

## CITY OF ALBUQUERQUE

ADMINISTRATIVE APPROVAL (AA)- SITE DEV PLAN AMENDMENT  
ROUTING & REVIEW SHEET

APPLICATION #: 13AA-10250	PROJECT #: 1008660
PROJECT NAME: Uptown Dental Assoc.	
APPLICANT or AGENT: FBI Architects - Jared Larsen	
PHONE # and E-MAIL: 883-5200	
ZONE ATLAS PAGE: H-19	
ADMINISTRATIVE APPROVAL (AA) for:	<input type="checkbox"/> EPC CASE <input type="checkbox"/> DRB CASE <input checked="" type="checkbox"/> neither

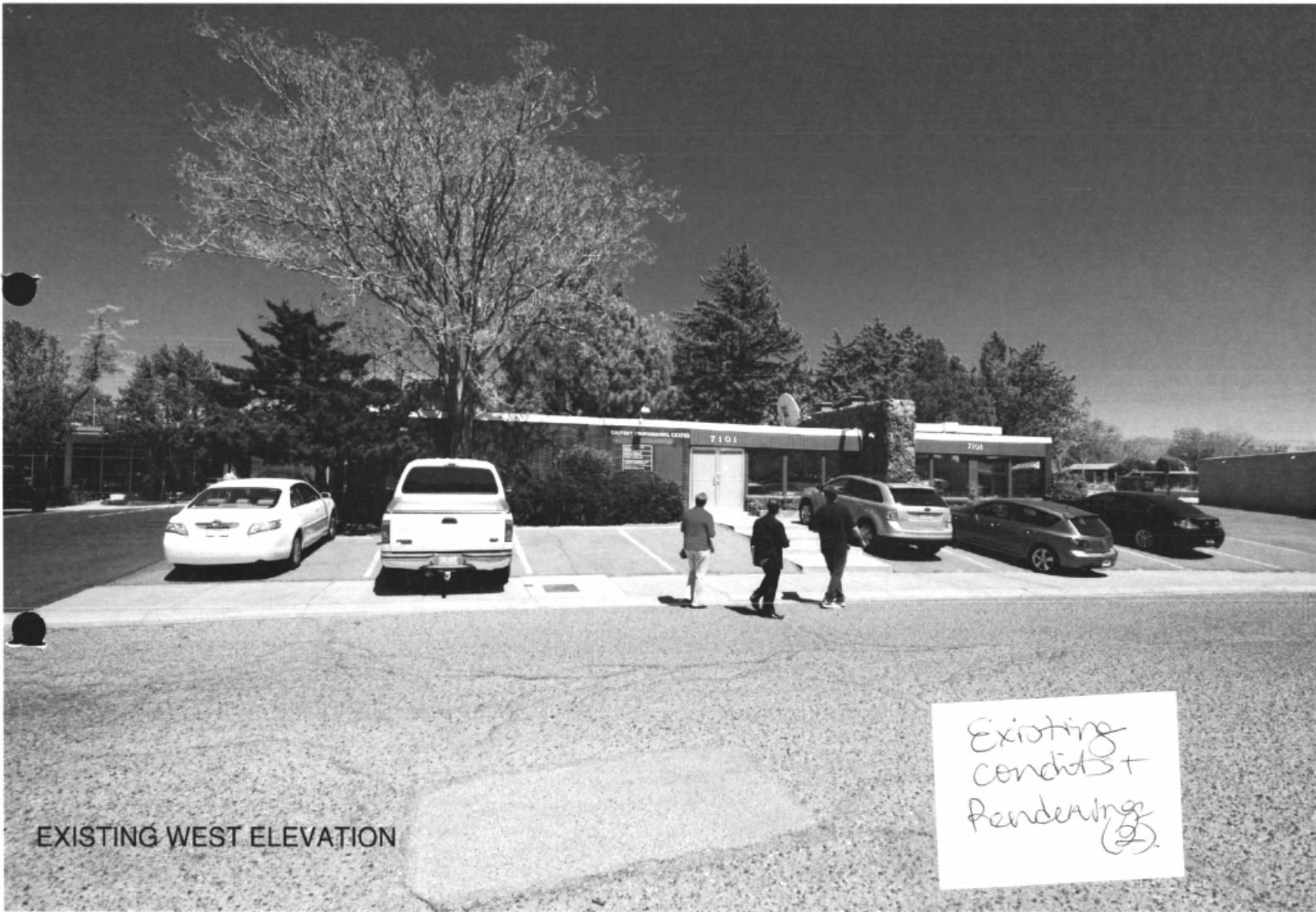
<b>CURRENT PLANNING</b>	DATE RECEIVED: 7-15-13
APPLICATION COMPLETE:	DATE:
APPLICATION INCOMPLETE:	DATE: 7-15-13
ROUTING NEEDED:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
COMMENTS:	
1. need letter of authz from property owner of record. 2. provide map and/or list of adjacent prop owners (for notificat note: no existing epc sites or drb site devel plan or NQD ③ 3. needs LS plan follow spp checklist and meet USDPrege (at least calce + species (agent))	

<b>TRANSPORTATION</b> (505) 924-3630	DATE RECEIVED: 07/15/13
PLANS DISAPPROVED: NSF	DATE: 07/16/13
PLANS APPROVED: NSF	DATE: 08/02/13
COMMENTS: SEE SHT. AS-101-E FOR COMMENTS ON AS BUILT REQUIREMENTS	

<b>UTILITIES</b> (505) 924-3989	DATE RECEIVED:
PLANS DISAPPROVED:	DATE:
PLANS APPROVED: <i>7/6/13</i>	DATE: 7-19-13
COMMENTS:	

<b>HYDROLOGY</b> (505) 924-3986	DATE RECEIVED:
PLANS DISAPPROVED:	DATE:
PLANS APPROVED: <i>Cont &amp; Ch</i>	DATE: 8-1-13
COMMENTS:	
site should water harvest in the two landscaped areas as shown on plan	

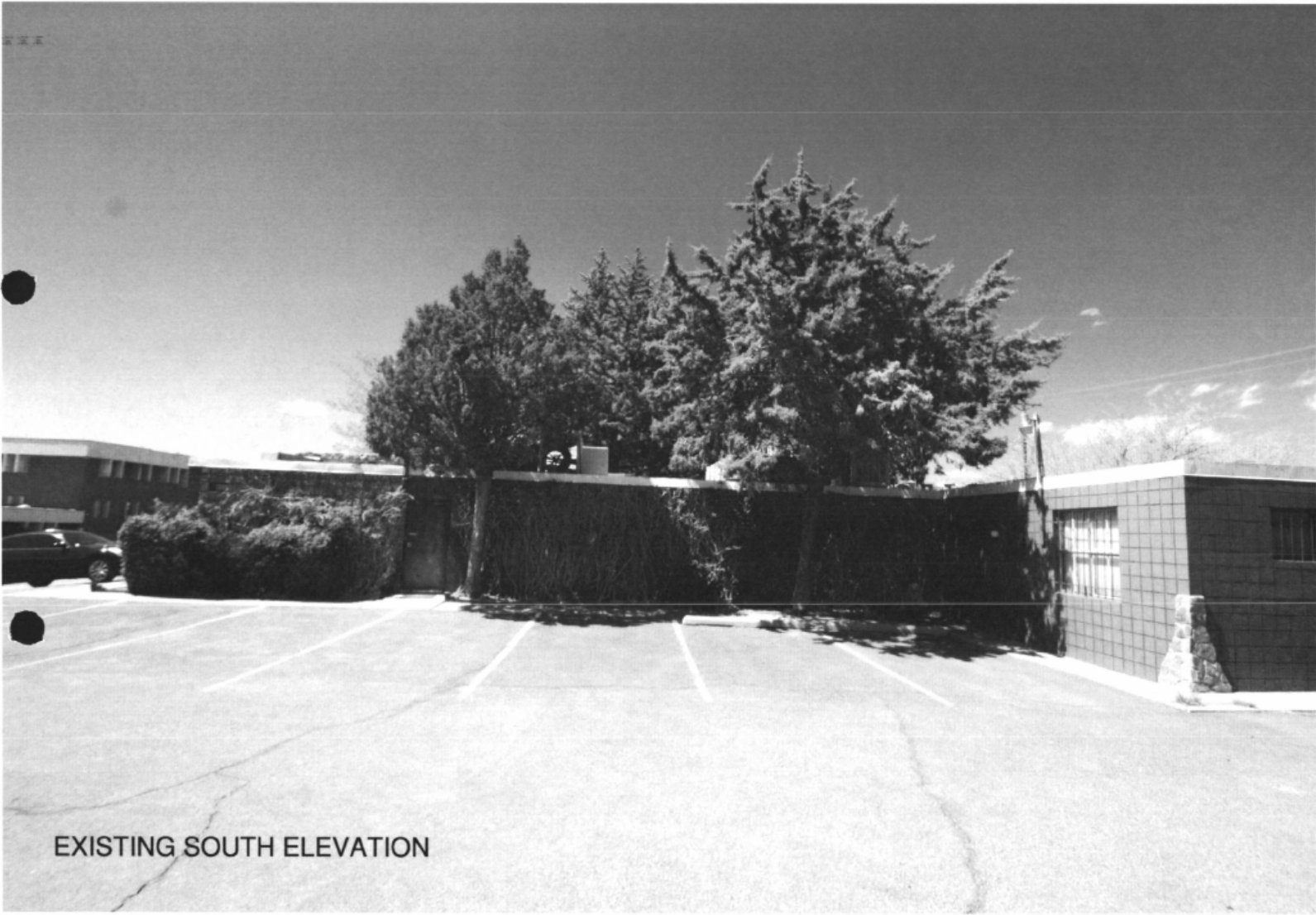
<b>PLANNING DIRECTOR</b> (505) 924-3860	DATE RECEIVED: 8/5/13
PLANS DISAPPROVED:	DATE:
PLANS APPROVED: <i>CM</i>	DATE: 8/12/13
COMMENTS:	
8/8 - provided comments to applicant - will need to revise site plan	
8/12/13 - add approx. 600 ft <sup>2</sup> ; remove parking from west side of site	



