

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

2400 LOUISIANA BLVD. NE RENOVATION

1/19/2024 2:51:21 PM

Section 8

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGHT	CHORD DIRECTION
C1	13.14' (13.22')	8.42' (8.42')	89° 26' 37"	11.85'	S 44° 39' 53" W
C2	47.26' (47.27')	30.00' (30.00')	90° 15' 32"	42.52'	S 45° 11' 12" E

LINE TABLE		
CURVE #	DIRECTION	LENGHT (FT)
L1	N 00° 07' 36" E	32.60' (32.44')
L2	N 00° 03' 26" W	128.83' (129.03')

GENERAL NOTES

1. WATER TO BE SUB-METERED TO EACH TENANT SPACE.

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KEYED NOTES

Key Value	Keynote Text
ED17	DEMOLISH CONCRETE TO PREPARE FOR NEW STAIRS AND LANDING.
S06	EXISTING FIRE HYDRANT TO REMAIN.
S07	EXISTING PULL BOX TO REMAIN.
S10	EXISTING STORM DRAIN TO REMAIN.
S11	EXISTING LIGHT POLE TO REMAIN.
S28	EXISTING HOT BOX TO REMAIN.
S29	EXISTING ANTI-SIPHON VALVE TO REMAIN.
S30	EXISTING SIGNAGE TO REMAIN.
S31	EXISTING UTILITY VAULT TO REMAIN.
S32	EXISTING WATER METER TO REMAIN. WATER TO BE SUB-METERED.
S33	EXISTING GAS METER TO REMAIN.
S34	EXISTING AC UNIT. SEE MECHANICAL.
S35	EXISTING CLEANOUT TO REMAIN.
S41	EXISTING UTILITY POLE TO REMAIN.
SD01	RELOCATE EXISTING BIKE RACK.
SD02	EXISTING DUMPSTER TO REMAIN WITHOUT ALTERATIONS.
SD04	DEMOLISH EXISTING SIGNAGE.
SD05	PREPARE PARKING LOT FOR RESEALING AND RESTRIPIING.
SD08	DEMOLISH EXISTING CURB.
SD09	DEMOLISH EXISTING LANDSCAPE.
SD10	DEMOLISH EXISTING MONUMENT SIGN.
SD11	DEMOLISH EXISTING RAMP.
SD13	DEMOLISH EXISTING STAIRS. PROTECT EXISTING LANDING.
SD15	DEMOLISH EXISTING RAMP WALL. PROTECT EXISTING RAMP.
SD18	DEMOLISH EXISTING SIDEWALK.

LEGEND

- EXISTING VEGETATION TO REMAIN
- EXISTING CURB/SIDEWALK TO BE REMOVED
- EXISTING ASPHALT TO BE RE-STRIPED AND RE-SEALED
- PULL BOX
- WATER METER
- HOT BOX
- STORM DRAIN
- LIGHT POLE
- BOLLARD
- CLEANOUT
- POLE
- GAS METER
- SIGNAGE
- NEW SIGNAGE
- TREE
- FIRE HYDRANT



ARCHITECT

2400 LOUISIANA BLVD. NE RENOVATION

100% CONSTRUCTION DOCUMENTS SET

2400 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110

DECEMBER 1, 2023

MARK	DATE	DESCRIPTION
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1/18/2024 | PLAN REVIEW COMMENTS

ISSUE:

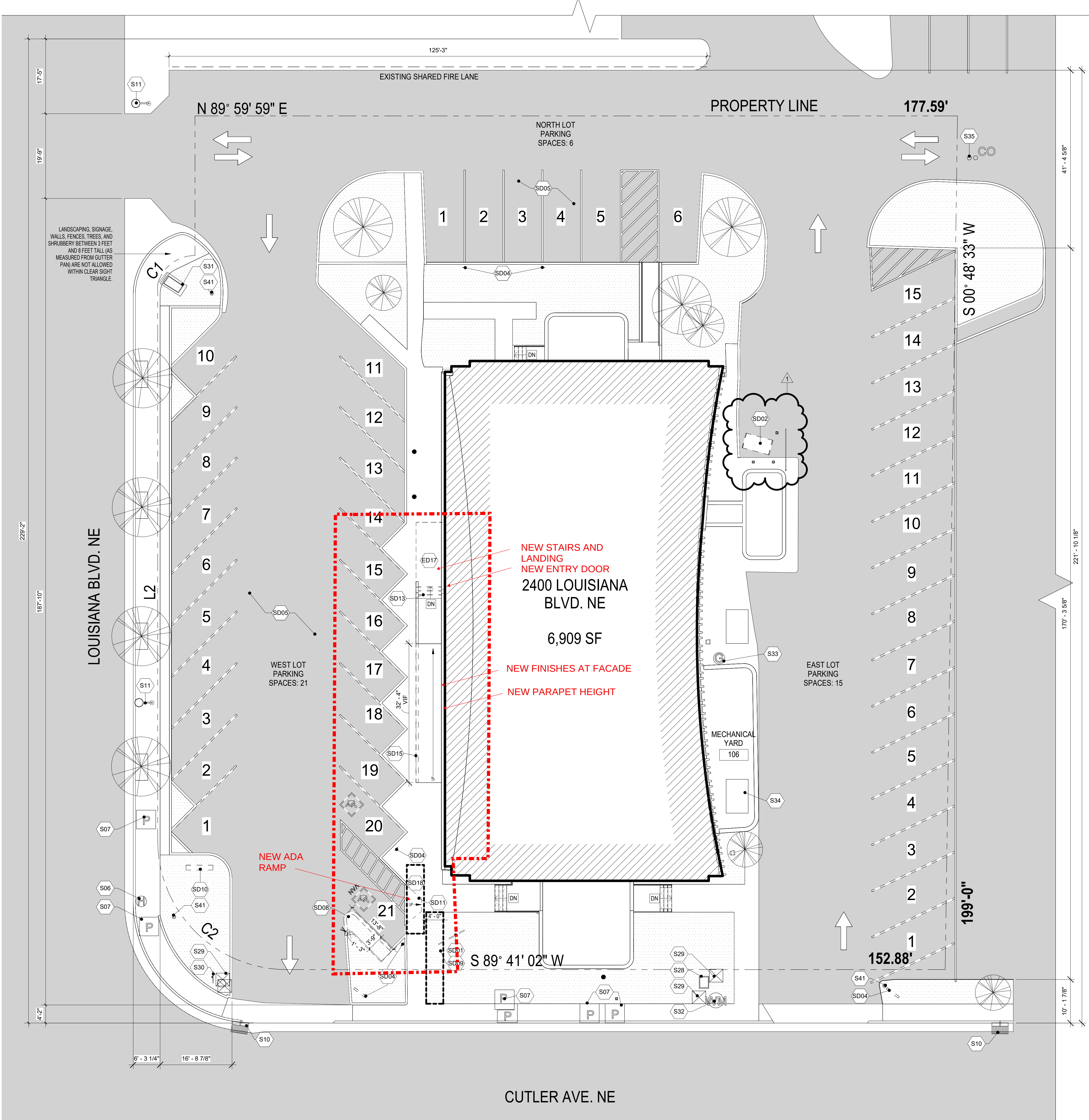
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SHEET TITLE

