

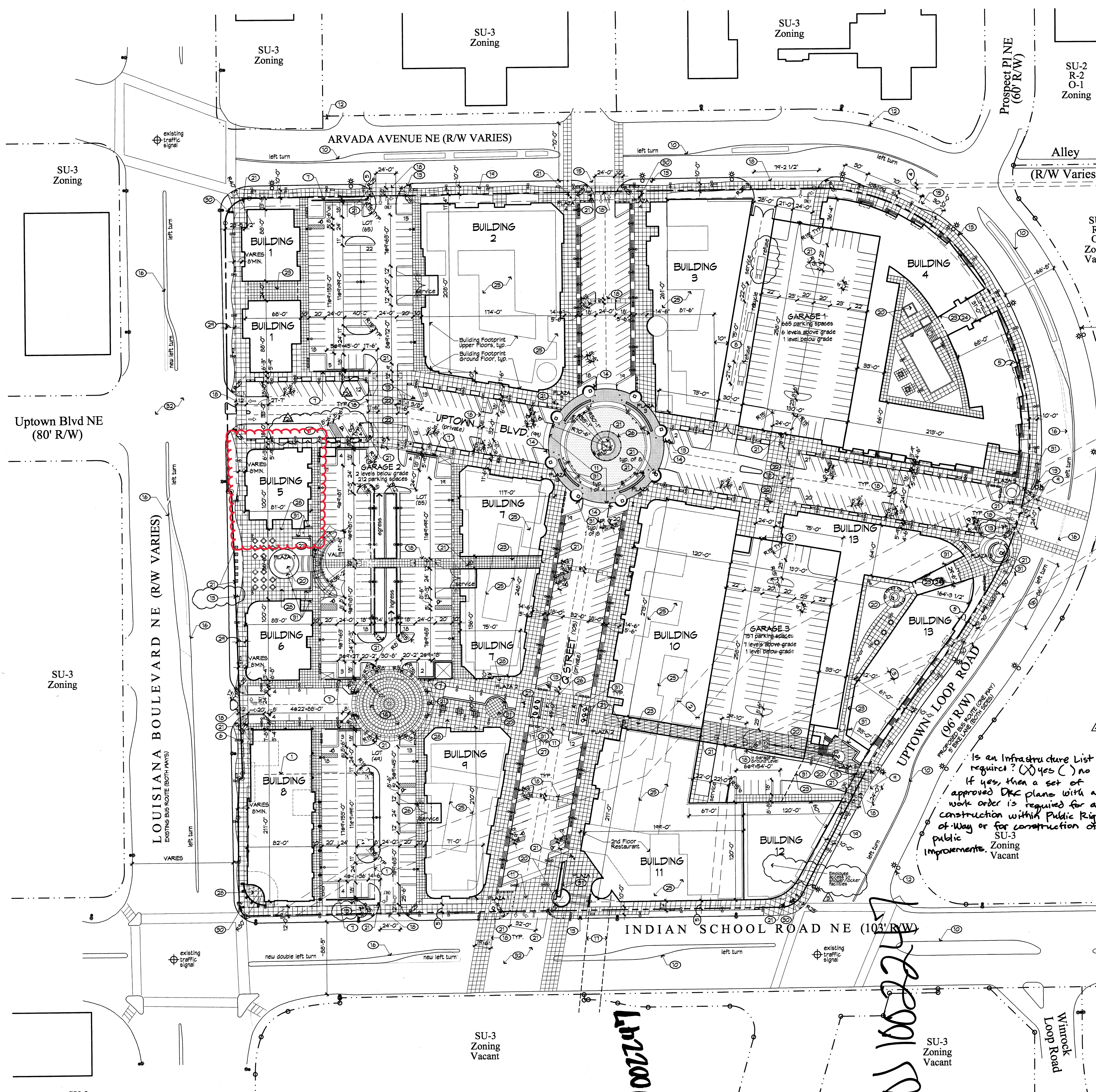
ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

*Note to file: see also PR-2021-005575,
PR-2021-005860, and PR-2022-006664



Site Data

SITE AREA: 11.624 ACRES 164,831,524 SF
FAR MIN. 0.1 MAX. 15.0 ACTUAL FAR: 1,023,100 GSF/154,882 SF = 1.33
NOTE: GROSS SQUARE FOOTAGE (GSF) INCLUDES CORRIDORS, VERTICAL CIRCULATION AND INTERIOR RETAIL SERVICE AREAS. THE GSF IS SHOWN FOR THE PURPOSE OF CALCULATING THE FLOOR AREA RATIO (FAR). GROSS HEATED FLOOR AREA/PERMISE AREA. NET LEASABLE SQUARE FOOTAGE (NSF) IS USED FOR ALL OTHER CALCULATIONS.

Building Data

BUILDING	USE	GSF	NSF	FLOORS	DUS
BUILDING 1	RETAIL OR RESTAURANT	25,800	12,000	1	110
BUILDING 2	RETAIL OR RESTAURANT	15,400	7,500	1	76
BUILDING 3	RETAIL OR RESTAURANT	39,500	19,000	2	141
BUILDING 4	RETAIL OR RESTAURANT	45,000	22,000	2	166
BUILDING 5	RETAIL OR RESTAURANT	28,000	14,000	2	100
BUILDING 6	RETAIL OR RESTAURANT	15,000	7,500	1	76
BUILDING 7	RETAIL OR RESTAURANT	12,000	6,000	1	61
BUILDING 8	RETAIL OR RESTAURANT	12,000	6,000	1	61
BUILDING 9	RETAIL OR RESTAURANT	12,000	6,000	1	61
BUILDING 10	RETAIL OR RESTAURANT	12,000	6,000	1	61
BUILDING 11	RETAIL OR RESTAURANT	12,000	6,000	1	61
BUILDING 12	RETAIL OR RESTAURANT	12,000	6,000	1	61
BUILDING 13	RETAIL OR RESTAURANT	12,000	6,000	1	61

(1) MAXIMUM RETAIL AREA PERMITTED BASED UPON NET AREA OF DEVELOPMENT APPROVED BY THIS PLAN.
(2) TOTAL NO. OF TOTAL NO. MORE THAN AN AGGREGATE TOTAL OF 21,600 NSF CAN BE PERMITTED FOR OFFICE USES BEFORE A REVISION TO THE TRAFFIC IMPACT STUDY IS REQUIRED. THE PLANNING DIRECTOR MUST RECEIVE WRITTEN CONFORMANCE FROM THE DIRECTORS OF PUBLIC WORKS AND MUNICIPAL DEVELOPMENT BEFORE CONSIDERING PERMITTING OFFICE DEVELOPMENT EXCEEDING 21,600 NSF IN THIS CATEGORY OR 54,000 NSF TOTAL FOR THE SITE.
(3) ASSUMES AVERAGE OF 850SF PER DWELLING UNIT.

Parking

USES	RATIO	SPACES	REQUIRED
RETAIL OR RESTAURANT	1/1000	161,600 NSF	359
RESTAURANT	1/800	1,500 NSF	25
SERVICE RETAIL	1/250	50,500 NSF	202
OFFICE	1/1500	54,000 NSF	150
MULTI-FAMILY OR OFFICE	1.5/DU	464 DUS	104
MULTI-FAMILY	1.5/DU	254 DUS	361

VEHICULAR PARKING PROVIDED

SURFACE PARKING	412
GARAGE 1	67
GARAGE 2	214
GARAGE 3	221

2,021

(INCLUDES 15 ACCESSIBLE, 3 VAN)
(INCLUDES 7 ACCESSIBLE, 2 VAN)
(INCLUDES 4 ACCESSIBLE, 2 VAN)
(INCLUDES 7 ACCESSIBLE, 3 VAN)
(INCLUDES 31 ACCESSIBLE + 20 CAR POOL,
REFER GENERAL NOTE D)

DIVING, SWIMMING, BOATING

VEHICULAR PARKING PROVIDED				
USES	RATIO	PARKING/DUS	REQUIRED	
RETAIL OR RESTAURANT	1/200	594 SPACES	25	
RESTAURANT	1/200	25 SPACES	2	
SERVICE RETAIL	1/200	202 SPACES	10	
OFFICE	1/700	180 SPACES	9	
MULTI-FAMILY OR OFFICE	5.1/DU	464 DUS	235	
MULTI-FAMILY	3/DU	254 DUS	121	
BICYCLE PARKING PROVIDED			41	

SURFACE PARKING	171	REFER BIKE RING DETAIL ON BUILDING ELEVATIONS, SHEET 10	
BUILDING 2	30	3605F ROOM IN MULTI FAMILY	
BUILDING 3	30	3605F ROOM IN MULTI FAMILY	
BUILDING 4	30	3605F ROOM IN MULTI FAMILY	
BUILDING 5	30	3605F ROOM IN MULTI FAMILY	
BUILDING 7	30	3605F ROOM IN MULTI FAMILY	
BUILDING 10	30	3605F ROOM IN MULTI FAMILY	
BUILDING 11	30	3605F ROOM IN MULTI FAMILY	
BUILDING 13	30	3605F ROOM IN MULTI FAMILY	

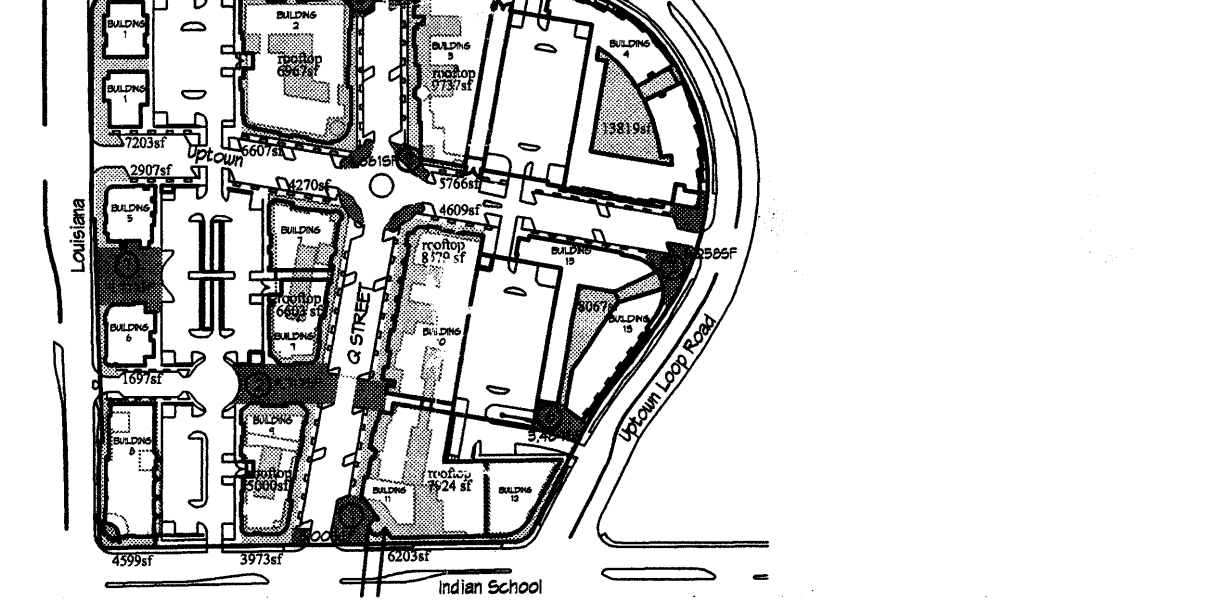
10% COVERED BIKE PARKING

GARAGE 1	15
GARAGE 2	11
GARAGE 3	15
	41

Open Space/ Plaza Diagram

Upper Component - 100% Residential (most stringent)
Required: 100,450sf
Open Space: 150sf/DU = 150 x 123,000 = 18,450sf
Plazas: 15sf x 464 spaces = 6,960sf
Total: 25,410sf
(Per Uptown Sector Plan Section 1E), in intense core plaza req. credit toward open space req.

The Site Plan surpasses the UDC requirement of one (1) linear foot of seating for each foot of plaza perimeter.
Total Plaza Area Required = 14,400 SF
UDC Recommended Amount of Plaza Seating = 1020 LF
(Calculated by taking the perimeters from Plazas 2 and 4 which have a total area of 14,400 SF)
Total Plaza Seating Provided = 2,211 LF



PROJECT NUMBER: #1002247
DRB NUMBER: 01-00928
DATE: 7-7-04
DATE: 6/23/04
DATE: 2-16-05
DATE: 10-22-04
DATE: 6/23/04
DATE: 6/23/04

Index to Drawings

- 01 Site Development Plan for Building Permit
- 02 Landscape Plan
- 03 Enlarged Landscape and Plaza Plans (NW Quadrant)
- 04 Enlarged Landscape and Plaza Plans (NE Quadrant)
- 05 Enlarged Landscape and Plaza Plans (SW Quadrant)
- 06 Enlarged Landscape and Plaza Plans (SE Quadrant)
- 07 Building Elevations 1
- 08 Building Elevations 2
- 09 Building Elevations 3
- 10 Building Elevations 4
- 11 Building Elevations 5
- 12 Directional Signage and Art
- 13 Grading and Drainage Plan
- 14 Utility Plan

General Notes

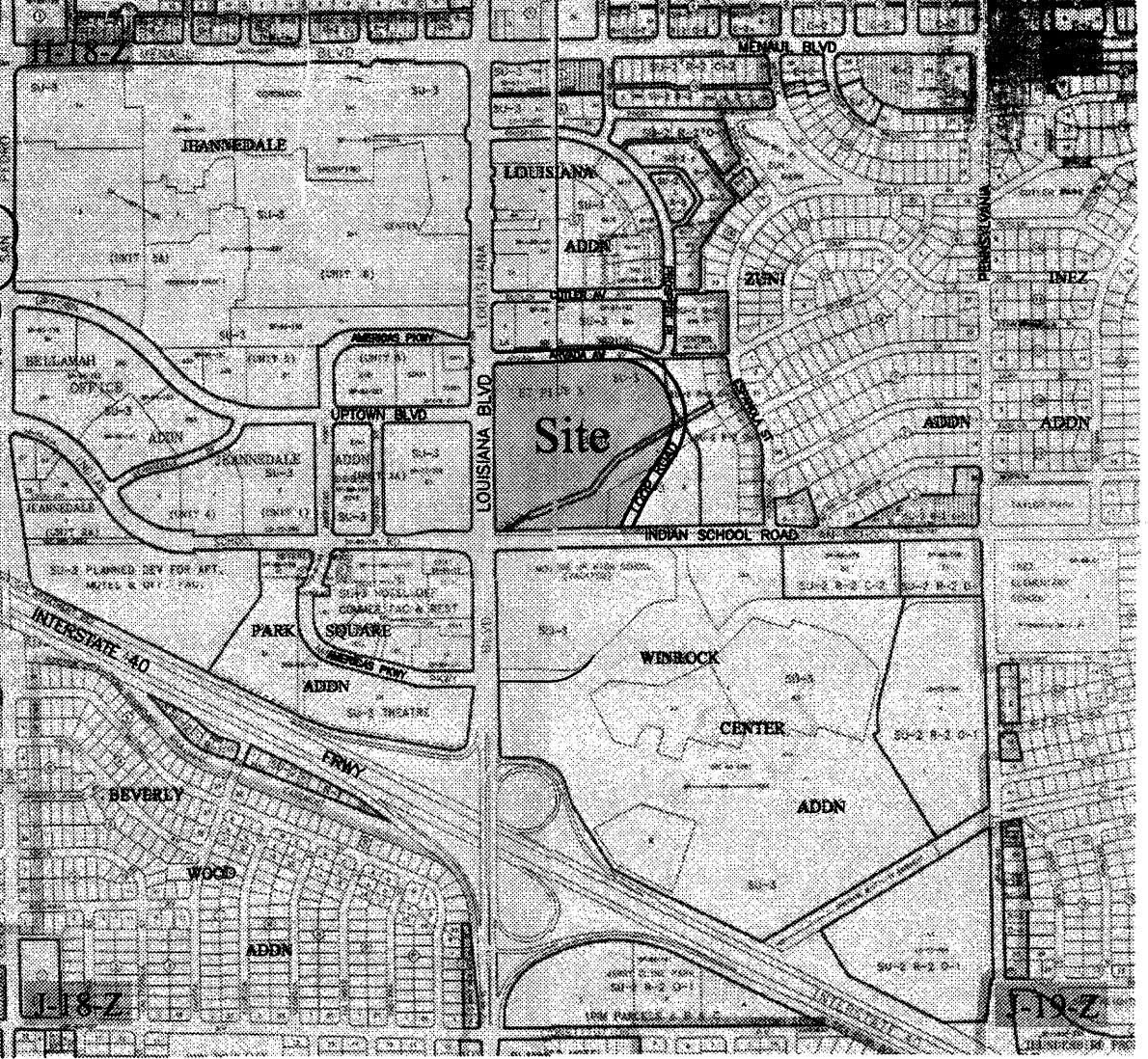
- A. Approval of development proposals consistent with this Site Plan for Building Permit shall be by the Planning Director or his/her designee, and the City Engineer.
- B. No Single Retail Tenet shall exceed 25,000sf net leasable area per establishment.
- C. Refer to the Utility Plan for Fire Hydrant Distribution Lines, Proposed and Existing Water/Sewer Storm Drainage Facilities and Proposed PUEs.
- D. 20 Total Spaces to be dedicated to temporary Carpool Parking located in employee designated parking areas in each garage.
- E. The site plan complies with the Traffic Mitigation Plan agreed to by the Applicant and Transit Department.
- F. Streets, Parking Spaces and Associated Drives to be Asphalt Unless Noted Otherwise.
- G. Sidewalks to be Segregated from Street Concrete Unless Noted Otherwise.
- H. The Design of the Foundation will comply with the intent of 6-11.4 (Design Regulations for Water Collection and Landscaping and Water Pools) of the Albuquerque Code of Ordinances, which is to minimize the evaporation of municipal water being used for water features.

