



DEVELOPMENT REVIEW APPLICATION

Effective 7/18/23

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

The intent is to request a minor change into the existing building at 2400 Louisiana Blvd NE. Building renovations include: shade elements over windows; change in texture/material at the main facade and parapet height; additional entrance on West facade. Site renovations: revision to ADA parking; new stairs and landing.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

194937763 / PERMIT NUMBER/ BP-2023-49762	
Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the **Official Notice of Decision** associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

This is not available to us. The City could not find any record of it and we do not have a copy of it.

Marissa Hebert, FBT Architects
1/26/2024

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

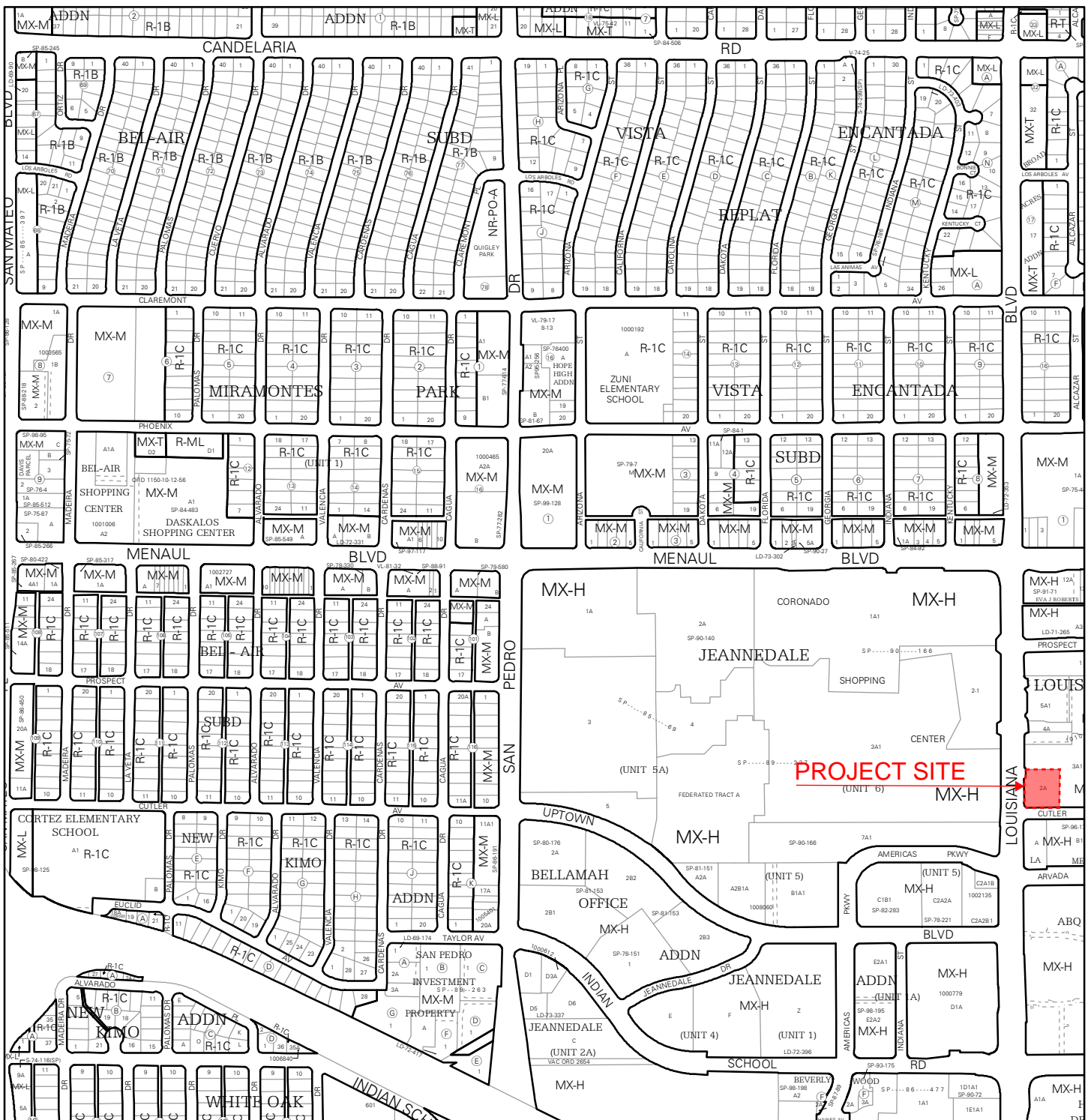
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- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ___ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 7) Sign Posting Agreement
- ___ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

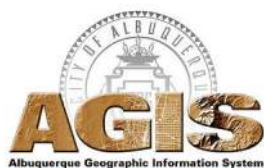
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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ___ 6) Landscape Plan

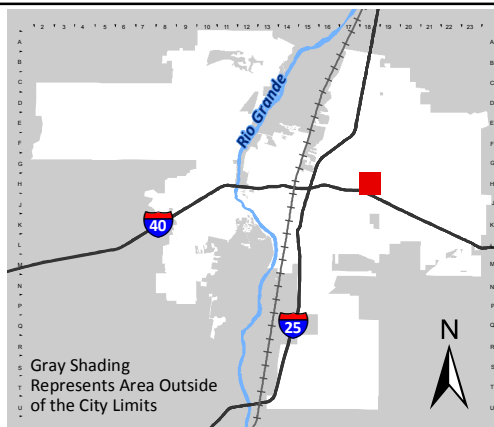


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

Louisiana Capital LLC

c/o Sed Development
500 4th Street NW, Suite 275
Albuquerque, NM 87102
(505)331-2088

January 22, 2024


City of Albuquerque Planning Department
600 2nd Street NW
Plaza Del Sol Building
Albuquerque, NM 87102

RE: 2400 Louisiana NE Administrative Amendment

AUTHORIZATION LETTER FOR REPRESENTATIVE

I, John Sedberry hereby give authorization to Art Tatum (FBT Architects) and its representatives to apply for a *Minor Amendment to Site Development Plan Approved Prior to the Effective Date of the IDO* to the City of Albuquerque Planning Department for the façade changes at the commercial building located at 2400 Louisiana Blvd NE, Albuquerque, NM, 87110.