SITE DEMO

SD-101

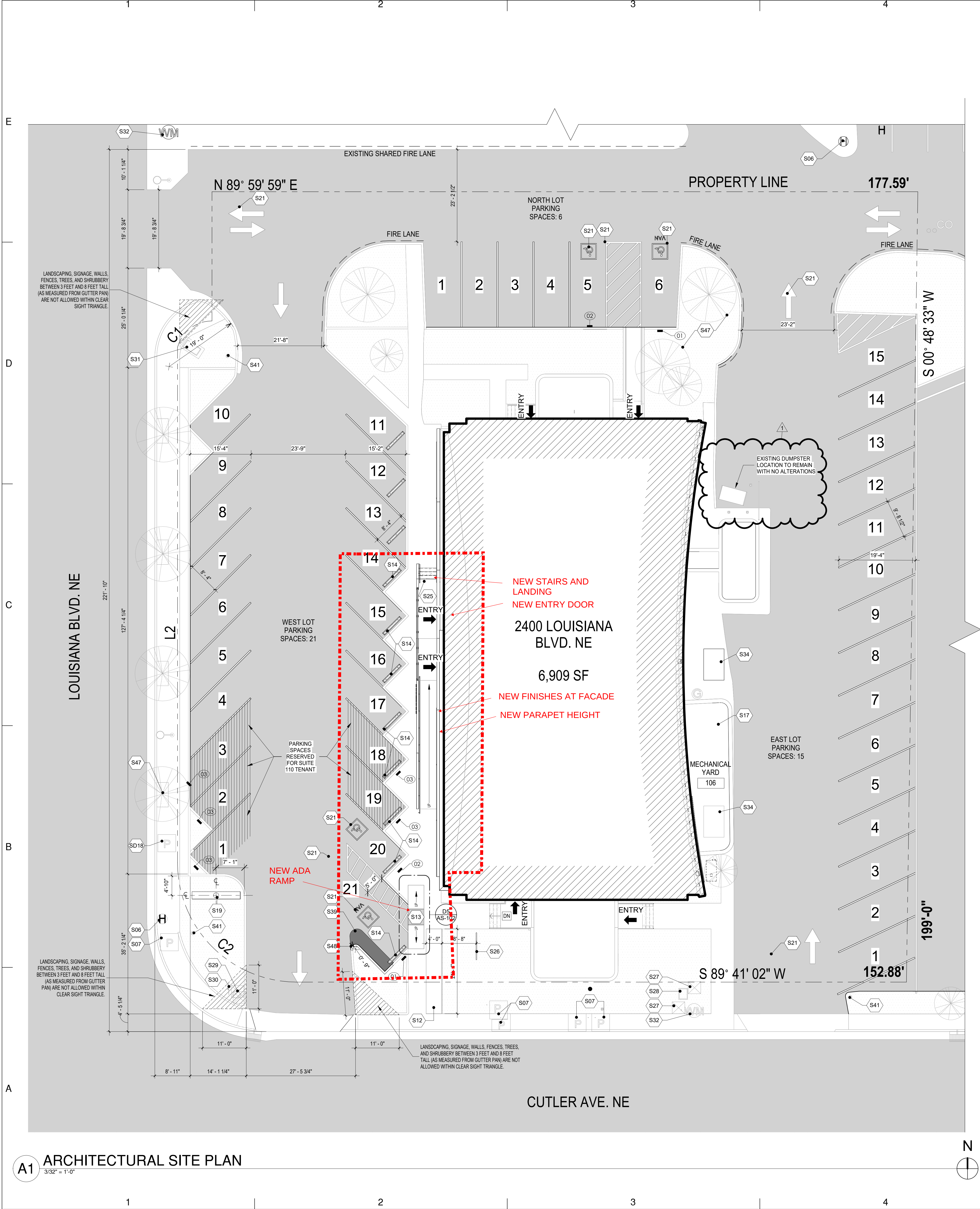
2400 LOUISIANA BLVD. NE RENOVATION



A1 SITE PLAN DEMO

3/32" = 1'-0"