Keyed Notes

- 1. EXISTING 5'-6" HIGH BRICK RETAINING WALL TO BE REMOVED.
- 2. EXISTING DRAINAGE EASEMENT TO BE VACATED, WIDTH VARIES.
- 3. EXISTING ABANDONED 10' SANITARY SEWER EASEMENT TO BE VACATED.
- 4. EXISTING 6' MSIT.
- 5. EXISTING 10' PUE TO BE VACATED.
- 6. HATCHED AREA DESIGNATES EXISTING FPM AND MSIT EASEMENT.
- 7. EXISTING 22' TALL METAL PANEL SCREEN WALL.
- 8. CENTRAL TRASH COMPACTOR AND RECYCLE COLLECTION FOR ENTIRE DEVELOPMENT, ENCLOSED IN ALLEY. REFER TO ELEVATIONS FOR DECORATIVE GATE ENCLOSURE.
- 9. INDIVIDUAL COLLECTION CARTS LOCATED INTERNALLY AT EACH BUILDING.
- 10. RELOCATE EXISTING STREET POLE LIGHT FIXTURE AS INDICATED.
- 11. EXISTING MEDIAN.
- 12. RAISED PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
- 13. EXISTING FIRE HYDRANT.
- 14. EXISTING FIRE HYDRANT.
- 15. PROPOSED FIRE HYDRANT.
- 16. STOP SIGN, REFER DIRECTIONAL SIGNAGE AND ART, SHEET 12.
- 17. EXISTING CONCRETE DRIVE PADS TO BE REMOVED.
- 18. MODIFY EXISTING MEDIAN AS INDICATED.
- 19. PEDESTRIAN SKY BRIDGE OVER INDIAN SCHOOL ROAD, SHOWN FOR ILLUSTRATIVE PURPOSES, NOT PART OF THIS REQUEST.
- 20. PEDESTRIAN CROSSING, COLORED, DECORATIVE PAVING.
- 21. 10' WIDE MEANDERING SIDEWALK ALONG UPTOWN LOOP ROAD, TYP.
- 22. WATER FEATURE REFERENCE TO GENERAL NOTE 1.
- 23. DIRECTIONAL SIGNAGE AND ART, REFER SHEET 12.
- 24. PROPOSED CITY BUS STOP.
- 25. BREEZEWAY AT GROUND FLOOR, COVERED BY UPPER FLOORS ABOVE.
- 26. COURTYARD VENT TO SANITARY.
- 27. ROOFTOP TERRACE (TO BE USED SOLELY AS OPEN SPACE).
- 28. ROCK GARDEN.
- 29. OUTDOOR DINING.
- 30. EXISTING 10' PUE.
- 31. ENTRY SIGN/ FREE STANDING MONUMENT SIGN, REFER BUILDING ELEVATIONS, SHEET 10.
- 32. SEATWALL.
- 33. ANY PROPOSAL BY THE APPLICANT TO CHANGE ACCESS, MOVEMENTS PERMITTED, OR TRAFFIC CONTROL AT UPTOWN BLVD/LOUISIANA BLVD, OR 1/1 Q STREET/INDIAN SCHOOL RD, INTERSECTIONS WILL REQUIRE THE WRITTEN CONFORMANCE OF THE DIRECTORS OF PUBLIC WORKS, MUNICIPAL PLANNING, AND PLANNING PRIOR TO APPROVAL. ADDITIONAL TRAFFIC SIGNALS MAY BE REQUIRED BEFORE SUCH CHANGES ARE CONSIDERED. THE CITY MAY MAKE SUCH MODIFICATIONS AS A PART OF ITS AUTHORITY TO MANAGE THE SYSTEM. SUCH CHANGES BY THE CITY WILL NOT REQUIRE AMENDMENTS TO THE SURROUNDING SITE DEVELOPMENT PLANS BUT WILL REQUIRE THE WRITTEN CONFORMANCE OF THE DIRECTORS OF PUBLIC WORKS AND MUNICIPAL DEVELOPMENT.

Furnishings Legend

- Pedestrian Scale Pole Light
- 20' Conting w/ Dark Scale Ordinance
- Refer Directional Signage and Art, Sheet 12
- Height: 15'-0"
- Area Pole Light
- 20' Conting w/ Dark Scale Ordinance
- Refer Directional Signage and Art, Sheet 12
- Height: 20'-0"
- Existing Street Pole Light



VICINITY MAP
COA Zone Atlas Index Maps H-18-2, J-18-2, H-19-2, J-19-2
1"=1000' 0 250 750 1000

Owner: Hunt-Uptown, LLC
Planning Consultant: Denish + Kline Assoc., Inc.
Project Architect: Dekker/Perich/Sabatini
Project Engineer: Bohannon-Huston
Project Identity: Vaughn Wedeen Creative

ABQ
uptown
DRB Submittal
Site Development Plan for Building Permit
Site Plan 01 of 14
23 June 2004
Project #1002247



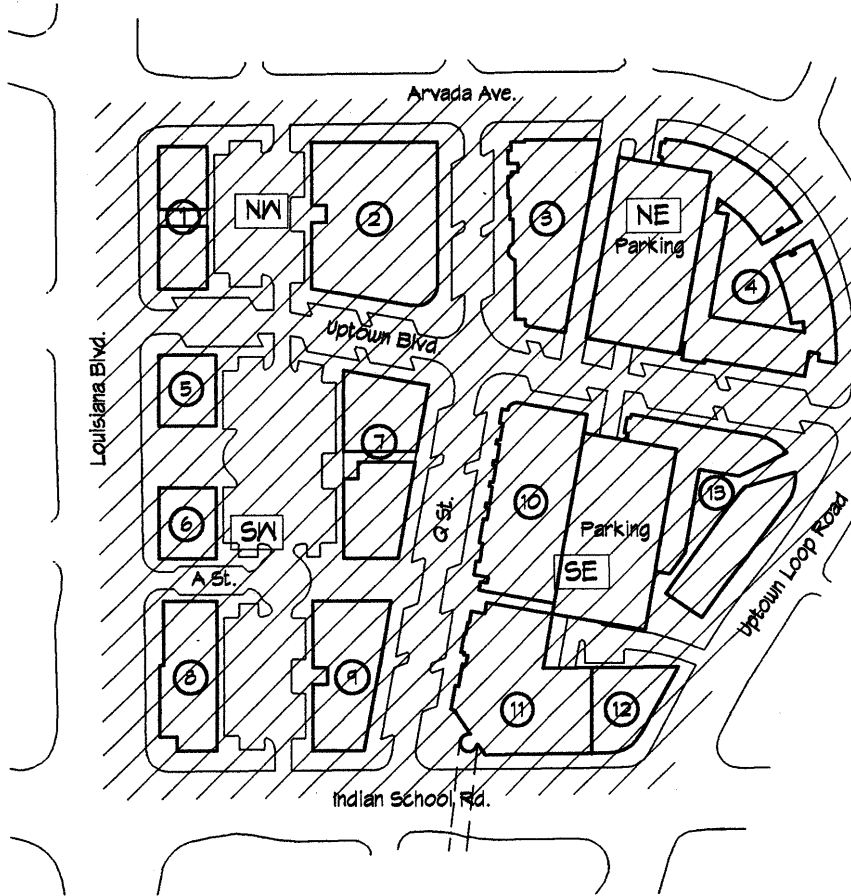
LANDSCAPE CALCULATIONS

Total Area: 76,891 SF
Building Area: 95,412 SF
Net Area (including streets outside of ROW): 41,514 SF
Net Area (minus 20% for streets): 33,211 SF
Required Landscape Area (15% of Net Area): 4,982 SF
Allowable High Water Use Turf (20% of Landscape Area): 996 SF
Required Total Plaza Area = 14,440 SF
Required Total Plaza Landscape Area = 40% of Required Plaza Area = 5,776 SF
Provided Landscape Area: 52,005 SF
Provided High Water Use Turf Area: 2,380 SF
(This sum represents landscaped areas at street level only. This sum does not include landscape areas of plazas or upper level terrace landscaping.)
Provided Total Plaza Area = 45,013 SF
Provided Total Plaza Landscape Area = 63,374 SF
Includes planter areas (12,601 SF) and tree canopies (50,748 SF)

LANDSCAPE NOTES

- Landscape design is illustrated on five (5) sheets - this 50-scale overall landscape plan and 4 sheets of 20-scale enlarged plans. Due to the property's large size, the 50-scale plan illustrates trees exclusively, and includes the Master Plant Schedule. The 20-scale plans illustrate high water use turf locations and the plant palettes for specific landscape beds using a keyed note system. The plant palettes are listed on each sheet.
- Design: The planting design includes a diverse palette of desert and high desert plants that will complement the architecture of the project. The intent is to landscape this mixed-use, urban environment with desert and high desert plants that reinforce a sense of place and are appropriate to Albuquerque's climate. Grasses and accent plants such as yucca, sotol and prickly pear cactus will be used in highly visible and appropriate locations. The use of regionally native trees for street trees, while unorthodox, will reinforce the sense of place, buffer pedestrians from vehicular areas and provide a comfortable pedestrian scale to the streets.
- Planting and Irrigation design and installation shall comply with the intent of the City of Albuquerque Water Conservation, Landscaping and Water Waste Ordinance. Landscape beds shall achieve minimum 75% live vegetative coverage upon plant maturity. Noted plant quantities are approximate, and reflect the estimated number of plants necessary to achieve the design intent and the required coverage at plant maturity.
- Planting and Irrigation installation details shall meet City of Albuquerque requirements. Each tree shall have a minimum of 36 feet of planting space.
- Planting and Irrigation maintenance shall be the responsibility of the Property Owner.
- Controller: The irrigation system shall be run with a fully automated irrigation controller. The run time for the various zones shall be approximately 45 minutes for the drip zones and 20 minutes for the spray zones. Run time will be adjusted according to season, location, and plant performance. Drip emitters shall be used for all plant material except sod and perennial ground cover areas. These areas shall be irrigated with spray emitters appropriately designed to avoid overspray onto impermeable surfaces and adjacent paving.
- Point of Connection: There is likely to be more than one point of connection for this project. The water connection locations will be coordinated with the overall water service design for the site. The exact locations for connections and controllers is unknown at this time.
- Mulch: All planting beds shall be covered with mulch. Gravel, bark and pecan shell mulches will be used appropriately to add visual interest and protect soil moisture.
- The parking area trees selected for use at ABQ Uptown are appropriate to the challenges of arid, urban environments and will perform well in our climate and in the planting situations created at ABQ Uptown. These trees, which include deciduous and broad leaf evergreen species, have been chosen for their ability to withstand our environmental conditions (climate, soils, winds) and support the site program (shade, screening, color, scale) while reinforcing the desired high desert/southwest aesthetic. Due to the lack of empirical data on the pollution resistant qualities of trees native and adapted to the desert southwest, we have relied on our professional expertise and experience, and on the expertise of green industry (horticulture and plant nursery) professionals in choosing the trees for this arid, urban situation.

MASTER PLANT SCHEDULE

sym.	approx. qty.	botanical name/ common name	condition	mature size (HxW)/ water use	approx. qty.	botanical name/ common name	condition	mature size (HxW)/ water use
TREES					PERENNIALS/GROUND COVERS			
21	21	Celtis reticulata/ Canyon Hackberry	48" Box/ Multi-trunked	30'x30'/ Medium	250	Achillea x 'Moonshine'/ Moonshine Yarrow	1 Gal. Cont.	18"x24"/ Medium
21	21	Cercis reniformis/ Oklahoma Redbud	2" Cal./B&B Multi-trunked	25'x18'/ Medium	100	Agastache cana/ Hummingbird Mint	1 Gal. Cont.	30"x18"/ Medium
37	37	Chilopsis linearis/ Desert Willow	48" Box/ Multi-trunked	25'x35'/ Low	250	Anemopsis californica/ Yerba de Mansa	1 Gal. Cont.	18"x24"/ Medium
24	24	Chitalpa tashkentensis 'Pink Dawn'/ Pink Dawn Chitalpa	48" Box/ Multi-trunked	25'x35'/ Low	200	Artemisia ludoviciana/ Prairie Sage	1 Gal. Cont.	36"x30"/ Medium
30	30	Forestiera neomexicana/ New Mexico Olive	48" box/ Multi-trunked	20'x20'/ Medium	200	Artemisia x 'Pouls Castle'/ Pouls Castle Sage	1 Gal. Cont.	36"x30"/ Medium
19	19	Fraxinus angustifolia 'Raywood'/ Raywood Ash	2" Cal./B&B	55'x30'/ Medium	50	Aster bigelovii/ Purple Aster	1 Gal. Cont.	36"x30"/ Low
4	4	Pinus edulis/ Afghan Pine	6" High/B&B	40'x15'/ Medium	80	Baleya multiradiata/ Desert Marigold	1 Gal. Cont.	18"x18"/ Low
3	3	Populus fremontii 'Nisilzenii'/ Rio Grande Valley Cottonwood	2" Cal./B&B	50'x30'/ High	80	Callirhoe involucrata/ Minicups	1 Gal. Cont.	18"x18"/ Low
44	44	Prosopis glandulosa 'Maverick'/ Maverick-Thornless Texas Honey Mesquite	48" box minimum/ Multi-trunked	30'x35'/ Low	300	Ceratostigma plumbaginoides/ Dwarf Plumbago	1 Gal. Cont.	12"x12"/ Medium
46	46	Quercus buckleyi/ Texas Red Oak	2" Caliper	25'x25'/ Medium	75	Gallardia aristata/ Blanketflower	1 Gal. Cont.	30"x30"/ Low
54	54	Quercus fusiformis/ Escarpment Live Oak	48" box minimum	40'x35'/ Medium	125	Gaura lindheimeri/ Gaura	1 Gal. Cont.	36"x36"/ Medium
6	6	Quercus muhlenbergii/ Chinquapin Oak	48" box minimum	30'x30'/ Medium	500	Hymenoxys acaulis/ Angelita Daisy	1 Gal. Cont.	12"x12"/ Medium
26	26	Sophora secundiflora/ Texas Mountain Laurel	24" Box minimum	15'x15'/ Low	300	Lavandula angustifolia 'Hidcote Superior'/ Hidcote Superior Lavender	1 Gal. Cont.	16"x18"/ Medium
4	4	Vauquelinia californica/ Arizona Rosewood	24" Box/ Multi-trunked	12'x8'/ Low	80	Liatris punctata/ Liatris (Gayfeather)	1 Gal. Cont.	18"x18"/ Low
22	22	Vitex agnus-castus/ Chaste Tree	48" Box/ Multi-trunked	25'x25'/ Low	125	Linum lewisii 'Appar'/ Appar Blue Flax	1 Gal. Cont.	18"x18"/ Medium
12	12	Yucca elata/ Sagebrush Yucca	24" Box/ Multi-trunked	12'x8'/ Low	200	Mirabilis multiflora/ Desert Four-O'Clock	1 Gal. Cont.	18"x30"/ Medium
ACCENTS					300	Oenothera biennis/ Mexican Evening Primrose	1 Gal. Cont.	12"x24"/ Low
80	80	Agave parryi/ Parry's Agave	1 Gal. Cont.	36"x36"/ Low	75	O. caespitosa/ White-tufted Evening Primrose	1 Gal. Cont.	12"x24"/ Low
200	200	Dasylirion wheeleri/ Sotol	1 Gal. Cont.	48"x60"/ Low	40	Penstemon ambiguus/ Light Pink Penstemon	1 Gal. Cont.	36"x36"/ Low
250	250	Hesperaloe parviflora/ Red Hesperaloe	1 Gal. Cont.	48"x48"/ Medium	40	P. barbatus/ Red Penstemon	1 Gal. Cont.	50"x36"/ Low
80	80	Opuntia basilaris/ Beavertail Prickly Pear	1 Gal. Cont.	12"x48"/ Low	80	P. palmeri/ Palmer's Penstemon	1 Gal. Cont.	48"x60"/ Medium
80	80	Opuntia engelmannii/ Engelmann's Prickly Pear	1 Gal. Cont.	48"x60"/ Low	80	P. pseudospectabilis/ Desert Penstemon	1 Gal. Cont.	36"x36"/ Medium
80	80	Opuntia lindheimeri forma linguiformis/ Coy's Tongue Prickly Pear	1 Gal. Cont.	60"x46"/ Low	150	Penstemon strictus/ Rocky Mountain Penstemon	1 Gal. Cont.	24"x36"/ Medium
125	125	Yucca glauca/ Sagebrush	1 Gal. Cont.	36"x60"/ Low	80	Salvia nemerosa 'May Night'/ May Night Sage	1 Gal. Cont.	18"x18"/ Medium
80	80	Yucca rupicola/ Twisted Leaf Yucca	1 Gal. Cont.	36"x36"/ Low	300	Teucrium chamaedrys/ Trailing Germander	1 Gal. Cont.	12"x24"/ Medium
GRASSES					400	Thymus sp./ Thyme	4" Pots	6"x24"/ Medium
80	80	Andropogon gerardii/ Big Bluestem	1 Gal. Cont.	60"x48"/ Low	400	Veronica sp./ Veronica	4" Pots	6"x24"/ Medium
80	80	Aristida purpurea/ Purple Three Awn	1 Gal. Cont.	24"x24"/ Low	VINES/VY			
150	150	Festuca idahoensis 'Biskijou Blue'/ Biskijou Blue Fescue	1 Gal. Cont.	18"x18"/ Medium	60	Campsis radicans/ Orange Trumpet Vine	1 Gal. Cont.	Vine/ Medium
150	150	Helictotrichon sempervirens/ Blue Avena Grass	1 Gal. Cont.	48"x24"/ Medium	30	P. tricuspidata/ Boston Ivy	1 Gal. Cont.	Vine/ Medium
300	300	Muhlenbergia capillaris 'Regal Mist'/ Regal Mist Muhlenbergia	1 Gal. Cont.	36"x42"/ Medium	10	Wisteria sinensis/ Chinese Wisteria	1 Gal. Cont.	Vine/ Medium
500	500	Muhlenbergia rigens/ Deer Grass	1 Gal. Cont.	42"x48"/ medium				
200	200	Nolina microcarpa/ Beargrass	1 Gal. Cont.	36"x48"/ medium				
250	250	Stipa tenuissima/ Threadgrass	1 Gal. Cont.	24"x18"/ Low	Key Plan			
GRASS SEED/SOD					Owner			
1500	1500	Buchloe dactyloides/ Buffalograss	Sod or Plugs	4'-6'/ low	Hunt-Upton, Inc.			
2380	2380	Sports Park Grass Blend/ Tall Fescue, Kent. Bluegrass, Ryegrass (note: illustrated on 20 scale plans)	Seed	12'/ medium-high	Planning Consultant			
SHRUBS					Denish + Kline Assoc.			
15	15	Anisacanthus quadrifidus v. upright/ 'Mexican Flame'/Mexican Flame Anisacanthus	1 Gal. Cont.	48"x48"/ Low	Project Architect			
50	50	Atriplex confertifolia/ Shadscale	1 Gal. Cont.	24"x30"/ Low	Dekker/Perich/Saunders			
250	250	Baccharis x 'Centennial'/ Centennial Broom	1 Gal. Cont.	36"x42"/ Low	Project Engineer			
25	25	Buddleia davidii var./ Butterfly Bush	1 Gal. Cont.	48"x36"/ Medium	Bohannon-Hunt			
30	30	Caesalpinia gilliesii/ Bird of Paradise	1 Gal. Cont.	48"x12"/ Low	Project Identity			
100	100	Caryopteris clandonensis 'Dark Knight'/ Dark Night Blue Mist Spirea	1 Gal. Cont.	48"x48"/ Low	Vaughn Wedeen Construction			
15	15	Cercocarpus ledifolius/ Curl-leaf Mountain Mahogany	1 Gal. Cont.	60"x60"/ Low				
125	125	Chrysothamnus nauseosus/ Chamisa	1 Gal. Cont.	54"x54"/ Low				
100	100	Cytisus x 'Lena'/ Lena Broom	1 Gal. Cont.	24"x36"/ Low	DRB Submittal			
30	30	Dalea capitata Sierra Gold/ Sierra Gold Dalea	1 Gal. Cont.	8"x36"/ Low	Site Development Plan for Building Permits			
75	75	Ephedra viridis/ Mormon Tea	1 Gal. Cont.	24"x42"/ Low	Landscape Plan			
75	75	Faulugia paradoxa/ Apache Plume	1 Gal. Cont.	48"x48"/ Low	02 of 02			
25	25	Juniperus horizontalis sp./ Prostrate Juniper	1 Gal. Cont.	12"x56"/ Low	02 of 02			
150	150	Mahonia aquifolia 'Compactum'/ Compact Mahonia	1 Gal. Cont.	24"x48"/ Medium	02 of 02			
15	15	Prunus besseyi/ Western Sand Cherry	1 Gal. Cont.	48"x48"/ Low	02 of 02			
50	50	Rhus aromatica 'Gro-low'/ Gro-lo Fragrant Sumac	1 Gal. Cont.	24"x12"/ Medium	02 of 02			
50	50	Rhus trilobata/ Three-leaf Sumac	1 Gal. Cont.	48"x48"/ Medium	02 of 02			
300	300	Rosmarinus officinalis sp./ Prostrate Rosemary	1 Gal. Cont.	24"x12"/ Medium	02 of 02			
150	150	Salvia chamaedryoides/ Mexican Blue Sage	1 Gal. Cont.	30"x30"/ Low	02 of 02			
75	75	Salvia greggii/ Autumn Sage	1 Gal. Cont.	30"x36"/ Low	02 of 02			

