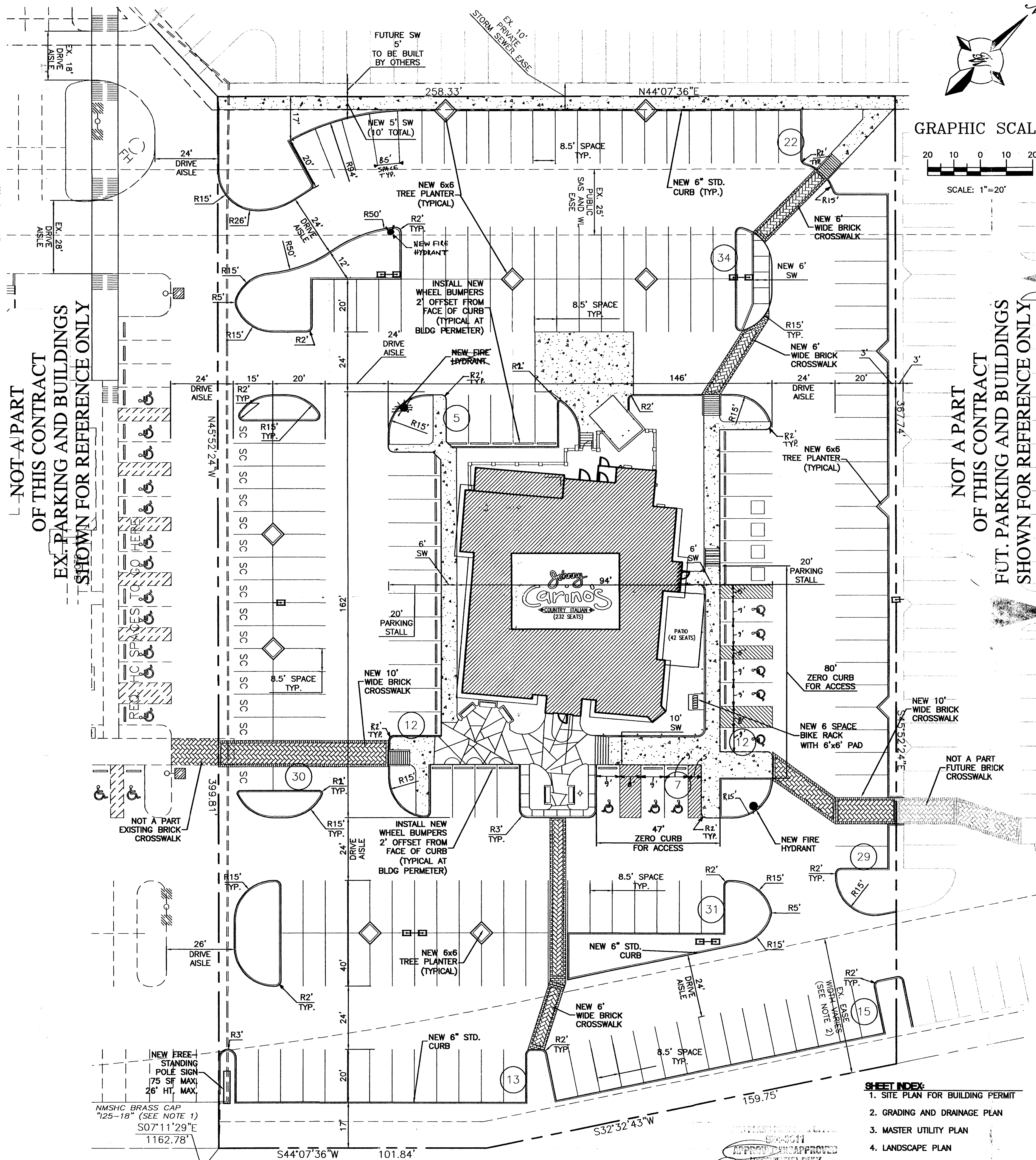
26' PYLON SIGN - END VIEW
NOT TO SCALE



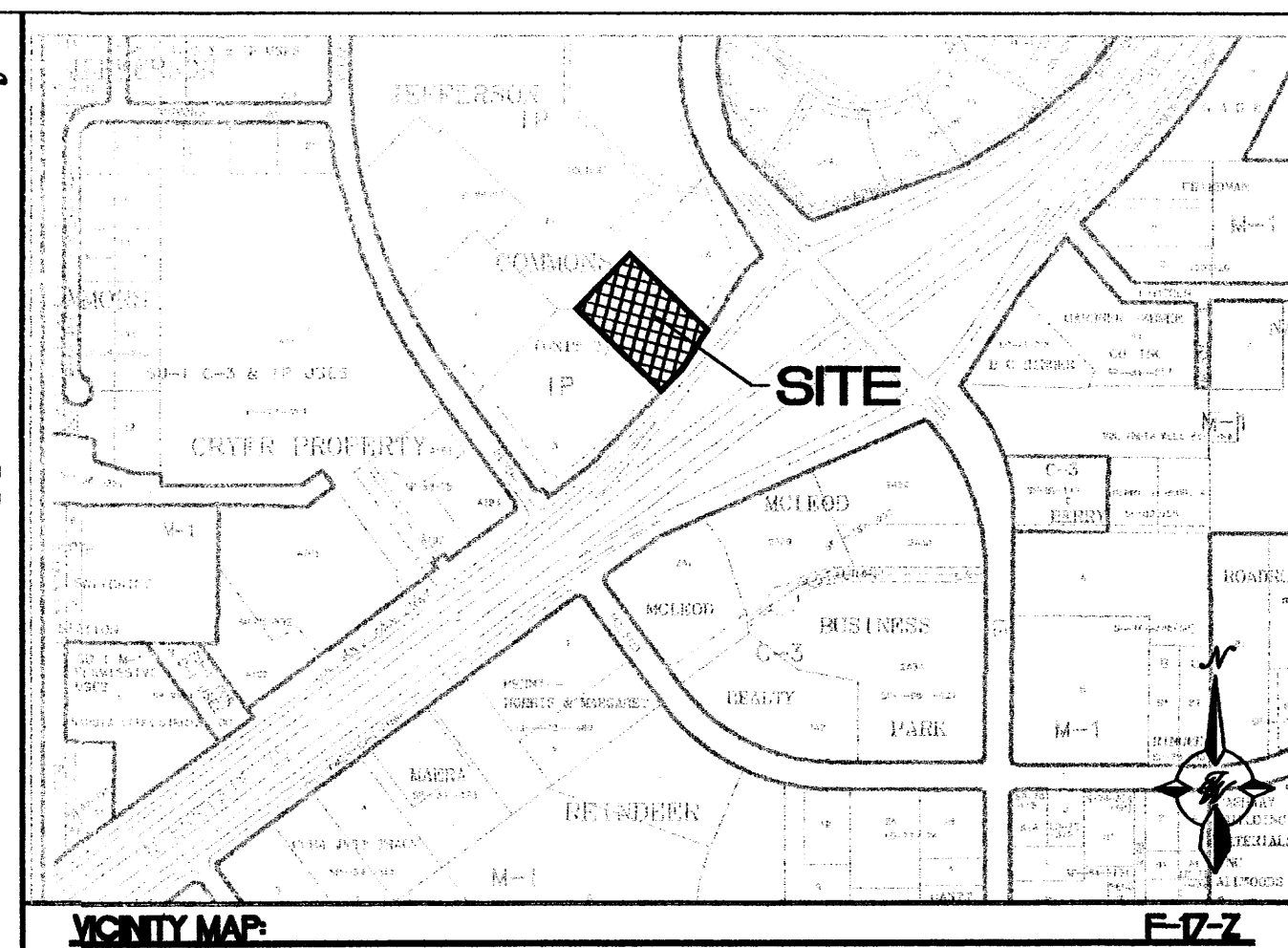
26' PYLON SIGN - FRONT VIEW
NOT TO SCALE

LEGEND	DESCRIPTION
	EXISTING CURB & GUTTER
	PROPOSED 6' CURB
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	FUTURE SIDEWALK
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	TWIN, CUT-OFF, 30' STREET
	SINGLE, CUT-OFF, 30' STREET

NOT A PART
OF THIS CONTRACT
EX. PARKING AND BUILDINGS
SHOWN FOR REFERENCE ONLY

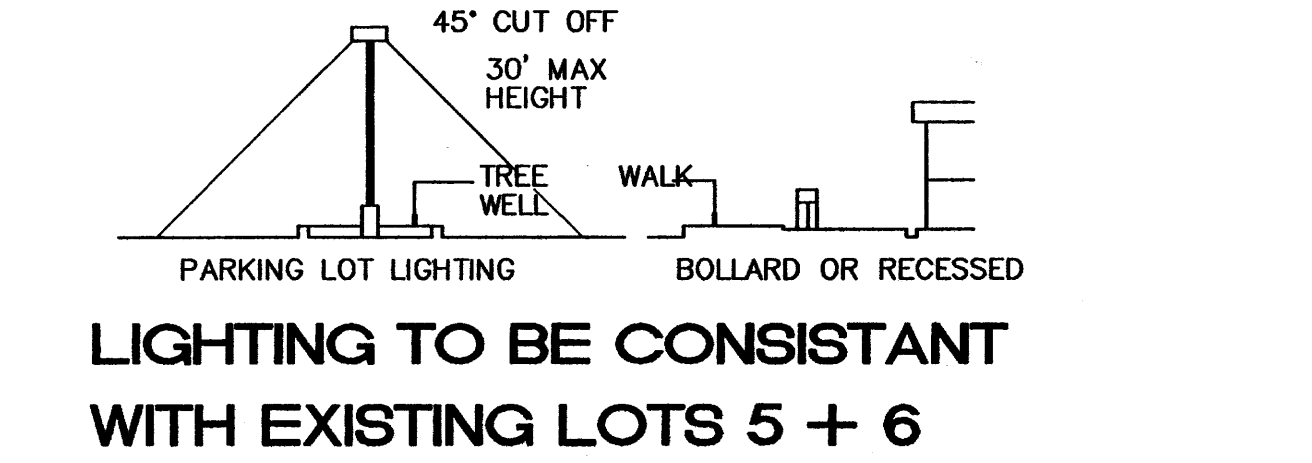


NOT A PART
OF THIS CONTRACT
FUT. PARKING AND BUILDINGS
SHOWN FOR REFERENCE ONLY



- LEGAL DESCRIPTION:**
LOT 2, JEFFERSON COMMONS II
- NOTES:**
- PROJECT BENCHMARK, "1-25-18". NGVD ELEV: 5125.7; NM STATE PLANE X&Y (NAD27) 395,426.52, 1,505,603.74
 - NM SH&T DEPARTMENT CONSTRUCTION MAINTENANCE EASEMENT, ORIGINAL DOC. NO. 9078858 AND MODIFIED WITH DOC. NO. 95084464, FILED 8/23/1995, BOOK 95-20, PAGE 2285-2302
 - SEATING CALCULATIONS BASED ON PROVIDED SEATING INSIDE (232) AND IN THE PATIO AREA (42) FOR A TOTAL OF 274.
 - ALL CURBWORK SHALL BE 6" STD CURB PER COA STD DWG#2415, UNLESS OTHERWISE NOTED.

SITE DATA	
PROPOSED USAGE:	RESTAURANT
BUILDING AREA:	6432 SF ±
PATIO AREA:	427 SF ±
TOTAL LOT AREA:	100,776 SF (2.3135 ACRE) ±
TOTAL PARKING PROVIDED:	210 SPACES
PARKING REQUIRED:	91 SPACES
HC PARKING PROVIDED:	8 SPACES
HC PARKING REQUIRED:	8 SPACES
	2 SPACES VAN ACCESSIBLE



PROJECT NUMBER: 1003009
APPLICATION NUMBER: 03EPC 01665

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

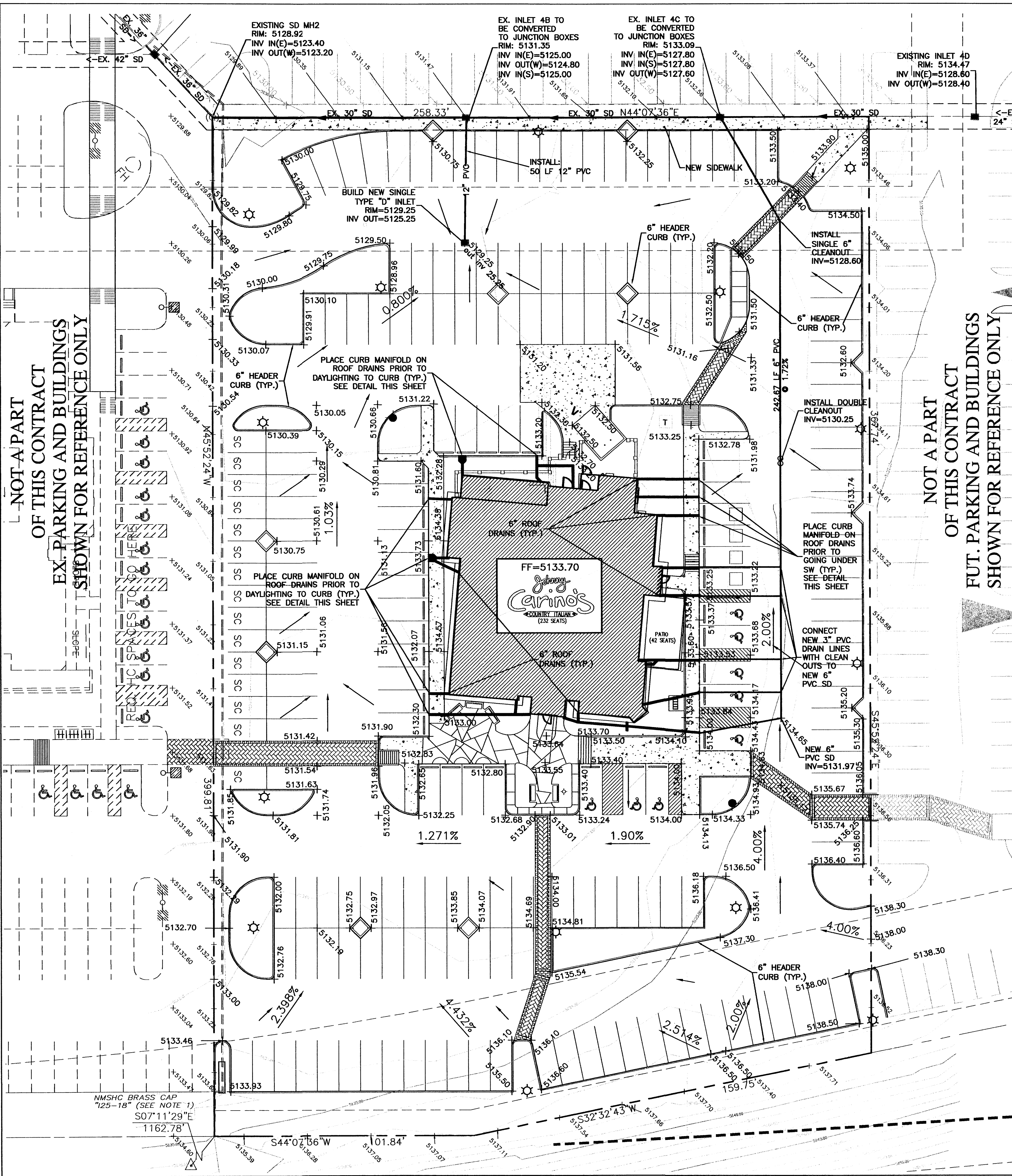
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	1-13-04
Utilities Development	1-15-04
Parks & Recreation Department	12/31/03
City Engineer	12/31/03
* Environmental Health Department (conditional)	
Public Works Department	12/31/03
DRB Chairperson, Planning Department	12/31/03