1/19/2024 2:54:53 PM 2400 LOUISIANA BLVD. NE RENOVATION



GENERAL NOTES

1. WATER TO BE SUB-METERED TO EACH TENANT SPACE.

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KEYED NOTES

Key Value	Keynote Text
S06	EXISTING FIRE HYDRANT TO REMAIN.
S07	EXISTING PULL BOX TO REMAIN.
S12	NEW CONCRETE SIDEWALK.
S13	NEW ADA PARALLEL CURB RAMP.
S14	NEW PRE-CAST WHEEL STOP.
S17	NEW TENANT EMERGENCY GENERATOR.
S19	NEW MONUMENT SIGN BY TENANT.
S21	PAVEMENT MARKING COLOR WHITE.
S25	NEW LANDING AND STAIRS.
S26	RE-INSTALL BIKE RACK.
S27	EXISTING IRRIGATION BOX TO REMAIN.
S28	EXISTING HOT BOX TO REMAIN.
S29	EXISTING ANTI-SIPHON VALVE TO REMAIN.
S30	EXISTING SIGNAGE TO REMAIN.
S31	EXISTING UTILITY VAULT TO REMAIN.
S32	EXISTING WATER METER TO REMAIN. WATER TO BE SUB-METERED.
S34	EXISTING AC UNIT. SEE MECHANICAL.
S39	NEW ASPHALT.
S41	EXISTING UTILITY POLE TO REMAIN.
S47	EXISTING TREE TO REMAIN.
S48	NEW CONCRETE CURB.
SD18	DEMOLISH EXISTING SIDEWALK.

LEGEND

- EXISTING VEGETATION TO REMAIN
- EXISTING CURB/SIDEWALK TO BE REMOVED
- EXISTING ASPHALT TO BE RE-STRIPED AND RE-SEALED
- PULL BOX
- WATER METER
- HOT BOX
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- LIGHT POLE
- BOLLARD
- CLEANOUT
- POLE
- GAS METER
- SIGNAGE
- NEW SIGNAGE
- TREE
- FIRE HYDRANT