- Furnishings Legend
- Pedestrian Scale Pole Light
 - Area Pole Light height 20'-0"
 - Existing Street Pole Light
 - 5' Bench
 - ★ 2' wide Fixed Seating
 - ★ Water Feature
 - Monument or Sign or Art
 - ◆ Table and Chairs

Owner	Hunt-Uptown, LLC
Planning Consultant	Denish + Kline Assoc., Inc.
Project Architect	Dekker/Perich/Sabatini
Project Engineer	Bohannon-Huston
Project Identity	Vaughn Wedeen Creative

ABQ

u p t o w n

DRB Submittal

Site Development Plan for Building Permit

Landscape Plan

02 of 14

23 June 2004
Project #1002247

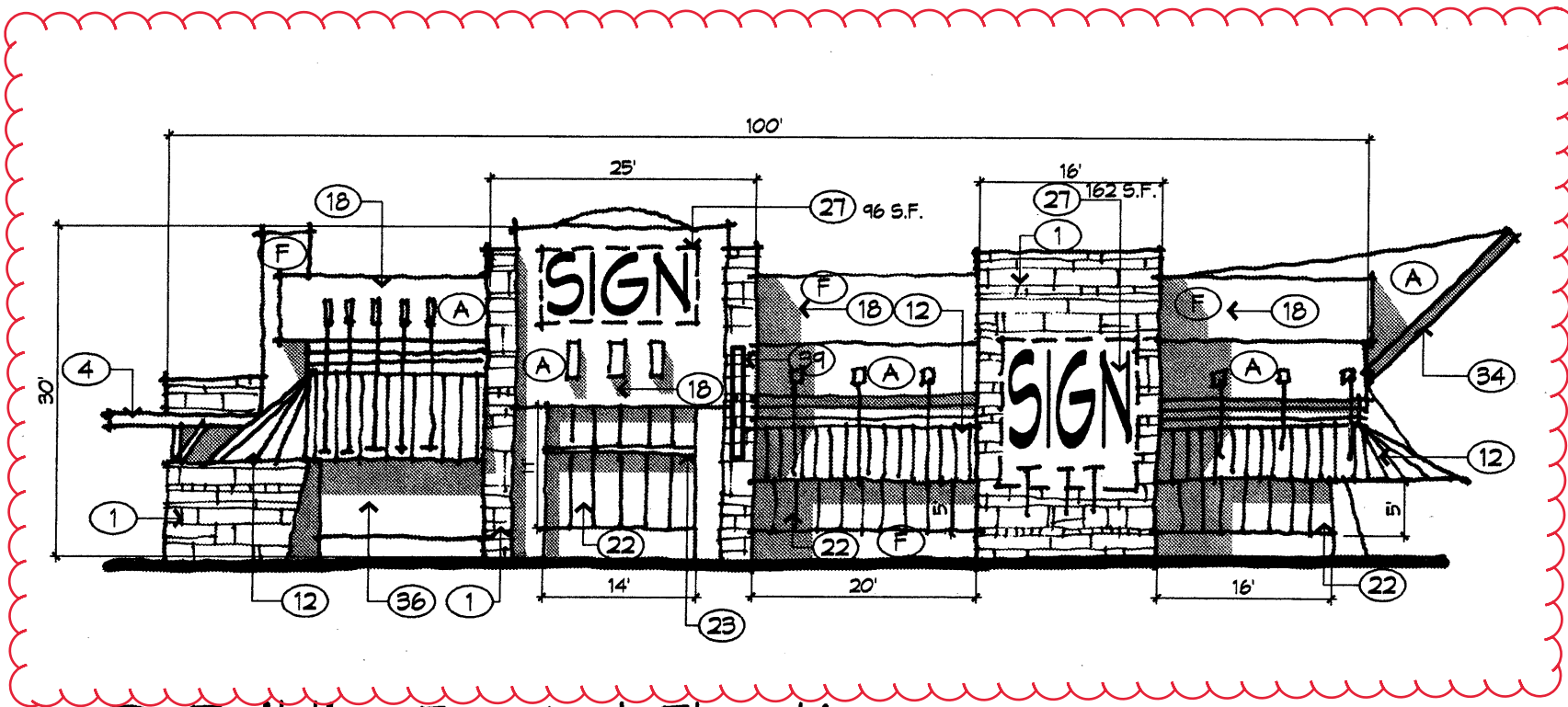
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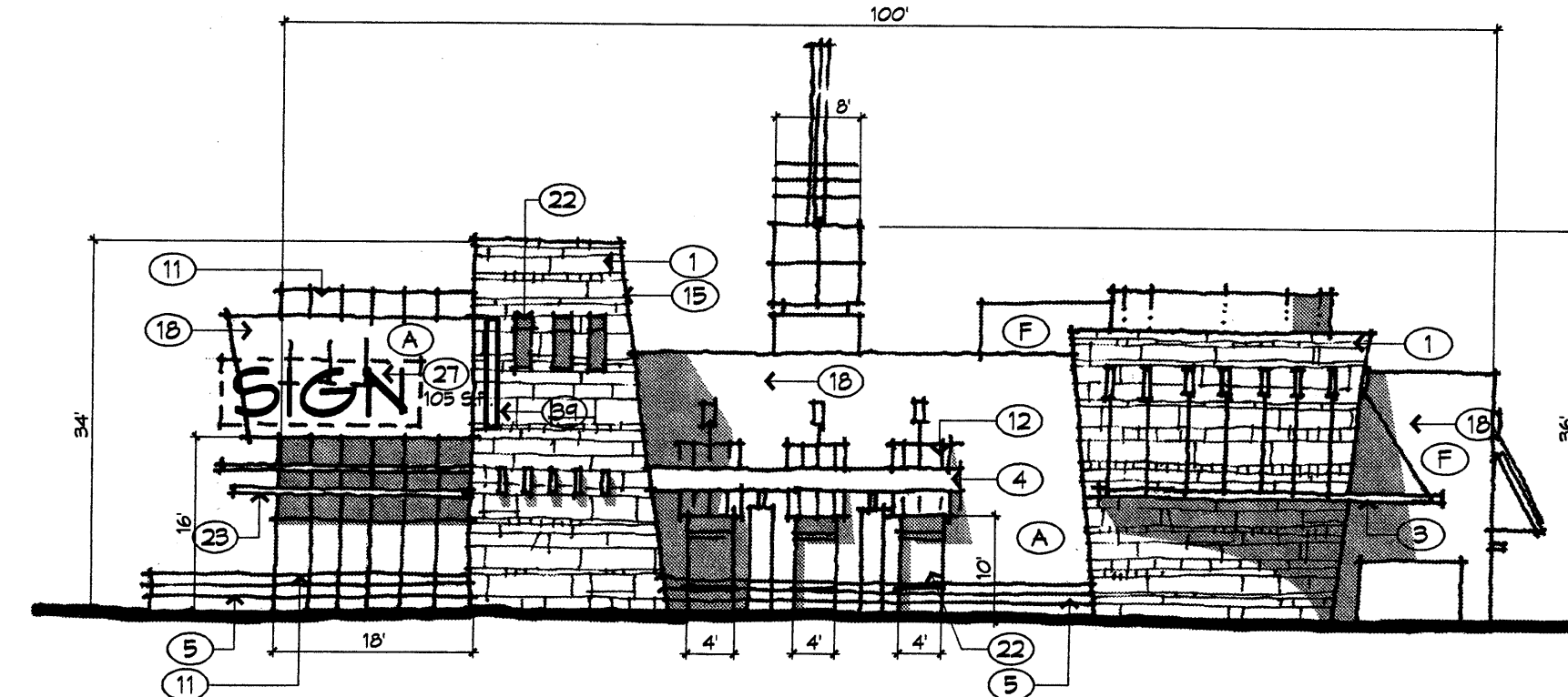
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General Notes

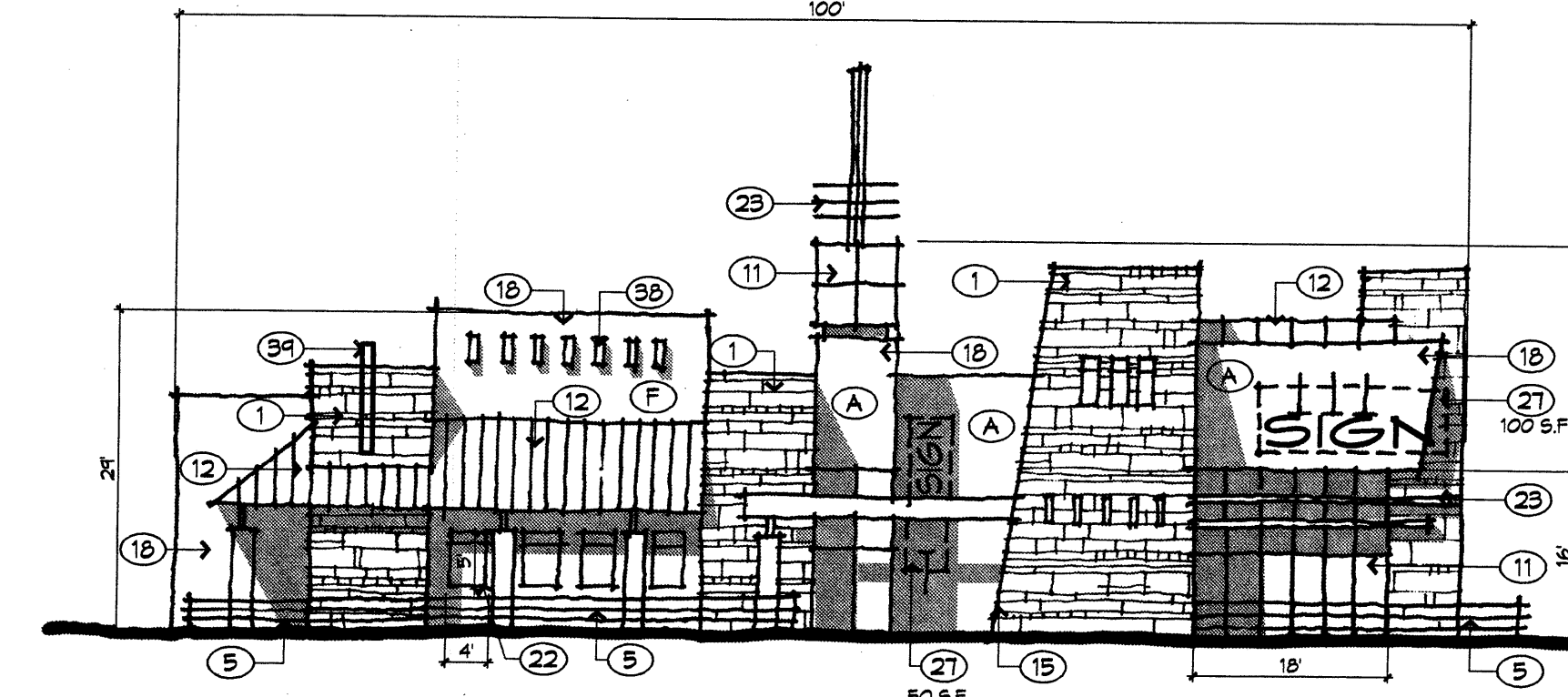
- All building facades shall be composed of a combination of the design elements shown or described in this plan. Design elements include, as examples, the building colors, massing, windows and doors, trellises and porches. These design elements need not be arranged as shown on this plan, but may be freely interchanged to accommodate future tenants.
- Entry storefronts to the building may be modified to accommodate specific needs of future tenants. These storefronts are to maintain the overall design intent of the buildings as shown and must be compatible with the building facades in terms of quality of materials and systems.
- Signage as shown is for illustrative purposes and may change to meet future tenant requirements.