Sincerely,

DocuSigned by:

03A3E638D25A400...

1/22/2024

John Sedberry
President, Sedberry & Associates



NEW MEXICO

TEXAS

COLORADO

CORPORATE OFFICE:

MAIL One Park Square
6501 Americas Pkwy NE, Ste. 300
Albuquerque, NM 87110
PHO 505.883.5200
WEB fbtarch.com

REGIONAL OFFICES:

MAIL 4416 W Lovers Lane, Ste. 100
Dallas, Texas 75209
PHO 469.998.5542
MAIL 415 N. Tejon St.
Colorado Springs, CO 80903
PHO 719.309.9440

January 23rd, 2024

City of Albuquerque Planning Department
600 2nd St NW,
Plaza Del Sol Building
Albuquerque
NM 87102

City of Albuquerque Planning Department,

The intent of this letter is to apply for an Administrative Amendment with a minor change into the existing building (per IDO Section 14-16-6-4(Z)(1)(a) located at 2400 Louisiana Blvd NE. The building was first permitted in the 1970s and neither the City of Albuquerque Planning Department nor the Owner (John Sedberry) have access to the original Plans or previous Administrative Amendments. Records for Administrative Amendments were made but no records were found.

The existing building has one level below grade and one level above grade. The scope includes renovations to the above-grade level only. There are no interior partitions, finishes, or ceilings existing in the building. No work will be completed on the South or North facades. The scope of work for this renovation includes exterior renovations, an interior demising wall at the 14,187 GSF building and minor changes at the site.

The renovation includes:

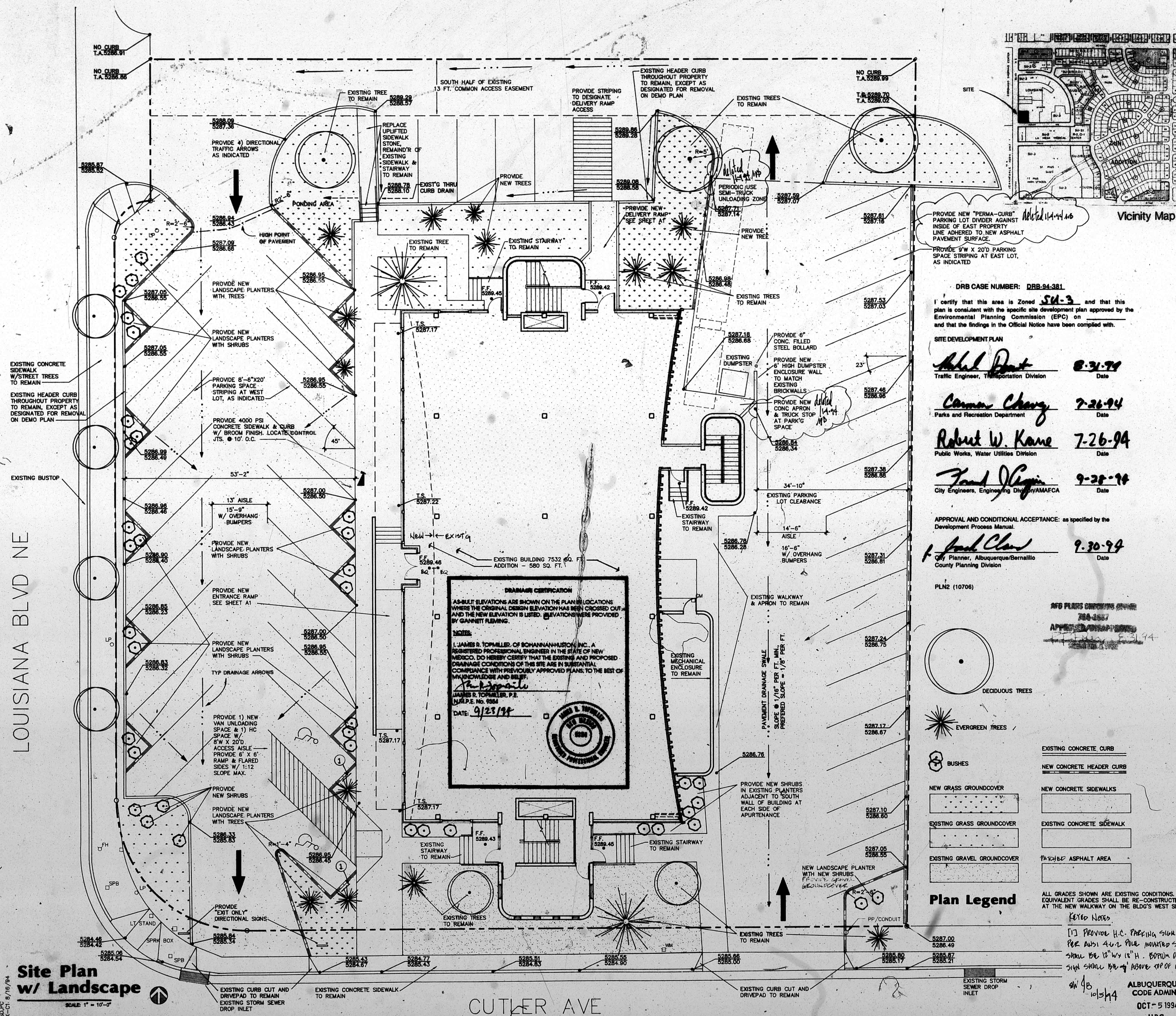
- Subdividing the existing 14,187 GSF space into two (2) future tenant spaces. A demising wall to deck will be constructed to create the two shell tenant spaces.
- Upgrade facade in compliance with the Zoning criteria by adding:
 - o Shade elements over existing windows.
 - o Change in material/texture in 20 percent of the length of the façade (at East and West)
 - o A change in parapet height.
 - o Finishes that match the surrounding buildings.
 - o Additional entrance on the West façade.
- Site work includes:
 - o Revisions to the ADA parking spot and curb ramps
 - o New stairs and landing at the new entry.
 - o Recoating and restriping the parking lot.
 - o Add new site signage.