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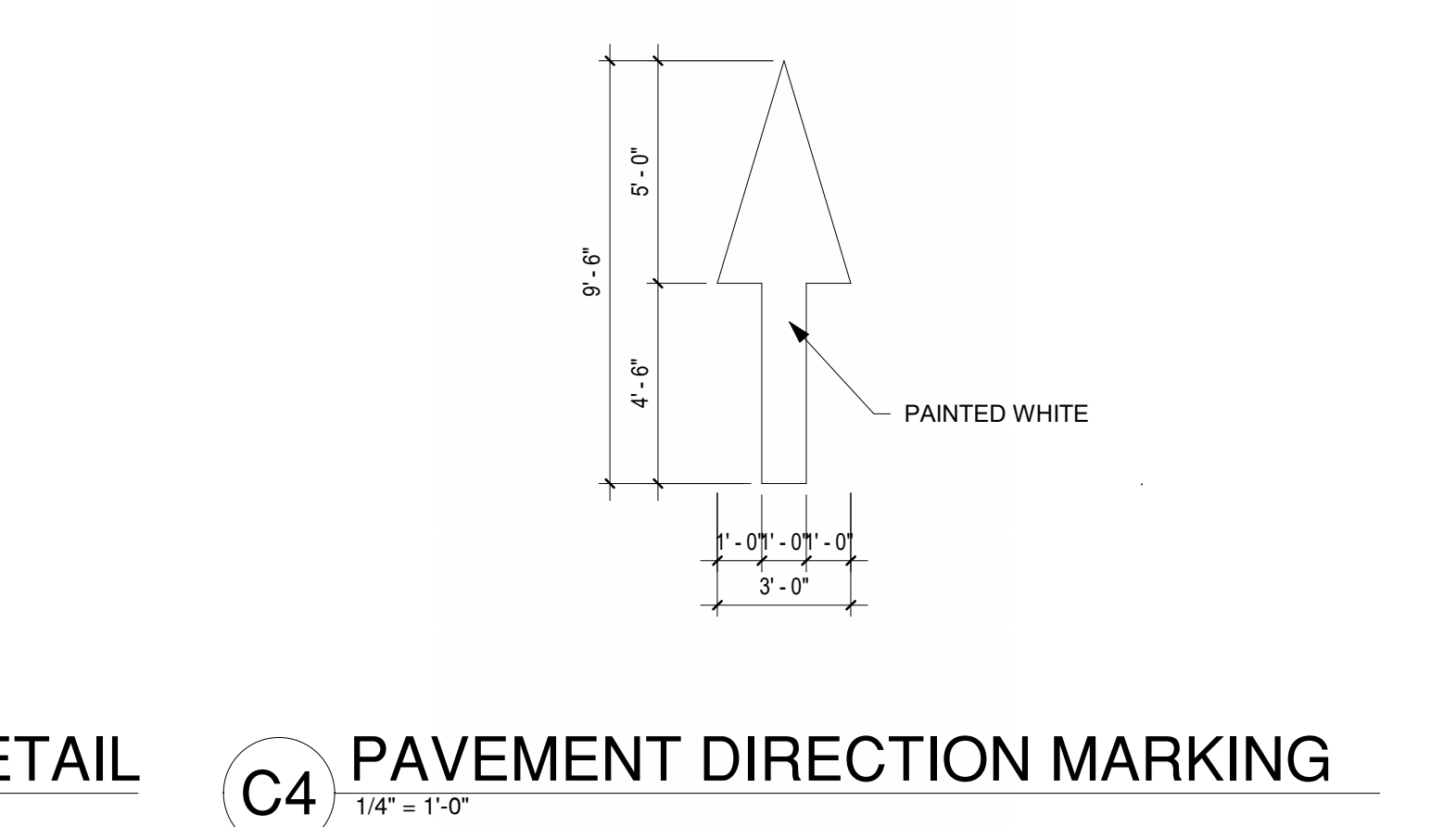
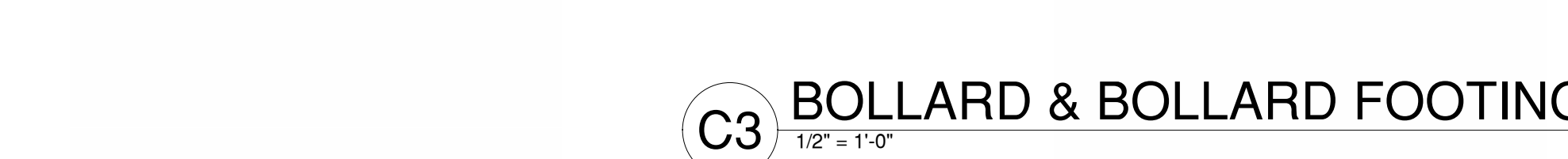
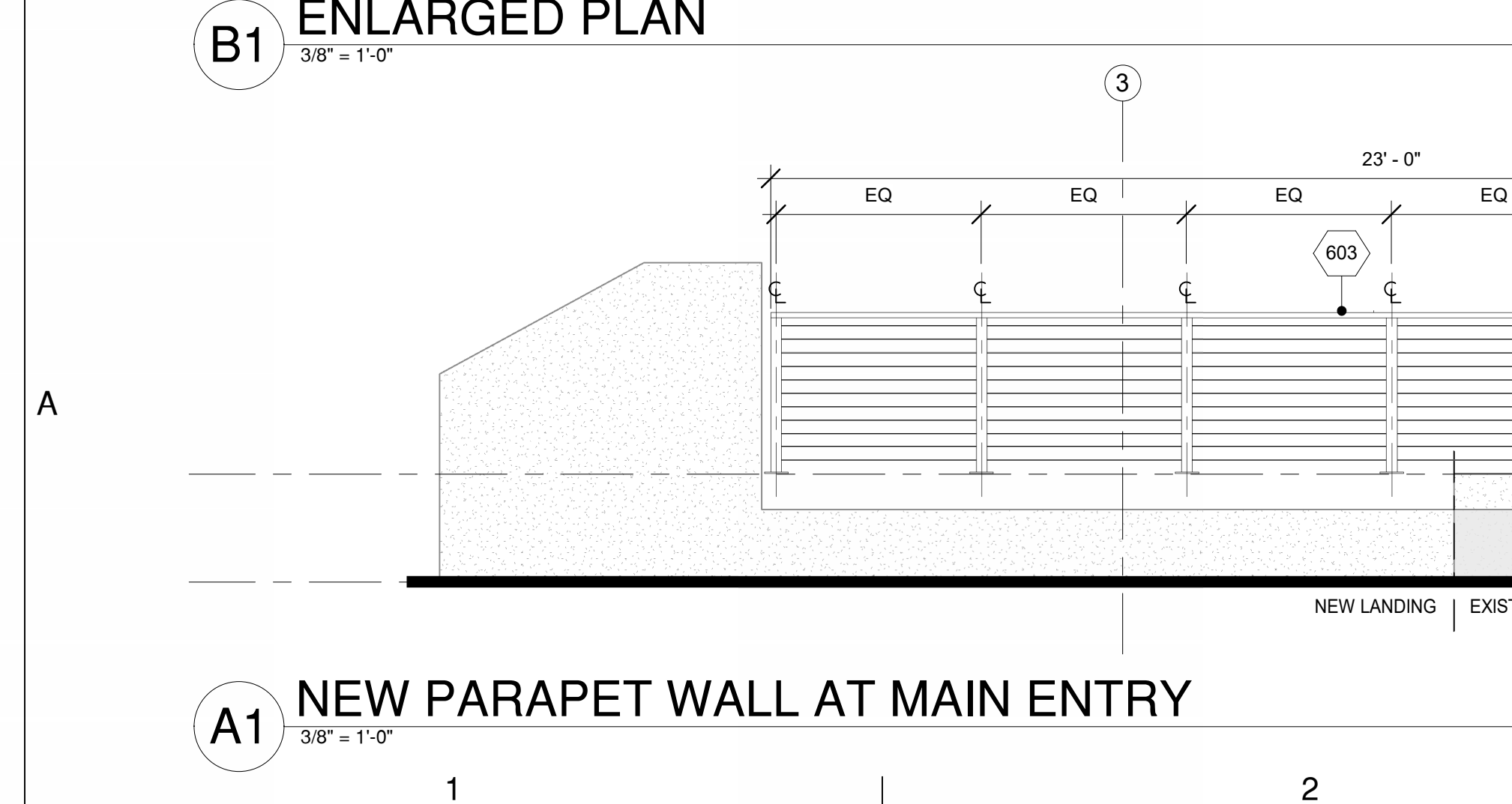
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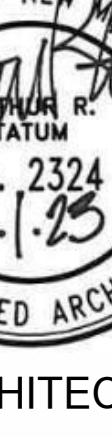
ARCHITECTURAL SITE PLAN