* Environmental Health, if necessary 12/16/03

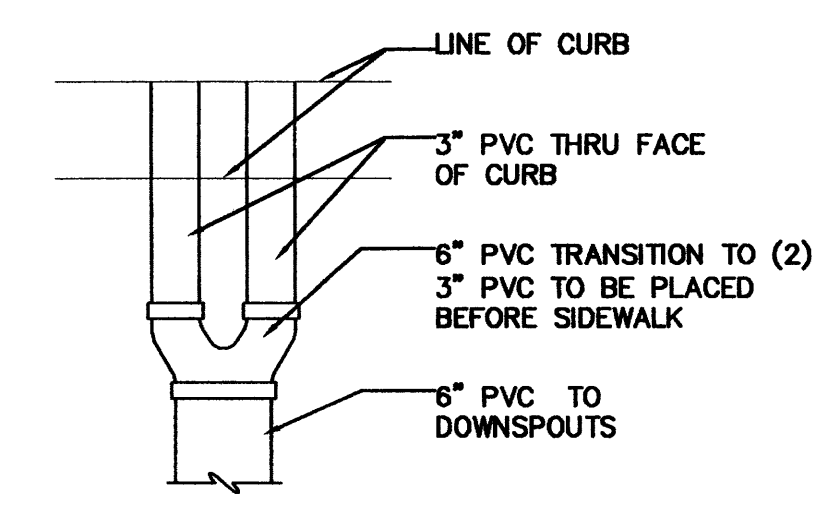
ENGINEER'S SEAL	JEFFERSON COMMONS-II JOHNNY CARINOS	DRAWN BY MP
	SITE PLAN FOR BUILDING PERMIT	DATE 12-15-2003
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	SHEET # 1 OF 6
	RONALD R. BOHANNAN P.E. #7868	JOB # 230095

1003009

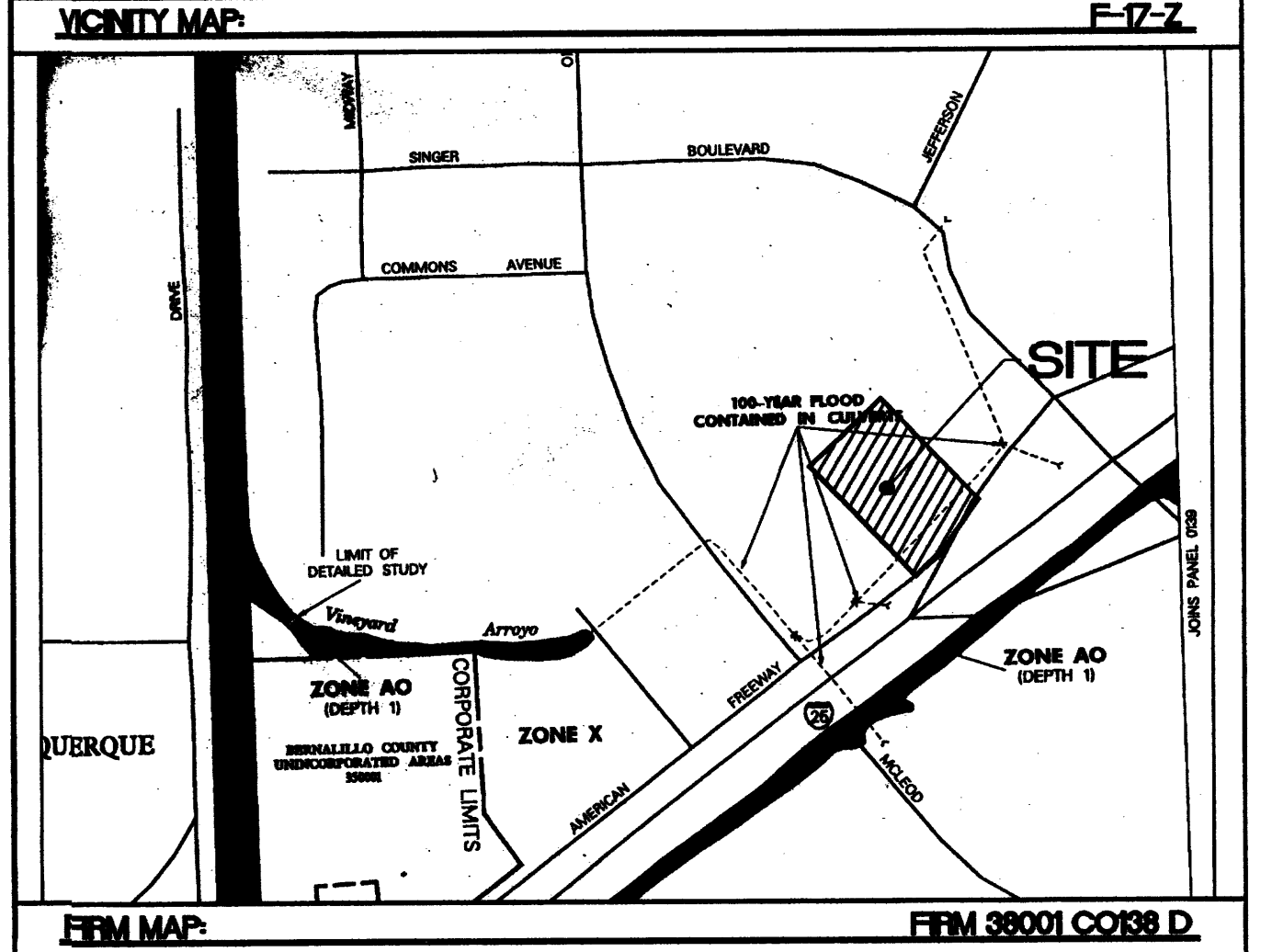
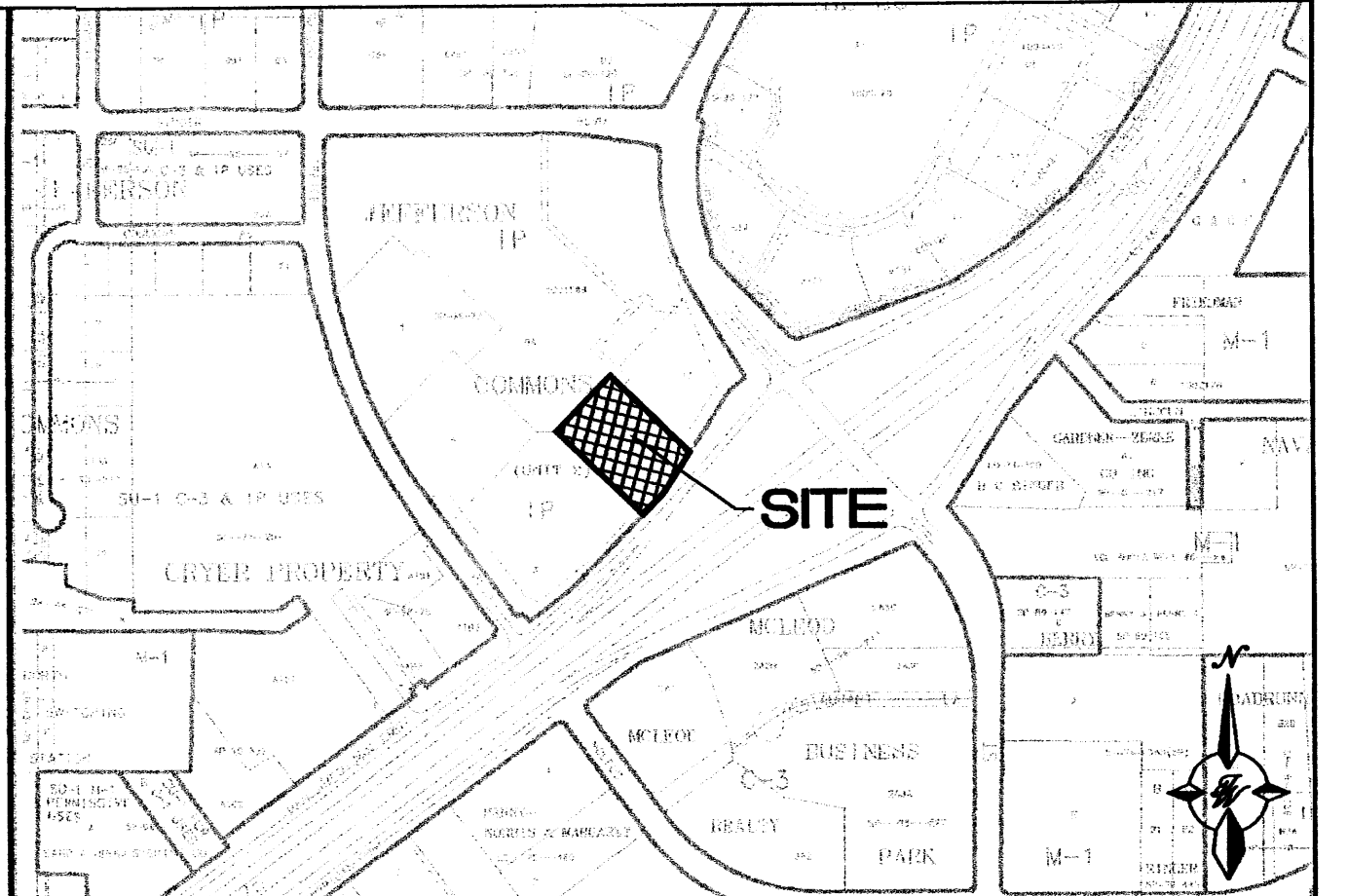
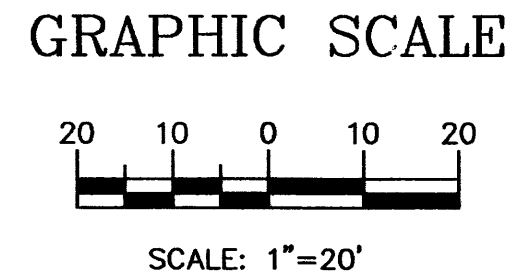


- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND	DESCRIPTION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	PROPOSED DBL. "D" INLET
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	BENCH MARK
	STREET LIGHTS



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



- LEGAL DESCRIPTION:**
LOT 2, JEFFERSON COMMONS II
- NOTES:**
1. PROJECT BENCHMARK, "1-25-18", NGVD ELEV: 2125.70, NM STATE PLANE X&Y (NAD27) 395,426.52, 1505,603.74
 2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 3. NMST&T DEPARTMENT DOC. NO. 9079858 AND MODIFIED WITH DOC. NO. 95084464, FILED 8/23/95, BOOK 95-20, PAGE 2285-2302
 4. ALL CURB WORK TO BE 6" HEADER CURB UNLESS OTHERWISE NOTED.

Tierra West, LLC, on behalf of Sandia Food Group, is requesting drainage plan approval of Lot 2, Jefferson Commons Phase II. This lot falls within the limits of the Jefferson Commons II Master Drainage Report (F17-D63) approved by the city October 21, 1997.

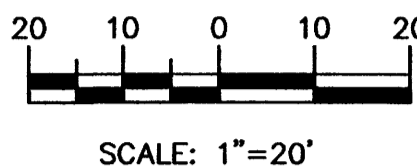
The Drainage Master Plan shows Lot 2 draining to two drop inlets along the northwest property line, allowing free discharge to those inlets. The Johnny Carino's drainage plan deviates slightly by converting the two existing inlets into manholes and installing a new drop inlet farther into Lot 2 to facilitate better drainage around the building. There are no flows entering the existing inlets from outside of Lot 2.