Sincerely,

Art Tatum

FBT - President, Managing Partner, Architect

Section 6
Approved site plan being amended.



PROJECT DATA

PROJECT TITLE: KINKO'S COPY CENTER
PROJECT DESCRIPTION: A 680 SQ. FT. ADDITION AND REMODEL TO AN EXISTING 7,380 SQ. FT. BUILDING. SITE IMPROVEMENTS SHALL BE CONSTRUCTED TO MEET CURRENT CODE REQS.
BUILDING ADDRESS: 2400 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87110
LEGAL DESCRIPTION: LOT 2-A, BLOCK "C" LOUISIANA SUBDIVISION PLAT FILED MAY 5, 1987 VOL. 68, FOLD 128-3
ZONE DESIGNATION: SO-3, ATLAS PAGE 44-19-2
ZONE CLASS: C-2
SERVIC ZONE: 2-B
CONSTRUCTION TYPE: II-N
OCCUPANCY CLASS: B2 - RETAIL @ MAIN FLOOR B2 - OFFICE & ACCESSORY USE @ BASEMENT
BUILDING CODE: NMBC 41, U.S.C. - 91
OWNER: KINKO'S COPIES, INC. 11150 W. OLYMPIC BLVD. LOS ANGELES, CA 90064 (310) 479-4949
ARCHITECT: KNIGHT BEAVER DESIGN 1800 UNIVERSITY BLVD. NE ALBUQUERQUE, NM 87102 OFFICE: (505) 242-9800 FAX: (505) 243-6912
GENERAL CONTRACTOR: TO BE DETERMINED

LAND USE

TOTAL LOT AREA:	36,306 SQ. FT.
GROSS BUILDING AREA:	8,112 SQ. FT.
NET LOT AREA:	28,194 SQ. FT.
PARKING & DRIVEWAY:	19,389 SQ. FT.
IRRIGATED LANDSCAPE: WITHIN LOT LINES WITHIN R.O.W.	4,570 SQ. FT.
LANDSCAPE AREA LOT ONLY	632 SQ. FT.
LANDSCAPE AREA, INCL. R.O.W.	-15.1%
STREET TREES: (NOT IN LOT)	4 TREES @ 30' O.C.
TOTAL LOT TREES: (NOT INCL. STRT) 20 TREES	

BUILDING USE

MAIN FLOOR	AREA CALCS	LOAD FACTOR	OCCUP LOAD
NET AREA	7,088 SQ. FT.		
RETAIL	6,832 SQ. FT.	1/30	231
ACCESSORY USE	166 SQ. FT.	NA	
BASEMENT:			
NET AREA	5,043 SQ. FT.		
OFFICE USE	4,499 SQ. FT.	1/100	45
ACCESSORY USE	544 SQ. FT.	NA	
			TOTAL 276

PARKING REQUIREMENTS

AREA CALCS	LOAD FACTOR	RECORD PARKING
TOTAL RETAIL AREA	6,832 SQ. FT.	1/250
TOTAL OFFICE AREA	4,499 SQ. FT.	1/300
		TOTAL 43 SPACES

PUBLIC TRANSIT ROUTE REDUCTION ALLOWANCE - 10%
TOTAL PARKING REQUIRED W/ TRANSIT ALLOWANCE 39 SPACES
TOTAL PARKING PROVIDED 43 SPACES

GENERAL NOTES - SITEWORK

(C1.1) EXISTING UTILITIES: LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF NEW CONSTRUCTION WORK. PROVIDE ADEQUATE MEANS OF PROTECTION DURING CONSTRUCTION OPERATIONS. REPAIR OF ANY DAMAGE TO EXISTING UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

(C1.2) GRADING: EXISTING PAVEMENT DRAINAGE PATTERNS SHALL BE MAINTAINED. UNIFORM GRADING SHALL BE MAINTAINED WITHIN AREAS OF NEW CONSTRUCTION. EXISTING PAVEMENT SHALL BE MAINTAINED WITHIN AREAS OF NEW CONSTRUCTION. EXISTING PAVEMENT SHALL BE MAINTAINED WITHIN AREAS OF NEW CONSTRUCTION. EXISTING PAVEMENT SHALL BE MAINTAINED WITHIN AREAS OF NEW CONSTRUCTION.

(C1.3) BACKFILL PLACEMENT AND COMPACTION: PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 18" IN LOOSE DEPTH OR MATERIALS COMPACTED BY HEAVY COMPACT EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH OR MATERIAL COMPACTED BY HAND OPERATED TAMPERS. BEFORE COMPACTION, MOISTEN OR AERATE EACH LAYER AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. COMPACT EACH LAYER TO 98% MAXIMUM DRY DENSITY OR RELATIVE DRY DENSITY FOR EACH AREA CLASSIFICATION. DO NOT PLACE BACKFILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE. PLACE BACKFILL AND FILL MATERIALS EVENLY ADJACENT TO STRUCTURES TO REQUIRE ELEVATIONS. TAKE CARE TO PREVENT WEDGING ACTION OF BACKFILL AGAINST STRUCTURES BY CARRYING MATERIAL UNIFORMLY AROUND STRUCTURE TO APPROXIMATELY THE SAME ELEVATION IN EACH LIFT.

(C1.4) LANDSCAPE PLANTERS: PLANTERS SHALL BE FILLED TO A LEVEL NO LESS THAN 2" BELOW THE TOPS OF ADJACENT CURBS OR WALKWAYS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FILL. FILL SHALL CONSIST OF 3 PARTS QUALITY SAND/LOAM FREE OF ROCKS GREATER THAN 1" DIAMETER, TRASH, DEBRIS, OR VEGETATION, AND 1 PART SPAGNUM MOSS (DOMESTIC OR CANADIAN). FILL SHALL BE THOROUGHLY MIXED AND MOISTENED AS IT IS INSTALLED.