EXISTING WEST ELEVATION

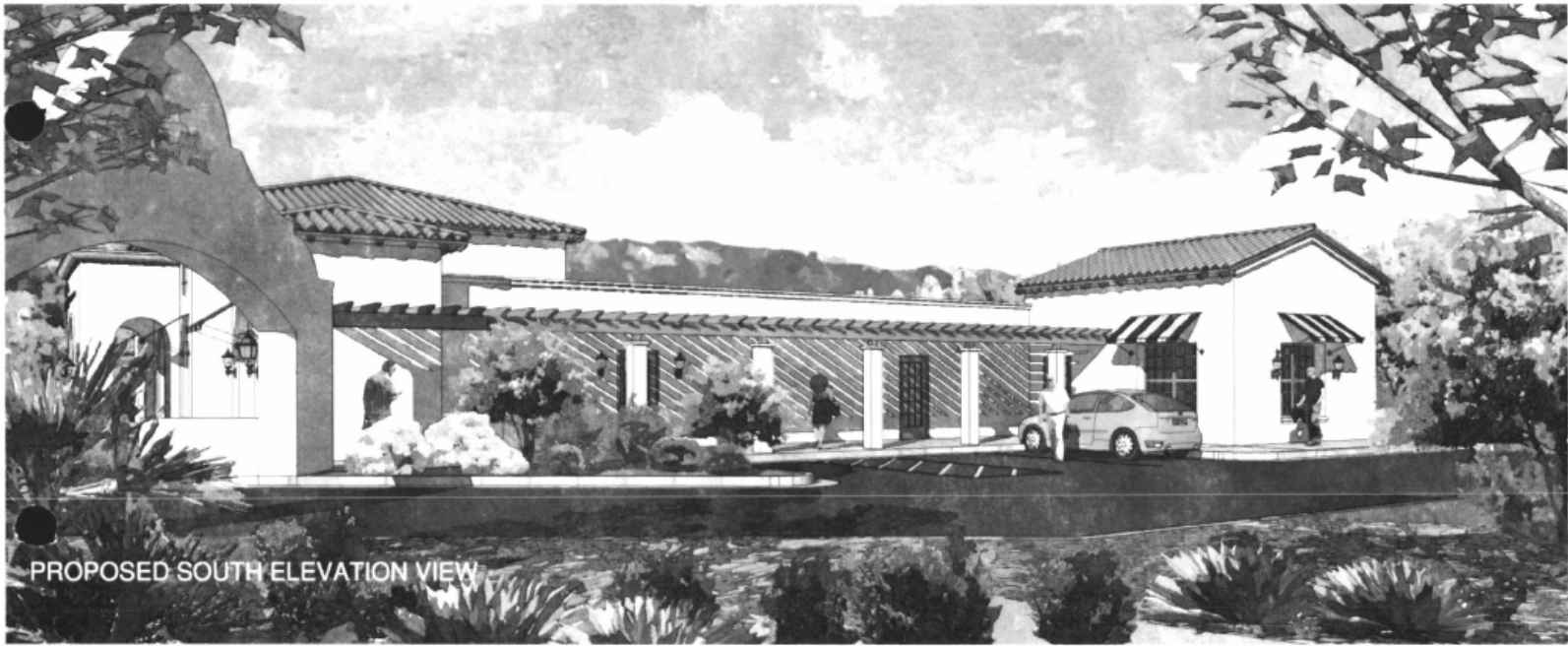
Existing  
conditions +  
Renderings  
(2)