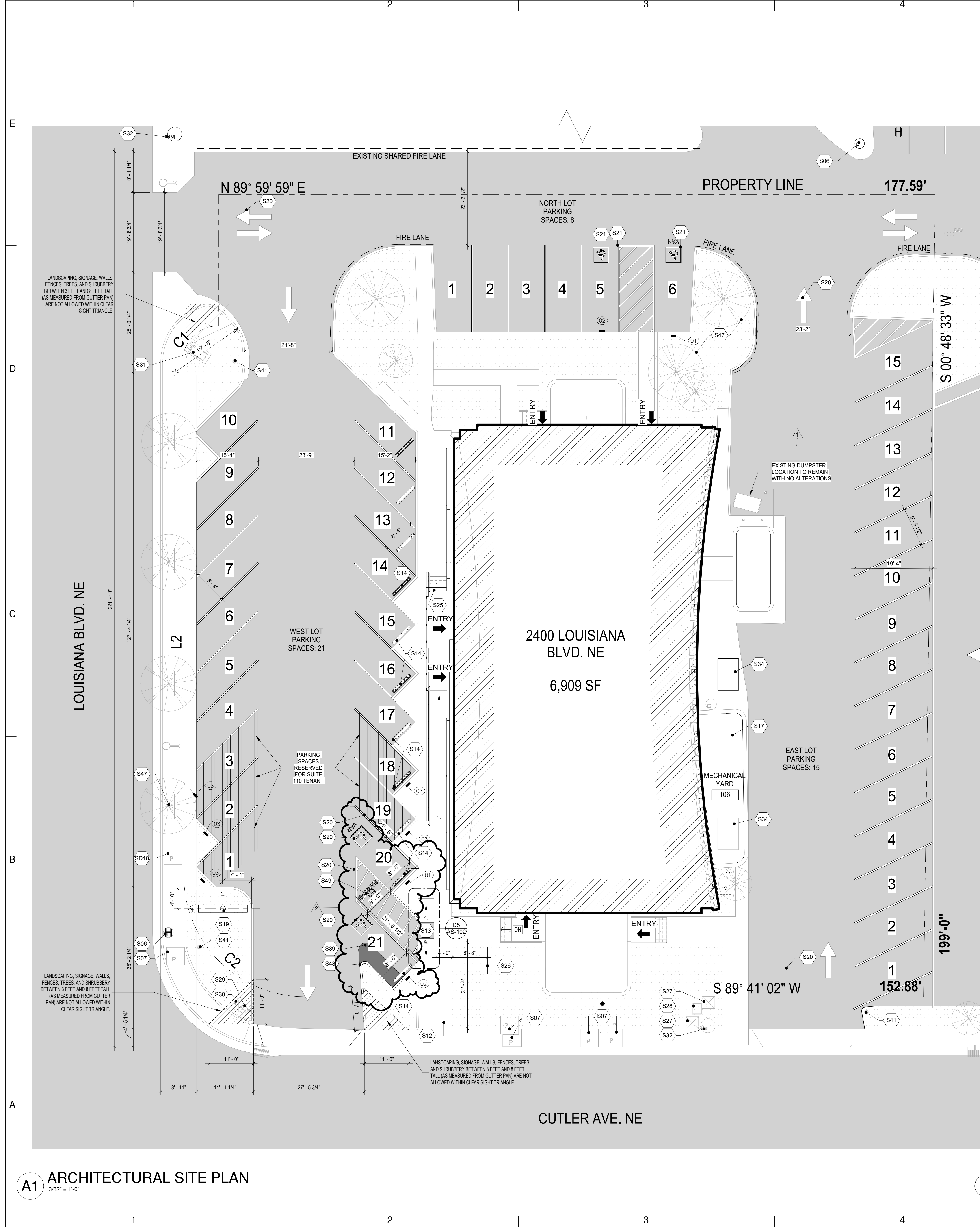
AS-101

2400 LOUISIANA BLVD. NE RENOVATION



GENERAL NOTES	
KEYED NOTES	
Key Value	Keynote Text
020	BOLLARD, SEE DETAILS C4/AS-101.
021	DRILL HOLES FOR GATE CANE BOLT.
022	SANITARY SEWER DRAIN.
023	1/2" EXPANSION JOINT BETWEEN ENCLOSURE SLAB AND APRON.
024	METAL SWING GATE; SEE ELEVATION C1/AS-101.
025	6" OD CONCRETE-FILLED STEEL PIPE BOLLARD.
412	STEEL TUBE WALL-MOUNT HANDRAIL.
417	EXISTING RAMP TO REMAIN.
418	NEW CONCRETE STAIRS. SEE STRUCTURAL.
419	STEEL TUBE HANDRAIL.
420	CABLE GUARDRAIL.
601	NEW ALUMINUM SIGN UNLIT "ENTRANCE".
603	CABLE GUARDRAIL.
630	EXISTING WALL TO REMAIN.

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SHEET TITLE		
ARCHITECTURAL SITE DETAILS		
AS-102		



A1 ARCHITECTURAL SITE PLAN

3/32" = 1'-0"

GENERAL NOTES

1. WATER TO BE SUB-METERED TO EACH TENANT SPACE.
2. ALL PAVEMENT MARKINGS AT ADA PARKING SPOTS SHALL BE BLUE.

KEYED NOTES

Key Value	Keynote Text
S06	EXISTING FIRE HYDRANT TO REMAIN.
S07	EXISTING PULL BOX TO REMAIN.
S12	NEW CONCRETE SIDEWALK.
S13	NEW ADA PARALLEL CURB RAMP.
S14	NEW PRE-CAST WHEEL STOP.
S17	NEW TENANT EMERGENCY GENERATOR.
S19	NEW MONUMENT SIGN BY TENANT.
S20	PAVEMENT MARKING COLOR BLUE.
S21	PAVEMENT MARKING COLOR WHITE.
S25	NEW LANDING AND STAIRS.
S26	RE-INSTALL BIKE RACK.
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S31	EXISTING UTILITY VAULT TO REMAIN.
S32	EXISTING WATER METER TO REMAIN. WATER TO BE SUB-METERED.
S34	EXISTING AC UNIT. SEE MECHANICAL.
S39	NEW ASPHALT.
S41	EXISTING UTILITY POLE TO REMAIN.
S47	EXISTING TREE TO REMAIN.
S48	NEW CONCRETE CURB.
S49	'NO PARKING' SIGNAGE - CAPITAL LETTERS, COLOR BLUE. 1'-0" HIGH LETTERS WITH 2" WIDE STROKE, MINIMUM.
SD18	DEMOLISH EXISTING SIDEWALK.