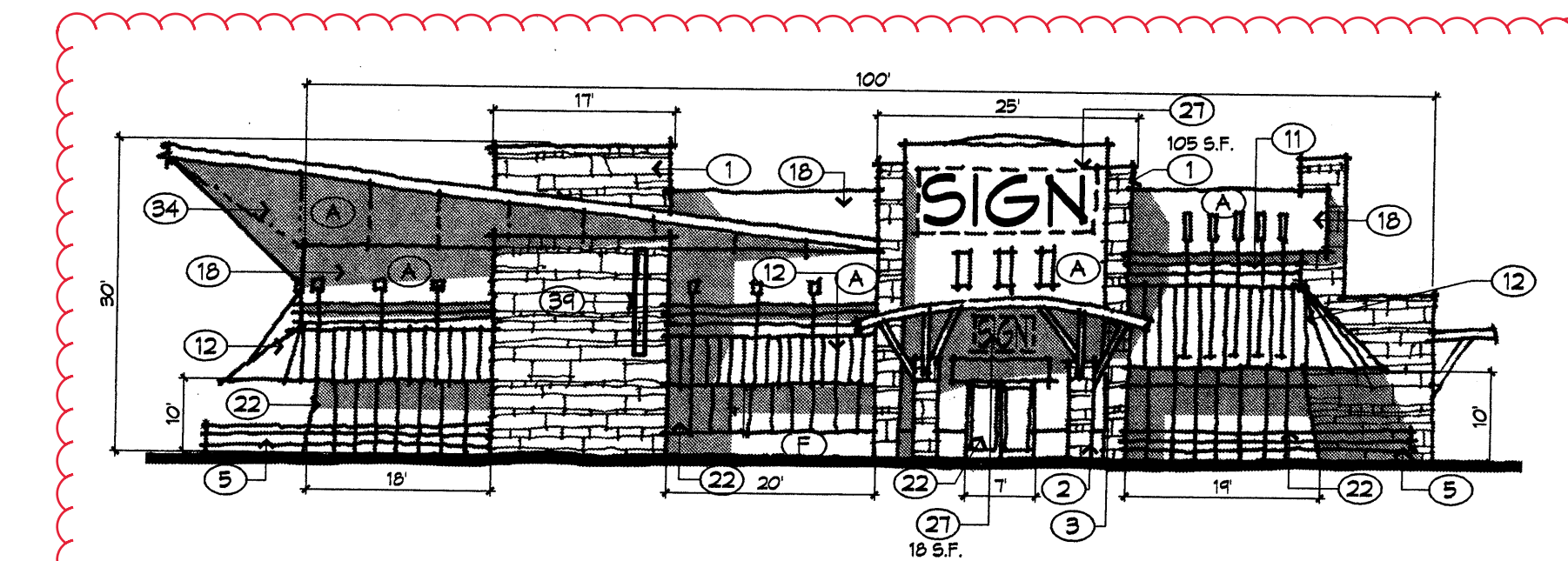
A Building 5 - West Elevation
1/16" = 1'-0"



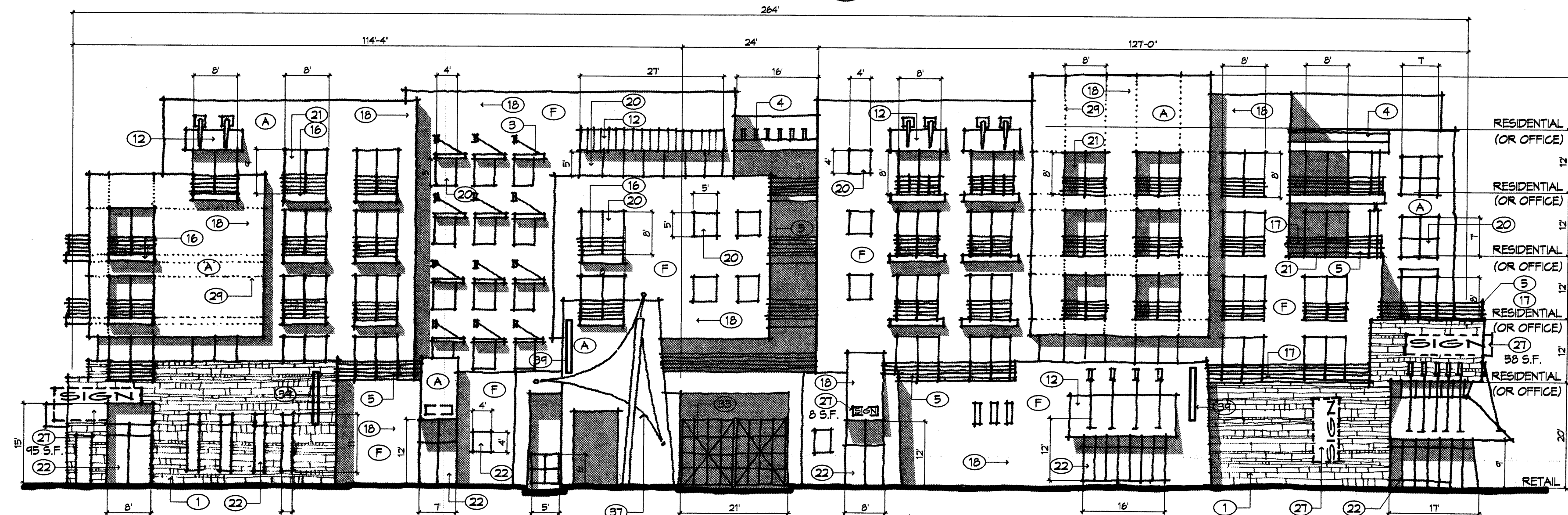
A Building 6 - West Elevation
1/16" = 1'-0"



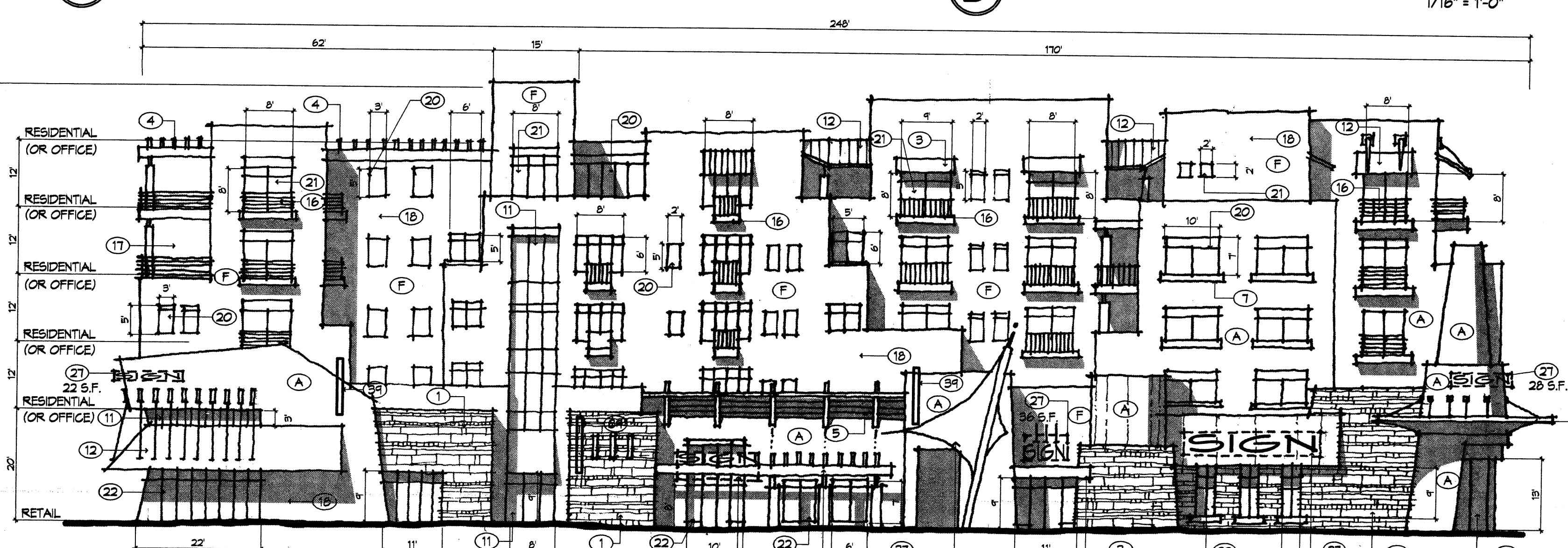
B Building 6 - East Elevation
1/16" = 1'-0"



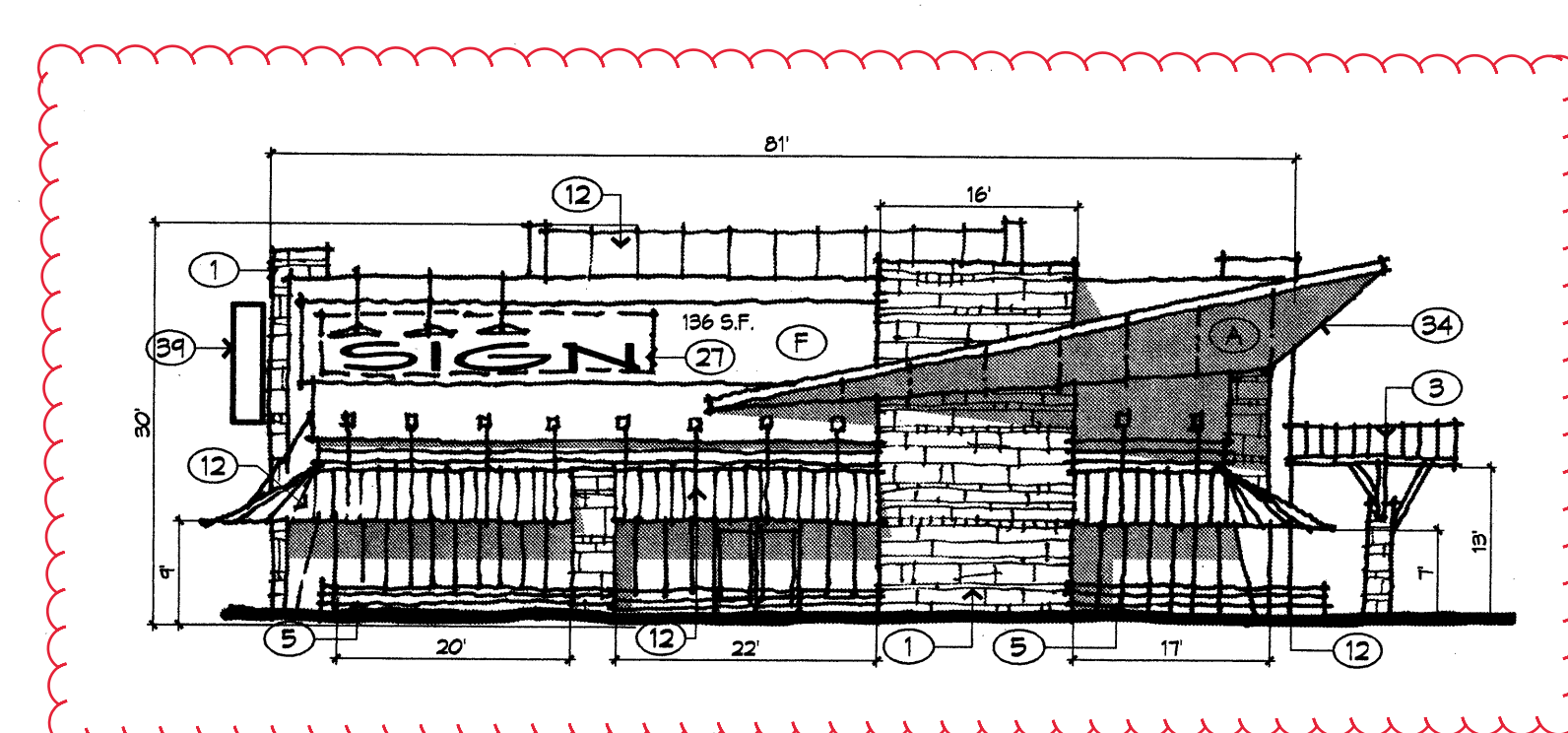
B Building 5 - East Elevation
1/16" = 1'-0"



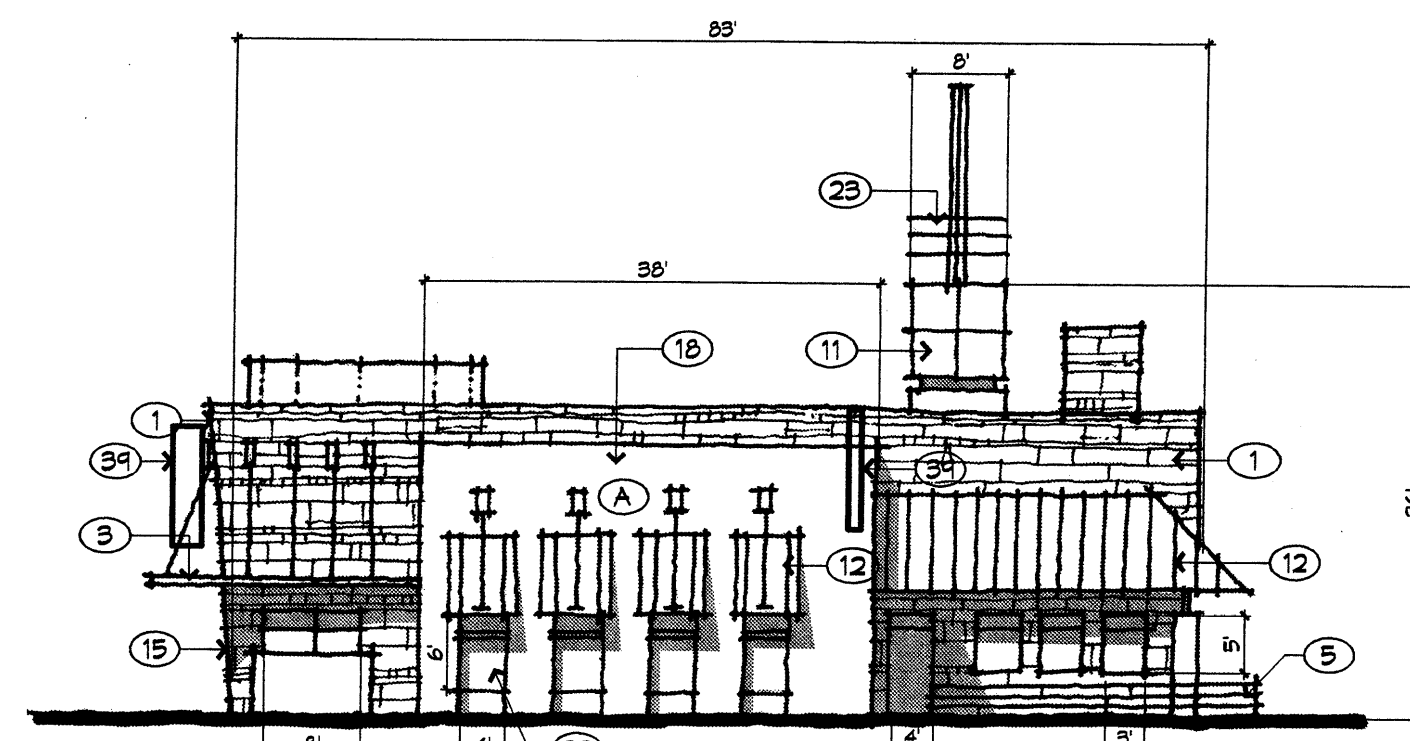
C Building 7 - West Elevation
1/16" = 1'-0"



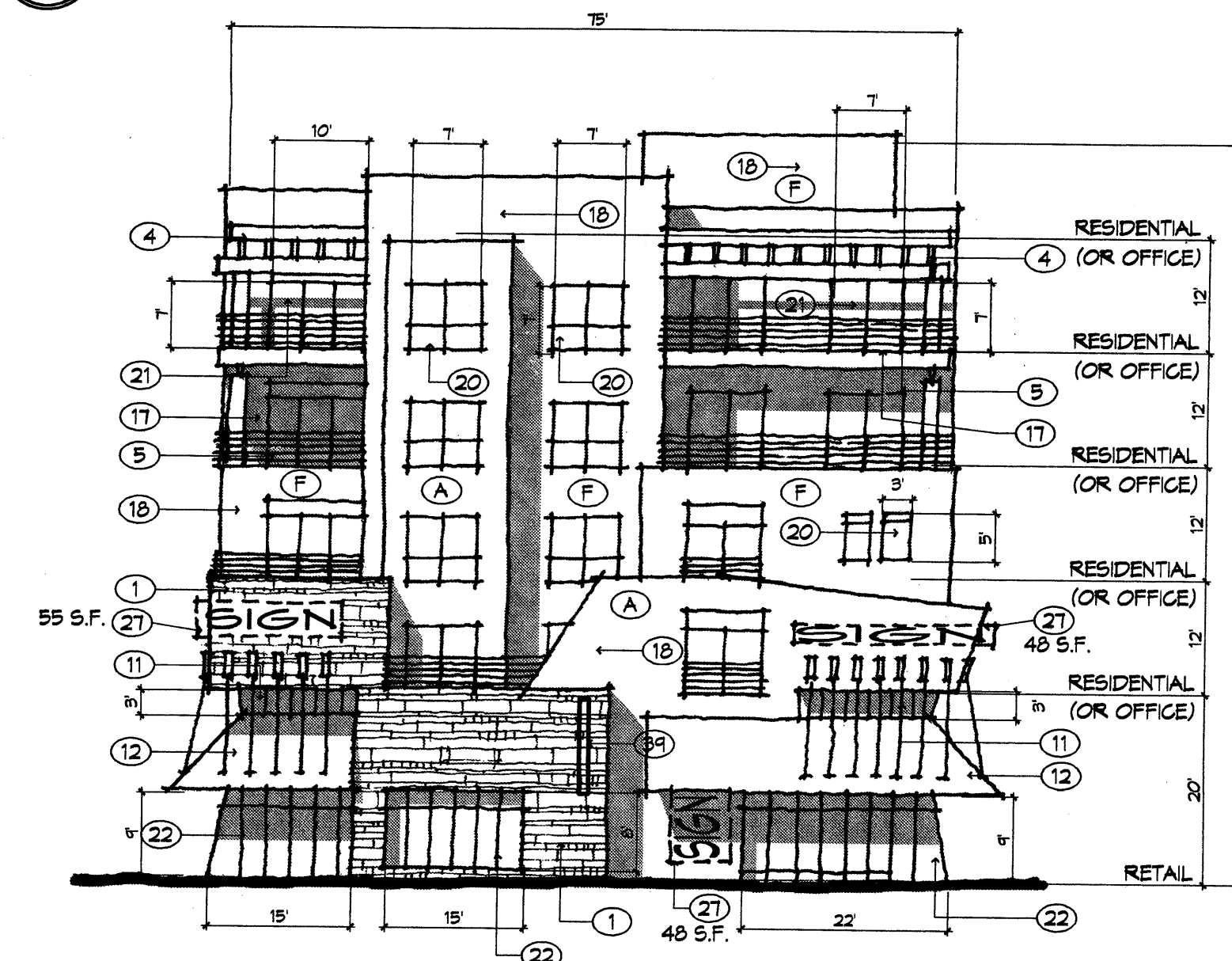
D Building 7 - East Elevation
1/16" = 1'-0"



E Building 5 - South Elevation
1/16" = 1'-0"