(C1.5) IRRIGATION PLAN: THE IRRIGATION PLAN & SELECTION OF PLANT SPECIES SHALL BE CREATED BY A DESIGN BUILD SUB-CONTRACT COORDINATE PLANT SELECTIONS WITH ARCHITECT. SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. NEW IRRIGATION SYSTEM SHALL BE INSTALLED INTO EXISTING SYSTEM. AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED TO ADEQUATELY SERVICE ALL PLANTS AND GROUND COVERS. CONTRACTOR SHALL PROVIDE PVC PIPE SLEEVES BENEATH PAVEMENTS 30" DEEP MIN. TO SERVICE NEW LANDSCAPE PLANTERS. BLOW DOWN SHALL PROVIDE LANDSCAPE MAINTENANCE.

KNIGHT BEAVER DESIGN
land use analysis • site planning • architecture • development services
1600 University Blvd. NE 87102
P.O. Box 14887 Station G 87111
Albuquerque, New Mexico
505.242.9800
505.243.5912 fax

Site Plan w/ Landscape & Drainage Certification

Kinko's Copy Center
2400 Louisiana Blvd. NE

Albuquerque Code Admin.
OCT - 5 1994
U.S.C. PLAN CHECK SECTION

KNIGHT L. BEAVER
No. 1470
REGISTERED ARCHITECT
STATE OF NEW MEXICO
25 August 1994
1/32/94

OFFICIAL SEAL
HORACIO MENENDEZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 8/31/97

THIS PLAN SHOT TWICE
ONCE ON LIGHT AND
ONCE ON DARK.

CITY OF ALBUQUERQUE
THIS MICROIMAGE IS THE BEST
POSSIBLE REPRODUCTION DUE
TO THE POOR QUALITY OF THE
ORIGINAL DOCUMENT.

Re 522 Dat 7/28/94

CITY OF ALBUQUERQUE
This microimage is certified
to be a complete and accurate
copy of the original as it
appears in the files of the
PLANNING DEPT./CODE ADMIN.
DIV. and was created in the
normal course of business.
The photographic process used
meets the Basic Microfilm
Standards of the National
Micrographics Association
(ANSI Z39.48-1977)

Miller, J. L. [Signature]
CITY CLERK

[Signature]

OFFICIAL SEAL
HORACIO MENENDEZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 8/31/97

2400 LOUISIANA BLVD. NE RENOVATION

Section 8

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGHT	CHORD DIRECTION
C1	13.14' (13.22')	8.42' (8.42')	89° 26' 37"	11.85'	S 44° 39' 53" W
C2	47.26' (47.27')	30.00' (30.00')	90° 15' 32"	42.52'	S 45° 11' 12" E

LINE TABLE		
CURVE #	DIRECTION	LENGHT (FT)
L1	N 00° 07' 36" E	32.60' (32.44')
L2	N 00° 03' 26" W	128.83' (129.03')

GENERAL NOTES

1. WATER TO BE SUB-METERED TO EACH TENANT SPACE.

fbt | architects

MAIL: 6501 Americas Pkwy NE, Ste. 300
Albuquerque, NM 87110

PHO: 505.883.5200
FAX: 505.884.5390
WEB: www.fbtarch.com

CONSULTANT

Owner

SEDBERRY & ASSOCIATES
Commercial Real Estate Services
500 4th St NW, Suite 275
Albuquerque NM 87102
505.855.7655

Architect

FBT ARCHITECTS
One Park Square
6501 Americas Pkwy NE, Suite 300
Albuquerque NM 871110
505.883.5200

Structural

WALLA ENGINEERING
6501 Americas Pkwy NE, Suite 301
Albuquerque NM 87110
505.881.3008

KEYED NOTES

Key Value	Keynote Text
ED17	DEMOLISH CONCRETE TO PREPARE FOR NEW STAIRS AND LANDING.
S06	EXISTING FIRE HYDRANT TO REMAIN.
S07	EXISTING PULL BOX TO REMAIN.
S10	EXISTING STORM DRAIN TO REMAIN.
S11	EXISTING LIGHT POLE TO REMAIN.
S28	EXISTING HOT BOX TO REMAIN.
S29	EXISTING ANTI-SIPHON VALVE TO REMAIN.
S30	EXISTING SIGNAGE TO REMAIN.
S31	EXISTING UTILITY VAULT TO REMAIN.
S32	EXISTING WATER METER TO REMAIN. WATER TO BE SUB-METERED.
S33	EXISTING GAS METER TO REMAIN.
S34	EXISTING AC UNIT. SEE MECHANICAL.
S35	EXISTING CLEANOUT TO REMAIN.
S41	EXISTING UTILITY POLE TO REMAIN.
SD01	RELOCATE EXISTING BIKE RACK.
SD02	EXISTING DUMPSTER TO REMAIN WITHOUT ALTERATIONS.
SD04	DEMOLISH EXISTING SIGNAGE.
SD05	PREPARE PARKING LOT FOR RESEALING AND RESTRIPIING.
SD08	DEMOLISH EXISTING CURB.
SD09	DEMOLISH EXISTING LANDSCAPE.
SD10	DEMOLISH EXISTING MONUMENT SIGN.
SD11	DEMOLISH EXISTING RAMP.
SD13	DEMOLISH EXISTING STAIRS. PROTECT EXISTING LANDING.
SD15	DEMOLISH EXISTING RAMP WALL. PROTECT EXISTING RAMP.
SD18	DEMOLISH EXISTING SIDEWALK.