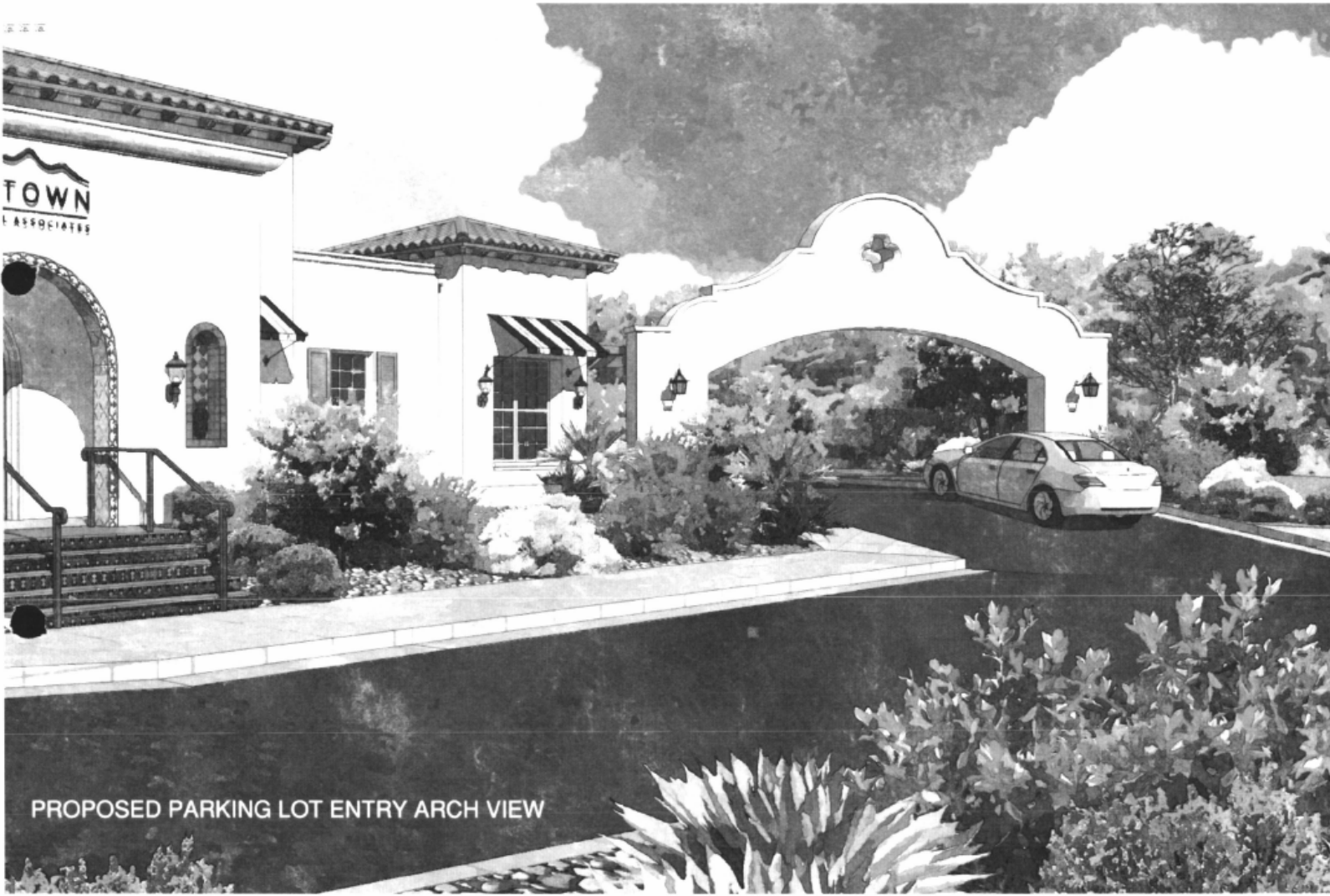


EXISTING SOUTH ELEVATION

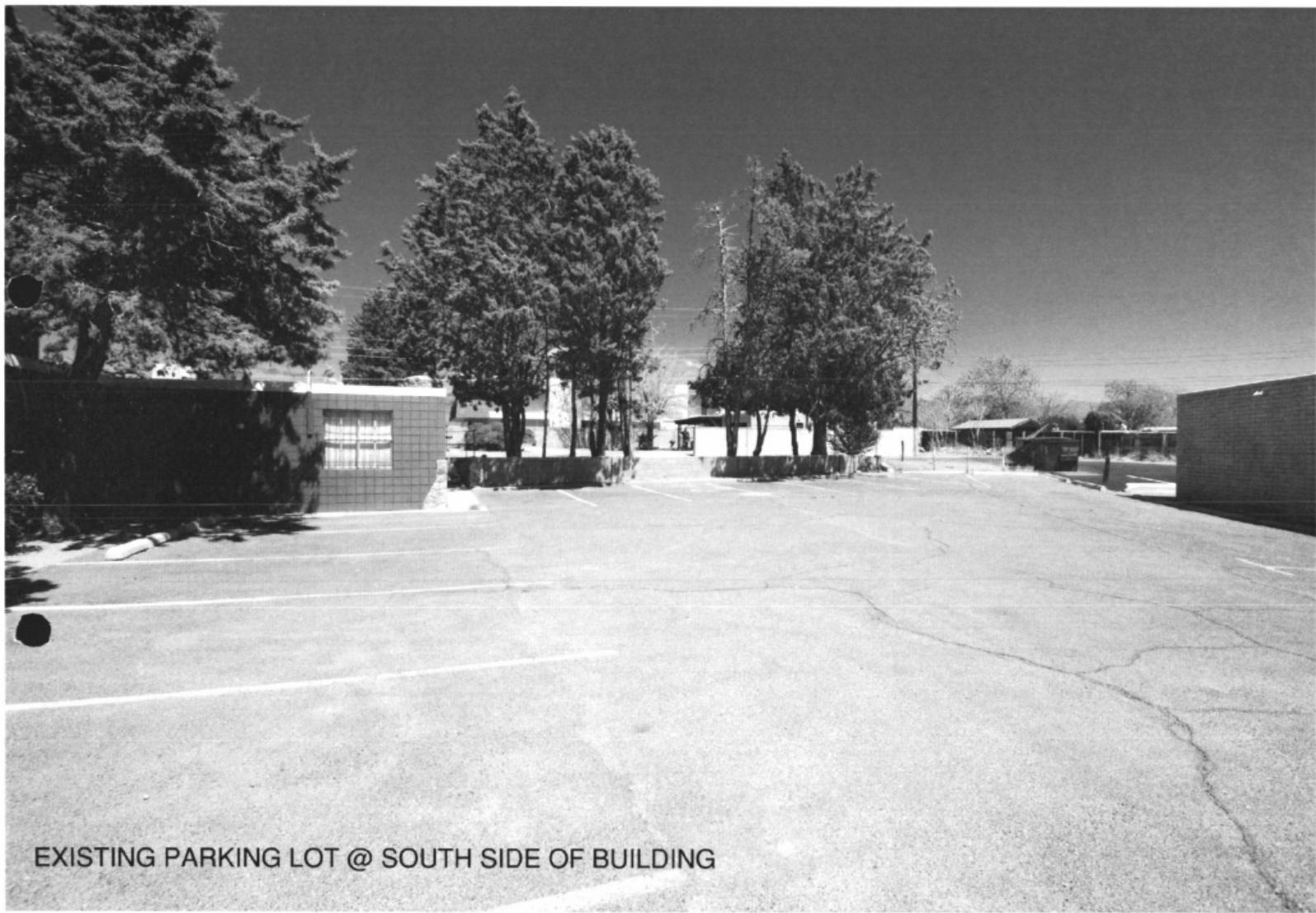




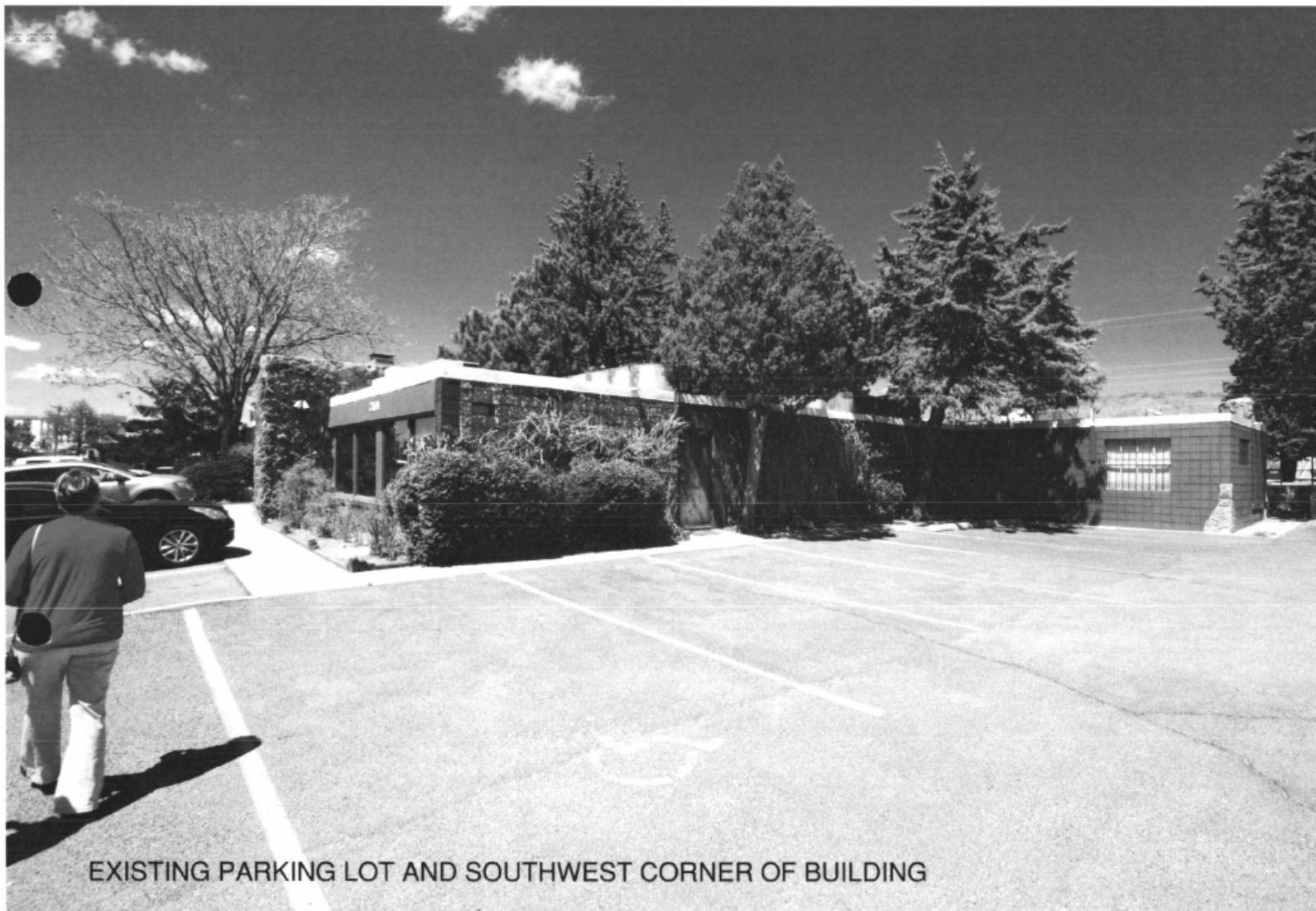
PROPOSED SOUTH ELEVATION VIEW



PROPOSED PARKING LOT ENTRY ARCH VIEW

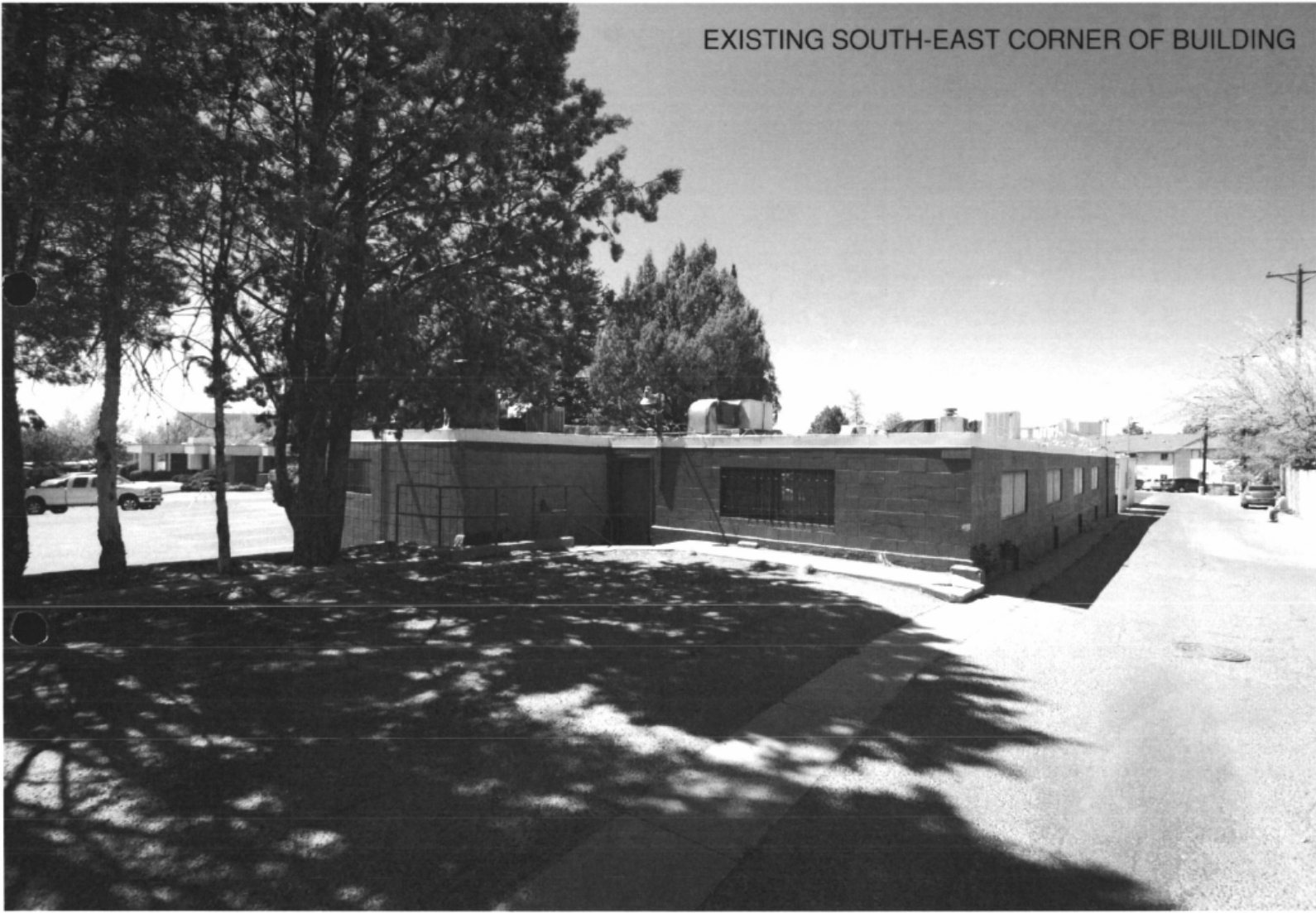


EXISTING PARKING LOT @ SOUTH SIDE OF BUILDING

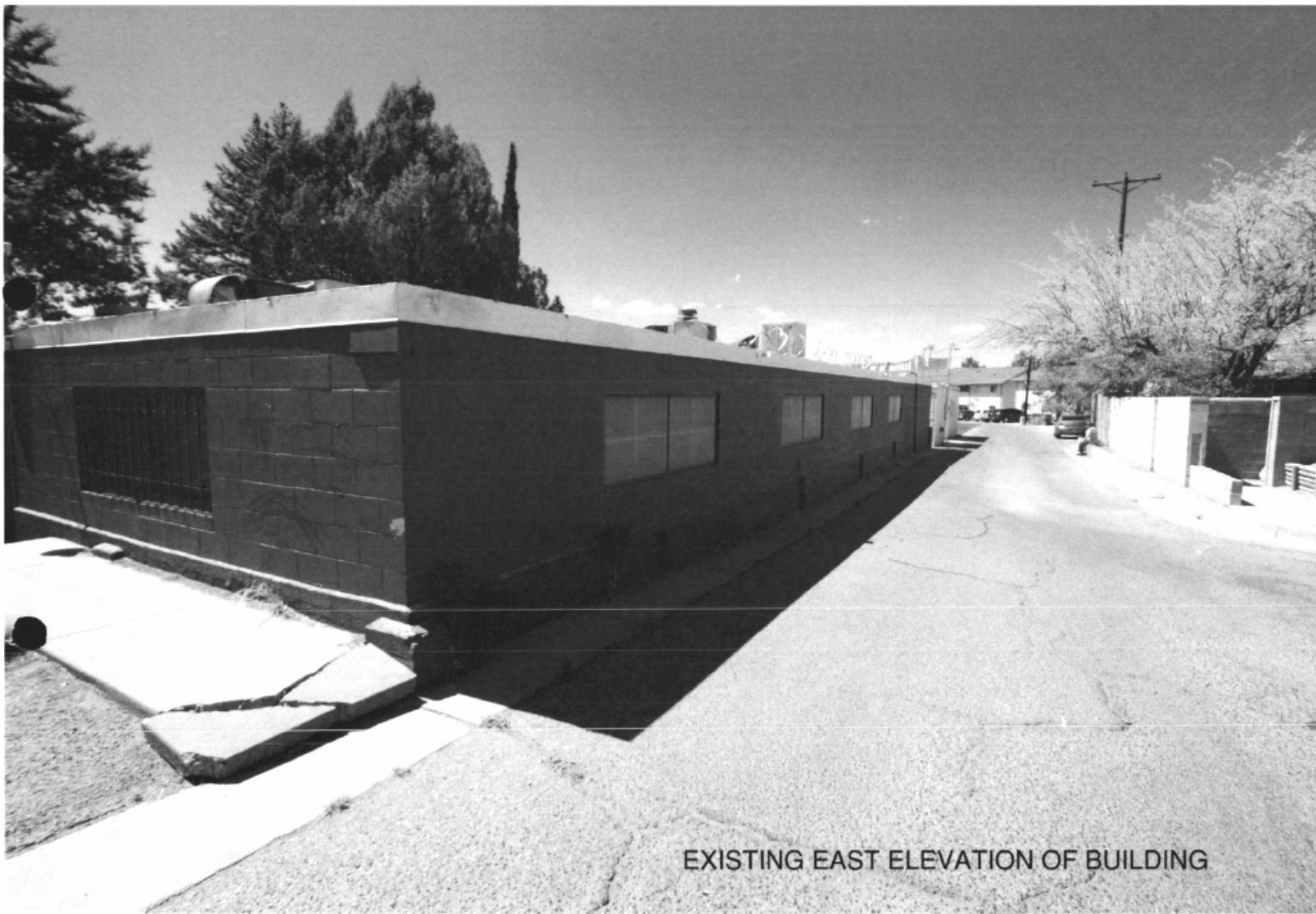


EXISTING PARKING LOT AND SOUTHWEST CORNER OF BUILDING

EXISTING SOUTH-EAST CORNER OF BUILDING

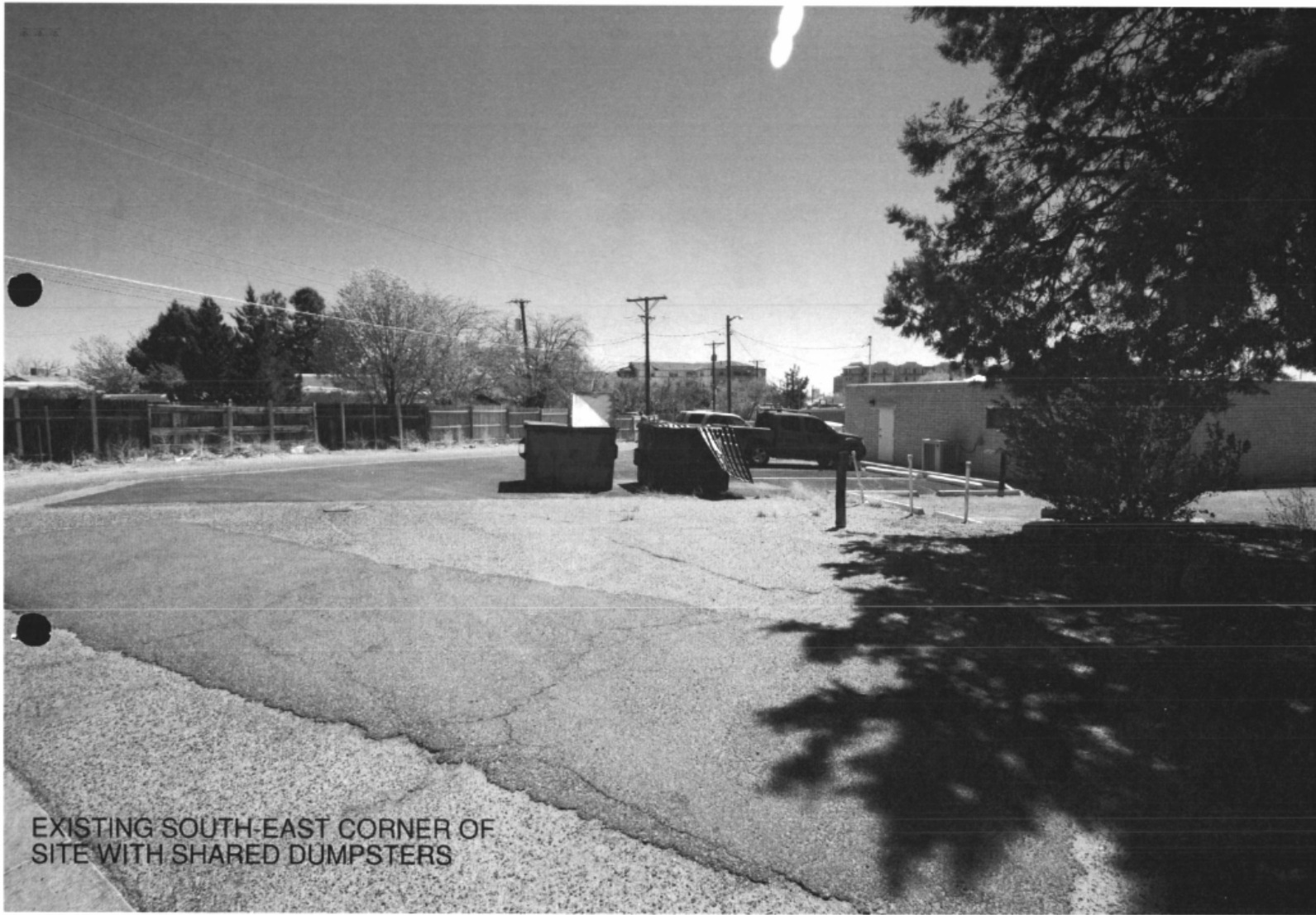






EXISTING EAST ELEVATION OF BUILDING





EXISTING SOUTH-EAST CORNER OF  
SITE WITH SHARED DUMPSTERS



### Supplemental Form (SF)

#### SUBDIVISION

- ☐ Major subdivision action  
☐ Minor subdivision action  
☐ Vacation  
☐ Variance (Non-Zoning)

#### SITE DEVELOPMENT PLAN

- ☐ for Subdivision  
☐ for Building Permit  
☒ Administrative Amendment/Approval (AA)  
☐ IP Master Development Plan  
☐ Cert. of Appropriateness (LUCC)

#### STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

#### S Z ZONING & PLANNING

- ☐ Annexation  
  
☒ V Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)  
☐ P Adoption of Rank 2 or 3 Plan or similar  
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations  
  
☐ D Street Name Change (Local & Collector)  
  
☒ L A APPEAL / PROTEST of...  
☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

#### APPLICATION INFORMATION:

Professional/Agent (if any): FBT ARCHITECTS/JARED LARSEN PHONE: 505 883 5200  
 ADDRESS: 6501 AMERICAS PKWY NE STE 300 FAX: 505 884 5310  
 CITY: Albuquerque STATE: NM ZIP: 87110 E-MAIL: jike@fbtarch.com

APPLICANT: UPTOWN DENTAL ASSOC PHONE: 505 268 4484  
 ADDRESS: 711 PROSPECT PL NE STE D FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE: NM ZIP: 87110 E-MAIL: trshep@gmail.com  
 Proprietary interest in site: OWNER List all owners: Shepherd Land LLC

DESCRIPTION OF REQUEST: Amendment to existing site conditions.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

#### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D Block: B Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: Louisiana Subdivision  
 Existing Zoning: SU-3 Proposed zoning: SU-3 MRGCD Map No. \_\_\_\_\_  
 Zone Atlas page(s): H-19-Z UPC Code: 101905912518731035

#### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-Z-, V-, S-, etc.):  
1008660 3082-217

#### CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): .5  
 LOCATION OF PROPERTY BY STREETS: On or Near: Prospect PL NE  
 Between: Menaul and Indian School

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team (PRT) ☒ Review Date: 4/24/13

#### SIGNATURE

(Print Name) JARED LARSEN DATE 7/15/2013  
 Applicant: ☐ Agent: ☒

#### FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13AA</u> <u>10250</u>	<u>AA</u>	_____	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$45.00</u>

Hearing date N/A

V. Jensen  
 Staff signature & Date

Project # 1008660

☒ AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)☐ AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)

- ☒ Letter describing and justifying the request
- ☒ One (1) copy of all applicable sheets of the approved Site Development Plan being amended, folded to fit into an 8.5" x 14" pocket. Approved site development plans should contain signatures of the Development Review Board (DRB).
- ☒ Copy of EPC or DRB *Official Notice of Decision* associated with the approved site development plan
- ☒ One (1) copy of the proposed Site Development Plan, with changes circled and noted, folded to fit into an 8.5" x 14" pocket. Refer to the Site Development Plan for Building Permit or Site Development Plan for Subdivision *Checklist* for information needed on the proposed Site Development Plan.
- ☒ Map from the most recent Zone Atlas, with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ☒ Letter of authorization from the property owner, if the application is submitted by an agent