Since, the drainage plan for Johnny Carino's restaurant conforms to the Jefferson Commons II Master Drainage Report we feel that this drainage plan should be approved. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

	JEFFERSON COMMONS II JOHNNY CARINO'S GRADING AND DRAINAGE PLAN	DRAWN BY MP
	Tierra West, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DATE 12-18-2003 2385GRB-102403X.DWG
SHEET # 2 OF 6		JOB # 230095

LINE	LENGTH	BEARING
L1	73.43	S79°20'06"W
L2	73.25	N70°04'30"E
L3	140.70	S57°17'17"W
L4	125.48	N29°20'06"E
L5	65.65	N14°53'34"E
L6	63.17	S13°40'07"W

GRAPHIC SCALE



EXISTING MH-5E
RIM: 5128.60
INV IN(E)=5121.87
INV OUT(W)=5121.77

LEGEND	DESCRIPTION
○	EXISTING SAS MANHOLE
— EX. 8" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
8	PROPOSED SAS CLEANOUT
→	DIRECTION OF FLOW
— 8" SAS —	PROPOSED SANITARY SEWER LINE
⊗	EXISTING METER
⊗	EXISTING VALVE W/BOX
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING AIR RELEASE VALVE
⊗	EXISTING REDUCER
— EX. 16" WL —	EXISTING WATER LINE
⊗	PROPOSED METER
⊗	PROPOSED VALVE W/BOX
⊗	PROPOSED FIRE HYDRANT
⊗	PROPOSED AIR RELEASE VALVE
⊗	PROPOSED REDUCER
⊗	PROPOSED IRRIGATION SERVICE
— 8" WL —	PROPOSED WATER LINE
⊗	EXISTING STORM SEWER MANHOLE
⊗	EXISTING STORM SEWER INLET
— EX. 24" RCP —	EXISTING STORM SEWER LINE
⊗	PROPOSED STORM SEWER MANHOLE
⊗	PROPOSED SNGL. "D" INLET
— 24" RCP —	PROPOSED STORM SEWER LINE
=====	EXISTING CURB & GUTTER
=====	PROPOSED 6" STD CURB
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	EASEMENT
-----	PROPOSED SIDEWALK
-----	EXISTING SIDEWALK
-----	FUTURE SIDEWALK
-----	RIGHT-OF-WAY
-----	LOT LINES
-----	EXISTING LOT LINES
△	BENCH MARK
☆	STREET LIGHTS

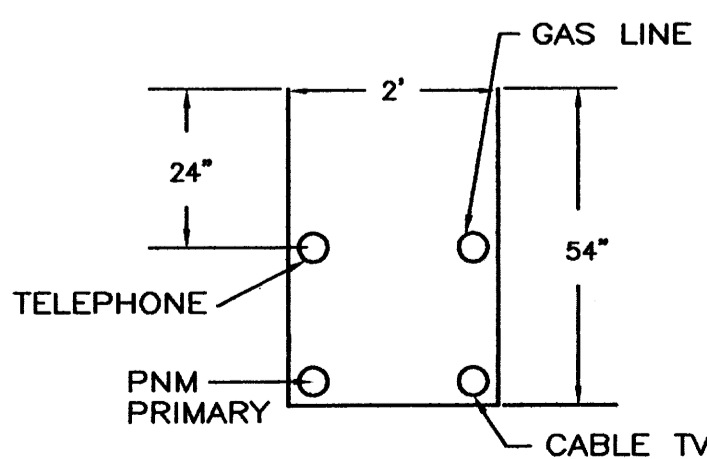
PROPOSED
PAPPADEAUX
FOOD KITCHEN
RESTAURANT
13,725 SQ. FT.

SITE/UTILITY REQUIREMENTS

ELEC.: 1000 AMP UNDERGROUND AT 120/208/3P/4W
262 KW DIVERSION CONNECTED LOAD (VERIFY)
2333 C.F.H. AT 0.5" W.C.
WATER: 78 GPM, 136 FUTURE UNITS, 2" LINE
SAN. SEWER: 237 FUTURE UNITS, 6" LINE
4'0" MIN. FLOWLINE BELOW FINISH FLOOR
TELEPHONE: 2" EMPTY CONDUIT WITH PULL WIRE
CABLE: 2" EMPTY CONDUIT WITH PULL WIRE
PROTO POLE: FIXTURE: LIGHTOLIER "EXCELINE" #SAR403MAL,
400 W MH, 208 VOLD, TYPE III
(UNLESS NOTED OTHERWISE)
POLE: "EXCELINE" #801-3007-30, 30'-0"
SQUARE STRAIGHT STEEL POLE, 400 W SMH LMP
(UNLESS OTHERWISE NOTED)

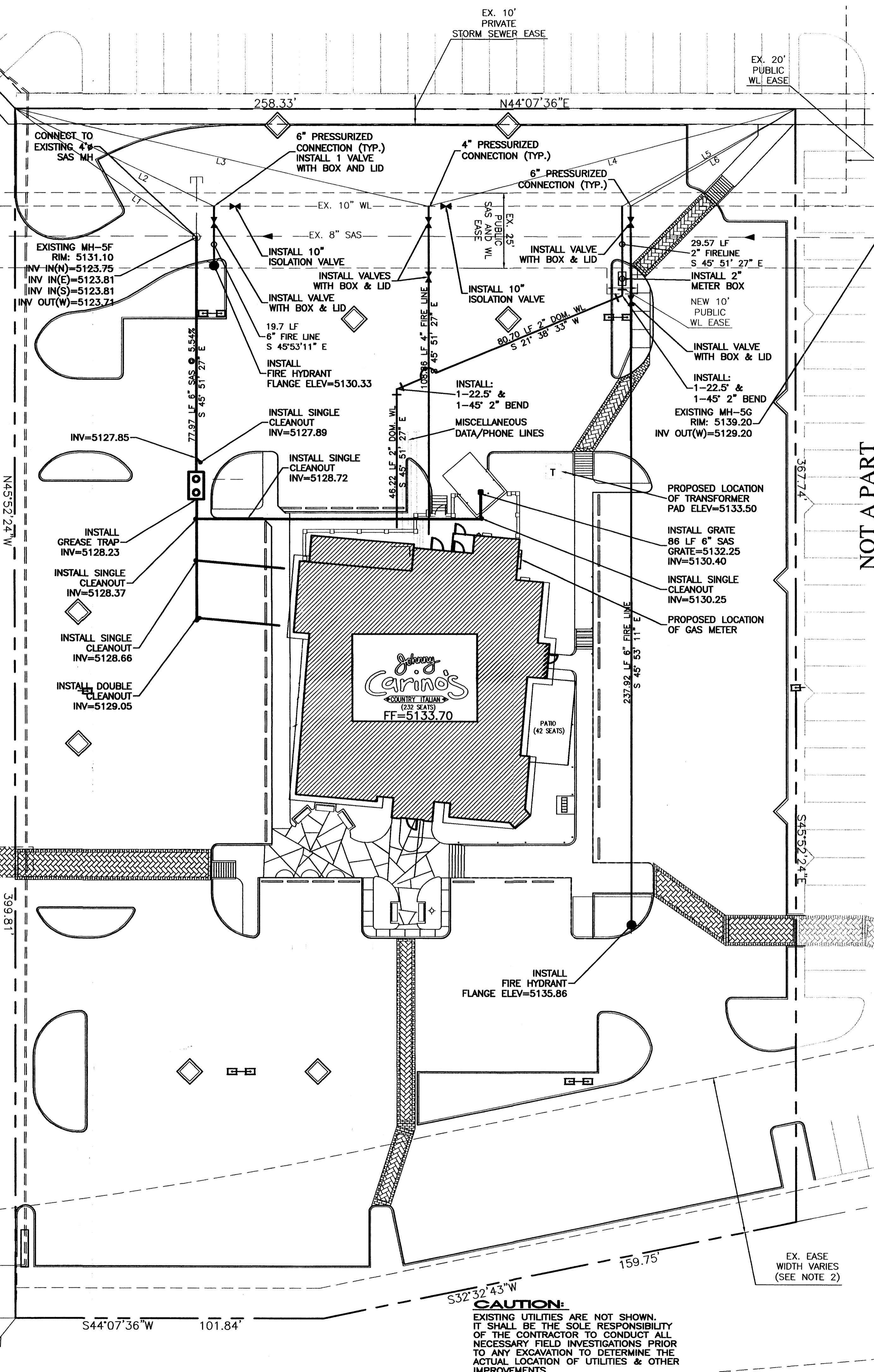
GENERAL NOTES:

- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
- ALL PIPE MATERIAL TO BE USED PER UPC.

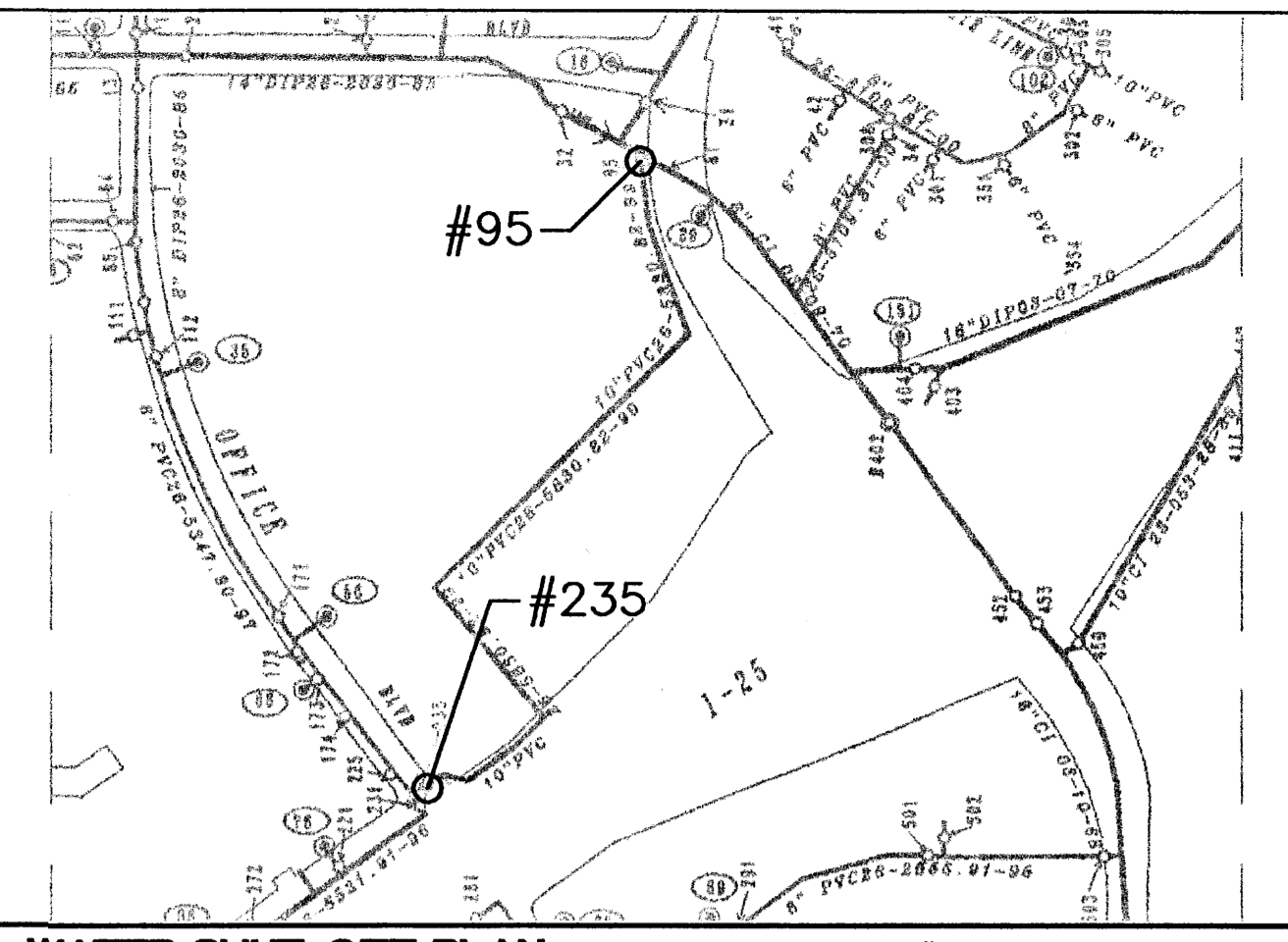


UTILITY TRENCH DETAIL
NTS

15HC BRASS CAP
5'-18" (SEE NOTE 1)
S07°11'29"E
1162.78'



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



WATER SHUT-OFF PLAN SHUT OFF VALVES #95 & 235, IF EMERGENT

- NOTES:
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
- CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
- CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
- CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
- CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

ENGINEER'S SEAL	JEFFERSON COMMONS - II JOHNNY CARINO'S 5021 PAN AMERICAN FRWY. NE	DRAWN BY MP
RONALD R. BOHANNAN P.E. #7868	MASTER UTILITY PLAN	DATE 01-07-04
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2395MUB-102403X.DWG
		SHEET # 3 OF 6
		JOB # 230095

Landscape Legend

Size	Common Name	Quantity
4-6'	Palm Yucca, Boulder, Cobble	2
2"	Honeylocust, Ash, Chinese Pistache	16
2"	Chitalpa	16
5'	Multi-trunk character Pinon	2
15 Gal	Desert Willow	8
5 Gal	Raphiolepis	19
5 Gal	Buffalo Juniper	52
5 Gal	Dwarf Butterfly Bush	29
5 Gal	Dwarf Fountain Grass	56
5 Gal	Santolina	25
5 Gal	Blue Mist	40
5 Gal	Silverberry	12
5 Gal	Spanish Broom	8
5 Gal	Cliffrose	6
1 Gal	Moonshine Yarrow	19
1 Gal	Purple Iceplant	19
Santa Fe Brown Crusher Fines over Filter Fabric		

Landscape Notes

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub on separate valve. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.