LEGEND

	EXISTING VEGETATION TO REMAIN
	EXISTING CURB/SIDEWALK TO BE REMOVED
	EXISTING ASPHALT TO BE RE-STRIPED AND RE-SEALED
	PULL BOX
	WATER METER
	HOT BOX
	STORM DRAIN
	LIGHT POLE
	BOLLARD
	CLEANOUT
	POLE
	GAS METER
	SIGNAGE
	NEW SIGNAGE - SEE SHEET AS-102 FOR DETAILS AND DIMENSIONS
	TREE
	FIRE HYDRANT

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	2/16/2024	ADM. AMEND. COMMENTS

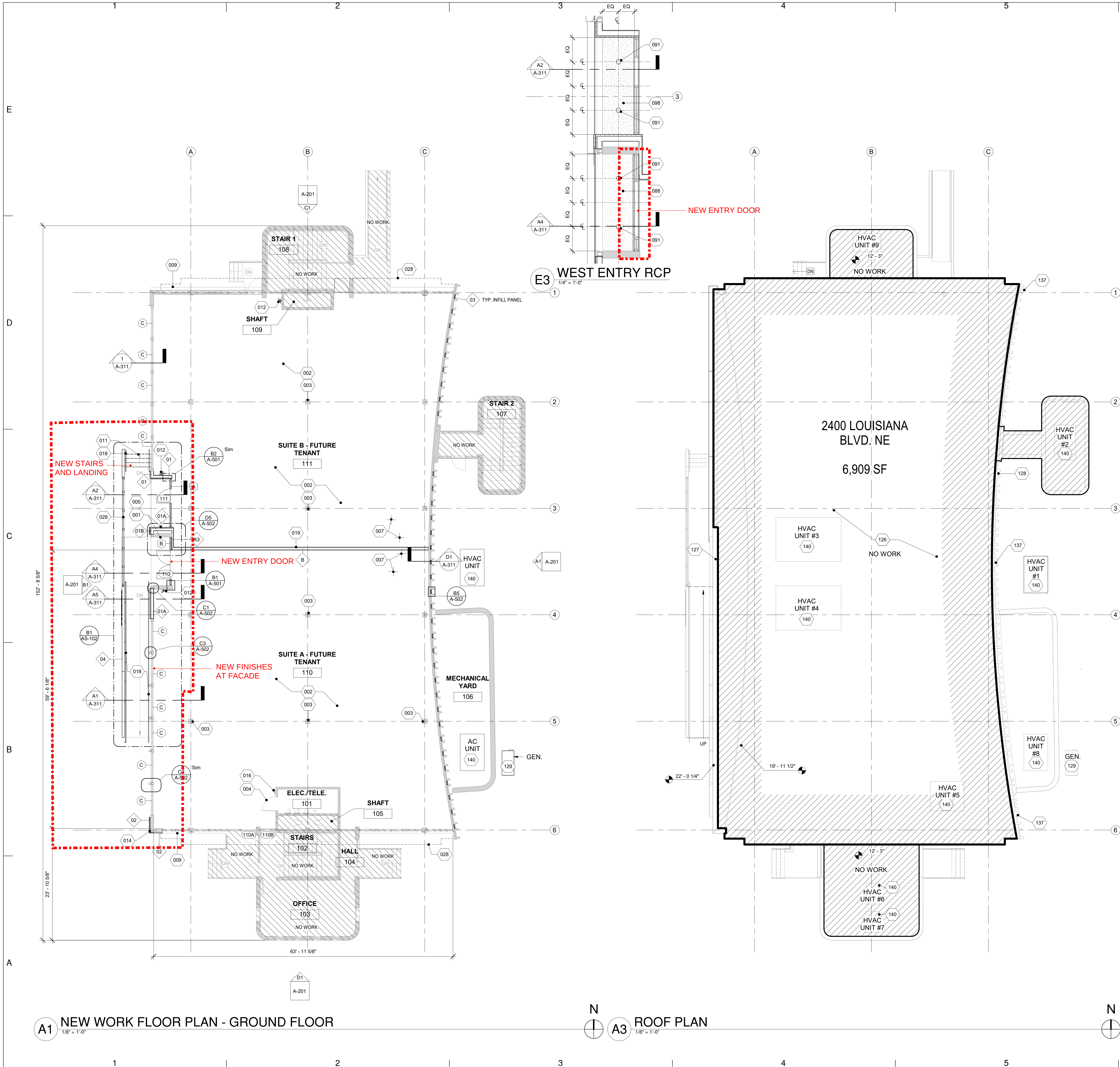
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SHEET TITLE

ARCHITECTURAL SITE PLAN

AS-101



GENERAL NOTES

- A. CONTROL DRYWALL TEXTURE OVER SPRAY AT ALL LOCATIONS OF EXPOSED CEILING. ENSURE NO OVER SPRAY ON STRUCTURE AND / OR BATT INSULATION.
- B. EXACT LOCATION OF ALL SPECIAL SYSTEMS EQUIPMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO SYSTEM INSTALLATION.
- C. SEE A-601 FOR DOOR AND WINDOW SCHEDULE AND A-602/603 FOR DOOR AND WINDOW FRAME ELEVATIONS.
- D. SEE PARTITION TYPES A-501.
- E. SEAL ALL EXISTING PENETRATIONS, HOLES OR OTHER UNUSED DAMAGED EXISTING INTERIOR OR EXTERIOR WALL ASSEMBLIES.
- F. ALL DIMENSIONS TO FACE OF FINISH.