- ☒ Fee (see fee schedule)
- ☒ Any original and/or related file numbers must be listed on the cover application

**NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area:**

- ☒ Notification letter addressed to owners of adjacent <sup>neighbor</sup> properties and certified mail receipts
- ☒ Office of Neighborhood Coordination (ONC) inquiry response, notification letter to affected Neighborhood Associations and certified mail receipts

☐ WIRELESS TELECOM FACILITY (WTF)- FREE-STANDING, COLLOCATION or OTHER TYPE (AA04)

(EXCEPT FOR COLLOCATION OF A NON-CONCEALED WTF ON A STRAIGHT-ZONED SITE, WHICH GOES TO THE ZONING FRONT COUNTER AT THE BUILDING SERVICES CENTER/ EAST SIDE )

- ☐ Letter describing the request and discussion of its how it relates to the WTF Ordinance (O-06-40)
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Fee (see fee schedule)
- ☐ Any relevant file numbers (case history of previous development applications) must be listed on cover application
- ☐ Copy of EPC *Official Notice of Decision*, if the subject site went through the EPC process
- ☐ Proposed Site Development Plan set: title sheet, notes/photo sheet, site plan sheets, elevation sheets, landscape plan (if free-standing), and survey sheet(s) (3 copies- 11" x 17"). No electrical sheets needed.
- ☐ For collocation on a public utility pole: the PNM approved site dev. plan set for the proposed WTF (1 copy)
- ☐ Photo simulations- before and after the proposed WTF (3 views minimum)
- ☐ Site Development Plan sheets must be stamped by a registered engineer or architect.
- ☐ Copy of approved Site Development Plan being amended by adding the proposed WTF, if applicable (1 copy)
- ☐ City Zone Atlas map page, with location of the subject site clearly indicated
- ☐ 1 map showing Zoning of the subject site and adjacent properties
- ☐ 1 map showing Land Use (ex. residential, commercial, etc.) of the subject site and adjacent properties
- ☐ For free-standing WTFs: Evidence demonstrating that collocation possibilities were considered, consisting of a written response to §14-16-3-17(A)(6)(a through e) and any supporting materials such as engineering maps
- ☐ For collocation on a public utility pole: written response to items a through e in §14-16-3-17(A)(14)
- ☐ Notarized statement re: WTF capacity, number and types of proposed antennas and if another user can be accommodated on the proposed WTF [see §14-16-3-17(A)(13)(d)(2)]
- ☐ Affidavit (notarized statement) re: explanation of factual basis for the proposed WTF's engineering requirements [see §14-16-3-17(A)(13)(d)(3)] Note: Notarized statement and affidavit must be on separate pages.
- ☐ Letter of intent re: shared use of proposed WTF if reasonable conditions are met [§14-16-3-17(A)(13)(e)]
- ☐ For free-standing WTFs: Distance to the nearest existing free-standing WTF and the WTF owner's name [§14-16-3-17(A)(13)(d)(5) and (A)(17)]
- ☐ Office of Neighborhood Coordination (ONC) inquiry forms, response based on ¼ mile radius from subject site [§14-16-3-17(A)(13)(f)]
- ☐ Copy of letter and site plan sheet(s) to both contacts for each neighborhood association, with certified return receipts
- ☐ List of property owners within 100 feet of the subject site and copy of letter and site plan sheet(s) sent to property owners, with certified return receipts [§14-16-3-17(A)(13)(f)]
- ☐ Supplemental Application Form for Wireless Projects- filled out completely, with the required attachments provided and labeled.

NOTE: For WTFs proposed to be located on City of Albuquerque property, a lease agreement with the City will be needed. Please contact Catalina Lehner at (505) 924-3935 for more information.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.

JINRED LARSEN  
Applicant's Name (please print)  
[Signature]  
Applicant's Signature  
7/15/13  
Date