LEGEND

- EXISTING VEGETATION TO REMAIN
- EXISTING CURB/SIDEWALK TO BE REMOVED
- EXISTING ASPHALT TO BE RE-STRIPED AND RE-SEALED
- PULL BOX
- WATER METER
- HOT BOX
- STORM DRAIN
- LIGHT POLE
- BOLLARD
- CLEANOUT
- POLE
- GAS METER
- SIGNAGE
- NEW SIGNAGE
- TREE
- FIRE HYDRANT



ARCHITECT

2400 LOUISIANA BLVD. NE RENOVATION

100% CONSTRUCTION DOCUMENTS SET

2400 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110

DECEMBER 1, 2023

MARK	DATE	DESCRIPTION
------	------	-------------

1/18/2024 | PLAN REVIEW COMMENTS

ISSUE:

DATE:	12/01/2023
PROJECT NO:	FBT
CAD DWG FILE:	
DRAWN BY:	FBT
CHECKED BY:	FBT

SHEET TITLE

SITE DEMO

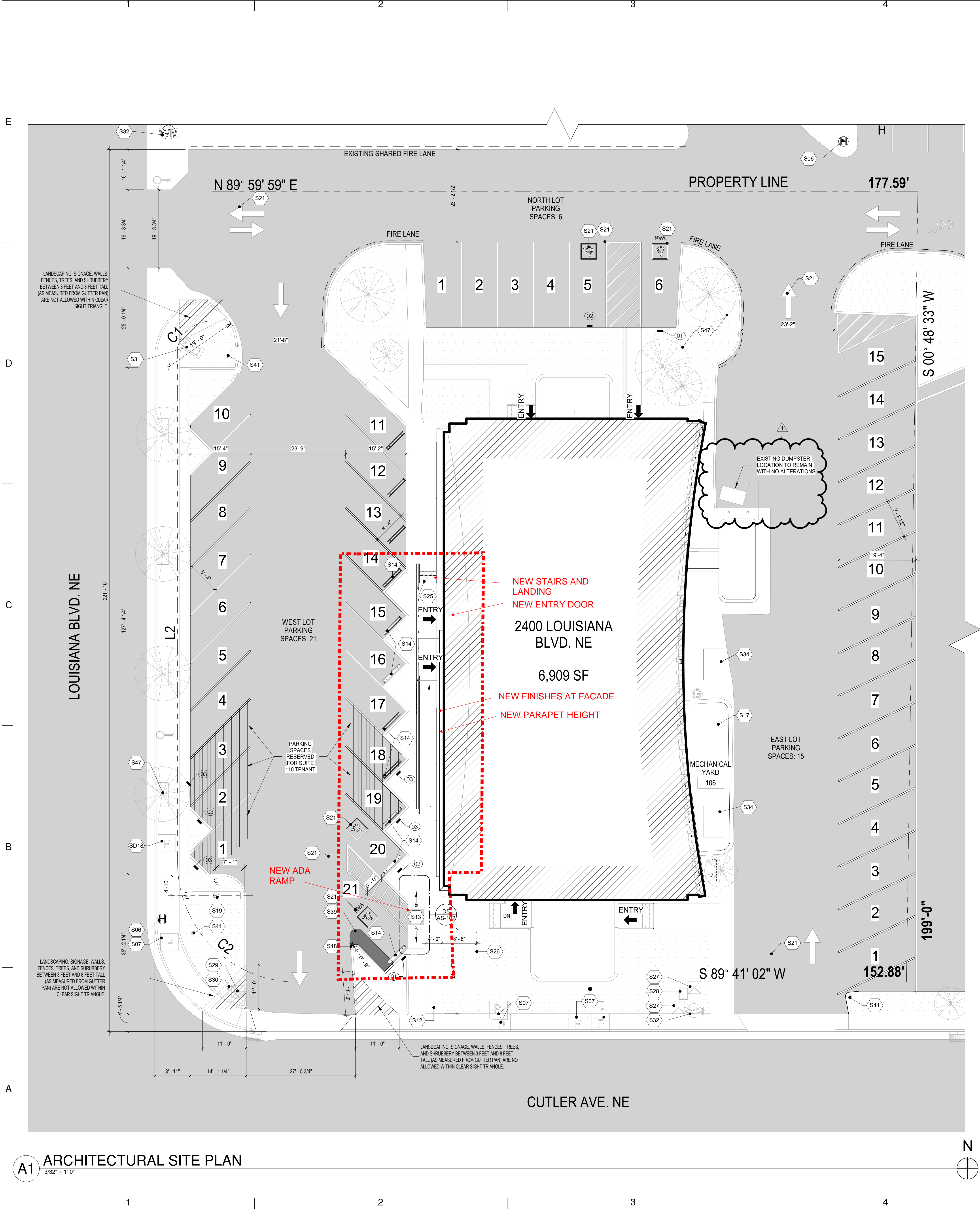
SD-101

2400 LOUISIANA BLVD. NE RENOVATION

1/19/2024 2:51:21 PM

A1 SITE PLAN DEMO
3/32" = 1'-0"

1/19/2024 2:54:53 PM 2400 LOUISIANA BLVD. NE RENOVATION



GENERAL NOTES

1. WATER TO BE SUB-METERED TO EACH TENANT SPACE.

fbt architects

MAIL: 6501 Americas Pkwy NE, Ste. 300
Albuquerque, NM 87110
PHO: 505.883.5200
FAX: 505.884.5200
WEB: www.fbtarch.com

CONSULTANT

Owner

SEDBERRY & ASSOCIATES
Commercial Real Estate Services
500 4th St NW, Suite 275
Albuquerque NM 87102
505.855.7655

Architect

FBT ARCHITECTS
One Park Square
6501 Americas Pkwy NE, Suite 300
Albuquerque NM 87110
505.883.5200

Structural

WALLA ENGINEERING
6501 Americas Pkwy NE, Suite 301
Albuquerque NM 87110
505.881.3008

KEYED NOTES

Key Value	Keynote Text
S06	EXISTING FIRE HYDRANT TO REMAIN.
S07	EXISTING PULL BOX TO REMAIN.
S12	NEW CONCRETE SIDEWALK.
S13	NEW ADA PARALLEL CURB RAMP.
S14	NEW PRE-CAST WHEEL STOP.
S17	NEW TENANT EMERGENCY GENERATOR.
S19	NEW MONUMENT SIGN BY TENANT.
S21	PAVEMENT MARKING COLOR WHITE.
S25	NEW LANDING AND STAIRS.
S26	RE-INSTALL BIKE RACK.
S27	EXISTING IRRIGATION BOX TO REMAIN.
S28	EXISTING HOT BOX TO REMAIN.
S29	EXISTING ANTI-SIPHON VALVE TO REMAIN.
S30	EXISTING SIGNAGE TO REMAIN.
S31	EXISTING UTILITY VAULT TO REMAIN.
S32	EXISTING WATER METER TO REMAIN. WATER TO BE SUB-METERED.
S34	EXISTING AC UNIT. SEE MECHANICAL.
S39	NEW ASPHALT.
S41	EXISTING UTILITY POLE TO REMAIN.
S47	EXISTING TREE TO REMAIN.
S48	NEW CONCRETE CURB.
SD18	DEMOLISH EXISTING SIDEWALK.