KEYED NOTES

Key Value	Keynote Text
001	INSTALL RECESSED KNOX BOX. KNOX COMPANY MODEL #3272, ALUMINUM FINISH WITH HINGED DOOR AND RECESSED MOUNTING KIT(1-800-582-5669) OR APPROVED EQUIVALENT. COORDINATE FINAL LOCATION WITH ARCHITECT AND FIRE MARSHAL'S OFFICE PRIOR TO INSTALLATION.
002	PATCH AND LEVEL EXISTING FLOOR TO PREPARE FOR FUTURE FLOOR COVERING.
003	EXISTING COLUMNS TO REMAIN.
004	EXISTING DOOR TO REMAIN. DOOR TO BE PAINTED.
005	NEW CONCRETE LANDING. SEE STRUCTURAL.
007	CAP EXISTING PLUMBING LEFT FROM DEMO'D BATHROOMS.
009	LINE OF EXISTING FLOOR SLAB.
011	NEW STAIRS.
012	NEW WALL MOUNTED FIRE EXTINGUISHER.
014	NEW STUCCO WALL. FINISH ON EXISTING WALL.
016	EXISTING FIRE EXTINGUISHER TO REMAIN.
018	NEW HANDRAIL.
019	NEW DEMISING WALL.
028	LINE OF EXISTING ROOF ABOVE.
029	NEW GUARDRAIL.
088	EXISTING STUCCO SOFFIT TO REMAIN. RECOAT STUCCO. COLOR TO BE SELECTED BY ARCHITECT.
091	NEW RECESSED CAN LIGHT. SEE ELECTRICAL.
098	STUCCO SYSTEM SOFFIT. SEE WALL SECTIONS. COLOR TO BE SELECTED BY ARCHITECT.
126	EXISTING ROOF TO REMAIN. REROOFING NOT IN SCOPE.
127	NEW PARAPET. SEE SHEET A-311 FOR WALL SECTIONS.
128	NEW INFILL WALL BETWEEN EXISTING PRECAST CONCRETE FINS. SEE SHEET A-311 FOR WALL SECTIONS.
129	TENANT PROVIDED NEW GENERATOR. NOT IN CONTRACT.
137	EXISTING FLOOD LIGHT TO REMAIN.
140	EXISTING HVAC UNIT. CONTRACTOR TO COORDINATE REPLACEMENT OR SERVICE.

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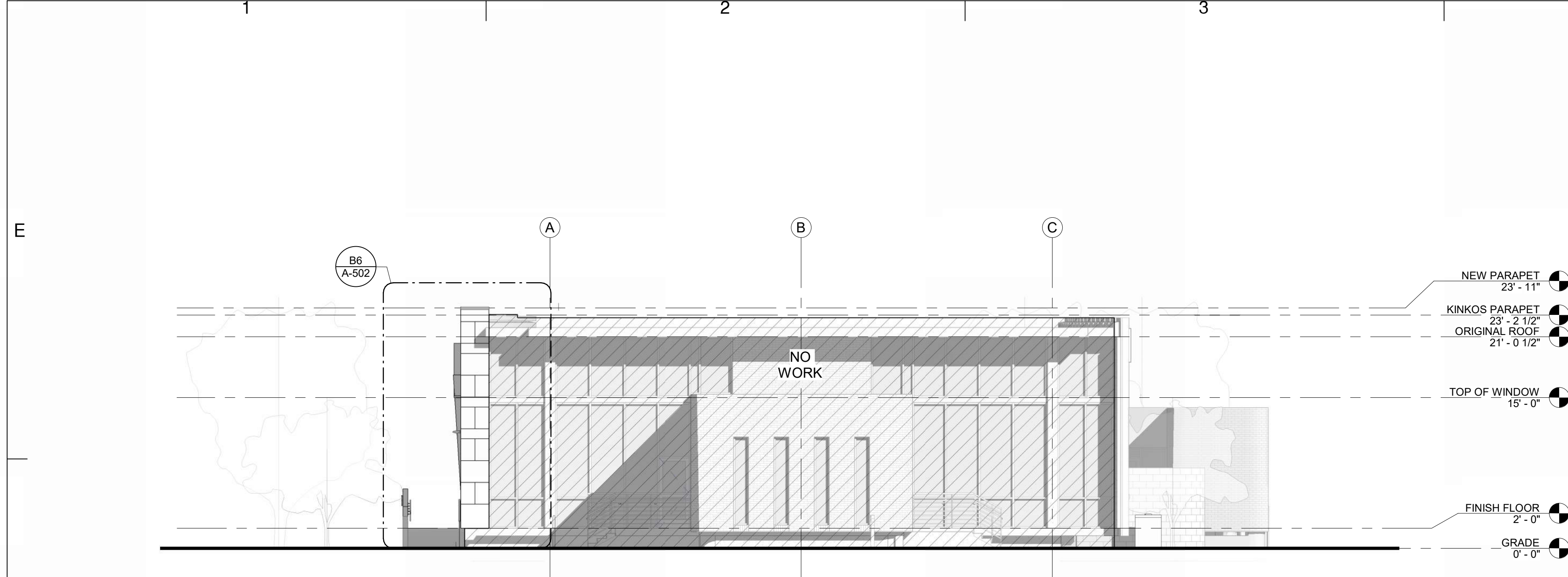
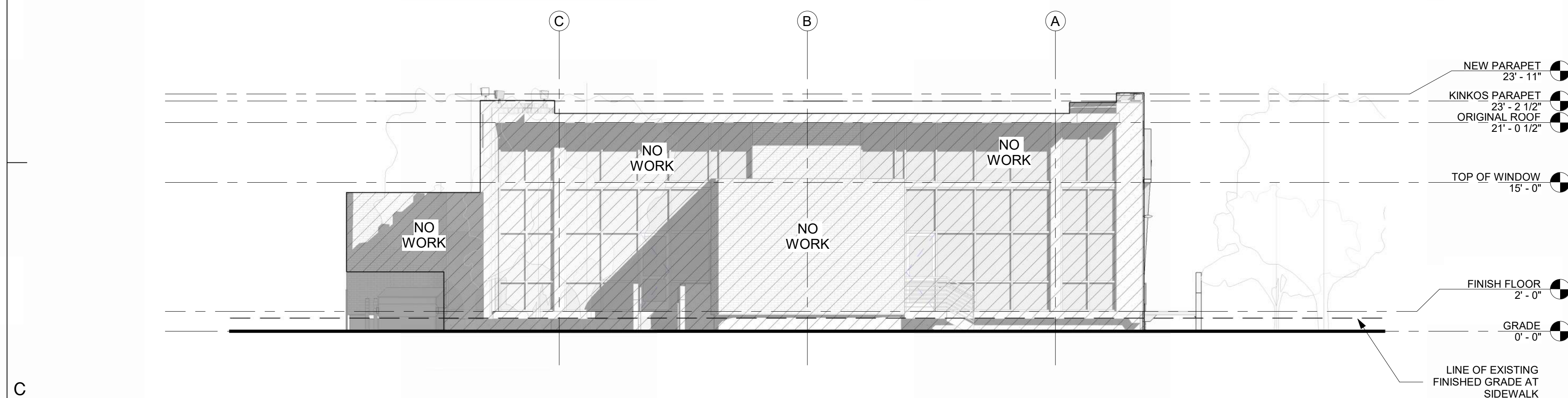
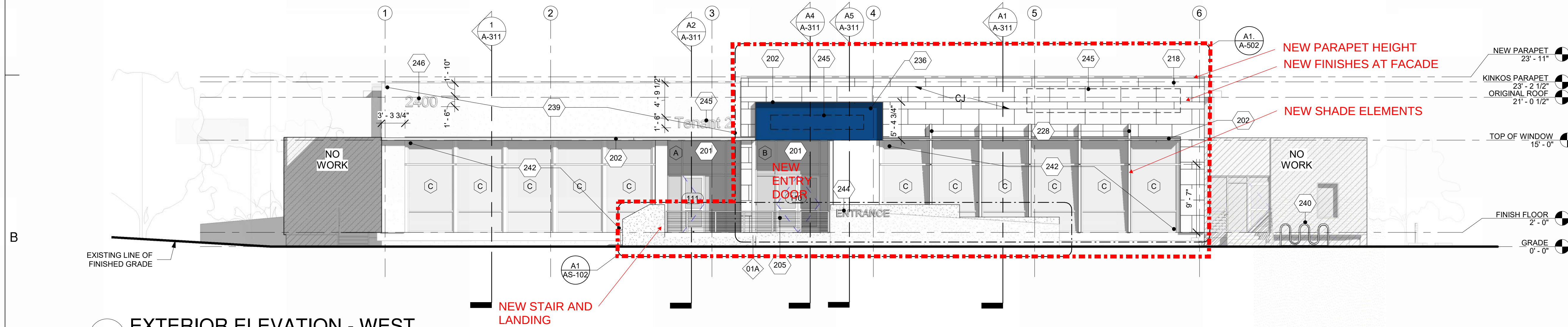
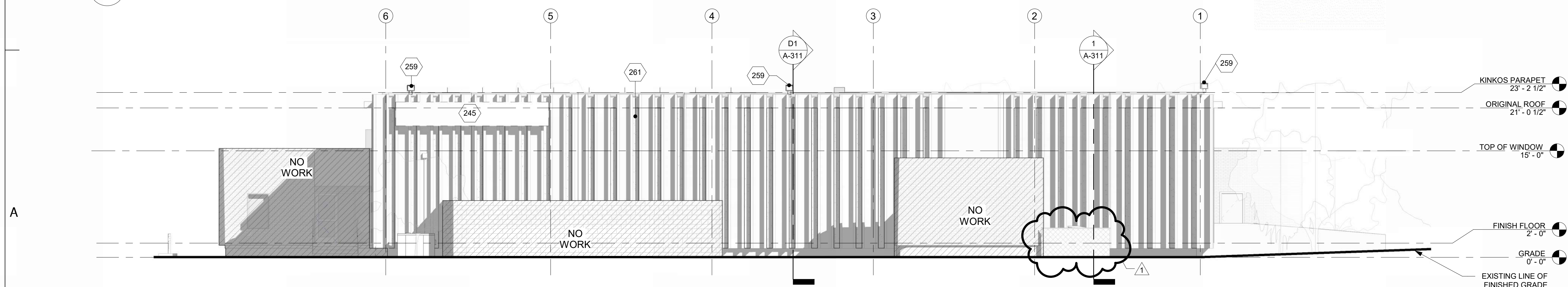
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SHEET TITLE
NEW FLOOR PLAN & ROOF PLAN