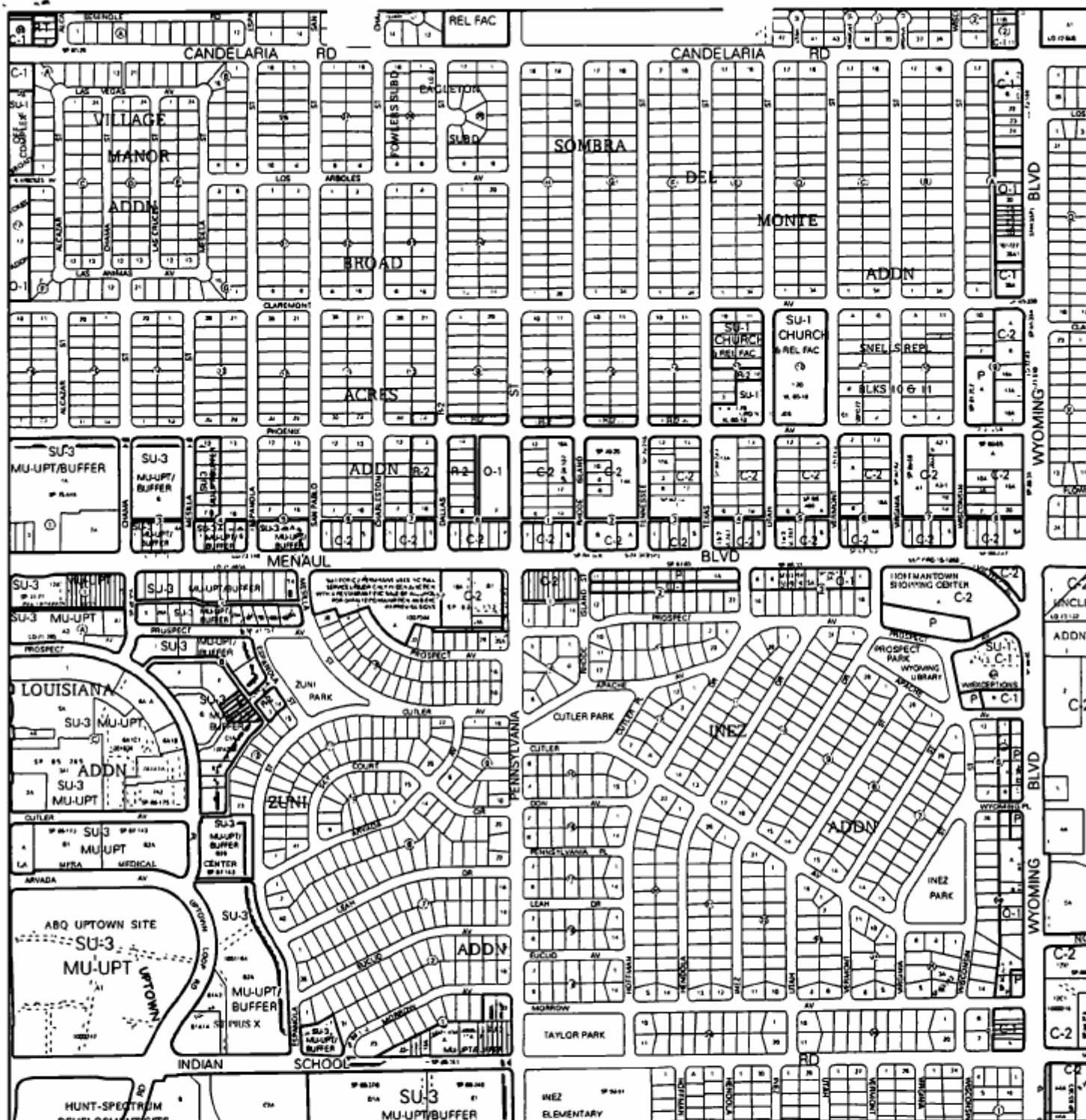


- ☒ Checklists complete
- ☒ Fees collected
- ☒ Case #s assigned
- ☒ Related #s listed

Application case numbers:

13AA - 10250  
\_\_\_\_\_  
\_\_\_\_\_

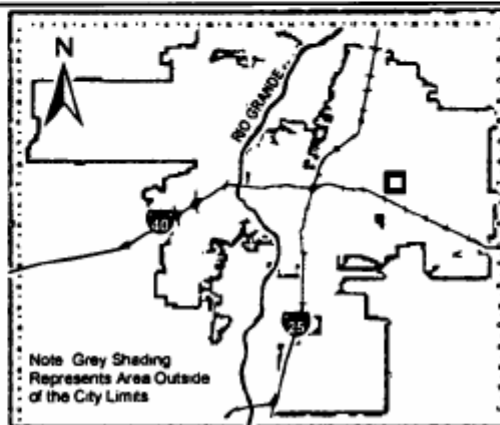
[Signature] 7-15-13  
Planner's Signature / Date  
Project #: 1008660



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 1/10/2013



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

**H-19-Z**

Selected Symbols

- |                      |                        |
|----------------------|------------------------|
| SECTOR PLANS         | Easement               |
| Design Overlay Zones | 2 Mile Airport Zone    |
| City Historic Zones  | Airport Noise Contours |
| H-1 Buffer Zone      | Wall Overlay Zone      |
| Petroglyph Mon.      |                        |

0 750 1 500 Feet

CORPORATE OFFICE:  
MAIL One Park Square  
6501 Americas Pkwy NE, Ste. 300  
Albuquerque, NM 87110  
PHO 505.883.5200  
WEB fbtarch.com



LUBBOCK OFFICE:  
MAIL 500 East 50th Street, Ste. C-2  
Lubbock, TX 79404  
PHO 806.747.2244

July 15, 2013

To: City of Albuquerque Planning Department

Project: Uptown Dental  
7101 Prospect Pl NE  
Albuquerque, NM 87110

Subject: Administrative Amendment to Existing site

Uptown Dental Associates has recently acquired this new property and is seeking approval to renovate and expand the building located at the above referenced address.

On April 24<sup>th</sup> 2013 a project review meeting was held at 600 2<sup>nd</sup> St. NW. Carmen Marrone & Christopher Hyer were at the meeting representing the City of Albuquerque Planning department. FBT representatives (Ted Grumblatt and Jared Larsen) were also in attendance. During this meeting, a discussion was had regarding the fact that there is no previously approved site plan for building permit or site plan for subdivision on record at the City of Albuquerque Planning department for the site. Therefore, there is no applicable notice of decision for the property. Since they do not exist, these items are not required to be submitted for this request for Administrative Amendment. Instead, the amendment will be to existing conditions on the site as opposed to a previously approved site plan.

The current facility's floor area is 6,578 square feet which encircles an inner outdoor courtyard of 2,041 square feet for a total building footprint of 8,619 square feet. The proposed addition of 601 square feet is to be added to the West elevation of the building – the most prominent elevation. This proposed addition (601sf) along with the existing building square footage (6578sf) will create a new building of 7,179sf (heated). This is a proposed increase of 9% to the total building heated square footage.

The proposed architectural character of the building is to be a Spanish colonial style with white stucco finish throughout, Spanish tile roof at accent locations, and window awnings and shutters to provide additional accents primarily at the buildings West and main elevation. Existing parking at the buildings West side will be eliminated and replaced with new landscaping and a new sidewalk. A new sidewalk and wood portal will be constructed on the buildings south side.

The renovation and addition is a much needed improvement to the facility and the Ownership kindly requests approval of this amendment.

FBT Architects AIA Ltd. by,

A handwritten signature in black ink, appearing to be 'Jared Larsen', written over a horizontal line.

Jared Larsen  
Architect/Associate  
FBT Architects



**UPTOWN DENTAL ASSOCIATES**  
COMPREHENSIVE SEDATION DENTISTRY  
Creating Beautiful Smiles, Comfortably  
**DR RYAN SHEPHERD, DMD**

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July 8, 2013

City of Albuquerque  
Development Review Board

**Subject: Administrative Amendment for the property located at 7101 Prospect Pl NE**

To whom it may concern,

This letter shall serve as authorization for FBT Architects and its representatives in Albuquerque, to act as our agent during the planning and approval processes required by the City of Albuquerque for the proposed renovation and addition of the building located at 7101 Prospect Pl NE.

Shepherdland LLC is the Owner of record for this property.

Respectfully yours,

A handwritten signature in black ink, appearing to read 'Ryan Shepherd', is written over a horizontal line.

Dr. Ryan Shepherd  
President, Shepherdland LLC  
Owner, Uptown Dental Associates, LLC





owner: High Desert Real Estate Investors, LLC.

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**Lehner, Catalina L.**

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**From:** Lehner, Catalina L.  
**Sent:** Monday, July 15, 2013 3:43 PM  
**To:** 'jll@fbtarch.com'  
**Subject:** Uptown Dental AA  
**Attachments:** 13AA-10250 UT Dental.docx

Hi Jared,

We received your application for an AA for the Uptown dental office. Attached please find a memo of a few items needed.

Let me know if you have any questions. Thank you.

-Catalina

July 15, 2013

Re: Staff Memo #1- Administrative Approval (AA) request #1008660/13AA-10250

Dear Jared,

I reviewed the request for an administrative approval (AA) for a building remodel and site improvements for the dental office. The following items are needed to make the application complete:

#### LETTER OF AUTHORIZATION

1. A letter of authorization from the property owner of record is required. The City's GIS system shows the owners as High Desert Real Estate Investors, LLC. If the property has been sold, evidence of that would be fine.

#### NOTIFICATION

2. Please provide either the City-generated list of property owners within 100 feet of the subject site, or a map and corresponding list that you've created.

#### PROPOSED SITE DEVELOPMENT PLAN

3. Please follow the Site Plan for Building Permit Checklist and provide sufficient information on the proposed site development plan, especially since there is no existing site development plan on record. The checklist can be found at:  
<http://www.cabq.gov/planning/documents/SitePlanBuildingPermitChecklist.pdf>
4. Please note that this submittal is required to comply with the regulations in the Uptown Sector Development Plan, such as those in Chapter V: Zoning and Design Regulations (see p. 57), unless specifically exempted. *"All new construction and/or redevelopment must comply with all the zoning and design regulations of the 2008 USDP except where specifically exempt."*

The USDP can be found online at:

<http://www.cabq.gov/planning/publications/documents/UptownSDPadoptedPlan020409complete.pdf>

5. A landscape plan is required (see p. 64, 76 USDP). Calculations and a landscape legend need to be included.

Procedure: This application will be routed to Staff from Transportation, Hydrology and Utilities. I suggest waiting to address the comments in this memo until you receive comments from Transportation, Hydrology and Utilities Staff, so you can address them all at once. You will receive a phone call from front-counter Staff when these comments are available.

If you have any questions, I can be reached at (505) 924-3935, or [clehner@cabq.gov](mailto:clehner@cabq.gov). Thank you.



# DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for  
Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: **(505) 924-3913** -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: [swinklepleck@cabaq.gov](mailto:swinklepleck@cabaq.gov). ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at **(505) 924-3914**.

**Zone Map and this Developer Inquiry Sheet MUST be provided with request.**

Please mark/hatch Zone Map where Property is located.

Your Developer Inquiry is for the following:

Cell Tower Submittal: ☐ Free-Standing Tower -OR- ☐ Concealed Tower  
☐ EPC Submittal ☐ DRB Submittal ☐ LUCC Submittal ☐ Liquor Submittal  
☒ Administrative Amendments (AA's) Submittal ☐ City Project Submittal

CONTACT NAME: Jared Larsen

COMPANY NAME: FBT Architects

ADDRESS/ZIP: 6501 Americas Pkwy NE, Ste. 300

PHONE: 505-883-5200 FAX: 505-884-5390

## LEGAL DESCRIPTION INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS  
DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

Lot D, Block B, of the Louisiana Subdivision

LEGAL DESCRIPTION

LOCATED ON  
Prospect PI NE

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN Menaul Blvd. NE AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

Indian School Rd. NE

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE ( H-19-Z ).