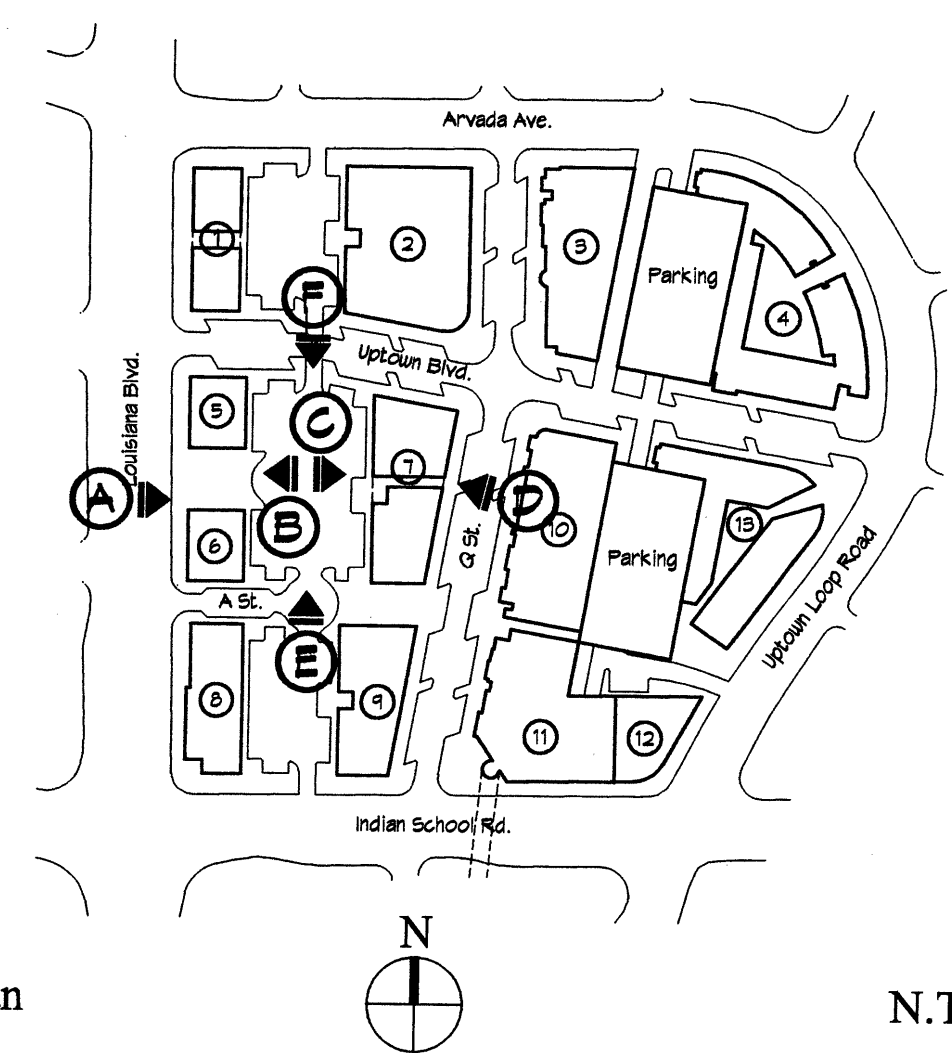
E Building 6 - South Elevation
1/16" = 1'-0"



E Building 7 - South Elevation
1/16" = 1'-0"

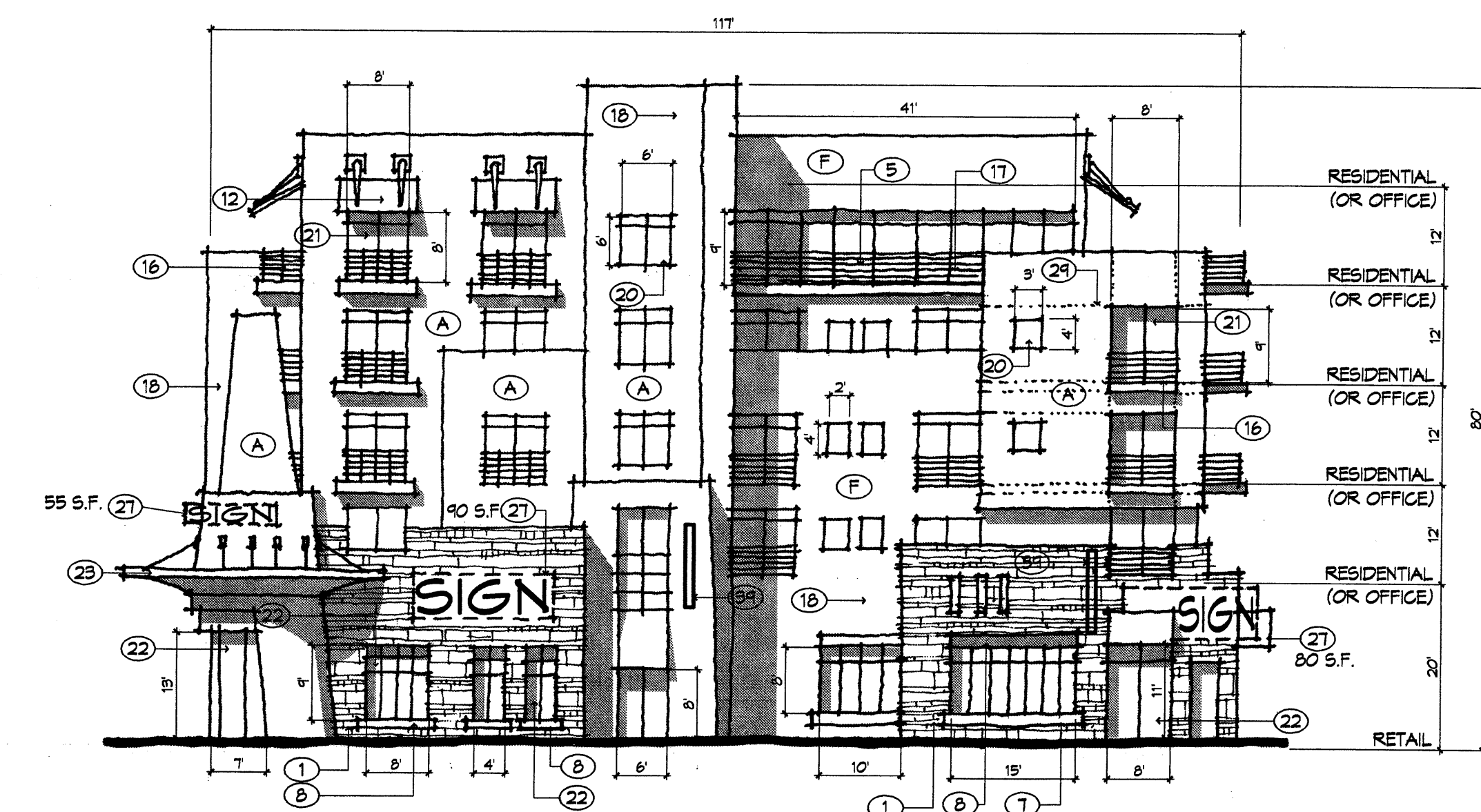
Exterior Color Notes

F. FIELD COLOR	A. ACCENT COLOR
Tan	Red
Gray	Orange
Malibu	Purple
Yellow	Green
Brown	Yellow
	Blue

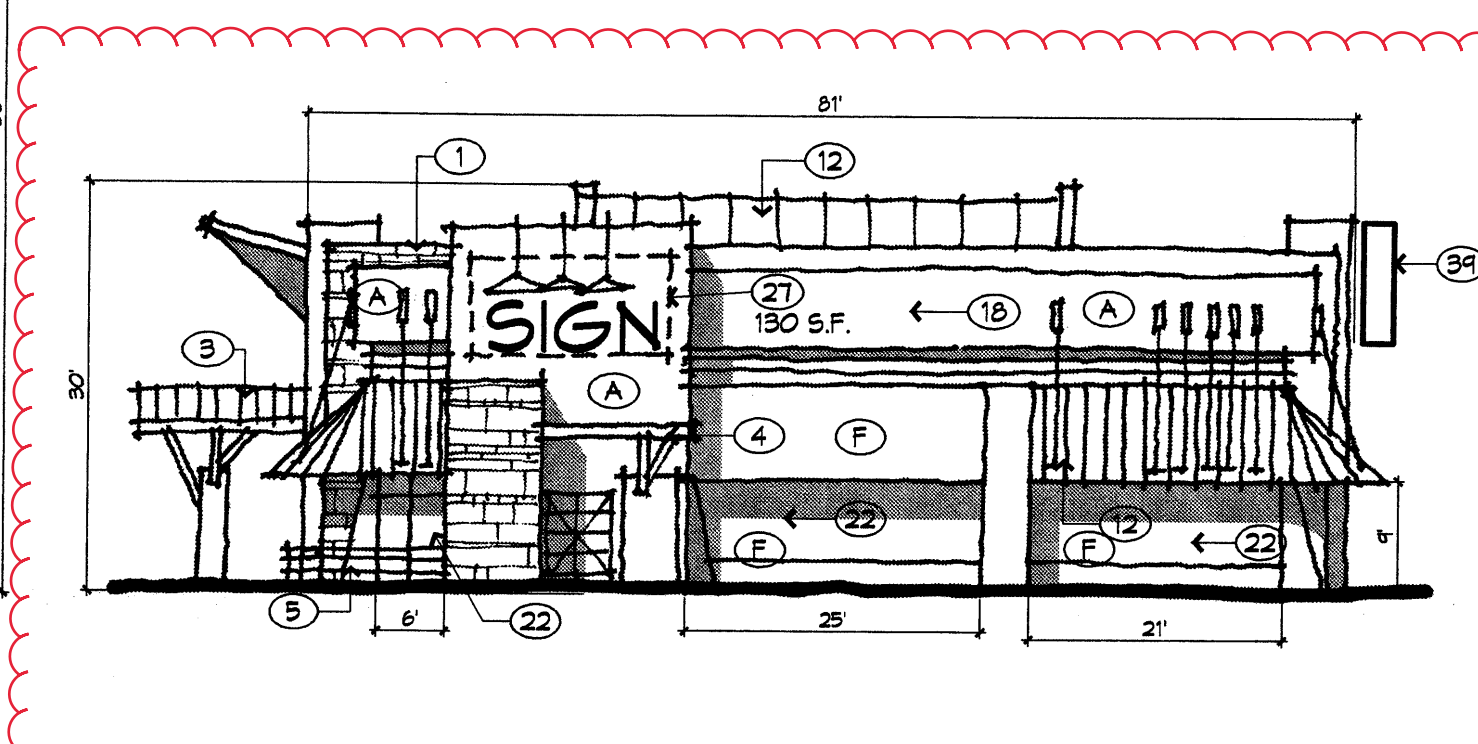


Key Plan

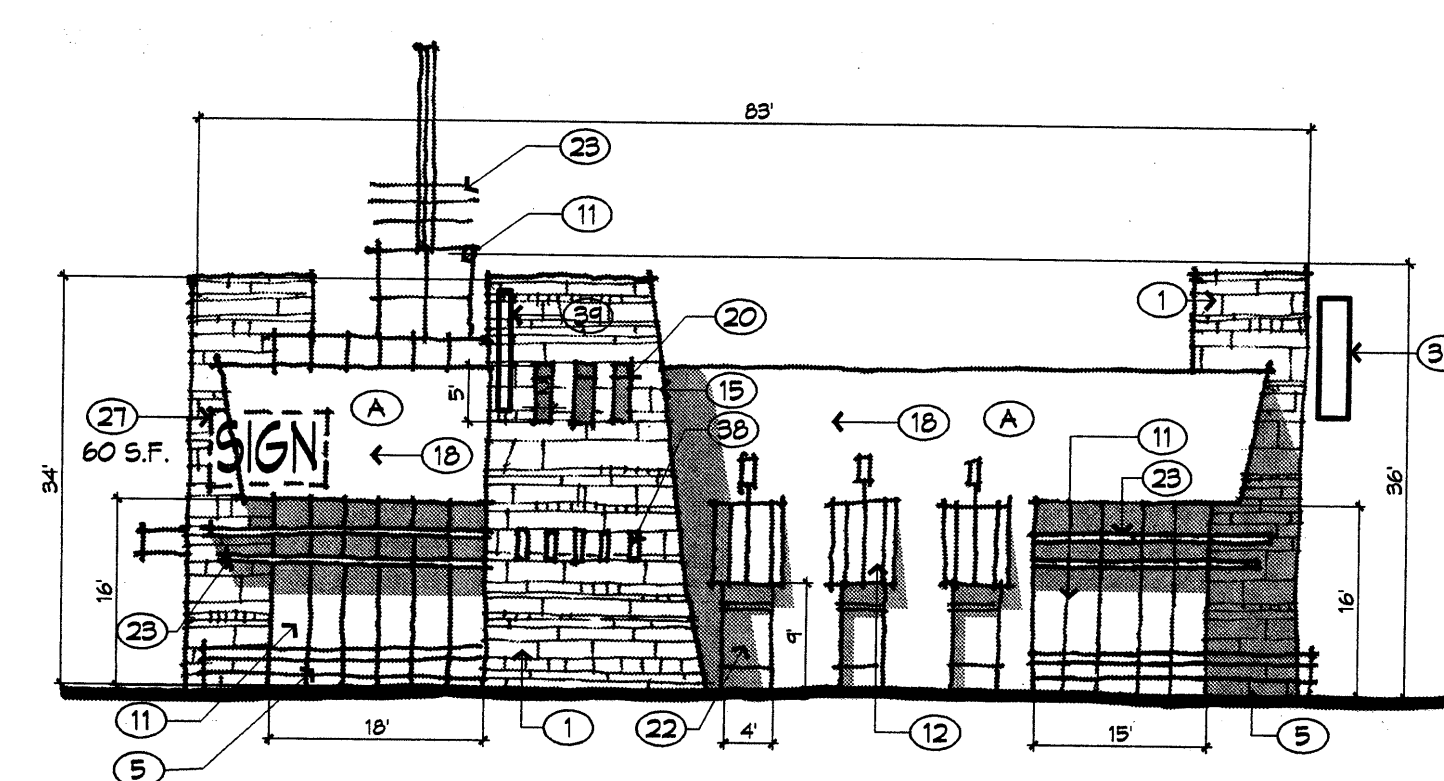
N.T.S.



F Building 7 - North Elevation
1/16" = 1'-0"



F Building 5 - North Elevation
1/16" = 1'-0"



F Building 6 - North Elevation
1/16" = 1'-0"

Keyed Notes

- STACKED STONE OR CULTURED STONE VENEER
- STACKED STONE OR CULTURED STONE VENEER COLUMN
- PANED STEEL SHADE CANOPY
- PANED STEEL TRELLIS
- PANED STEEL RAILING
- STUCCO OR STONE COPING
- STUCCO OR STONE WINDOW SILL
- STUCCO OR STONE LINTEL
- STUCCO OR WOOD CORBEL
- PRE-FINISHED METAL VERTICAL BRACKETS
- METAL ROOF/AVENUE
- PRE-FINISHED METAL ROOF COPING
- RECESSED OPENING IN PARAPET
- BATTERED WALL ELEMENT
- CANTILEVERED BALCONY WITH PAINTED METAL RAIL
- BALCONY STRUCTURE
- STUCCO
- OPENING IN WALL PLANE
- TYPICAL ALUMINUM WINDOW UNIT, SIZE AS NOTED ON DRAWING
- TYPICAL PATIO DOOR/WINDOW UNIT SIZE AS NOTED ON DRAWING
- TYPICAL COMMERCIAL ALUMINUM STOREFRONT DOOR/WINDOW SYSTEM SIZE AS NOTED ON DRAWING
- ALUMINUM SHADE FIN
- PARKING SIGNAGE
- OPENING BETWEEN BUILDINGS
- STARS WITH PAINTED METAL RAIL
- MALL MOUNTED SIGNAGE, INTERNALLY OR EXTERNALLY LIT TO COMPLY WITH DARK SKIES ORDINANCE
- PEDESTRIAN BRIDGE, DESIGN AS SHOWN IS FOR ILLUSTRATIVE PURPOSE ONLY.
- STUCCO CONTROL JOINT
- PEDESTRIAN WALKWAY BETWEEN BUILDINGS
- PAINTED METAL GRILL AT OPENING IN WALL
- 3'x6' RESIDENTIAL DOOR
- PARKING GARAGE AUTOMOBILE DOOR
- HORIZONTAL METAL ROOF STRUCTURE
- GLASS OVERHEAD GARAGE DOOR
- DISPLAY WINDOW
- TENSILE SHADE STRUCTURE
- EXPOSED BEAMS
- BLADE SIGN
- NARROW PUNCHED ALUMINUM WINDOW

Owner	Hunt-Uptown, LLC
Planning Consultant	Denish + Kline Assoc., Inc.
Project Architect	Dekker/Perich/Sabatini
Project Engineer	Bohannon-Huston
Project Identity	Vaughn Wedeen Creative