ARCHITECT

2400 LOUISIANA BLVD. NE RENOVATION

100% CONSTRUCTION DOCUMENTS SET

2400 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87110

DECEMBER 1, 2023

MARK	DATE	DESCRIPTION
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1/18/2024	PLAN REVIEW COMMENTS
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ISSUE:

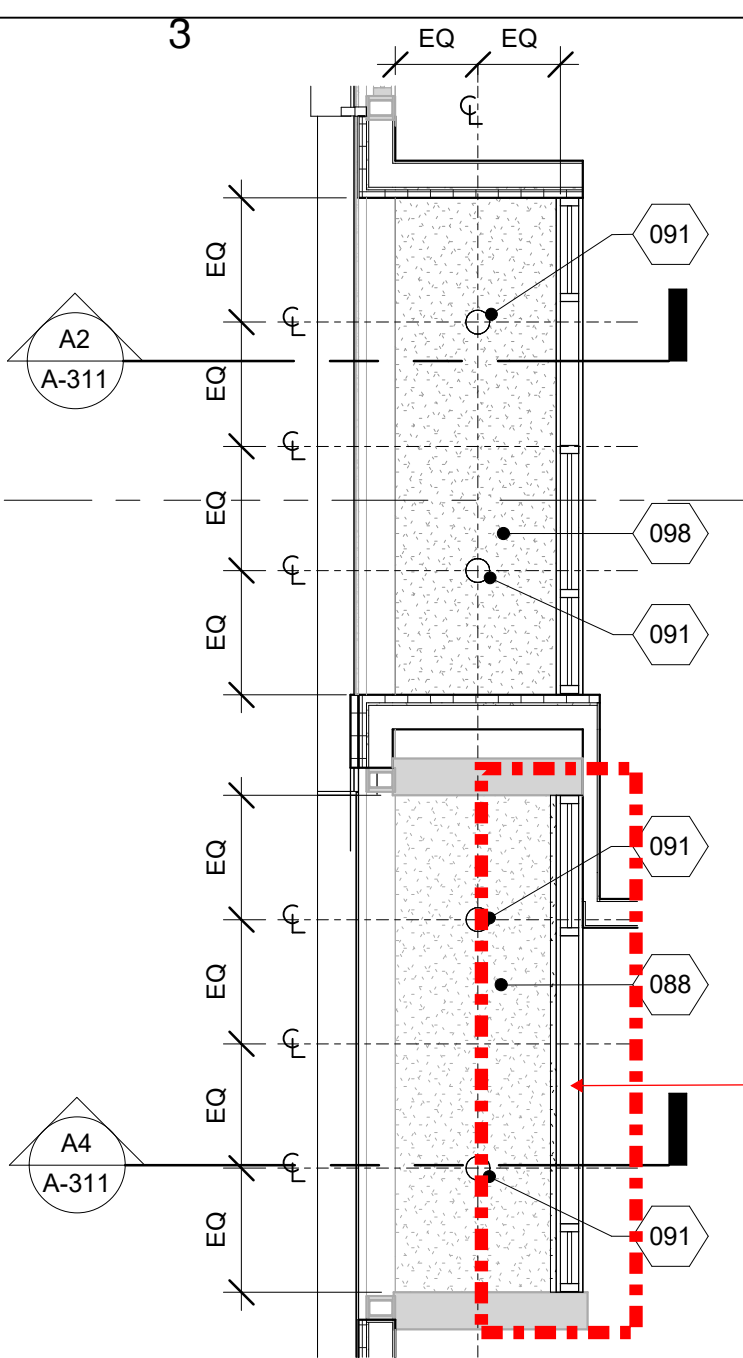
DATE:	12/01/2023
PROJECT NO:	FBT
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SHEET TITLE

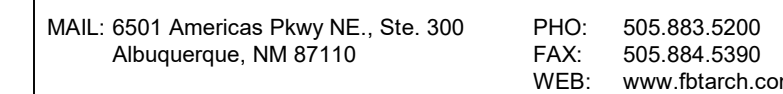
ARCHITECTURAL SITE PLAN

AS-101

2400 LOUISIANA BLVD. NE RENOVATION



- A. CONTROL DRYWALL TEXTURE OVER SPRAY AT ALL LOCATIONS OF EXPOSED CEILING. ENSURE NO OVER SPRAY ON STRUCTURE AND / OR BATT INSULATION.
- B. EXACT LOCATION OF ALL SPECIAL SYSTEMS EQUIPMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO SYSTEM INSTALLATION.
- C. SEE A-601 FOR DOOR AND WINDOW SCHEDULE AND A-602/603 FOR DOOR AND WINDOW FRAME ELEVATIONS.
- D. SEE PARTITION TYPES A-501.
- E. SEAL ALL EXISTING PENETRATIONS, HOLES OR OTHER UNUSED DAMAGED EXISTING INTERIOR OR EXTERIOR WALL ASSEMBLIES.
- F. ALL DIMENSIONS TO FACE OF FINISH.