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an undated letter from our office

July 8, 2013

Jared Larsen  
FBT Architects  
6501 Americas Parkway NE, Suite 300/87110  
Phone: 505-883-5200/Fax: 505-884-5390  
E-mail: [jll@fbtarch.com](mailto:jll@fbtarch.com)

Dear Jared:

Thank you for your inquiry of July 8, 2013 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(AA SUBMITTAL) – LOT D, BLOCK B, OF THE LOUISIANA SUBDIVISION, LOCATED ON PROSPECT PLACE NE BETWEEN MENAUL BOULEVARD NE AND INDIAN SCHOOL ROAD NE** zone map **H-19**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's – siw.**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**LETTERS MUST BE SENT  
TO BOTH CONTACTS OF  
EACH NA/HOA'S FOR THIS  
PLANNING SUBMITTAL.**

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ☒ **ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- ☐ The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- ☒ **Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- ☒ **Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder** - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

.....  
(below this line for ONC use only)

Date of Inquiry: **07/08/13** Time Entered: **12 p.m.** ONC Rep. Initials: **siw**



# **"ATTACHMENT A"**

Jared Larsen  
FBT Architects  
6501 Americas Parkway NE, Suite 300/87110  
Phone: 505-883-5200/Fax: 505-884-5390  
E-mail: [jl@fbtarch.com](mailto:jl@fbtarch.com)  
Zone Map: H-19

## **ABQ-Park Neighborhood Association "R"**

✓ Laura T. Romero  
7521 Cutler Ave. NE/87110 881-9467 (h)

✓ Susan Baca  
7465 Sky Court Cir. NE/87110 304-5636 (h)

## **Alvarado Park Neighborhood Association "R"**

✓ Emily White  
5709 Aspen NE/87110 261-4020 (h)

✓ Billy Cohn  
P.O. Box 35704/87176 507-8612 (h)

## **Classic Uptown Neighborhood Association**

✓ Stephen Verchinski  
2700 Espanola NE/87110 888-1370 (h) 238-2398 (c)

## **Inez Neighborhood Association "R"**

✓ Evelyn B. Feltner  
2014 Utah St. NE/87110 271-9027 (h)

✓ Donna Yetter  
2111 Hoffman Dr. NE/87110 292-8102 (h)

## **Jerry Cline Park Neighborhood Association "R"**

✓ Julie Jones  
7625 Winter Ave. NE/87110 232-4638 (h)

✓ Ron Goldsmith  
1216 Alcazar St. NE/87110 232-9516 (h)

## **Mark Twain Neighborhood Association "R"**

✓ Barbara Lohbeck  
1402 California St. NE/87111 254-0285 (h) 259-1932 (c)

✓ Charlotte Rode  
1409 California St. NE/87110 440-6635 (h)

## **Quigley Park Neighborhood Association "R"**

✓ Winnie Schmidt  
2916 Cuervo Dr. NE/87110-3106 881-2155 (h)

✓ Maureen Maher  
2935 Cardenas Dr. NE/87110 888-5181 (h)

## **Snow Heights Neighborhood Association "R"**

✓ Laura Heitman  
8011 Princess Jeanne NE/87110

✓ Shirley Marquez  
7905 Hannett NE/87110 235-0722 (h)

## **Uptown Progress Team, Inc.**

✓ William Steadman  
2424 Louisiana Blvd. NE, Ste. 300/87110  
880-7070 (w)

✓ Kim Corcoran  
P.O. Box 93488/87199 342-2797 (w)

## **Winrock South Neighborhood Association "R"**

✓ Richard Peterson  
7110 Constitution Ave. NE/87110-7122  
321-5432 (message #)

✓ Virginia Kinney  
7110 Constitution Ave. NE/87110-7122  
321-5432 (message)

CORPORATE OFFICE:  
MAIL One Park Square  
6501 Americas Pkwy NE, Ste. 300  
Albuquerque, NM 87110  
PHO 505.883.5200  
WEB fbtarch.com



LUBBOCK OFFICE:  
MAIL 500 East 50th Street, Ste. C-2  
Lubbock, TX 79404  
PHO 806.747.2244

July 12, 2013

Gary and Barbara Langmaid  
2321 Española St NE  
Albuquerque, NM 87110

Dear Property Owner,

This letter is to inform you that we will submit an application for an Administrative Amendment to an approved Site Development Plan to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about July 15<sup>th</sup> 2013. The City's review process will take a minimum of 15 days (from the postmarked date of this letter), whereupon a final decision will be rendered.

The specifics of the project are as follows:

Address: 7101 Prospect PL NE

Lot Size: 1/2 acre

Description: Renovation of existing 6578 sf building to include a 601 sf addition to the buildings West elevation. All building elevations are to be improved. General site circulation onto the property will remain as is. Improvements will include new site landscaping, parking lot reconditioning & resurfacing, and significant improvements to all building elevations.

Purpose of building renovation: The renovated building will be home to Uptown Dental Associates – a premier dental practice currently located on an adjacent lot.

This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department at 924-3860 to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact the Current Planning Division at 924-3860.

If you have questions about this proposal, please call FBT Architects at 505-883-5200 ext 122. If you have any concerns regarding this request, please contact the Current Planning Division at 924-3860 within the next 10 days to speak to the planner who will be reviewing the project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jared Larsen', with a large, stylized loop at the end.

Jared Larsen  
Architect | Associate  
FBT Architects

7012 2920 0001 0629 9325

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5709 Aspen NE  
Albuquerque, NM 87110

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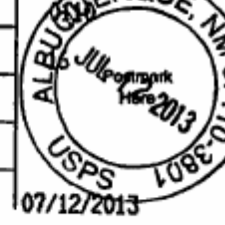
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 Albuquerque, NM 87111

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 1216 Alcazar St. NE  
 Albuquerque, NM 87110



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 7625 Winter Ave NE  
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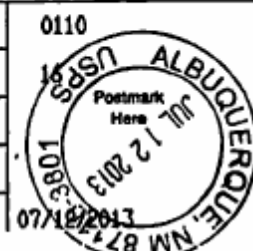
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 Albuquerque, NM 87154



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 1717 Louisiana NE, Suite 111  
 Albuquerque, NM 87110



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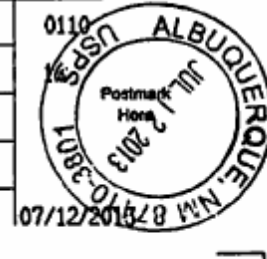
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George H. Macgregor Jr.  
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Louisiana Co  
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 7107 Prospect Pl NE,  
 Albuquerque Nm 87110

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McMullan and Shoats  
 c/o Patrick J. McMullan  
 7107 Prospect Pl. NE  
 Albuquerque, NM 87110

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PS Form

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CONSULTANT

**UPTOWN DENTAL**  
 7101 PROSPECT NE  
 ALBUQUERQUE, NM

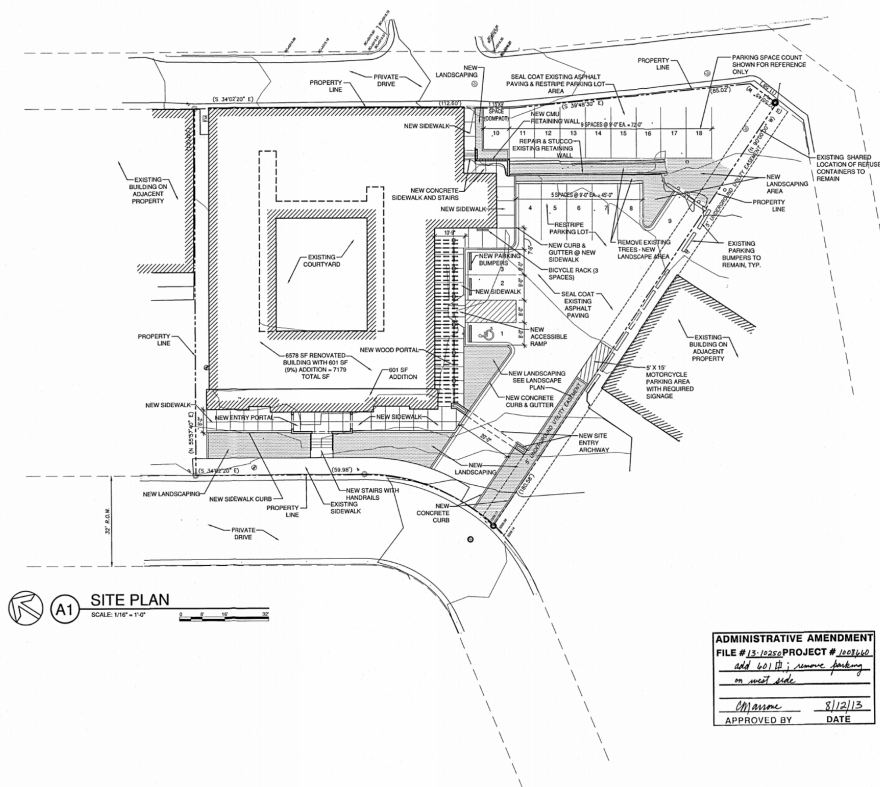
MARK	DATE	DESCRIPTION

ISSUE: ADMINISTRATIVE AMENDMENT TO SITE PLAN  
 DATE: 8/12/13  
 PROJECT NO:  
 CAD DWG FILE:  
 DRAWN BY: AL  
 CHECKED BY: TCB

SHEET TITLE

**SITE PLAN FOR  
 ADMINISTRATIVE  
 AMENDMENT**

**AS-101-AA**



**LEGEND**

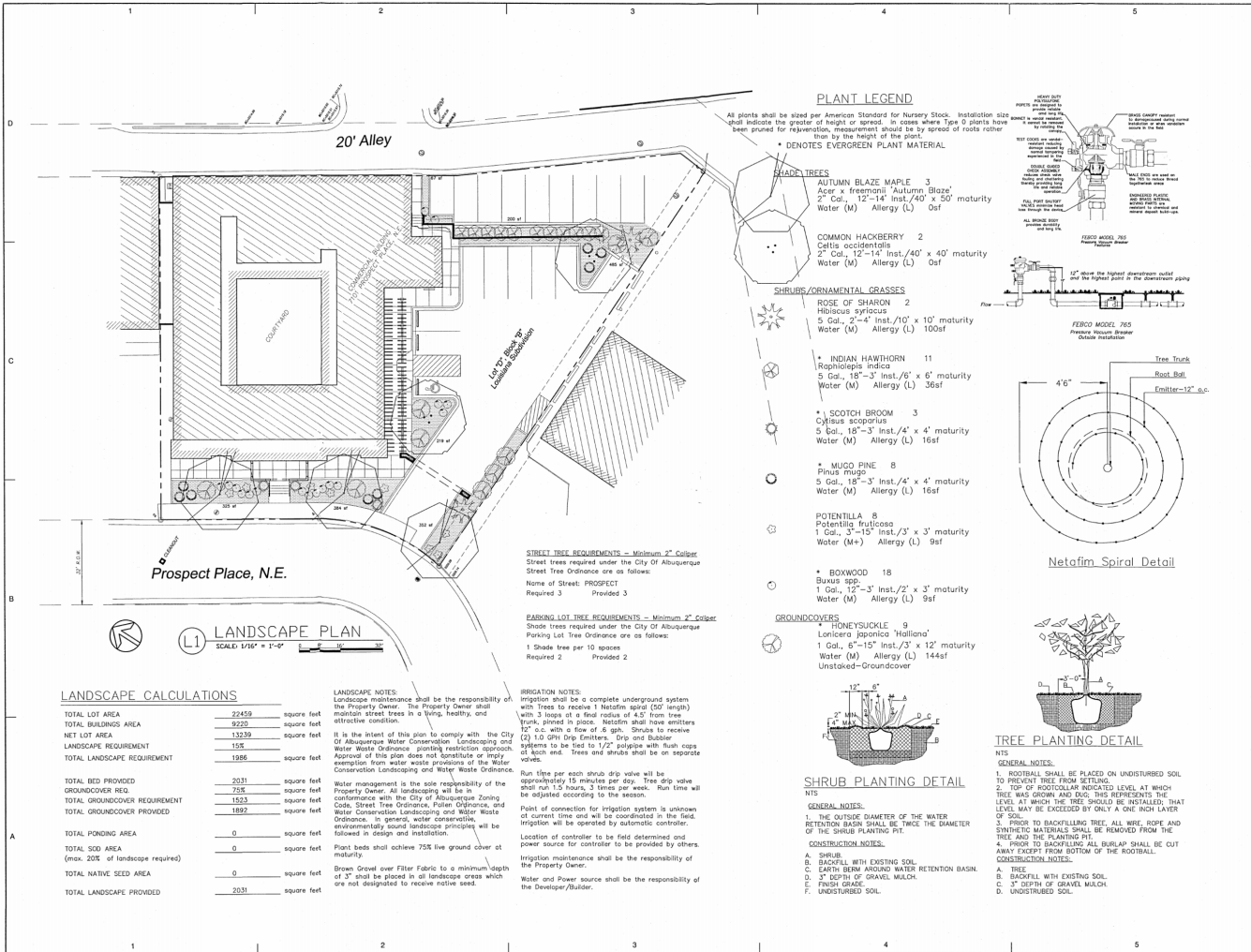
NEW LANDSCAPE AREAS - SEE LANDSCAPE PLAN