ABQ
u p t o w n

DRB Submittal
Site Development Plan for Building Permit

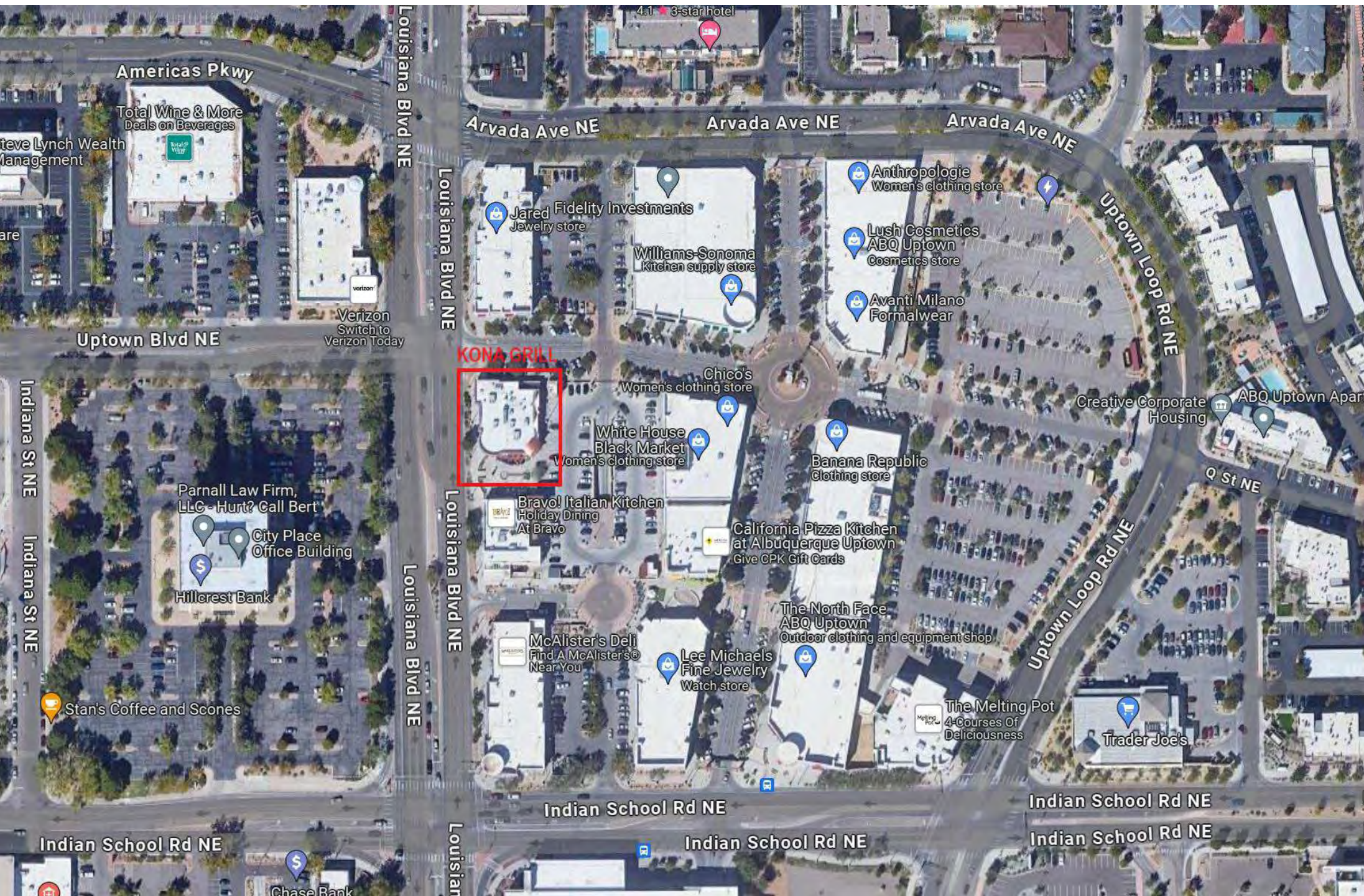
Building Elevations 5 11 of 14

23 June 2004
Project #1002247

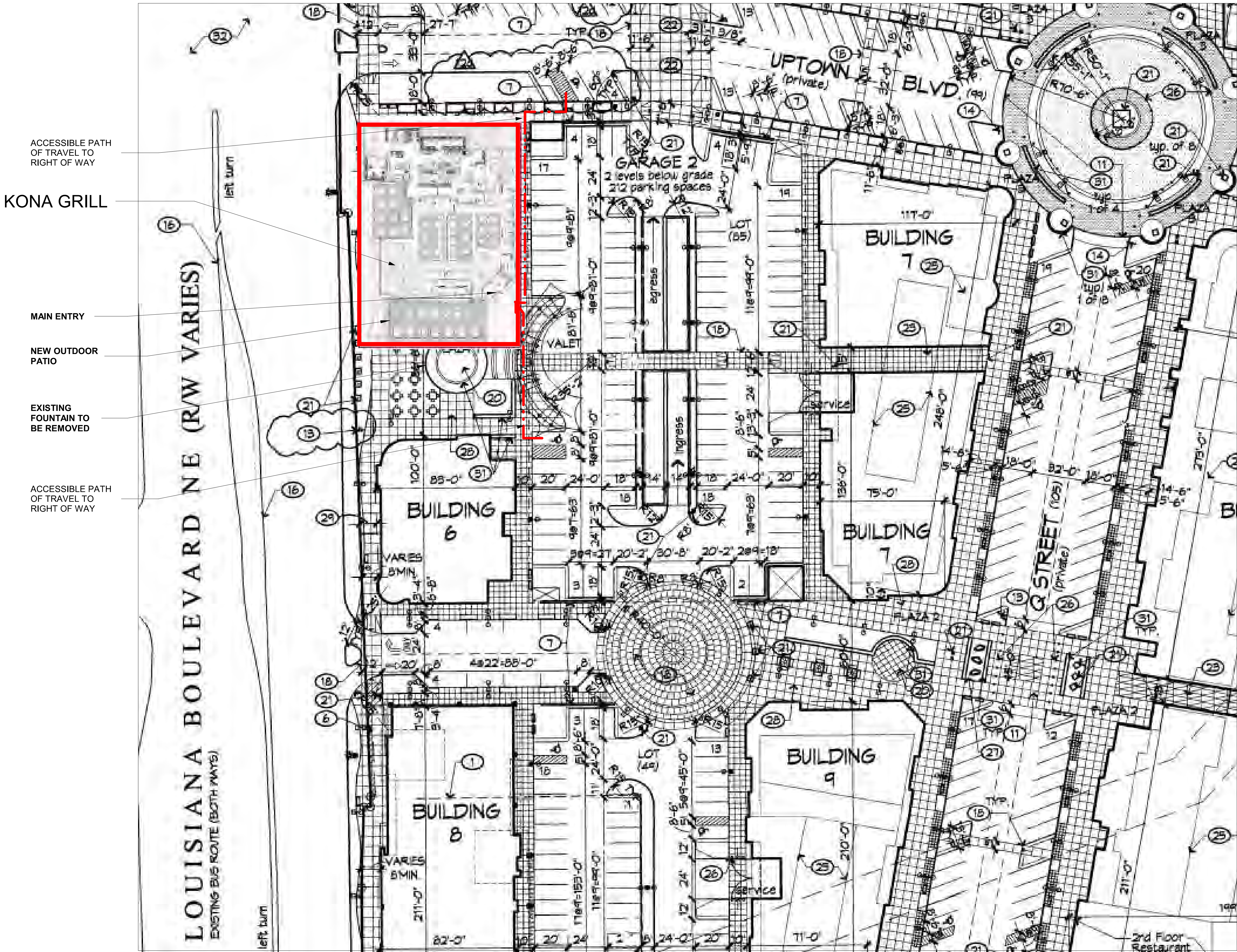
GENERAL SITE PLAN NOTES

1. ALL EXTERIOR DOORS OUT OF TENANT SPACE SHALL BE EQUIPPED WITH PANIC HARDWARE.
2. THE ACCESSIBLE PATHS OF TRAVEL AND ACCESSIBLE PARKING SERVING THIS TENANT SPACE EXIST AND ARE IN COMPLIANCE WITH THE CURRENT CODES.
3. ALL EXISTING ACCESSIBLE PARKING SPACES TO REMAIN. EXISTING PARKING ARE IN FULL COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS PER PREVIOUS APPROVED PLANS. GC TO VERIFY.
4. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" AND SHALL BE A MINIMUM OF 48" IN WIDTH. WHEN ABRUPT CHANGES IN LEVEL NOT EXCEEDING 1/2" OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 1:2, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL.
5. ABRUPT CHANGES IN LEVEL EXCEEDING 4" IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6" IN HEIGHT ABOVE THE WALK OR SIDE WALK SURFACE.

REFER TO CIVIL DRAWINGS FOR ADDITION SITE ELEMENTS AND REQUIREMENTS



OVERALL SITE PLAN



ACCESSIBLE SITE PLAN

Design

ARCHITECTURE
INNOVATION & DESIGN
IN ARCHITECTURE, Inc.
115 Pine Ave, Suite 250
Long Beach, CA 90802
www.idaexperience.com

Architect

GEOFFREY B. LIM
AIA, NCARB, LEED AP
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Engineering Consultant:

New Ridge
Engineering

Stamp:

STATE OF NEW MEXICO
GEOFFREY B. LIM
NO. 006085
REGISTERED ARCHITECT

Project Owner:

Kona Grill
kitchen • sushi • cocktails

THE ONE GROUP
1624 MARKET ST., STE. 311
DENVER, CO 80202

TENANT IMPROVEMENT

Kona Grill
kitchen • sushi • cocktails

Project
KONA GRILL
2240 LOUISIANA BLVD N.E.
ALBUQUERQUE, NM 87110

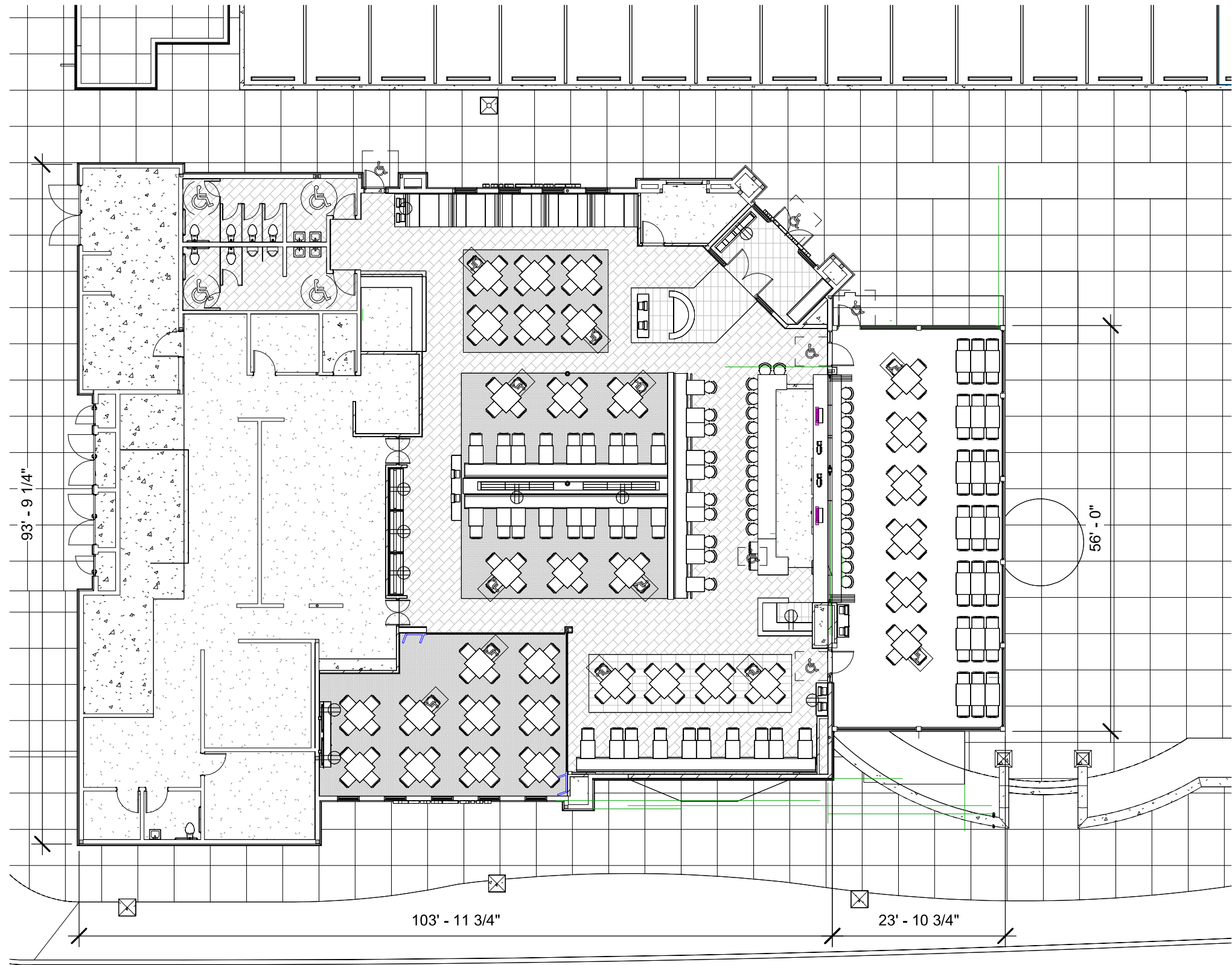
Issue For:
ISSUED FOR PERMIT
Issue Date:
01/26/2024
Revisions:
NO. REASON DATE

Principal in Charge:
or
Project Manager:
Drawn By:
Project
185-206-22
Sheet
ACCESSIBLE SITE PLAN
Sheet

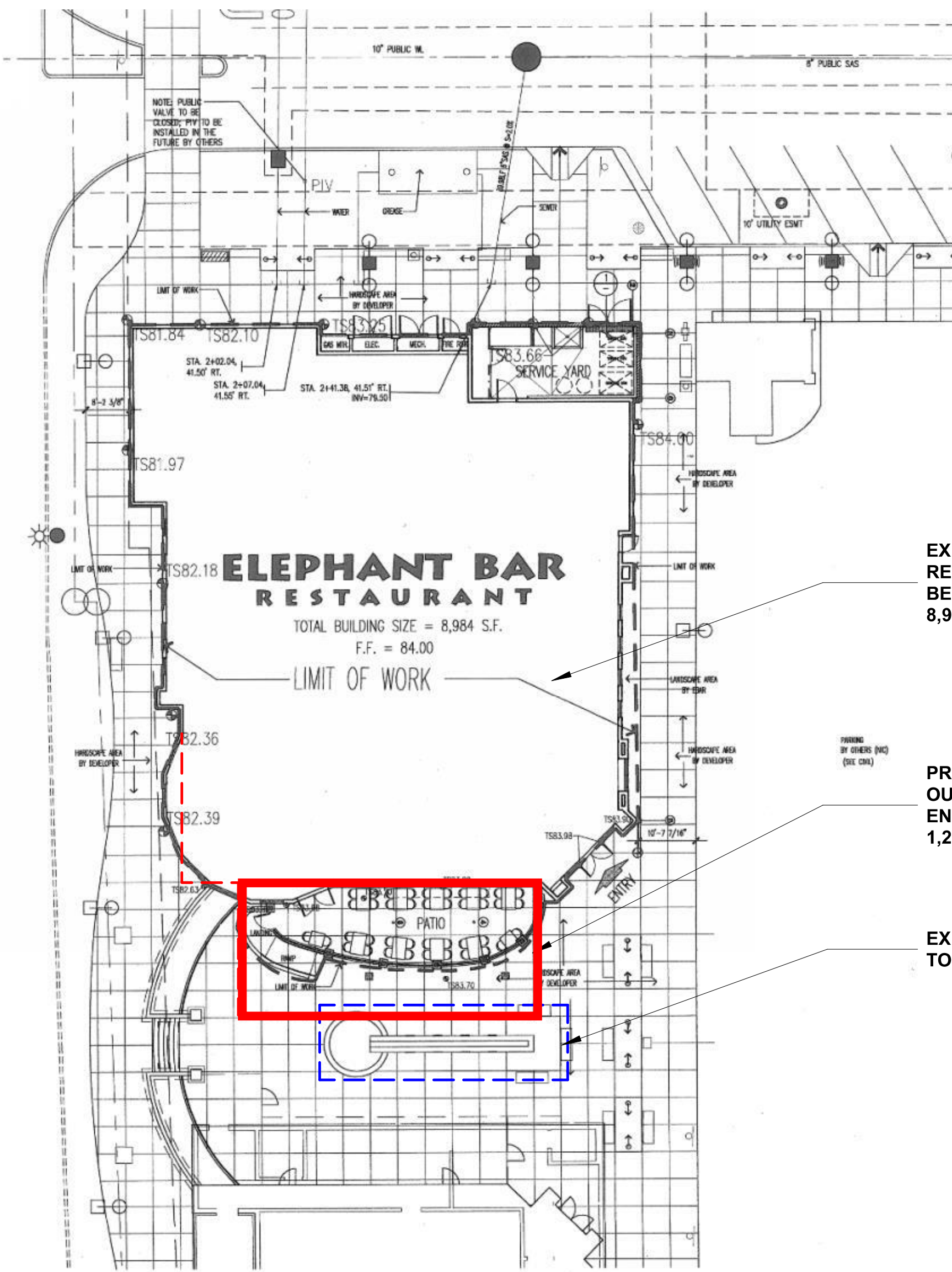
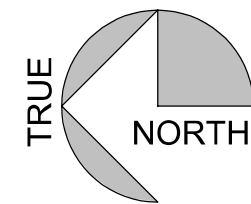
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REFER TO CIVIL DRAWINGS FOR ADDITION SITE ELEMENTS AND REQUIREMENTS