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WALLA ENGINEERING
6501 Americas Pkwy NE, Suite 301
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KEYED NOTES	
Key Value	Keynote Text
001	INSTALL RECESSED KNOX BOX. KNOX COMPANY MODEL #3272. ALUMINUM FINISH WITH HINGED DOOR AND RECESSED MOUNTING KIT(1-800-582-5669) OR APPROVED EQUIVALENT. COORDINATE FINAL LOCATION WITH ARCHITECT AND FIRE MARSHAL'S OFFICE PRIOR TO INSTALLATION.
002	PATCH AND LEVEL EXISTING FLOOR TO PREPARE FOR FUTURE FLOOR COVERING.
003	EXISTING COLUMNS TO REMAIN.
004	EXISTING DOOR TO REMAIN. DOOR TO BE PAINTED.
005	NEW CONCRETE LANDING. SEE STRUCTURAL.
007	CAP EXISTING PLUMBING LEFT FROM DEMO'ED BATHROOMS.
009	LINE OF EXISTING FLOOR SLAB.
011	NEW STAIRS.
012	NEW WALL MOUNTED FIRE EXTINGUISHER.
014	NEW STUCCO WALL. FINISH ON EXISTING WALL.
016	EXISTING FIRE EXTINGUISHER TO REMAIN.
018	NEW HANDRAIL.
019	NEW DEMISING WALL.
028	LINE OF EXISTING ROOF ABOVE.
029	NEW GUARDRAIL.
088	EXISTING STUCCO SOFFIT TO REMAIN. RECOAT STUCCO. COLOR TO BE SELECTED BY ARCHITECT.
091	NEW RECESSED CAN LIGHT. SEE ELECTRICAL.
098	STUCCO SYSTEM SOFFIT. SEE WALL SECTIONS. COLOR TO BE SELECTED BY ARCHITECT.
126	EXISTING ROOF TO REMAIN. ALEROOFING NOT IN SCOPE.
127	NEW PARAPET. SEE SHEET A-311 FOR WALL SECTIONS.
128	NEW INFILL WALL BETWEEN EXISTING PRECAST CONCRETE FINIS. SEE SHEET A-311 FOR WALL SECTIONS.
129	TENANT PROVIDED NEW GENERATOR. NOT IN CONTRACT.
137	EXISTING FLOOD LIGHT TO REMAIN.
140	EXISTING HVAC UNIT. CONTRACTOR TO COORDINATE REPLACEMENT OR SERVICE.



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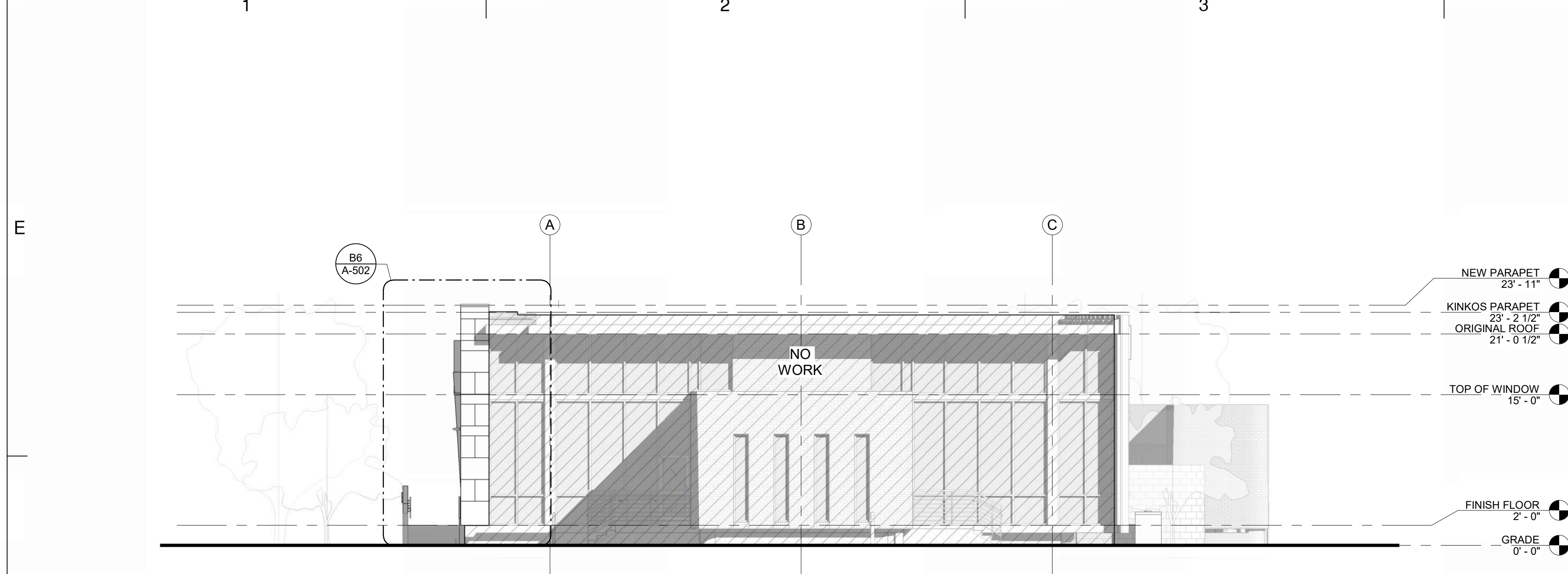
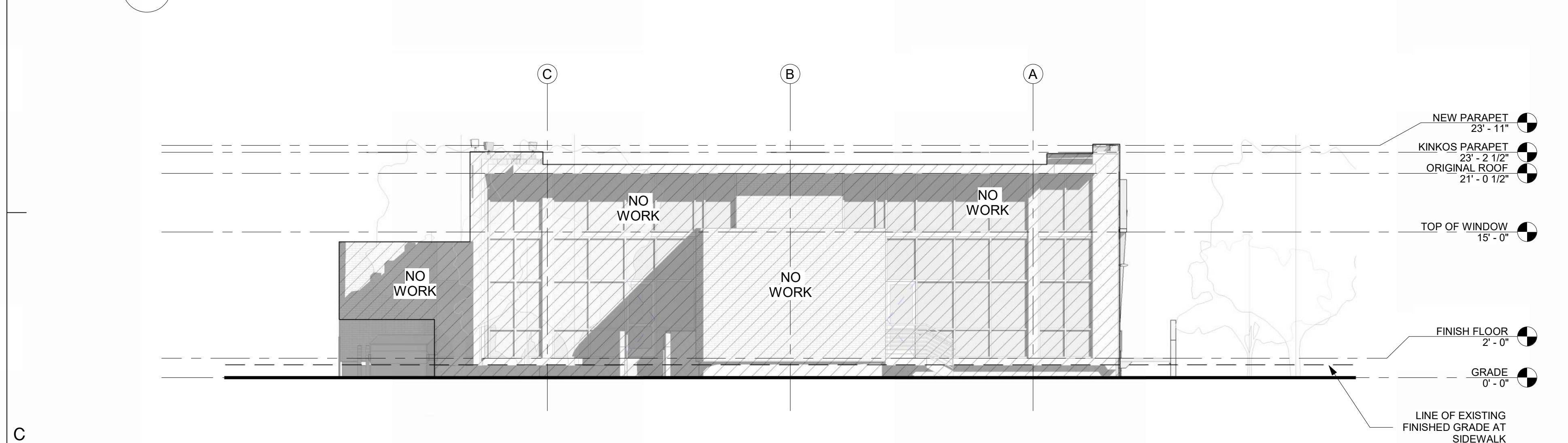
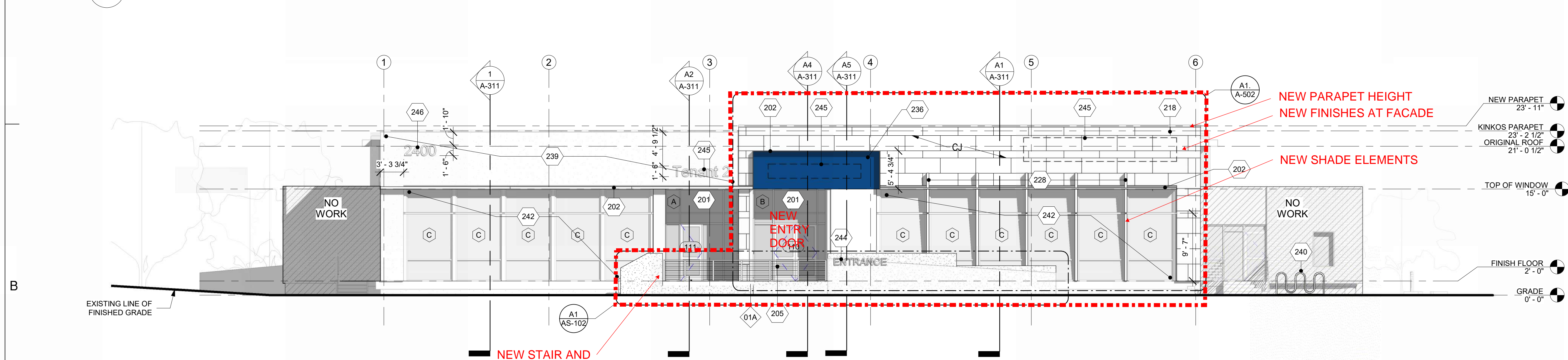
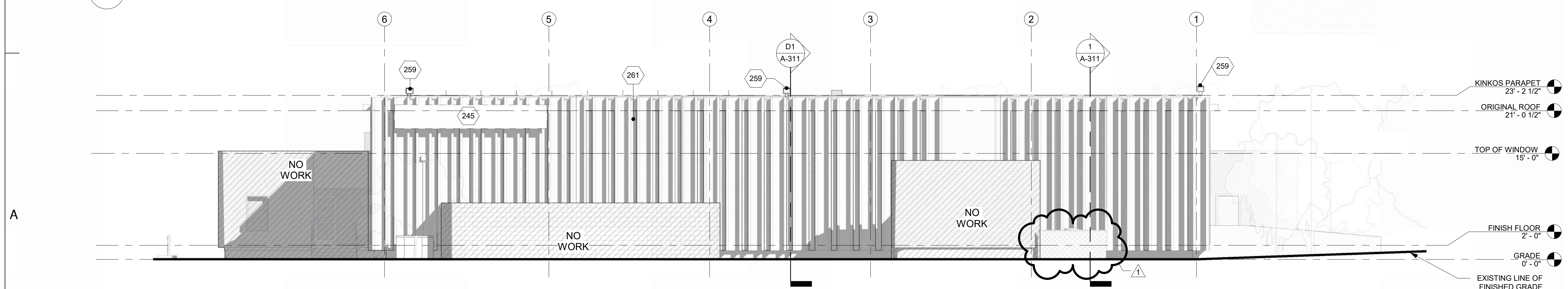
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NEW FLOOR PLAN & ROOF PLAN