**SITE INFORMATION**

ADDRESS: 7101 PROSPECT PL NE  
 EXISTING ZONING: SU-2 (NO PROPOSED CHANGES)  
 LEGAL DESCRIPTION: LOT 6, BLOCK 8, OF THE LOUISIANA SUBDIVISION  
 LOT SIZE: 10.2 ACRES  
 PROPOSED BUILDING USE: DENTAL OFFICE  
 PARKING REQUIRED: 3 SPACES PER 1 DOCTOR, OR 15 SPACES (3 DOCTORS)  
 PARKING PROVIDED: 18 SPACES (1 COMPACT, 1 VAN ACCESSIBLE, AND 16 REGULAR)  
 BICYCLE PARKING REQUIRED: 1 SPACE  
 BICYCLE PARKING PROVIDED: 3 SPACES  
 MOTORCYCLE PARKING REQUIRED: 1 SPACE  
 MOTORCYCLE PARKING PROVIDED: 2 SPACES (8' X 15' AREA)

**VICINITY MAP**

**ADMINISTRATIVE AMENDMENT**  
 FILE # 12-12345 PROJECT # 12345  
 Add 601 B; remove parking on west side  
 Approved by: [Signature] DATE: 8/12/13



**fbt | architects**  
MAIL: 6100 Indian School Rd. NE, Ste. 210  
Albuquerque, NM 87110  
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FAX: 505.493.5300  
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**CONSULTANT**

**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
CONS. LIC. 4264-008  
7909 Edith N.E.  
Albuquerque, NM 87184  
PH: (505) 898-9690  
FAX: (505) 898-7777  
cm@hilltoplandscaping.com

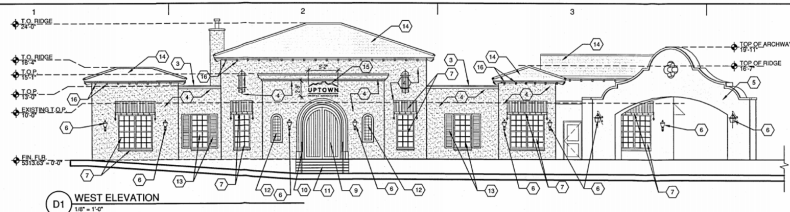
**UPTOWN DENTAL**  
7101 PROSPECT NE  
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION

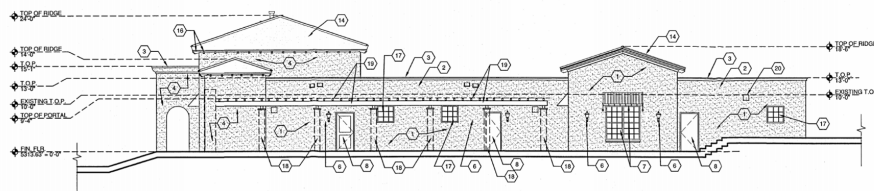
ISSUE: ADMINISTRATIVE AMENDMENT TO SITE PLAN  
DATE: 8/10/2013  
PROJECT NO:  
CAD DWG FILE:  
DRAWN BY: CSD  
CHECKED BY: CSD

SHEET TITLE  
**LANDSCAPE PLAN**

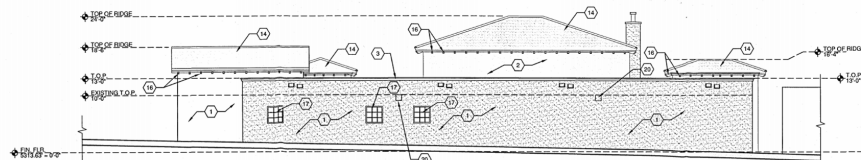
**LS-101**



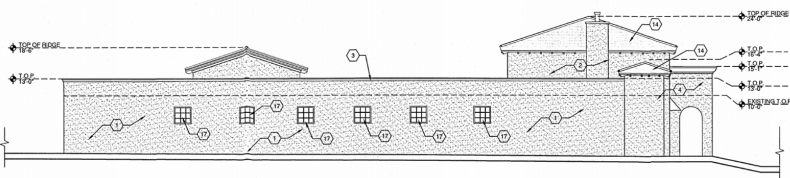
D1 WEST ELEVATION  
1/8" = 1'-0"



C1 SOUTH ELEVATION  
1/8" = 1'-0"



B1 EAST ELEVATION  
1/8" = 1'-0"



A1 NORTH ELEVATION  
1/8" = 1'-0"

## GENERAL NOTES

A. ALL WINDOWS TO HAVE CLEAR GLAZING WITH DIVIDED LITES/MALLONS & MUNTINS AND MATCHED BLUE WINDOW FRAMES

## KEYED NOTES

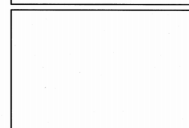
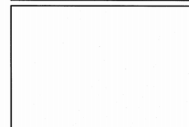
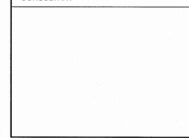
1. NEW WHITE STUCCO EPS OVER EXISTING CMU AND AT PARAPET EXTENSIONS.
2. NEW WHITE STUCCO EPS OVER NEW FRAMED PARAPET WALL.
3. NEW DECORATIVE WHITE STUCCO EPS PARAPET CAPS, TYPICAL @ ALL EXTERIOR WALLS.
4. NEW WHITE STUCCO EPS OVER NEW FRAMED WALL.
5. NEW PARAPET ENTRY ARCH, BUILT WITH METAL FRAME AND WHITE STUCCO EPS FINISH.
6. DECORATIVE EXTERIOR LIGHT FIXTURE, TYPICAL.
7. NEW WINDOW WITH BLACK AND WHITE STRIPED AWNING AND CAST STONE WINDOW SILL.
8. NEW DOOR.
9. NEW WOOD ARCHED DOOR WITH DECORATIVE TILE OR STONE FRAMED OPENING.
10. HANDRAIL AT NEW ENTRY STAIRS.
11. DECORATIVE T&G 8" X 8" ANTI-SLIP.
12. 4" DEEP SPANISH TILED NICHO.
13. NEW WINDOW WITH MATCHED MAJOLICA BLUE COLOR WINDOW SHUTTER.
14. NEW WINDOW WITH MATCHED MAJOLICA BLUE ROOF SYSTEM, TYPICAL AT ALL PITCHED ROOFS.
15. BUILDING SIGNAGE, 4" LARGE LETTERING AND 4" SMALL LETTERING.
16. BROWN DECORATIVE TRUSS EXTENSIONS, TYPICAL @ ALL PITCHED ROOFS.
17. ROOF.
18. NEW 2' X 4' WINDOW.
19. WHITE STUCCO EPS PORTAL COLUMN.
20. WOOD PORTAL, COLOR TO BE BROWN OR WHITE.
21. NEW BUILDING MOUNTED FLOOD LIGHT.

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CONSULTANT



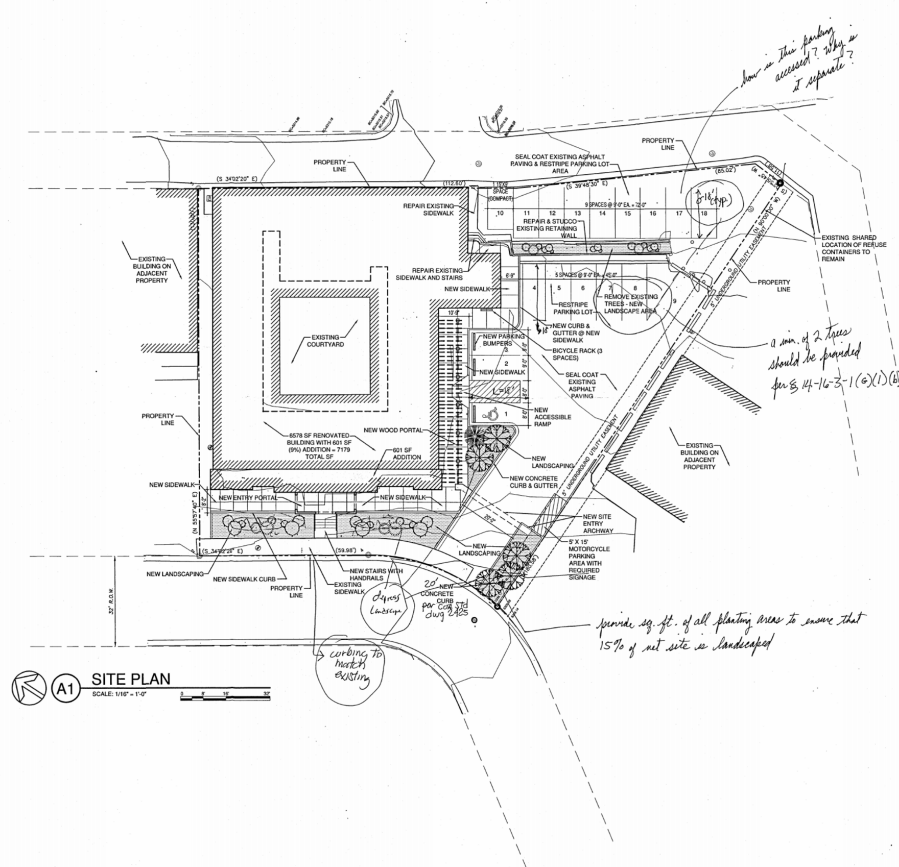
**UPTOWN DENTAL**  
7101 PROSPECT NE  
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION

ISSUE: ADMINISTRATIVE AMENDMENT TO SITE PLAN  
DATE: 8/1/2013  
PROJECT NO.: —  
CAD DWG FILE: 101-UPSTOWN DENTAL (UPSTOWN.DWG)  
DRAWN BY: JAL  
CHECKED BY: TCS

SHEET TITLE  
EXTERIOR BUILDING  
ELEVATIONS

A-201-AA



Landscape Information

Rg Landscape: 15% of mt area = — sq ft.

Paveded landscape: — sq ft.

Plants Paveded:

Common Name of plant Quantity

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

(identify paved comm.)