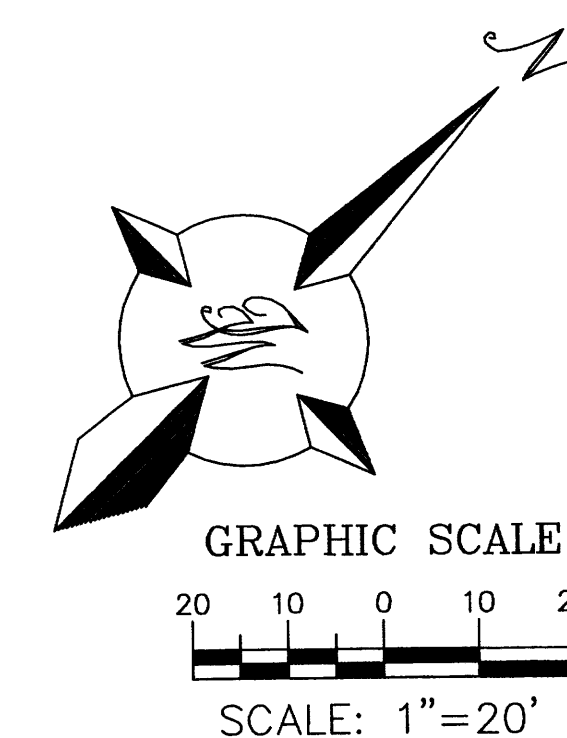
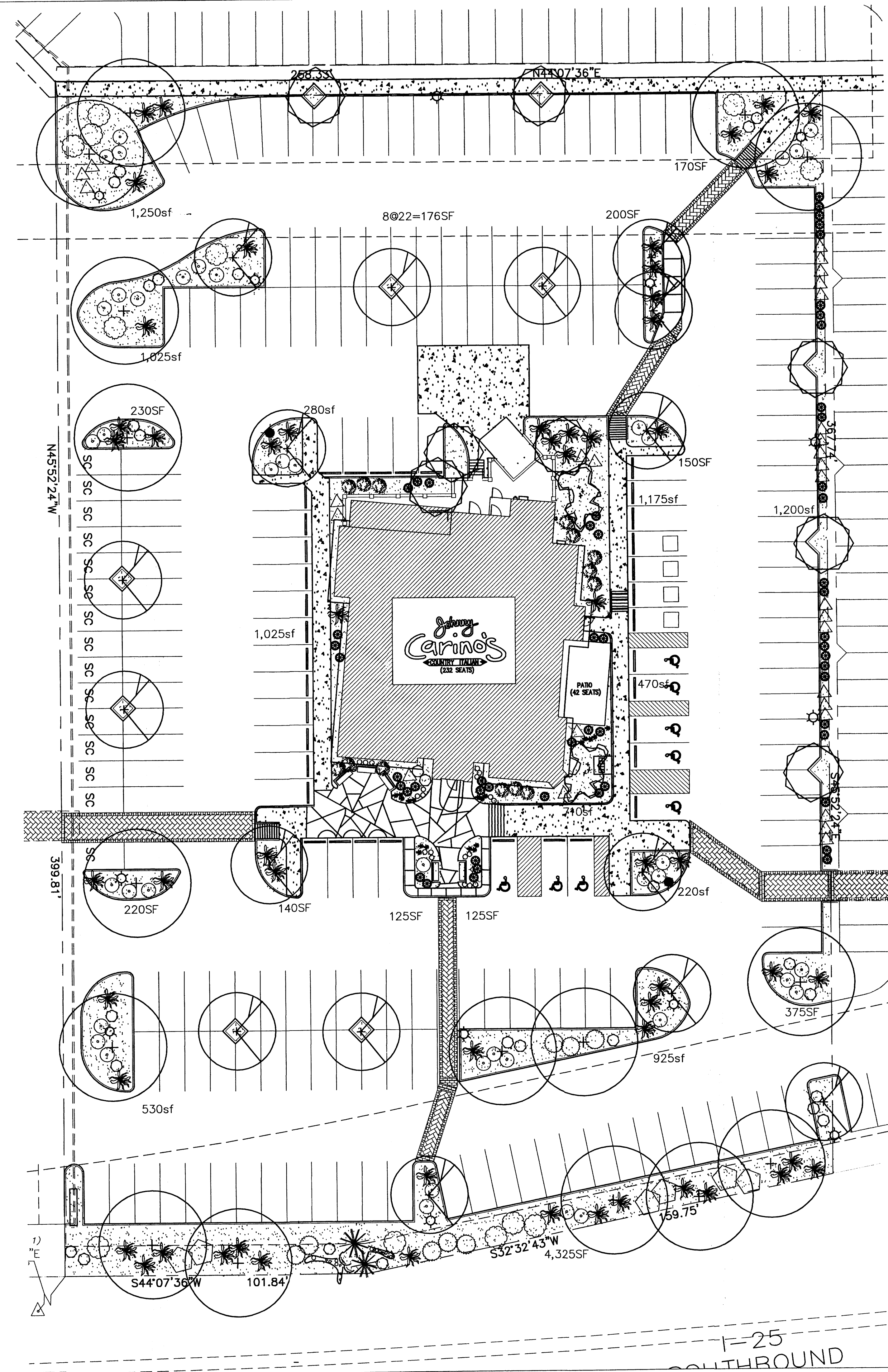
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

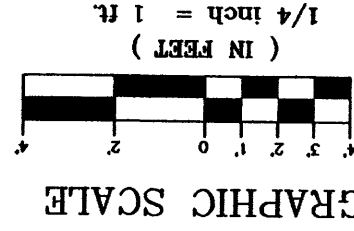
Landscape Calculations

TOTAL LOT AREA (sf)	100,775
TOTAL BUILDING AREA (sf)	-6,725
NET LOT AREA (sf)	94,050
LANDSCAPE REQUIREMENT (%)	x 15
TOTAL LANDSCAPE REQUIRED (sf)	14,108
TOTAL LANDSCAPE PROVIDED (sf)	14,469



Mitchell Associates, LLC 7200 Way Cross Av. NW Albuquerque, NM 87120 (505) 839-2081 danny@mitchellassociatesllc.com		DRAWN BY DM
ENGINEER'S SEAL 		DATE 01-12-04
LANDSCAPE PLAN		SHEET # 4 OF 6
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		JOB # 230095

PROTO 8.4

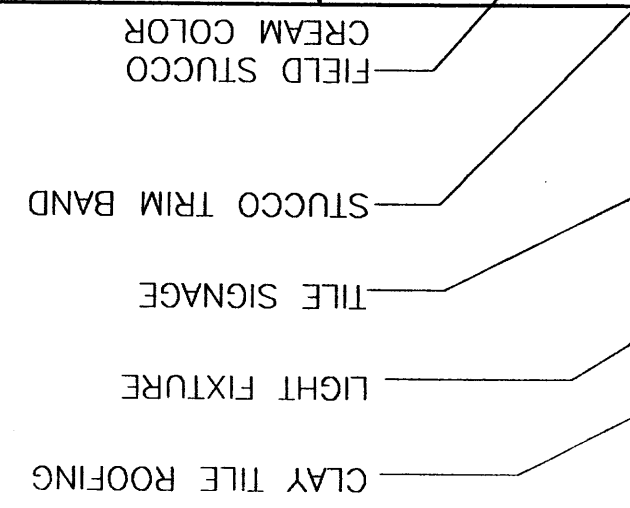
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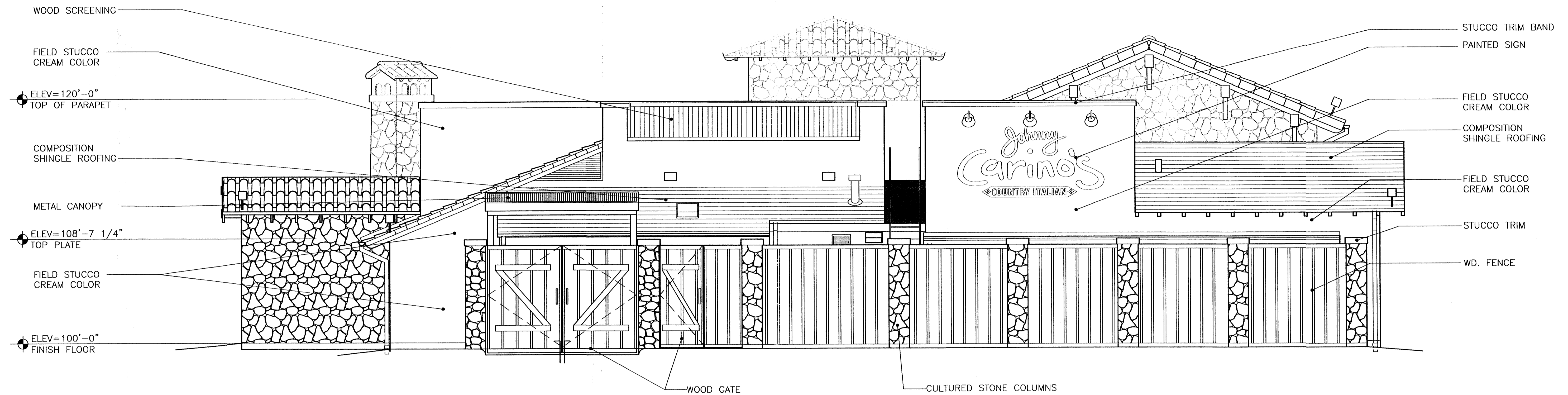
SI-1	EXTERIOR WOOD	
SI-2	SW-3512 WOODSCAPE S/T STAIN - ORDER MILL (2 COATS)	
SI-3	NOT USED	
SI-4	INTERIOR WOOD PAINTING	
SI-5	FIRST COAT - SW WOOD CLASSICS COLOR SW1323-P OAK MANTEL INTERIOR OIL STAIN	
SI-6	FIRST COAT - SW WOOD CLASSICS COLOR SW1324-P PCOAN INTERIOR OIL STAIN	
SI-7	FIRST COAT - SW WOOD CLASSICS COLOR SW1329-P ARMOROK HICKORY	
SI-8	(2) COATS FOR DOORS SECOND COAT - (3) COATS OF CLEAR HIGH GLOSS HELMSMAN PLASTURE PAINT APPLIED TO BAR TOP	
CS-1	CONCRETE CONCRETE COLOR - RENT OF HOUSE FLOOR	SEALER - MANUFACTURERS RECOMMENDATION CONTACT: 1-800-624-4261

1-1	QUARRY TILE - RED W/ NATURAL GROUT
1-2	CERAMIC TILE (TILE SIGN BACKGROUND) NATURAL HUE SERIES BY QUARRY TILE CO. 8x8 MIN. SIZE
1-3	SALTILLO TILE - (TOILET ROOM WALLS, COUNTERTOPS) GROUT - # 505 ONLY GREEN (CUSTOM BUILDING PRODUCTS) COLOR - PEARL WHITE
1-4	SAME AS 1-3 IN 12x12 SIZE (EXPO COUNTER FRONT) 6x6 COUNTERTOPS SIZE: 6x12 RESTROOM WALLS GROUT: NATURAL BROWN #50 (CUSTOM BUILDING PRODUCTS) SERIES: TERRAZCOTTA SURFACE: STONE FREQ DAYS - 9/72.696.5724 MCT: CIMA (INT. INC. CONTACT DAL-TILE
RF-1	TILE ROOMING- REF. TO SPECS
RF-2	SHIMULETS- MIDWINTER GREEN
RF-3	BUILT-UP ROOMING

PL-1	TILET PARTITIONS	BRAND: FORMICA COLOR: 7216-S6 CINNIA TERRAZA, MATTIE FINISH	CONTRACT: WESLEY DISTRIBUTORS, AYVA ANONON 917.669.1144
PL-2	GRITCH, BACK OF HOUSE COUNTERS & CABINETS	BRAND: FORMICA COLOR: 7216-S6 CINNIA TERRAZA, MATTIE FINISH	CONTRACT: WESLEY DISTRIBUTORS, AYVA ANONON 917.669.1144
PL-3	BACK BAR CABINET & FROZEN DRINK STAND	BRAND: FORMICA COLOR: 506-S8 DEICE MATTIE FINISH	CONTRACT: WESLEY DISTRIBUTORS, AYVA ANONON 972.975.0010
		BRAND: FORMICA COLOR: 909-S8 BLACK	CONTRACT: WESLEY DISTRIBUTORS, AYVA ANONON 972.975.0010
R-1	METAL PANEL "PERO-PANEL II" BY: METAL SALES.	COLOR: MOOHA TAN	
FRP	WHITE FIBERGLASS REINFORCED PANELS (FRP)		
	FINISH TEXTURES		
	HAND TROWEL, SMOOTH WITH RANDOM TROWEL MARKS EXPOSED.		
	INTERIOR WALLS—		
	HAND TROWEL W/10"-12" BLADE USING RYMAW FINISH SYSTEM		
	(REFER SPECIFICATIONS), FULLY COVER WALL SURFACE W/ 1/16"		
	MIN. THICKNESS FINISH TO BE SMOOTH WITH RANDOM TROWEL		
	MARKS EXPOSED. PROVIDE SAMPLE FOR OWNERS APPROVAL.		
	HAND TROWEL W/10"-12" BLADE USING RYMAW COMPOUND.		
	FULLY COVER WALL SURFACE W/ 1/16" MIN. THICKNESS FINISH		
	TO BE SMOOTH WITH RANDOM TROWEL MARKS EXPOSED. PROVIDE SAMPLE FOR OWNERS APPROVAL.		