A-101

**D1** EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"**C1** EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"**B1** EXTERIOR ELEVATION - WEST
1/8" = 1'-0"**A1** EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

KEYED NOTES	
Key Value	Keynote Text
201	NEW ALUMINUM STOREFRONT ASSEMBLY WITH INSULATED LOW-E GLAZING. SEE FLOOR PLAN, AND DOOR SCHEDULE OR WINDOW SCHEDULE.
202	NEW ALUMINUM TUBE EYEBROW. SEE WALL SECTIONS.
205	NEW CABLE GUARDRAIL.
218	SHALLOW REVEAL CHANNEL - SURFACE MOUNT. CLARK-DIETRICH MODEL CS18-50 REVEAL...
228	NEW CANTED ALUMINUM FINS. SEE DETAILS.
236	NEW STUCCO. COLOR TO BE SELECTED BY ARCHITECT.
239	PAINT EXISTING STUCCO. COLOR TO BE SELECTED BY ARCHITECT.
240	REINSTALL EXISTING BIKE RACK.
242	REPLACE ALL EXISTING GLAZING ON WEST FACADE, TYP.
244	NEW CUT METAL SIGN UNLIT "ENTRANCE".
245	FUTURE TENANT SIGN - SIGNAGE NOT IN CONTRACT. GC TO PROVIDE BACKING FOR FUTURE SIGNAGE.
246	BUILDING SIGNAGE "2400".
259	EXISTING FLOOD LIGHT TO REMAIN.
261	NEW STUCCO INFILL WALL BETWEEN PRE-CAST CONCRETE FINS, TYP.

LEGEND	
CJ	CONTROL JOINT
	STUCCO COLOR A
	STUCCO COLOR B
	STUCCO COLOR C
	REPAINT STUCCO - COLOR D
	NO WORK THIS AREA

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Structural

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EXTERIOR ELEVATIONS

A-201