**D1** EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"**C1** EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"**B1** EXTERIOR ELEVATION - WEST
1/8" = 1'-0"**A1** EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

KEYED NOTES	
Key Value	Keynote Text
201	NEW ALUMINUM STOREFRONT ASSEMBLY WITH INSULATED LOW-E GLAZING. SEE FLOOR PLAN, AND DOOR SCHEDULE OR WINDOW SCHEDULE.
202	NEW ALUMINUM TUBE EYEBROW. SEE WALL SECTIONS.
205	NEW CABLE GUARDRAIL.
218	SHALLOW REVEAL CHANNEL - SURFACE MOUNT. CLARK-DIETRICH MODEL CS18-50 REVEAL...
228	NEW CANTED ALUMINUM FINS. SEE DETAILS.
236	NEW STUCCO. COLOR TO BE SELECTED BY ARCHITECT.
239	PAINT EXISTING STUCCO. COLOR TO BE SELECTED BY ARCHITECT.
240	REINSTALL EXISTING BIKE RACK.
242	REPLACE ALL EXISTING GLAZING ON WEST FACADE, TYP.
244	NEW CUT METAL SIGN UNLIT "ENTRANCE".
245	FUTURE TENANT SIGN - SIGNAGE NOT IN CONTRACT. GC TO PROVIDE BACKING FOR FUTURE SIGNAGE.
246	BUILDING SIGNAGE "2400".
259	EXISTING FLOOD LIGHT TO REMAIN.
261	NEW STUCCO INFILL WALL BETWEEN PRE-CAST CONCRETE FINS, TYP.

LEGEND

CJ	CONTROL JOINT
	STUCCO COLOR A
	STUCCO COLOR B
	STUCCO COLOR C
	REPAINT STUCCO - COLOR D
	NO WORK THIS AREA

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EXTERIOR ELEVATIONS