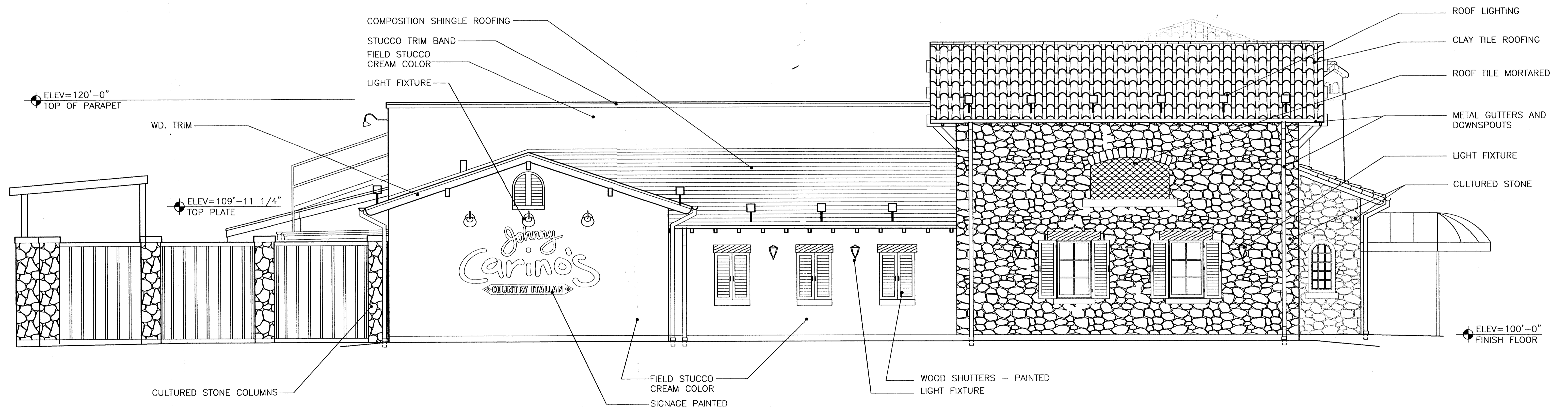
STUCCO
FIELD STUCCO—
CREAM COLOR





REAR ELEVATION

SEE SHEET 5 OF 6 FOR FINISH SCHEDULE

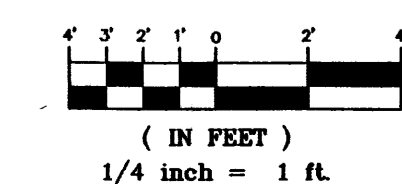


LEFT ELEVATION



PROTO 8.4
ALBUQUERQUE, NM

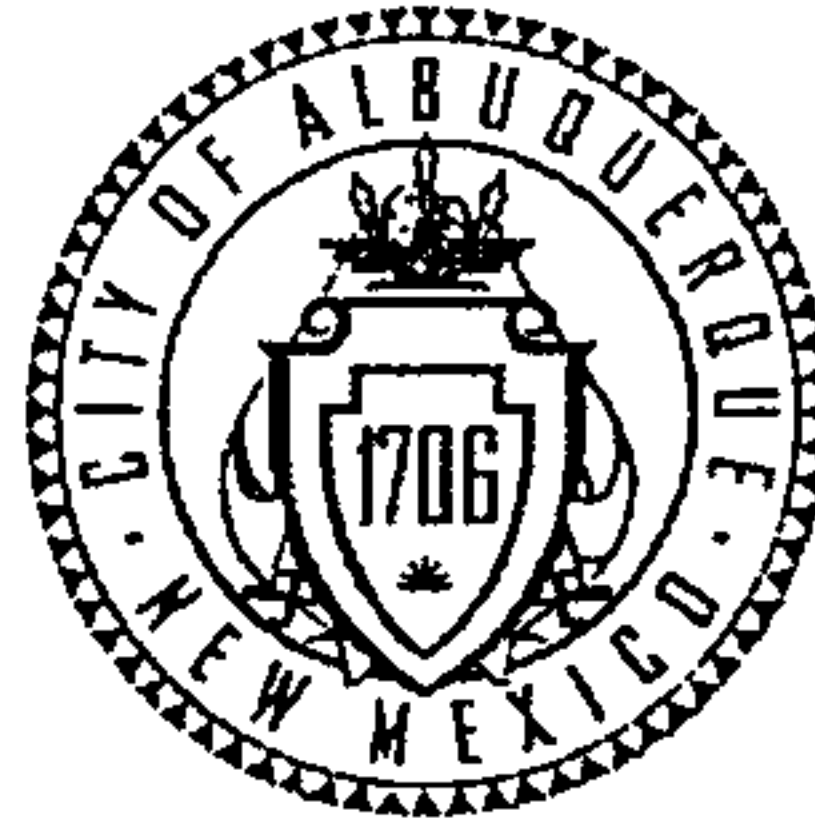
GRAPHIC SCALE



30 OCT. 2003



6500 Greenville Ave.
Dallas, TX 75206
Suite 307
Tel 214.361.9901
Fax 214.361.9906



JN 2800-95
Planning/APC
cc: Cory Lopez
Marco/Don FY2

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 21, 2003

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1003009 ***
03EPC-01665 EPC Site Development Plan-
Building Permit

Sandia Food Group
6801 Jefferson St. NE, Ste 500
Albuq. NM 87109

LEGAL DESCRIPTION: for all or a portion of
Lot 2, **Jefferson Commons II**, zoned IP, located
on PAN AMERICAN FRWY NE, between
OFFICE BLVD. NE and JEFFERSON ST. NE,
containing approximately 3 acres. (F-17)
Carmen Marrone, Staff Planner

On November 20, 2003 the Environmental Planning Commission voted to approve Project 1003009/03EPC 01665, a site plan for building permit, for Lot 2, Jefferson Commons II, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for building permit for a 6400 square foot restaurant located on Lot 2, Jefferson Commons II, between Jefferson Street and Office Boulevard NE.
2. The subject site is zoned IP. A Master Development Plan, as required by the IP zone, was approved for all of Jefferson Commons II (35 acres) in 1997 (Z-97-20). The request for site plan for building permit generally meets the requirements of the Master Development Plan with a few exceptions that are listed as Conditions of Approval.
3. The subject site is designated Established Urban per the *Comprehensive Plan* with a goal to create a quality urban environment while creating a visually pleasing built environment. The submitted site plan for building permit meets this goal by providing contextually compatible design that is pedestrian friendly and appropriate to the plan area (Policies g and l). In addition, the request complies with Policy j by proposing new commercial development in an existing commercially zoned area.

OFFICIAL NOTICE OF DECISION
NOVEMBER 20, 2003
PROJECT #1003009
PAGE 2 OF 4

4. The request complies with Goals 6 and 11 of the *North Valley Area Plan* by locating quality commercial/industrial development in already developed/established commercial and industrial zones and areas.
5. There is no known opposition to the subject request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The bicycle rack at the northeast corner of the building shall be relocated to the southeast corner of the building, south of the patio.
3. The north/south walkway located east of the building shall continue to the south property line by connecting the patio area in front of the main entrance with the middle landscaped island located along the southern row of parking. Where the walkway crosses a drive aisle, the walkway shall be of the same brick material used in the other crosswalks on the site.
4. The Master Development Plan requires that all parking lot lighting be a maximum of 30' in height. The applicant must indicate the locations of parking lot lighting on the site plan and must also provide a detail of the lighting that meets the requirements of the Master Development Plan.
5. Landscaping Plan:
 - a. Provide a scale and bar scale, 1"=20'
 - b. The Master Development Plan requires that landscaping exceed the normally required 15% of the net site area. The submittal indicates approximately 13% landscaping. The applicant shall increase the amount of landscaping by either reducing the number of parking spaces on the site and/or by providing shrubs along the eastern boundary of the site, similar to the northern boundary of the site.
 - c. The applicant shall replace the proposed shrubs with shrubs from the Master Plan list to provide continuity.

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PAGE 3 OF 4

- d. The landscape plan shows landscaping within the north/south walkway, in the parking bay and at the northeast corner. Landscaping shall be adjusted in these areas to accommodate a clear 6 foot path. Where the walkway abuts a tree well, the walkway may be reduced to 4'6" in width.
 - e. All tree wells shall be a minimum of 6'x6'.
 - f. The designated landscaping in the patio area shall be deleted from the landscaping plan and shall not count toward the 15% landscape requirement.
11. Elevation Plan:
- a. Provide a scale and bar scale, 1"=40'
 - b. Indicate colors of the stone, stucco, walls, fences, roofs, gate, and canopy over main entrance.
 - c. In order to meet the "banding" requirement of the Master Plan, the parapet trim band shall be similar in color to the bright primary or secondary colors used in the theatre.
12. Additional public seating shall be provided in the plaza area in front of the building. This could be accomplished by providing at least two additional 6' benches, or raised planters or by any other means that could accommodate six additional seats.
13. The Master Development Plan requires that all freestanding signs contain a maximum area of 75 square feet. The proposed freestanding sign must be reduced in size to meet this requirement.
14. Details of the freestanding sign must be included on the site plan.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY DECEMBER 5, 2003 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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NOVEMBER 20, 2003
PROJECT #1003009
PAGE 4 OF 4

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

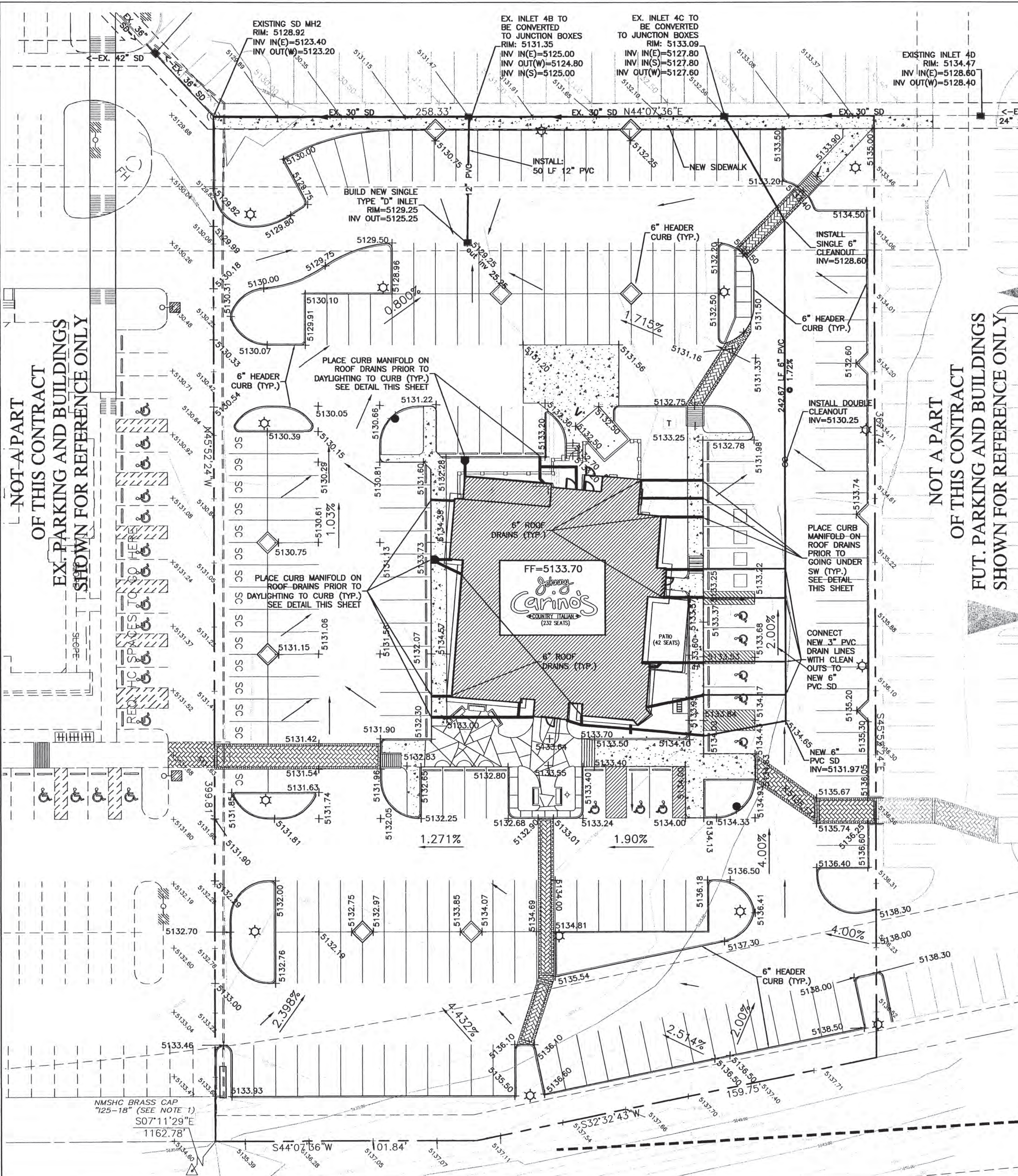
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Victor J. Chavez
Planning Director

VJC/CM/ac

cc: Tierra West LLC, 8509 Jefferson NE, Albuquerque, NM 87113

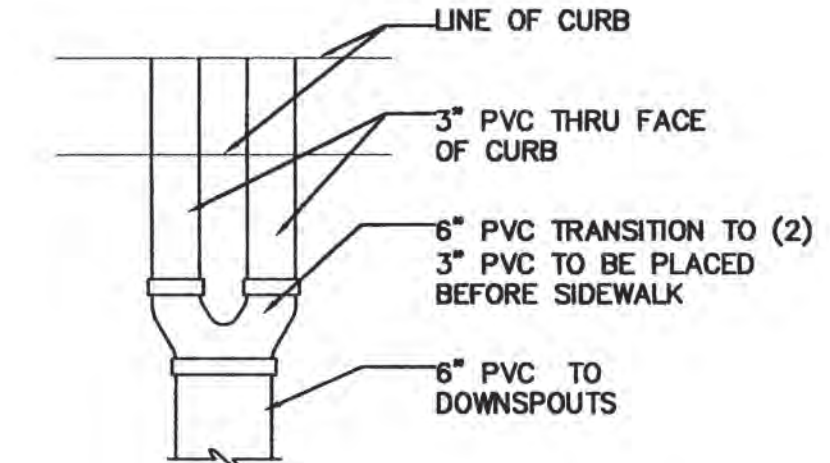


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

	DESCRIPTION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	PROPOSED DBL. "D" INLET
	PROPOSED STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	PROPOSED SIDEWALK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	BENCH MARK
	STREET LIGHTS