# SITE INFORMATION

ADDRESS:  
7313 PROSPECT PL NE  
EDMUND, ZONED  
S-U-10 (SINGLE-UNIT CHANGES- *NU/UP*)

LEGAL DESCRIPTION:  
LOT 6, BLOCK 6, OF THE LOUISIANA SUBDIVISION

LOT SIZE:  
1/2 ACRE

PROPOSED BUILDING USE:  
DENTAL OFFICE

PARKING REQUIRED:  
8 SPACES PER 1 DOCTOR, OR 3 SPACES PER DOCTOR

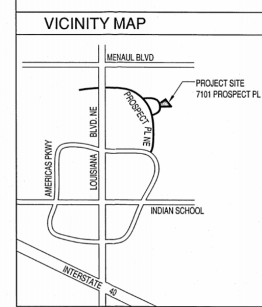
PARKING PROVIDED:  
18 SPACES (1 COMPACT, 1 VAN ACCESSIBLE, AND 16 REGULAR)

BICYCLE PARKING REQUIRED:  
1 SPACE

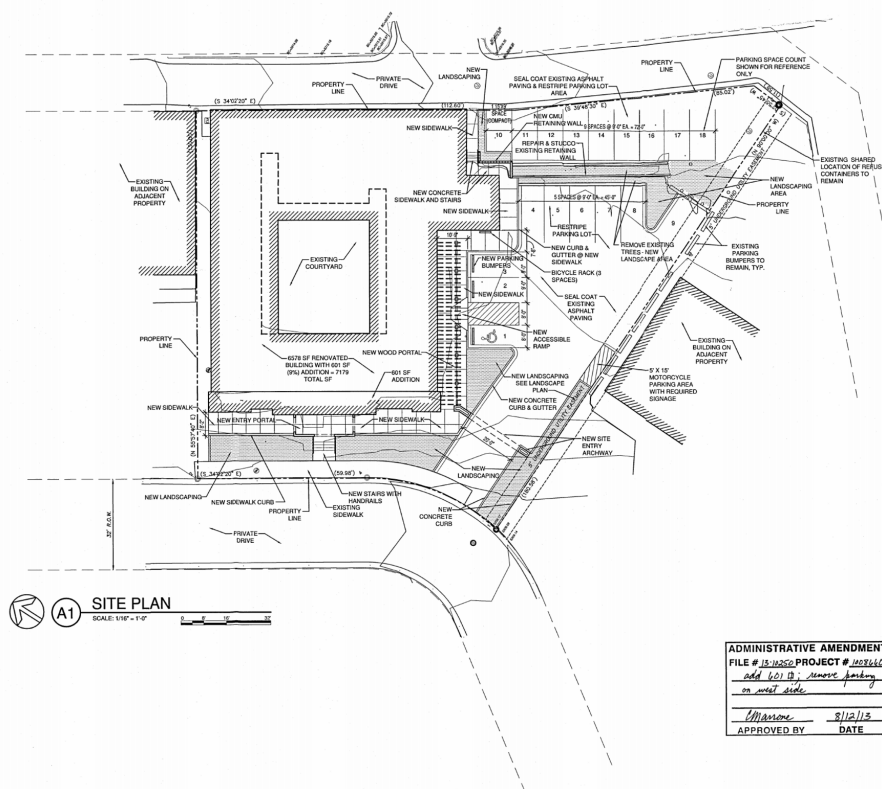
BICYCLE PARKING PROVIDED:  
3 SPACES

MOTORCYCLE PARKING REQUIREMENT:  
1 SPACE

MOTORCYCLE PARKING PROVIDED:  
2 SPACES (3 X 10' AREA)



CONSULTANT



# LEGEND



NEW LANDSCAPE AREAS - SEE LANDSCAPE PLAN

## SITE INFORMATION

ADDRESS:  
7101 PROSPECT PL NE  
 EXISTING ZONING:  
SU-2 (NO PROPOSED CHANGES)  
 LEGAL DESCRIPTION:  
LOT D, BLOCK 6, OF THE LOUISIANA SUBDIVISION  
 LOT SIZE:  
1.22 ACRE  
 PROPOSED BUILDING USE:  
DENTAL OFFICE  
 PARKING REQUIRED:  
8 SPACES PER 1 DOCTOR, OR 15 SPACES (3 DOCTORS)  
 PARKING PROVIDED:  
18 SPACES (1 COMPACT, 1 VAN ACCESSIBLE, AND 16 REGULAR)  
 BICYCLE PARKING REQUIRED:  
1 SPACE  
 BICYCLE PARKING PROVIDED:  
3 SPACES  
 MOTORCYCLE PARKING REQUIRED:  
1 SPACE  
 MOTORCYCLE PARKING PROVIDED:  
5 SPACES (3 X 1/2 AREA)

## VICINITY MAP



ADMINISTRATIVE AMENDMENT  
 FILE # 15-10222 PROJECT # 140866  
 add 5.01 B, remove parking  
 on west side  
 APPROVED BY: [Signature] DATE: 8/12/15

**UPTOWN DENTAL**  
 7101 PROSPECT NE  
 ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION

ISSUE: ADMINISTRATIVE AMENDMENT TO SITE PLAN  
 DATE: 8/10/15  
 PROJECT NO.:  
 CAD DWG FILE:  
 DRAWN BY: JAL  
 CHECKED BY: TOS

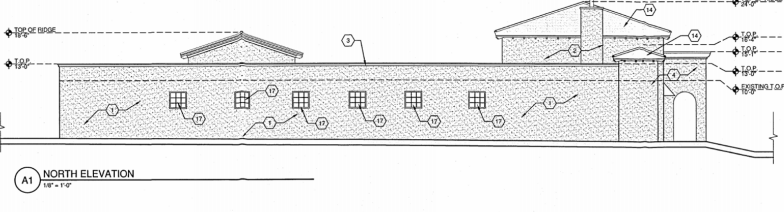
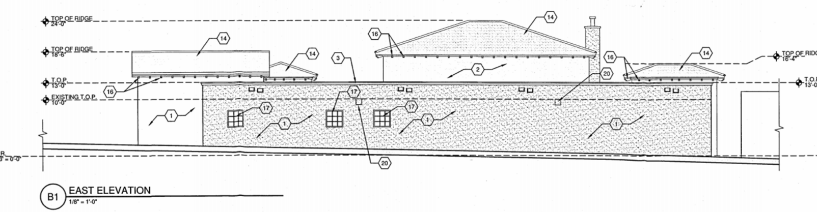
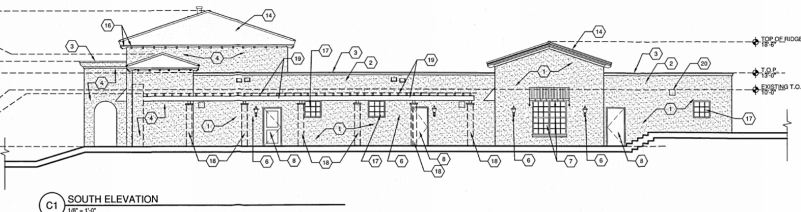
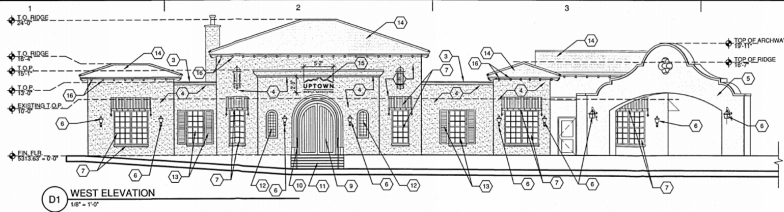
SHEET TITLE

SITE PLAN FOR  
 ADMINISTRATIVE  
 AMENDMENT

AS-101-AA







## GENERAL NOTES

A. ALL WINDOWS TO HAVE CLEAR GLAZING WITH DIVIDED LITES/SMALLING & MORTING AND NOTED BLUE WINDOW FRAMES

## KEYED NOTES

1. NEW WHITE STUCCO EPS OVER EXISTING CMU AND AT PARAPET EXTENSIONS
2. NEW WHITE STUCCO EPS OVER NEW FRAMED PARAPET WALL
3. NEW DECORATIVE WHITE STUCCO EPS PARAPET CAPS, TYPICAL @ ALL EXTERIOR WALLS
4. NEW WHITE STUCCO EPS OVER NEW FRAMED WALL
5. NEW PARAPET ENTRY ARCH, BUILT WITH METAL FRAME AND WHITE STUCCO EPS FINISH
6. DECORATIVE EXTERIOR LIGHT/FUTURE TYPICAL
7. NEW WINDOW WITH BLACK AND WHITE STRIPED AWNING AND CAST STONE WINDOW SILL
8. NEW DOOR
9. NEW WOOD ARCHED DOOR WITH DECORATIVE TILE OR STONE FRAMED OPENING
10. HAND RAIL AT NEW ENTRY STAIRS
11. DECORATIVE TILE @ STAIR RISERS
12. 4\"/>

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 Albuquerque, NM 87110  
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**UPTOWN DENTAL**  
 7101 PROSPECT NE  
 ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION

ISSUE: ADMINISTRATIVE AMENDMENT TO SITE PLAN  
 DATE: 04/05/2019  
 PROJECT NO: —  
 CAD DWG FILE: A-201-EXTERIOR BUILDING ELEVATIONS.dwg  
 DRAWN BY: JJA  
 CHECKED BY: TGD

SHEET TITLE  
 EXTERIOR BUILDING  
 ELEVATIONS

A-201-AA

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**UPTOWN DENTAL**  
 7101 PROSPECT NE  
 ALBUQUERQUE, NM

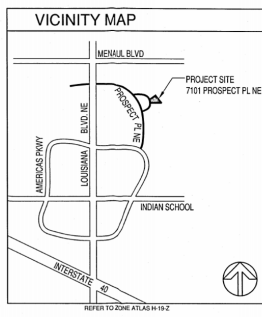
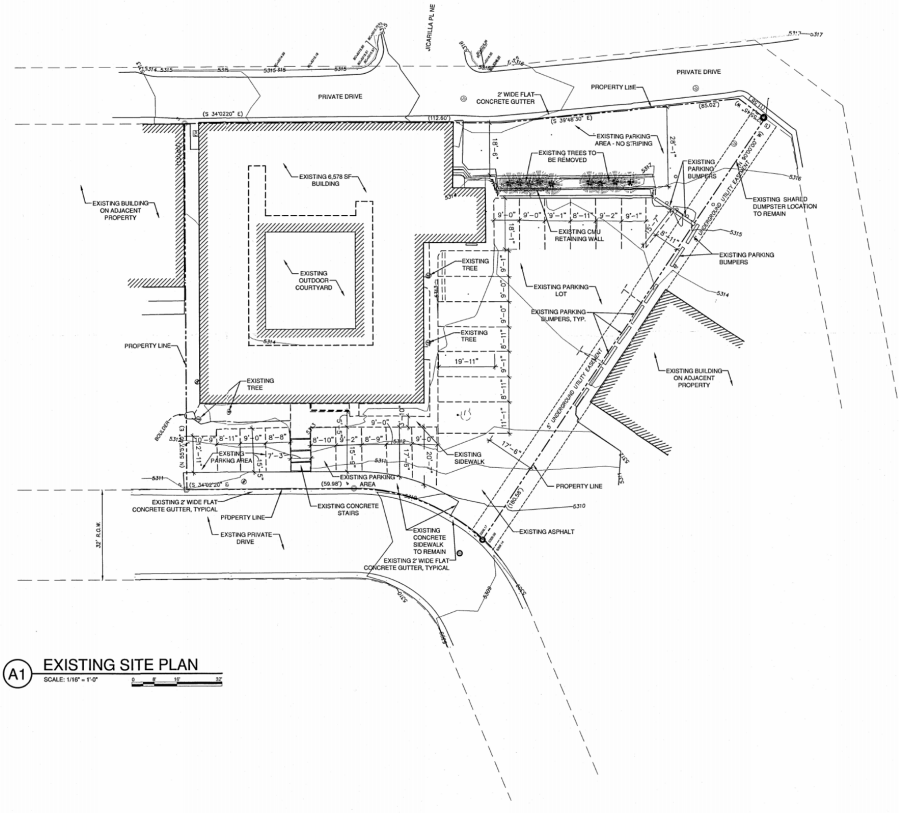
MARK	DATE	DESCRIPTION

ISSUE: SITE PLAN: AA  
 DATE: 7/15/2013  
 PROJECT NO: -  
 CAD DWG FILE: 6-10 SITE PLAN.dwg  
 DRAWN BY:  
 CHECKED BY:

SHEET TITLE

EXISTING SITE PLAN

AS-101-E



**A1 EXISTING SITE PLAN**  
 SCALE: 1/8" = 1'-0"