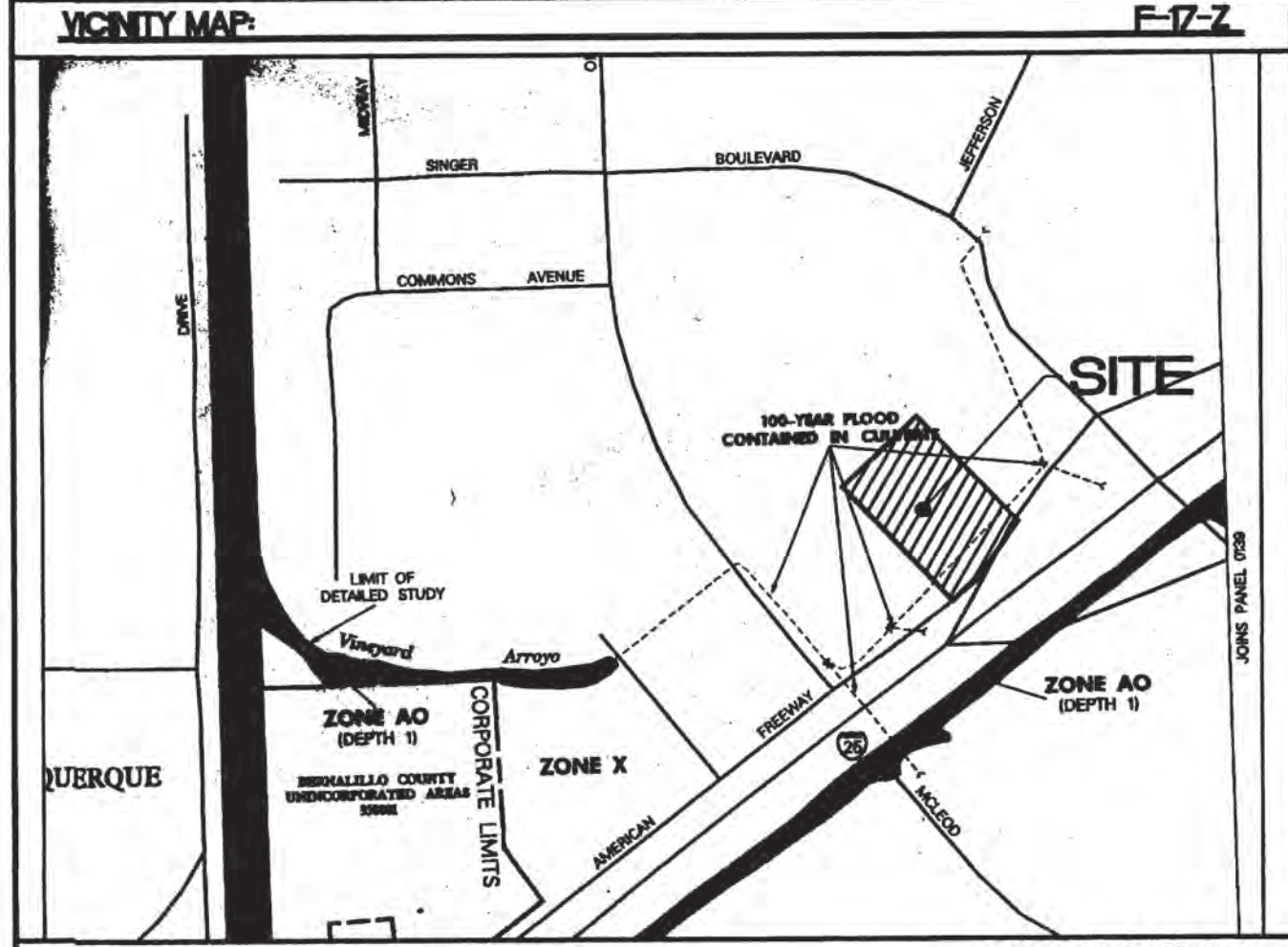
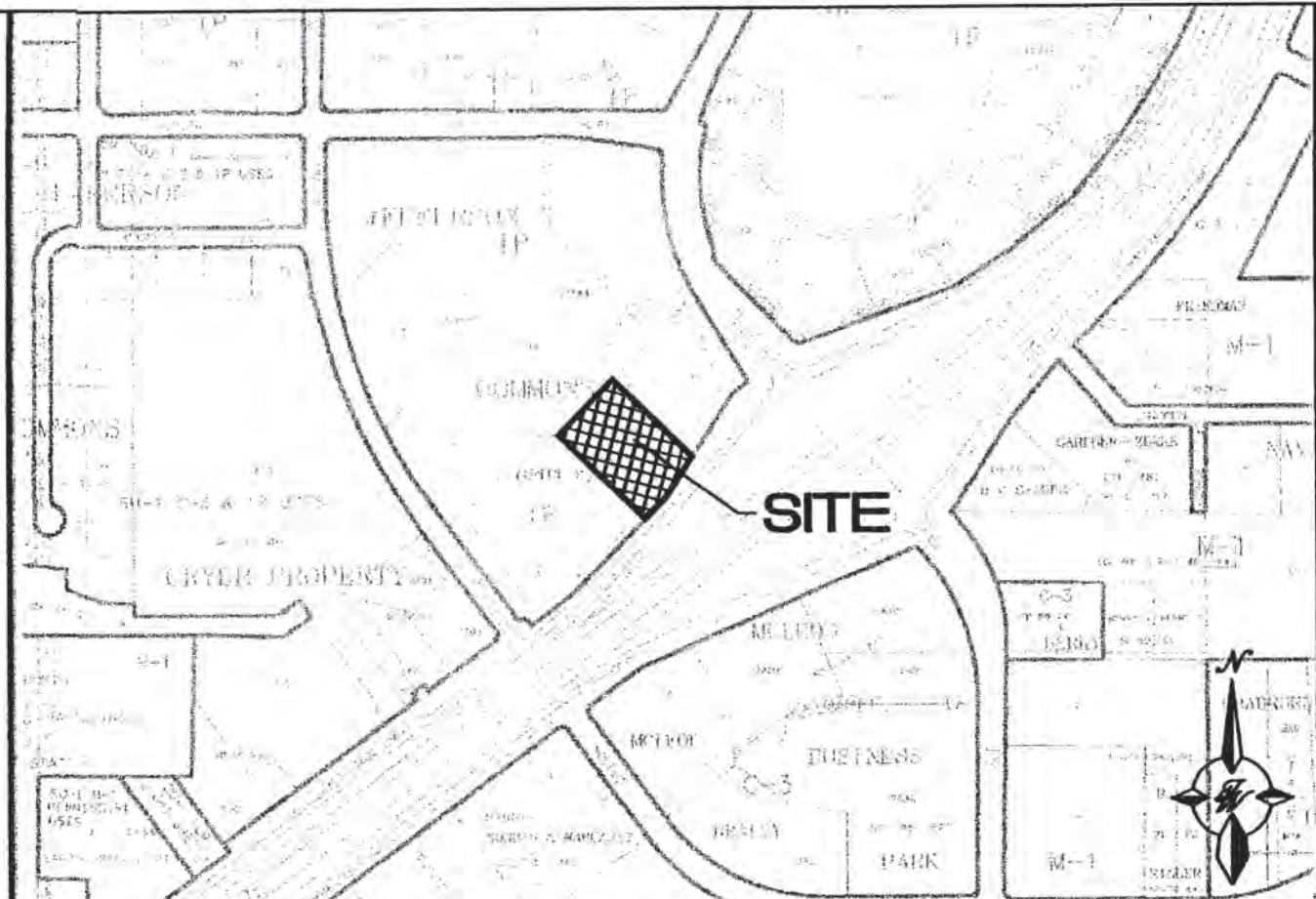
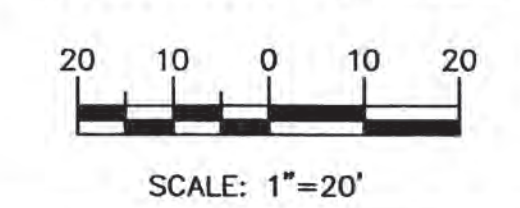


CURB MANIFOLD DETAIL
NTS

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

GRAPHIC SCALE



LEGAL DESCRIPTION:

LOT 2, JEFFERSON COMMONS II

NOTES:

1. PROJECT BENCHMARK, "1-25-18". NGVD ELEV: 2125.70, NM STATE PLANE X&Y (NAD27) 395,426.52, 1505,603.74
2. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
3. NMST&T DEPARTMENT DOC. NO. 9079858 AND MODIFIED WITH DOC. NO. 95084464, FILED 8/23/95, BOOK 95-20, PAGE 2285-2302
4. ALL CURB WORK TO BE 6" HEADER CURB UNLESS OTHERWISE NOTED.

Tierra West, LLC, on behalf of Sandia Food Group, is requesting drainage plan approval of Lot 2, Jefferson Commons Phase II. This lot falls within the limits of the Jefferson Commons II Master Drainage Report (F17-D63) approved by the city October 21, 1997.

The Drainage Master Plan shows Lot 2 draining to two drop inlets along the northwest property line, allowing free discharge to those inlets. The Johnny Carino's drainage plan deviates slightly by converting the two existing inlets into manholes and installing a new drop inlet farther into Lot 2 to facilitate better drainage around the building. There are no flows entering the existing inlets from outside of Lot 2.

Since, the drainage plan for Johnny Carino's restaurant conforms to the Jefferson Commons II Master Drainage Report we feel that this drainage plan should be approved. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

	JEFFERSON COMMONS II JOHNNY CARINO'S GRADING AND DRAINAGE PLAN	DRAWN BY MP
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DATE 12-18-2003 2385GRB-102403X.DWG
2 OF 6		SHEET #
JOB # 230095		

LINE TABLE		
LINE	LENGTH	BEARING
L1	73.43	S79°20'06"W
L2	73.25	N70°04'30"E
L3	140.70	S57°17'17"W
L4	125.48	N29°20'06"E
L5	65.65	N14°53'34"E
L6	63.17	S13°40'07"W

GRAPHIC SCALE



SCALE: 1"=20'

EXISTING MH-5E
RIM: 5128.60
INV IN(E)=5121.87
INV OUT(W)=5121.77

LEGEND	DESCRIPTION
○	EXISTING SAS MANHOLE
— EX. 8" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
8	PROPOSED SAS CLEANOUT
→	DIRECTION OF FLOW
— 8" SAS —	PROPOSED SANITARY SEWER LINE
⊗	EXISTING METER
⊗	EXISTING VALVE W/BOX
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING AIR RELEASE VALVE
⊗	EXISTING REDUCER
— EX. 16" WL —	EXISTING WATER LINE
⊗	PROPOSED METER
⊗	PROPOSED VALVE W/BOX
⊗	PROPOSED FIRE HYDRANT
⊗	PROPOSED AIR RELEASE VALVE
⊗	PROPOSED REDUCER
⊗	PROPOSED IRRIGATION SERVICE
— 8" WL —	PROPOSED WATER LINE
⊗	EXISTING STORM SEWER MANHOLE
⊗	EXISTING STORM SEWER INLET
— EX. 24" RCP —	EXISTING STORM SEWER LINE
⊗	PROPOSED STORM SEWER MANHOLE
⊗	PROPOSED SNGL "D" INLET
— 24" RCP —	PROPOSED STORM SEWER LINE
=====	EXISTING CURB & GUTTER
=====	PROPOSED 6" STD CURB
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	EASEMENT
-----	PROPOSED SIDEWALK
-----	EXISTING SIDEWALK
-----	FUTURE SIDEWALK
-----	RIGHT-OF-WAY
-----	LOT LINES
-----	EXISTING LOT LINES
△	BENCH MARK
⊙	STREET LIGHTS

SITE/UTILITY REQUIREMENTS

ELEC.: 1000 AMP UNDERGROUND AT 120/208/3P/4W
262 KW DIVERSION CONNECTED LOAD (VERIFY)
2333 C.F.H. AT 0.5" W.C.

WATER: 78 GPM, 136 FIXTURE UNITS, 2" LINE

SAN. SEWER: 237 FIXTURE UNITS, 6" LINE

TELEPHONE: 4'0" MIN. FLOWLINE BELOW FINISH FLOOR

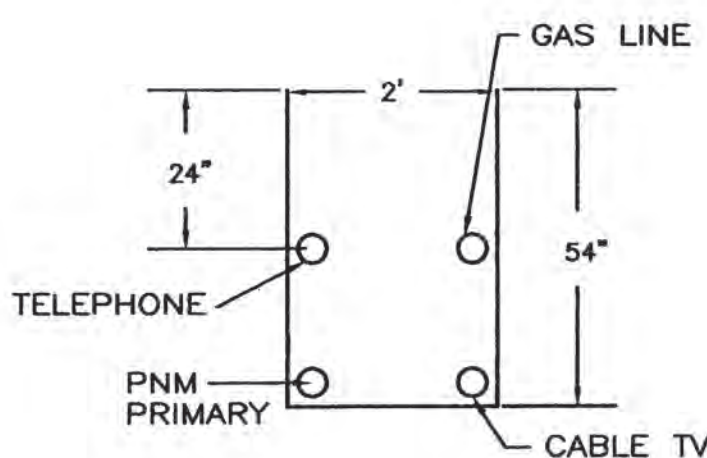
CABLE: 2" EMPTY CONDUIT WITH PULL WIRE

PROTO POLE: FIXTURE: LIGHTOLIER "EXCELINE" #SAR403MAL,
400 W MH, 208 VOLD, TYPE III
(UNLESS NOTED OTHERWISE)

POLE: "EXCELINE" #801-3007-30, 30'-0"
SQUARE STRAIGHT STEEL POLE, 400 W SMH LMP
(UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
- ALL PIPE MATERIAL TO BE USED PER UPC.

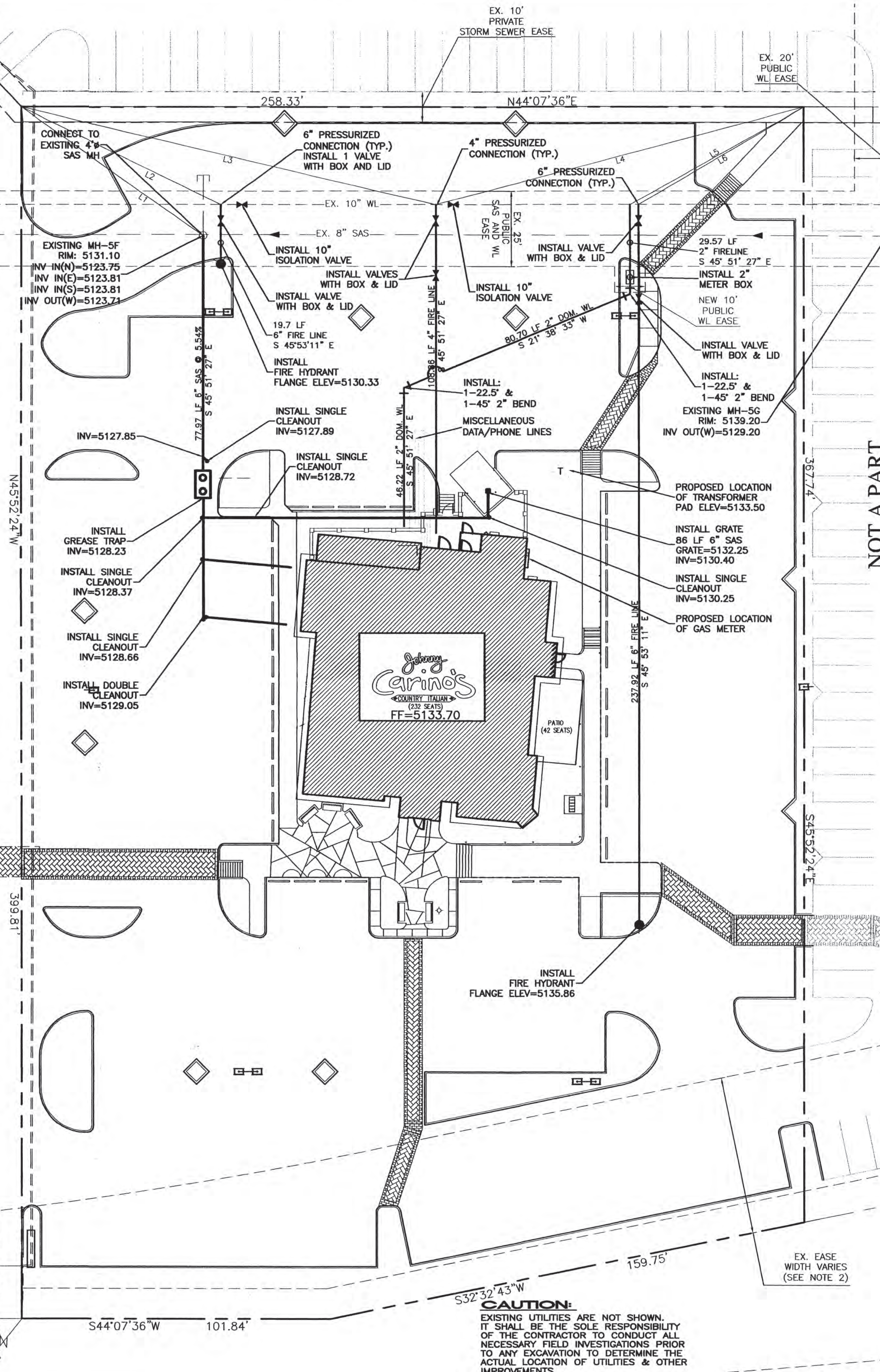


UTILITY TRENCH DETAIL

NTS

NOT A PART
OF THIS CONTRACT
EX. PARKING AND BUILDINGS
SHOWN FOR REFERENCE ONLY

PROPOSED
PAPPADEAUX
EAFOOD KITCHEN
RESTAURANT
13,725 SQ. FT.



WATER SHUT-OFF PLAN

SHUT OFF VALVES #95 & 235, IF EMERGENT

- NOTES:
- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 - NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
 - APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 - SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
- CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
- CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
- CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
- CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

ENGINEER'S SEAL	JEFFERSON COMMONS - II JOHNNY CARINO'S 5021 PAN AMERICAN FRWY. NE	DRAWN BY MP
RONALD R. BOHANNAN P.E. #7868	MASTER UTILITY PLAN	DATE 01-07-04
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2395MUB-102403X.DWG
		SHEET # 3 OF 6
		JOB # 230095

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

Landscape Legend

Size	Common Name	Quantity
4-6'	Palm Yucca, Boulder, Cobble	2
2"	Honeylocust, Ash, Chinese Pistache	16
2"	Chitalpa	16
5'	Multi-trunk character Pinon	2
15 Gal	Desert Willow	8
5 Gal	Raphiolepis	19
5 Gal	Buffalo Juniper	52
5 Gal	Dwarf Butterfly Bush	29
5 Gal	Dwarf Fountain Grass	56
5 Gal	Santolina	25
5 Gal	Blue Mist	40
5 Gal	Silverberry	12
5 Gal	Spanish Broom	8
5 Gal	Cliffrose	6
1 Gal	Moonshine Yarrow	19
1 Gal	Purple Iceplant	19
Santa Fe Brown Crusher Fines over Filter Fabric		

Landscape Notes

Landscape Maintenance and Irrigation system maintenance shall be the responsibility of the owner.

All Landscaping shall be watered by a complete underground irrigation system operated by automatic timer. Bubblers to trees and (2) drip emitters per shrub on separate valve. Point of Connection for irrigation system is unknown at current time and will be coordinated in the field.

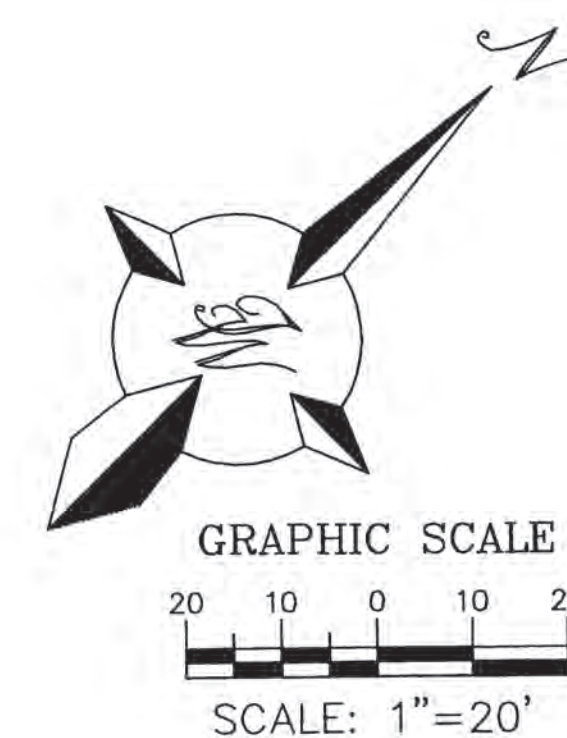
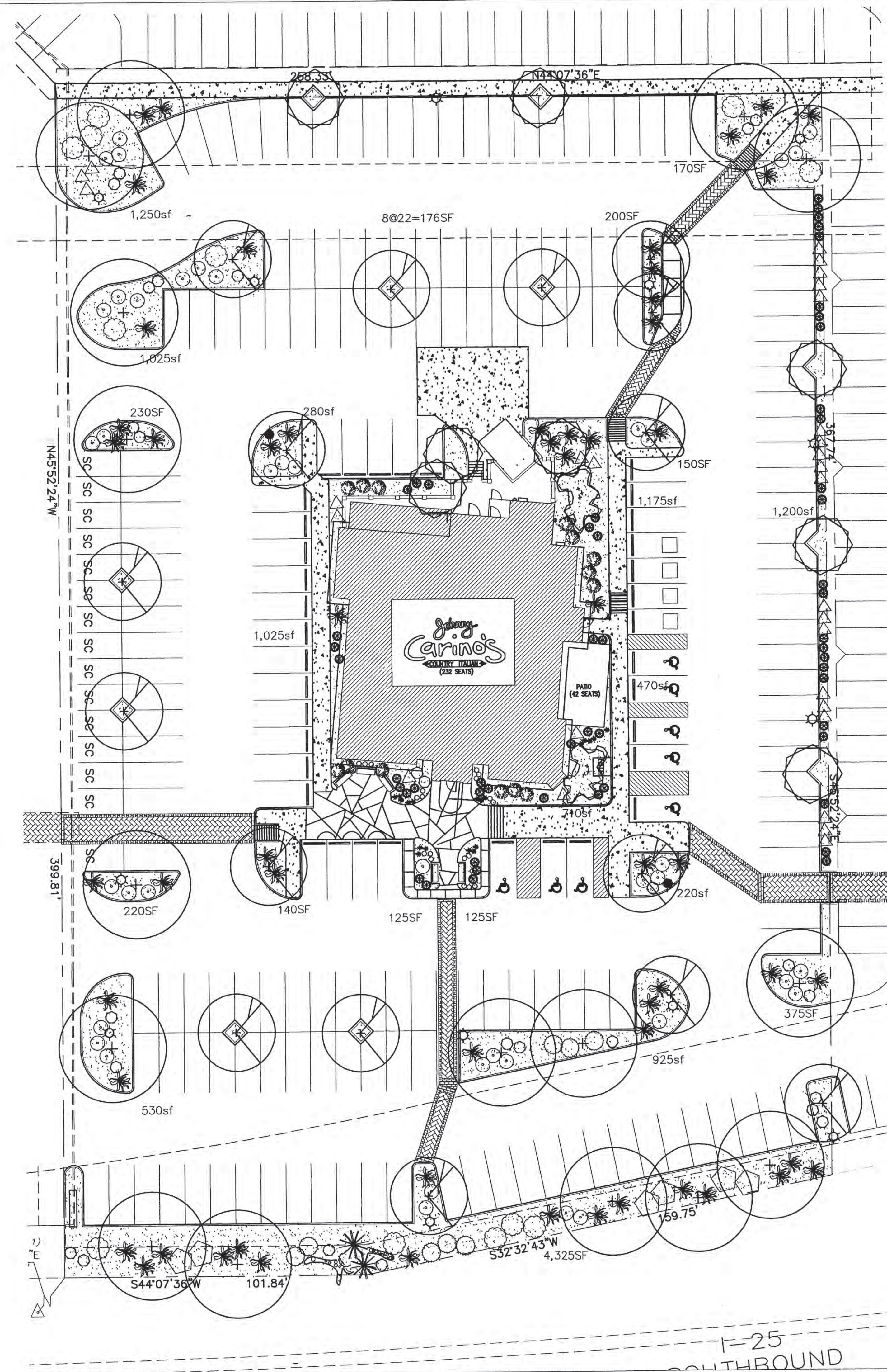
It is the intent of this plan to comply with the City of Albuquerque, water conservation and waste water ordinance.

All landscape beds shall be planted so to achieve 75% live ground cover at maturity.

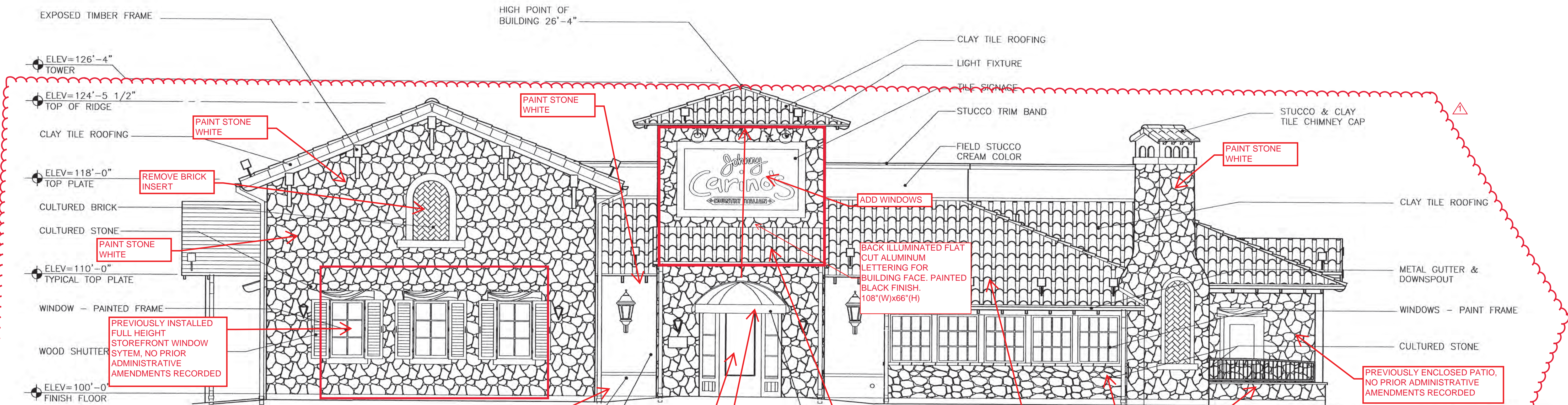
Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

Landscape Calculations

TOTAL LOT AREA (sf)	100,775
TOTAL BUILDING AREA (sf)	-6,725
NET LOT AREA (sf)	94,050
LANDSCAPE REQUIREMENT (%)	x 15
TOTAL LANDSCAPE REQUIRED (sf)	14,108
TOTAL LANDSCAPE PROVIDED (sf)	14,469



Mitchell Associates, LLC 7200 Way Cross Av. NW Albuquerque, NM 87120 (505) 839-2081 danny@mitchellassociatesllc.com		DRAWN BY DM
ENGINEER'S SEAL 		DATE 01-12-04 230095LS-121703.DWG
LANDSCAPE PLAN		SHEET # 4 OF 6
RONALD R. BOHANNAN P.E. #7868		JOB # 230095



PAINT STONE WHITE SW7551 (GREEK VILLA)
ADD WAINSCOT BROWN TILE (AVANA PLANK 8"x32")

FRONT ELEVATION

FINISH SCHEDULE	
STONE	
SN-1	CULTURED STONE(NIC) LONE STAR STONE, COLOR APACHE, STYLE MONARCH CONTACT: WILL HUSLER 1.888.377.8663
PAINT	
ALL PAINTS AND STAINS BY SHERWIN WILLIAMS	
P-1	EXTERIOR STUCCO-FIELD SHERWIN-WILLIAMS SUPERPAINT: SATIN BASE COAT-SW2200 TRAVERTINE (2 COATS ELASTOMARIC) WASH COLOR-SW2190 LANYARD(1 GAL PAINT TO 3 GAL WATER) ROLL ON RAG OFF.

PAINT STUCCO WHITE SW SW7551 GREEK VILLA

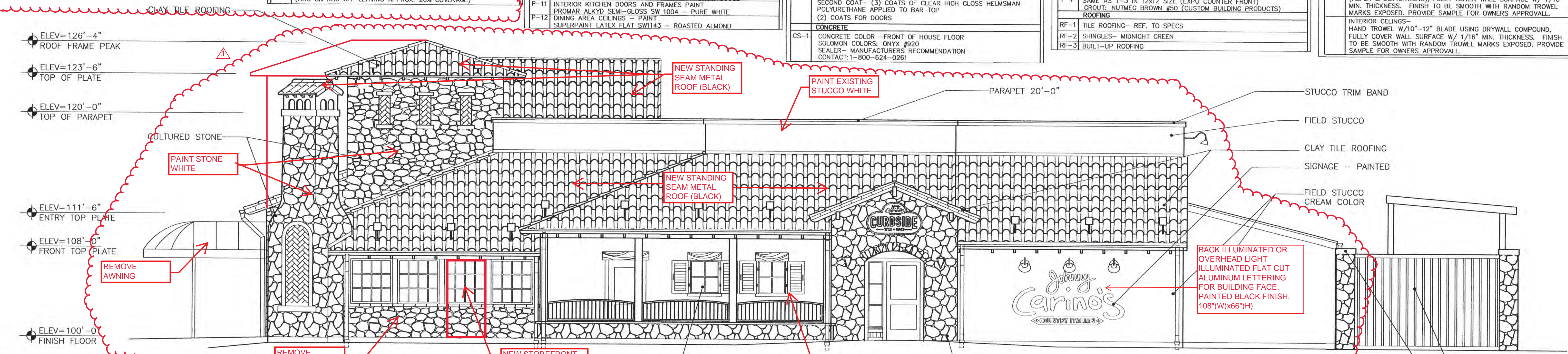
P-2	EXTERIOR STUCCO- TRIM (COPING, CMU WALLS & COLUMN CAPS) SHERWIN- WILLIAMS SUPERPAINT: SATIN BASE COAT - SW2046 - "SNOW GOOSE" WASH COLOR - SW2182 - "BRIAR PATCH" (1GAL PAINT TO 5 GAL WATER)	PAINT WHITE
P-3	WOOD SHUTTERS & DUCT BOARD CEILING - PAINT SHERWIN WILLIAMS SUPERPAINT: SATIN SW2355 OLYMPIC RANGE	PAINT TURQUOISE SW7608 (ADRIFT)
P-4	METAL RAILINGS/GATES SHERWIN WILLIAMS-PROMAR ALKYD FLAT SW2105 WROUGHT IRON	
P-5	TEXTURE DRYWALL - WALLS/CEILING SHERWIN WILLIAMS SUPERPAINT: SATIN BASE COAT - SW1386 - "WILD BAMBOO" GLAZE - SW 1363 - "CELLINI GOLD" EGGSHELL ALKYD- (1 GAL. PAINT TO 1/2 GAL. GLAZE & 1/2 GAL. THINNER (RAG ON RAG OFF LEAVING APPROX. 20% COVERAGE)	

P-6	DRYWALL CEILING- PAINT (BAR, 112 TO-GO, AND BARREL VAULT) SHERWIN WILLIAMS SUPERPAINT: SATIN BASE COAT: SW1354 - "WHITE WOOL" RAG ON RAG OFF LEAVING APPROX. 10% COVERAGE GLAZE: SW2183 - "YEARLING" EGGSHELL ALKYD 1 GAL. PAINT TO 1/2 GAL. GLAZE & 1/2 GAL. THINNER	
P-7	DRYWALL- PAINT SHERWIN WILLIAMS SUPERPAINT: SATIN SW1354 - "WHITE WOOL"	
P-8	EXTERIOR METAL PAINT SILICONIZED ENAMEL SEMI-GLOSS - SW2200 - "TRAVERTINE"	
P-9	ROOF LIGHTS PAINT SILICONIZED ENAMEL SEMI-GLOSS - SW 2321 - "BONFIRE"	
P-10	EXTERIOR WOOD AND METAL WINDOW FRAMES AND MULLIONS PAINT - ALKYD DTM SEMI-GLOSS - SW2046 - "SNOW GOOSE"	
P-11	INTERIOR KITCHEN DOORS AND FRAMES PAINT PROMAR ALKYD SEMI-GLOSS SW 1004 - PURE WHITE	
P-12	DINING AREA CEILINGS - PAINT SUPERPAINT LATEX FLAT SW143 - ROASTED ALMOND	

ST-1	EXTERIOR WOOD SW-3512 WOODSCAPE S/T STAIN - "CIDER MILL" (2-COATS)	
ST-2	NOT USED	
ST-3	NOT USED	
ST-4	INTERIOR WOOD PANELING FIRST COAT- SW WOOD CLASSICS COLOR SW3123-P OAK MANTEL INTERIOR OIL STAIN SECOND COAT- CLEAR ACRYLIC POLYURETHANE (2 COATS)	
ST-5	FIRST COAT- SW WOOD CLASSICS COLOR SW3124 P PECAN INTERIOR OIL STAIN SECOND COAT- CLEAR ACRYLIC POLYURETHANE (2 COATS)	
ST-6	FIRST COAT- SW WOOD CLASSICS COLOR SW3129-P ARMOIRE HICKORY SECOND COAT- (3) COATS OF CLEAR HIGH GLOSS HELMSMAN POLYURETHANE APPLIED TO BAR TOP (2) COATS FOR DOORS	
CS-1	CONCRETE CONCRETE COLOR -FRONT OF HOUSE FLOOR SOLOMON COLORS: ONYX #920 SEALER- MANUFACTURERS RECOMMENDATION CONTACT: 1-800-624-0261	

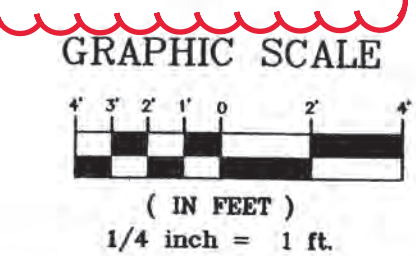
T-1	QUARRY TILE - RED w/ NATURAL GROUT (METRO, CERAMICS)	
T-2	CERAMIC TILE (TILE SIGN BACKGROUND) NATURAL HUE SERIES BY QUARRY TILE CO. 8x8 MIN. SIZE COLOR - PEARL WHITE GROUT - #305 ONYX GREEN (CUSTOM BUILDING PRODUCTS)	
T-3	SALTILLO TILE -(TOILET ROOM WALLS, COUNTERTOPS) MANF.: CMA (ICT, INC.) CONTACT DAL-TILE FRED DAVIS - 972.690.5724 SERIES: TERRASTONE COLOR: TERRACOTTA SURFACE: STONE GROUT: NUTMEG BROWN #50 (CUSTOM BUILDING PRODUCTS) SIZE: 6x12 RESTROOM WALLS 6x6 COUNTERTOPS	
T-4	SAME AS T-3 IN 12x12 SIZE (EXPO COUNTER FRONT) GROUT: NUTMEG BROWN #50 (CUSTOM BUILDING PRODUCTS)	
ROOFING		
RF-1	TILE ROOFING- REF. TO SPECS	
RF-2	SHINGLES- MIDNIGHT GREEN	
RF-3	BUILT-UP ROOFING	

	PLASTIC LAMINATE
PL-1	TOILET PARTITIONS BRAND: FORMICA COLOR: 7216-58 SIENNA TERRA, MATTE FINISH CONTACT: WESTEX DISTRIBUTORS, AYA AVNON 817.695.1144
PL-2	OFFICE, BACK OF HOUSE COUNTERS & CABINETS BRAND: FORMICA COLOR: 506-58 BEIGE MATTE FINISH CONTACT: WESTEX DISTRIBUTORS, AYA AVNON 972.975.0010
PL-3	BACK BAR CABINET & FROZEN DRINK STAND BRAND: FORMICA COLOR: 909-58 BLACK CONTACT: WESTEX DISTRIBUTORS, AYA AVNON 972.975.0010
METAL PANEL	
R-1	METAL PANEL "PRO-PANEL II" BY: METAL SALES, COLOR: MOCHA TAN
FIBERGLASS REINFORCED PANELS (FRP)	
FRP	WHITE
FINISH TEXTURES	
EXTERIOR STUCCO- HAND TROWEL SMOOTH WITH RANDOM TROWEL MARKS EXPOSED. PROVIDE SAMPLE FOR OWNERS APPROVAL.	
INTERIOR WALLS- HAND TROWEL W/10"-12" BLADE USING WALL FINISH SYSTEM (REFER SPECIFICATIONS), FULLY COVER WALL SURFACE W/ 1/16" MIN. THICKNESS. FINISH TO BE SMOOTH WITH RANDOM TROWEL MARKS EXPOSED. PROVIDE SAMPLE FOR OWNERS APPROVAL.	
INTERIOR CEILINGS- HAND TROWEL W/10"-12" BLADE USING DRYWALL COMPOUND, FULLY COVER WALL SURFACE W/ 1/16" MIN. THICKNESS. FINISH TO BE SMOOTH WITH RANDOM TROWEL MARKS EXPOSED. PROVIDE SAMPLE FOR OWNERS APPROVAL.	



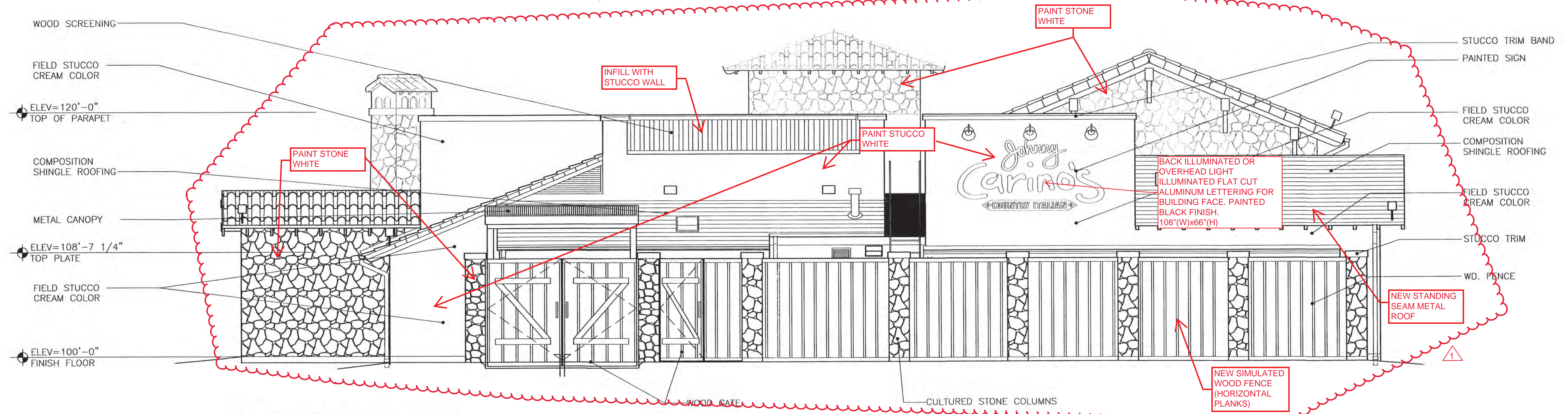
RIGHT ELEVATION

PROTO 8.4
ALBUQUERQUE, NM (1-25)



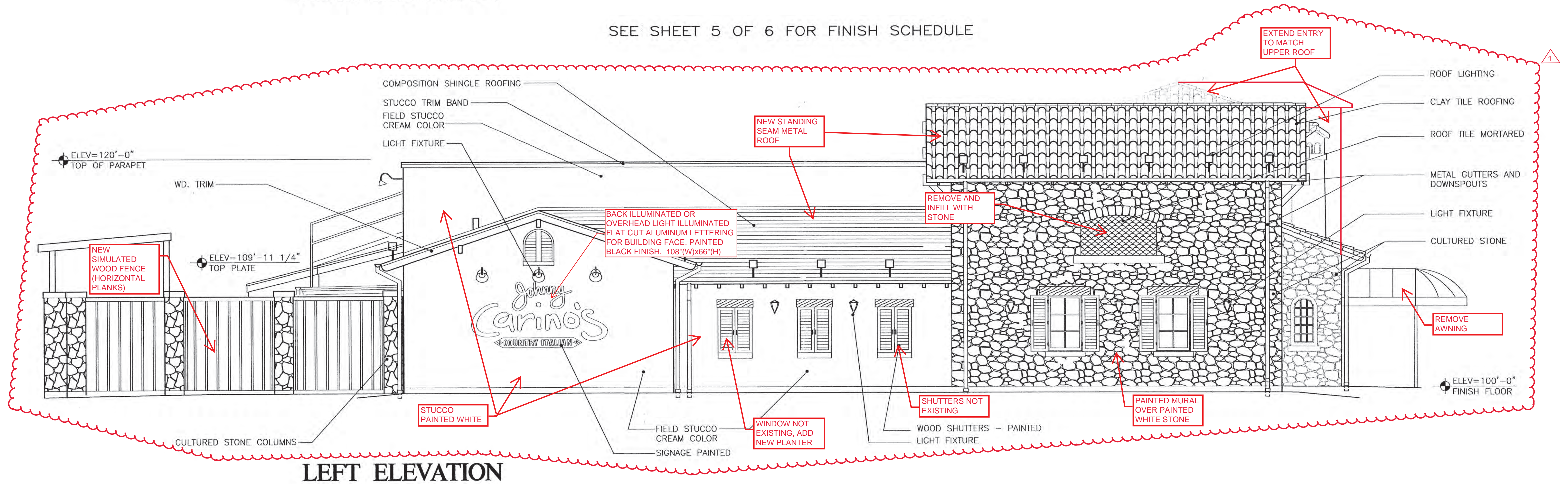
30 OCT. 2003

6500 Greenville Ave.
Dallas, TX 75206
Suite 307
Tel 214.361.9901
Fax 214.361.9906



REAR ELEVATION

SEE SHEET 5 OF 6 FOR FINISH SCHEDULE



LEFT ELEVATION



PROTO 8.4
ALBUQUERQUE, NM

GRAPHIC SCALE
1/4" = 1 ft

30 OCT. 2003

6500 Greenville Ave.
Dallas, TX 75206
Suite 307
Tel 214.361.9901
Fax 214.361.9906