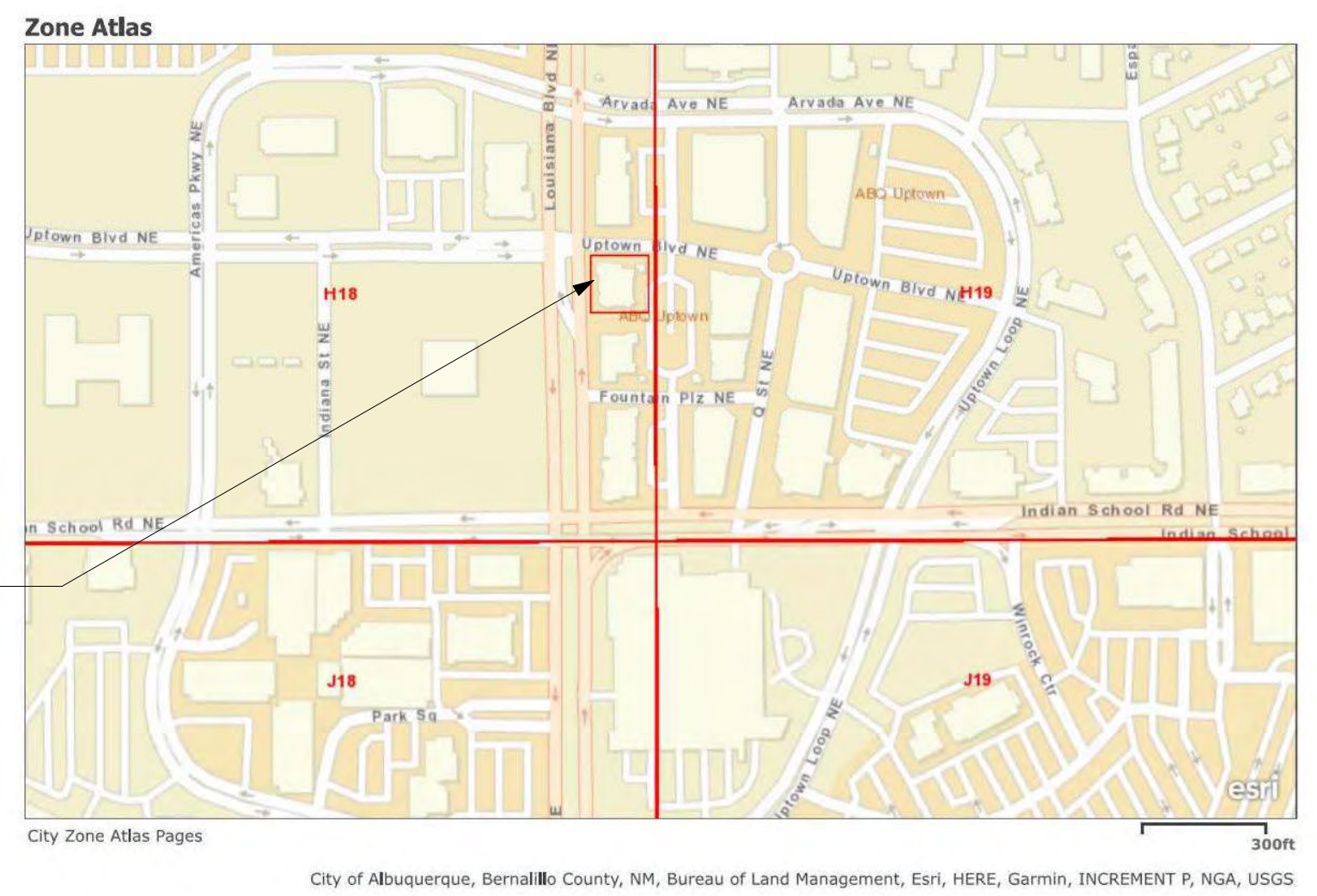
ENLARGED PROPOSED FLOOR PLAN



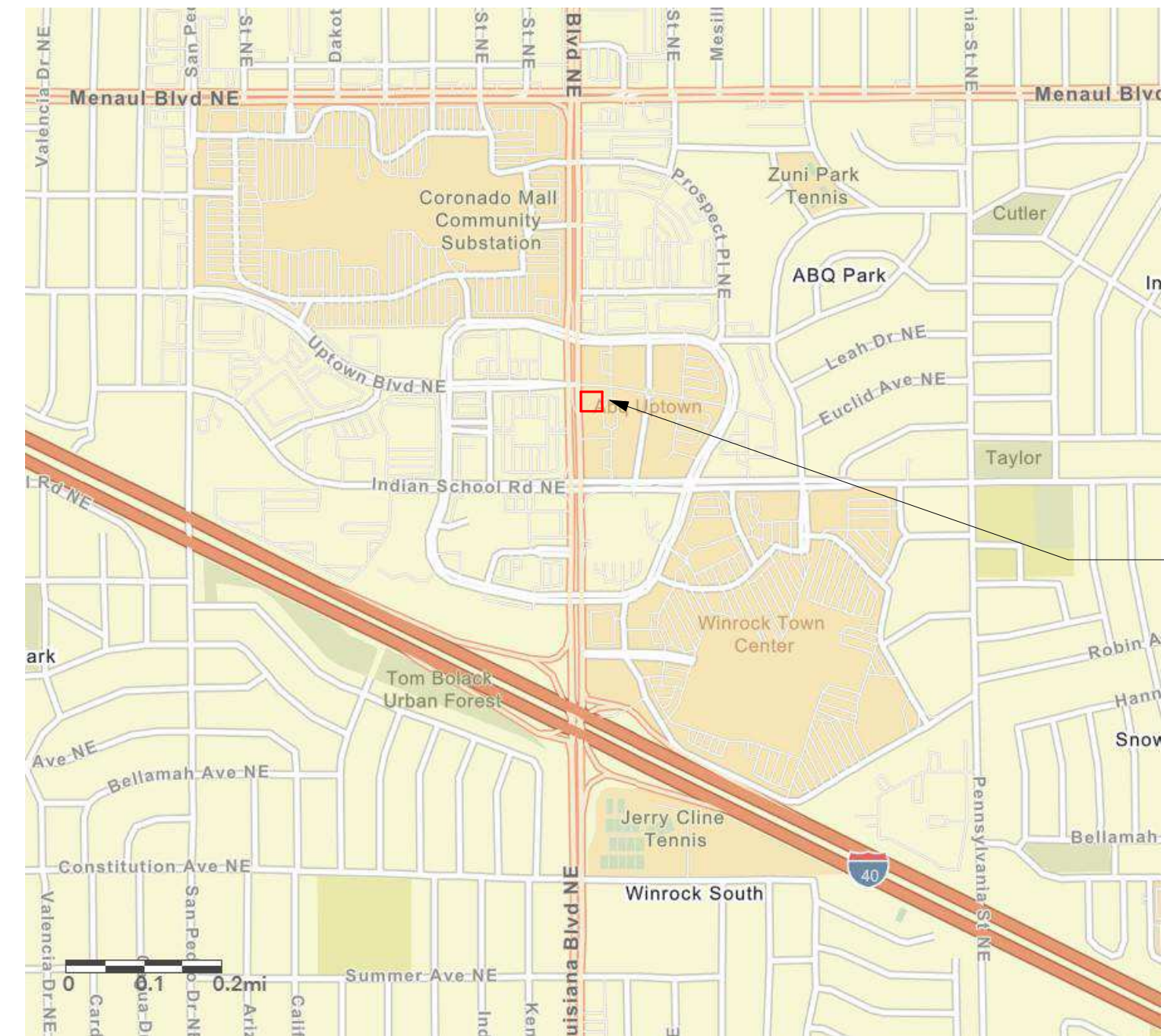
ENLARGED EXISTING SITE PLAN

KONA GRILL

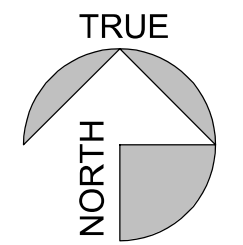
ZONE GRID: H18
DISTRICT: MX-H



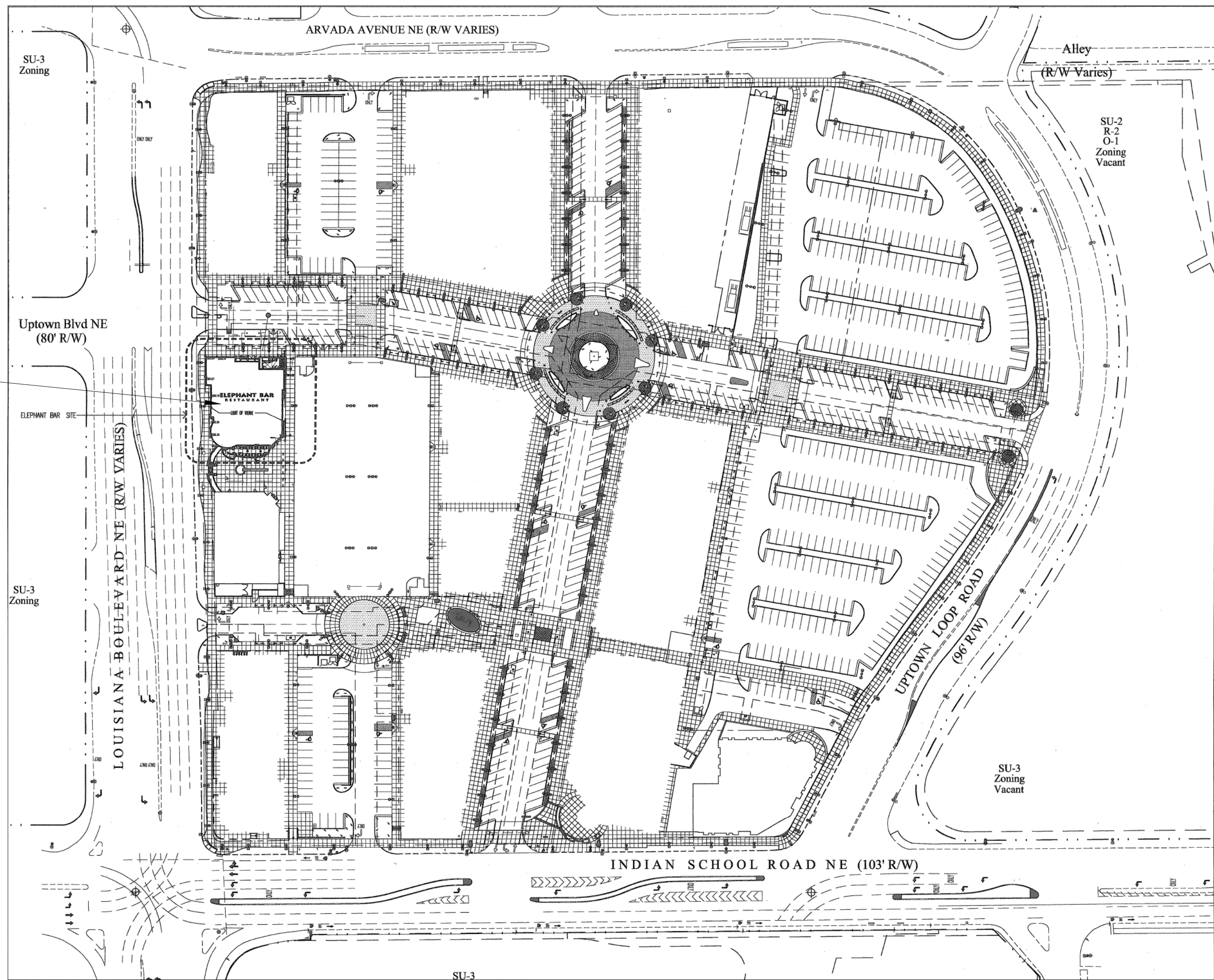
ZONE ATLAS MAP



VICINITY MAP

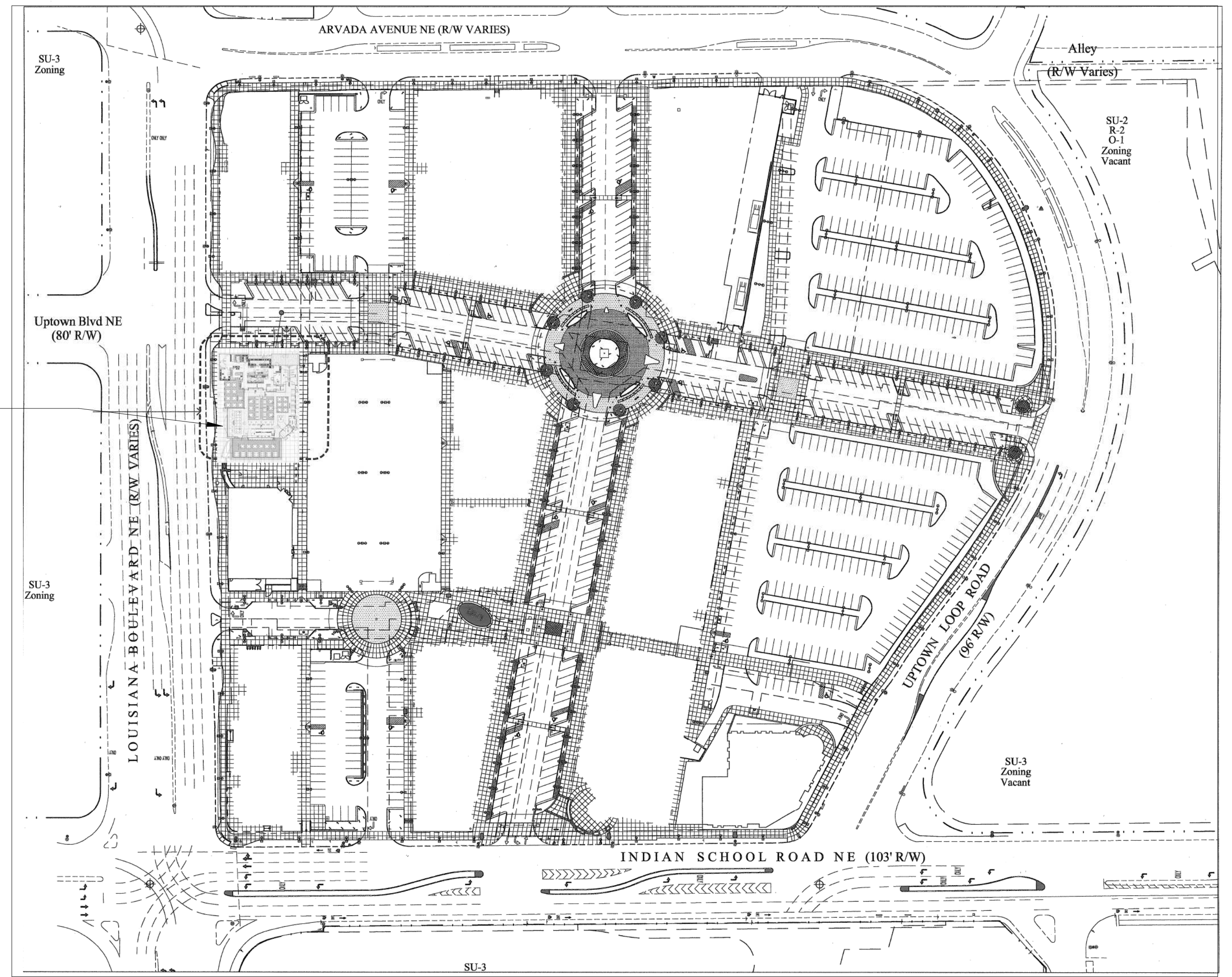


NOT FOR CONSTRUCTION



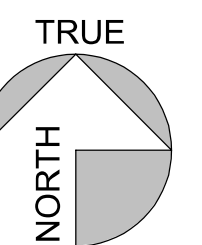
EXISTING SITE PLAN

OVERALL SITE PLAN
SCALE: 1" = 100' - 0"



PROPOSED SITE PLAN

OVERALL SITE PLAN
SCALE: 1" = 100' - 0"



Design

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www.idaexperience.com

Architect

GEOFFREY B. LIM
AIA, NCARB, LEED AP
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New Ridge
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ALBUQUERQUE, NM 87110

Issue For:

ISSUED FOR PERMIT

Issue Date:

01/26/2024

Revisions:

NO.	REASON	DATE
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Principal in Charge:

Ex:

Project Manager:

Drawn By:

Project

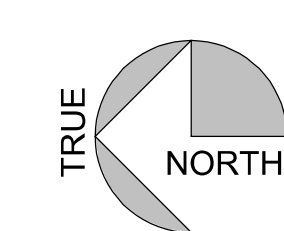
185-206-22

Sheet

OVERALL SITE PLAN

Sheet

G2.3



1

NOT FOR CONSTRUCTION

XXXX-#		MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MANUFACTURER CONTACT	MODEL / PRODUCT DESIGNATION	PRODUCT URL	FLAME SPREAD CLASSIFICATION	ESTIMATED LEAD TIMES	PRODUCT COMMENTS	
EXTERIOR									
CS-2	WALL TILE - BLUE - EXTERIOR	EMSER	Juan Camarillo - juancamarillo@emser.com	PASSION - AZUL / 3"x 8" STAGGERED PATTERN (RANDOM)				GROUT MAPEL 10 BLACK	
EFT-1	STAIN CONCRETE FLOOR	SCOPFIELD		EXTERIOR STAIN, C-34 DARK GRAY, LIGHT BROOM FINISH					
ES-1	EXTERIOR TILE	PRODIGY	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	PROCELAIN TILE 24" X 24" - PASCAL - MATTE FINISH					
PT-9	GRAY PAINT - EXTERIOR	DUNN EDWARDS		DE786 MINERS DUST					
PT-10	WHITE PAINT - EXTERIOR	DUNN EDWARDS		DE6368 BANK VAULT					
PT-11	GRAY PAINT - EXTERIOR	SHERWIN WILLIAMS		SW7069 IRON ORE		CLASS A			
PT-12	ORANGE PAINT - EXTERIOR	SHERWIN WILLIAMS		SW6885 KNOCKOUT ORANGE					
CEILING TILE									
CT-1	USG VINYL LAY-IN CEILING TILE (WASHABLE)	USG INTERIOR INC.		CLIMAPLUS VINYL #3270, 24x48 FLAT WHITE EXPOSED TEE SUSPENSION SYSTEM DOWN DXLA 15/16"					
FLOORING									
CP-1	CARPET TILE	J & J FLOORING		STRIA MODULAR (STYLE 7585) / 2751 CABLE / 12" X 48"					
EF-1	ECOGRIP SLIP RESISTANT EPOXY FLOORING	ECO-GRIP	KRC Key Resin Company	Key MMA SUT		CLASS 1	2 WEEKS	NON ABRASIVE UNDER KITCHEN EQUIPMENT/ ABRASIVE THROUGHOUT KITCHEN WALK-WAY	
FT-1	FLOOR TILE - FIELD	DALTILE	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	CHORD - CONCRETE LOOK / POWER GREY RV90 / 12" X 24" - 45 DEG				GROUT MAPEL 47 CHARCOAL	
FT-6	FLOOR TILE - FIELD - ENTRY	DALTILE	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	SOCIETY - DISTRICT SLATE SO49 - MATTE 12" X 24"				GROUT MAPEL 47 CHARCOAL	
FURNITURE									
TX-1	FABRIC FOR BOOTH BACK	KNOLL TEXTILES	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	RIVINGTON - K10802 SAPPHIRE			4-6 WEEKS IF NOT IN STOCK	BOOTH BACK FABRIC	
TX-2	VINYL SEAT COVERING	KRAVET	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	PASSER-6 - COLOR - BUCK			4-6 WEEKS IF NOT IN STOCK	BOOTH SEAT & LOUNGE SEAT	
TX-4	VINYL SEAT COVERING	KRAVET		SOL-12 PUMPKIN				BARSTOOL	
PAINT									
PT-1	WHITE WASH GREY PAINT	DUNN EDWARDS		FOGGY DAY DE6226 / LRV 71 / SATIN					
PT-2	GREY PAINT	DUNN EDWARDS		SILVER BULLET DE6381/ LRV 44 / SATIN					
PT-3	DARK BLUE PAINT	DUNN EDWARDS		TRIED & TRUE BLUE DET582 / LRV 8 / SATIN					
PT-4	GREY PAINT	DUNN EDWARDS		GRAY WOLF DE6354/ LRV 33 / SATIN					
PT-5	GREY PAINT	DUNN EDWARDS		WHARF VIEW DEC799/ LRV 16 / SATIN					
PT-6	ARCHITECTURAL BRONZE	DUNN EDWARDS	Annie Konie - anniekonie@wolfgordon.com	SOLID METAL PAINT ME238 BLACKENED BRONZE					
PT-7	BLACK PAINT	DUNN EDWARDS		BLACK DEA002 / SATIN				RAILING, TRIM, DOOR & WINDOW FRAME	
SPECIALTIES									
EA-2	EXTRUDED ALUMINUM	RULON INTERNATIONAL	A.J. VIOLA (904) 788 9439.AVIOLA@RULONCO.COM	BAFFLES SYSTEM 1 1/2" X 6" SPACED 12" OC FINISH TO MATCH ENDURE	https://rulonco.com/products/endure-linear/			INTERIOR CEILING SLAT ABOVE BAR, BOOTH, DINING 2, PRIVATE DINING ROOM	
FRP-1	FIBER REINFORCED PLASTIC	MARLITE OR EQ	LOCAL RESOURCE	P 199 / PEBBLED BRIGHT WHITE	http://www.marlite.com/designer-wall-systems-standar-6-frp.aspx	CLASS A	READILY AVAILABLE	FRP PANELING ADHEARED TO WALL PROVIDE ALL REQUIRED EDGE AND SEAM MOLDINGS AS REQUIRED FOR COMPLETE INSTALLATION	
FRP-2	FIBER REINFORCED PLASTIC	MARLITE OR EQ	LOCAL RESOURCE	S 807 / SMOOTH BLACK	http://www.marlite.com/designer-wall-systems-standar-6-frp.aspx	CLASS A	READILY AVAILABLE	FRP PANELING ADHEARED TO WALL PROVIDE ALL REQUIRED EDGE AND SEAM MOLDINGS AS REQUIRED FOR COMPLETE INSTALLATION	
MB-1	STONE COUNTERTOP	LAPITEC	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	ESSENZA, COLOR: BIANCO CREMA, FINISH: SATIN					
MB-2	MARBLE COUNTERTOP	SILESTONE	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	ETERNAL - CHARCOAL SOAPSTONE - POLISHED					
MB-3	CORIAN SOLID SURFACE TABLE TOP - EXTERIOR	LAPITEC	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	ESSENZA, COLOR: BIANCO CREMA, FINISH: SATIN				OWNER PROVIDED	
WALL BASE									
B-1	MAPLE WOOD BASE BOARD	LOCAL RESOURCE BY GC	LOCAL RESOURCE	1/2" x 4" CLEAR FLAT CUT MAPLE / BOOK STAINED TO MATCH MINWAX WOOD SHED MW 445	---	CLASS 2		FINISH TO MATCH MILLWORK	
WALL TILE									
CS-1	WALL TILE - BLUE	EMSER	Juan Camarillo - juancamarillo@emser.com	RAKU BLUE / 3"x12" / 20% MATTE / 80% GLOSSY / STAGGERED PATTERN (RANDOM)				GROUT MAPEL 10 BLACK	
WT-1	WALL TILE - BAR	TILE ESTATE	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	NEUTRALS BLUE 3" X 12" SUBWAY TILE, INSTALL AS HERRINGBONE PATTERN	https://tileestate.com/collections/subway-handmade/products/neutral-blue-3x12-subway-tile			GROUT MAPEL 32 AVALANCHE	
WT-2	WALL TILE	ROCA TILE	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	BLOCK GRIS / 2" X 10" / 30% BRIGHT / 70% MATTE				GROUT MAPEL 02 PEWTER	
WT-3	WALL TILE - BEHIND WINE DISPLAY	TILE ESTATE	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	NEUTRALS BLUE 3" X 12" SUBWAY TILE, INSTALL AS HERRINGBONE PATTERN	https://tileestate.com/collections/subway-handmade/products/neutral-blue-3x12-subway-tile			GROUT MAPEL 32 AVALANCHE	
WT-4	WALL TILE - DJ BOOTH & HOST	BEDROSJANS	LAM & ASSOCIATES - LORI@LAMASSOCIATES.ORG 626-715-2889	GLSIMPRI2510 MIRRORED ANTIQUE TILE SIZE: 2 x 10				GROUT MAPEL 10 BLACK	
WOOD									
WD-1	HORIZONTAL WOOD PANELS - DECOR	BY MILLWORKER	A.J. VIOLA (904) 788 9439.AVIOLA@RULONCO.COM	0.5" SOLID WOOD PLANKS - VARY IN WIDTH (1.5", 3.5" to 6.5") (WHITE OAK) STAINED TO MATCH MINWAX WOOD SHED MW 445 WOOD PANEL WALLS HAVE .75 SOLID WOOD TOP CAP AND SIDE CAP THAT EXTENDS PAST WALL FINISH .75 AND MITRE AT ALL CORNERS		CLASS A			
WD-2	WOOD	BY MILLWORKER		0.5" SOLID WOOD PLANKS - VARY IN WIDTH (1.5", 3.5" to 6.5") (WHITE OAK) STAINED TO MATCH MINWAX WOOD SHED MW 445, WOOD PANEL WALLS HAVE .75 SOLID WOOD TOP CAP AND SIDE CAP THAT EXTENDS PAST WALL FINISH .75 AND MITRE AT ALL CORNERS		CLASS A			
WD-3	DOORS / DOOR CASING / GENERAL TRIM	LOCAL RESOURCE BY GC	LOCAL RESOURCE	CLEAR FLAT CUT MAPLE / BOOK MATCH A-1, SATIN FINISH	---			FINISH TO MATCH MILLWORK	
WD-4	VERTICAL WOOD PANELS - DECOR	BY MILLWORKER		0.5" SOLID WOOD PLANKS VERTICAL - VARY IN WIDTH (1.5", 3.5" to 6.5") (Oak or Ash) STAINED TO MATCH MINWAX WOOD SHED MW 445, ALL WOOD PANEL WALLS HAVE .75 SOLID WOOD TOP CAP AND SIDE CAP THAT EXTENDS PAST WALL FINISH .75 AND MITRE AT ALL CORNERS					



WT-1, WT-3
WALL TILE
COLOR: NEUTRALS BLUE



WT-2
WALL TILE
COLOR: BLOCK GRIS



CS-1
WALL TILE
COLOR: RAKU BLUE



MB-2
STONE COUNTERTOP
COLOR: CHARCOAL SOAPSTONE
STYLE: ETERNAL



MB-1, MB-3
STONE COUNTERTOP
COLOR: BIANCO CREMA,
STYLE: ESSENZA



EA-2
CEILING BAFFLES
COLOR: REDDISH BROWN 407
STYLE: BAFFLES SYSTEM 6"



WD-1-4
MILLWORK WOOD
COLOR: STAINED TO MATCH MINWAX WOOD
SHED MW-445



FT-6
FLOOR TILE
COLOR: DISTRICT SLATE
STYLE: SOCIETY



FT-1
FLOOR TILE
COLOR: CONCRETE LOOK
STYLE: CHORD



CP-1
CAPTET
COLOR: CABLE
STYLE: STRIA MODULAR



PT-7
PAINT
COLOR: BLACK



PT-6
PAINT
COLOR: METAL BROZE



PT-5
PAINT
COLOR: WHARF VIEW



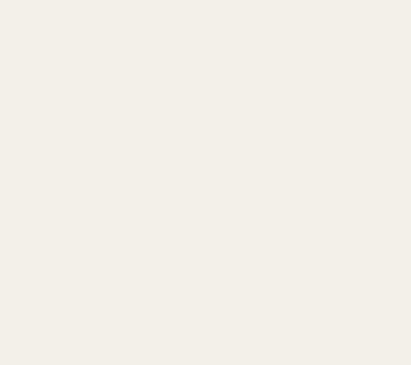
PT-4
PAINT
COLOR: GRAY WOLF



PT-3
PAINT
COLOR: TRIED & TRUE BLUE



PT-2
PAINT
COLOR: SILVER BULLET



PT-1
PAINT
COLOR: FOGGY DAY



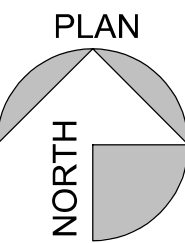
TX-4
VINYL SEAT
COLOR: PUMPKIN
STYLE: SOL-12



TX-2
VINYL SEAT
COLOR: BUCK
STYLE: PASSER-6



TX-1
VINYL BACK
COLOR: SAPPHIRE
STYLE: RIVINGTON



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Geoffrey B. Lim

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Sheet

MATERIALS KEY AND SCHEDULES

Sheet

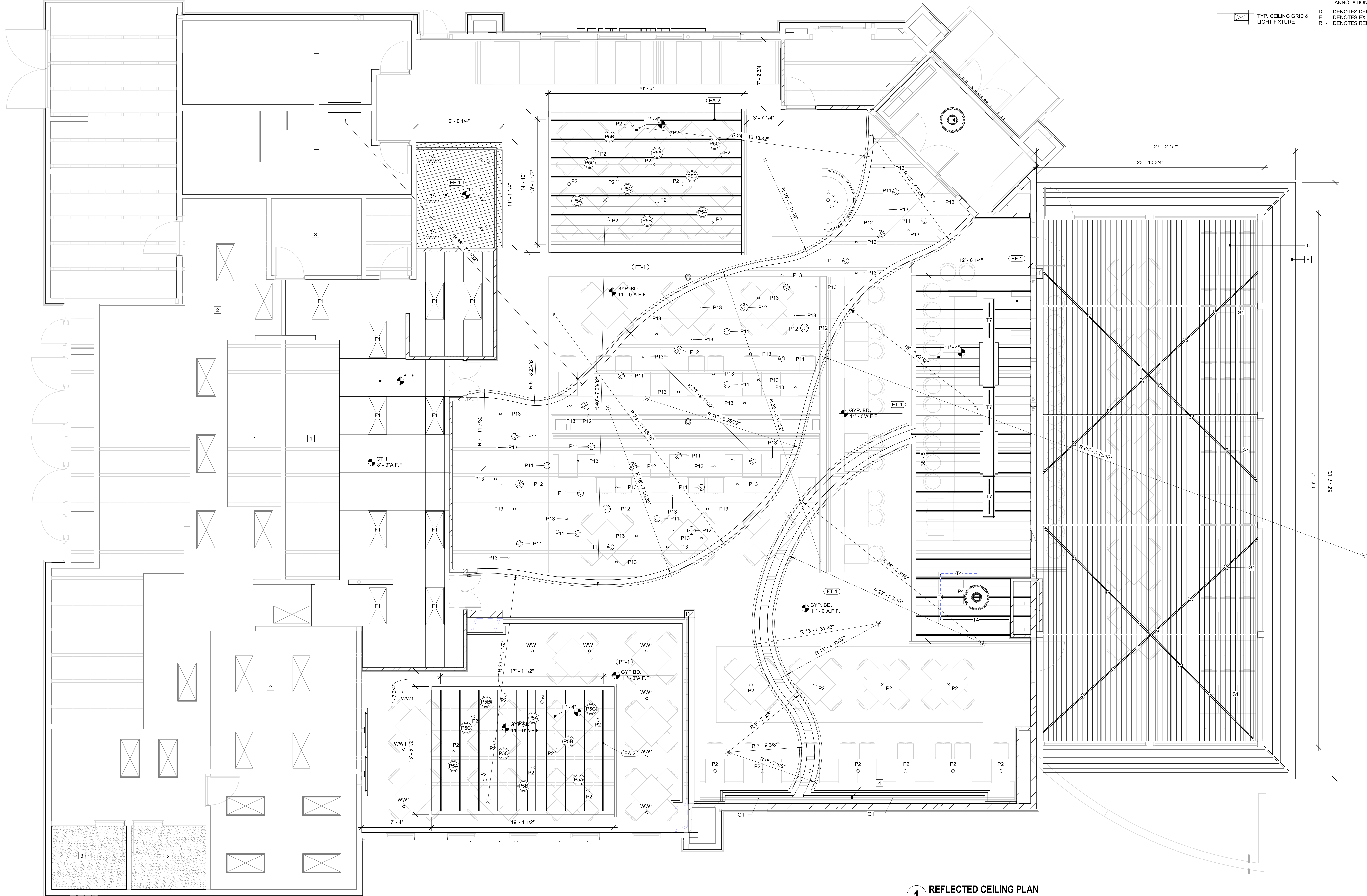
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LIGHT FIXTURE SCHEDULE						
MARK	COUNT	MANUFACTURER	MODEL	DESCRIPTION	LAMP	WATTS
F1	10	LSI SFP24-LED-30-UE-QIMM-40	131A-332-MV-EM	2x4 LED FLAT PANEL UNIT - 4000K LED FLAT PANEL UNIT	LED4000K	55
G1	2	ECOSENSE LIGHTING L-50-I-08-06-30-80-MULT-9x4-LV-L50-SY-1/24 8	LED 10W - RGB Linear, CS20 Profile Aluminium	LINEAR WALL GRAZER - W/ SYMMETRIC LOUVER (WALL GRAPHICS)	LED/RGB	12 W / FT
P2	41	BOCCI BOCCI-BL	BBCL	BOCCI BALL 14.1 PENDANT BLACK CORD W/ G9 LED 3000K	LED/3000K	1.5
P4	2	MAXIM LIGHTING 27535 WHITE		HORGAN PENDANT UDDO FINISH W/ 10W LED 2700K LAMP	LED/2700K	10
P5A	6	PROVIDENCE ART GLASS		METRO PENDANT - AQUA GLASS - SATIN BLACK HARDWARE EBONY CORD W/ LED DIMMABLE BULB	LED/3000K	7
P5B	6	PROVIDENCE ART GLASS		METRO PENDANT - GRAY GLASS - SATIN BLACK HARDWARE EBONY CORD W/ LED DIMMABLE BULB	LED/3000K	7
P5C	6	PROVIDENCE ART GLASS		METRO PENDANT - TEAL GLASS - SATIN BLACK HARDWARE EBONY CORD W/ LED DIMMABLE BULB	LED/3000K	7
P11	19	INSIGHT LIGHTING		RGBS BALL PENDANT - 3 Balls	LED	1.5
P12	9	INSIGHT LIGHTING		RGBS BALL PENDANT - 5 Balls	LED	1.5
P13	40	INSIGHT LIGHTING		RGBS BALL PENDANT 6"	LED	1.5
S1	21	BRUCK		CABLE SYSTEM WALL MOUNTED w/ 25 DEGREE ADJUSTABLE SPOT	1	15.00
T3	1	NOVA FLEX LED NF-ORGB-Q-TBD-24V	ML-39	DIGITAL RGB LED BAR FRONTS	LED/3000K	3
T4	3	NOVA FLEX LED NF-DS-Q-160-24-3000K-NF-CH4550-TBD	ML-39	DIGITAL RGB LED DJ Booth Wall		
T6	2	NOVA FLEX LED NF-DS-Q-160-24-3000K	ML-39	DIGITAL RGB LED RESTROOM MIRRORS	LED/3000K	3
T7	3	NOVA FLEX LED NF-DS-Q-160-24-3000K-NF-CH4550-TBD	ML-39	DIGITAL RGB LED "BAR SHELVES - PER SHELF"	LED/3000K	3
WW1	9	SOLAIS ST2RA-WW/1/BWT/PW/NFL/8/30/1400/ES1		3" RECESSED ADJUSTABLE WALL WASHER TRIMLESS - WHITE FINISH	LED/3000K	25.2
WW2	3	SOLAIS ST2RA-WW/2/BW/BR/NFL/8/30/1400/ES1		3" RECESSED ADJUSTABLE WALL WASHER WITH FLANGE FOR MILLWORK CEILING - BROWN FINISH	LED/3000K	25.2

CEILING PLAN KEY NOTES	
Keynote Number	Key Note Text
1	NEW HOOD. GC TO NOTCH 6" AROUND FACE OF HOOD FOR ACCESS TO HOODS / ANSEL SYSTEM. SEE KITCHEN DRAWINGS FOR HOOD FINISHED HEIGHT. FIELD VERIFY THESE IS SUFFICIENT CLEARANCE AND NO OBSTRUCTIONS ABOVE THE CEILING THAT WOULD INTERFERE WITH HOOD AND DUCT INSTALLATION
2	EXISTING ACT CEILING TO REMAIN
3	EXISTING GYP. BD CEILING TO REMAIN
4	NEW MILLWORK SLATS WALL WITH RECESSED STRIP LIGHTS ABOVE, SEE CEILING PLAN & INTERIOR ELEVATION FOR DETAILS
5	NEW PATIO CANOPY STRUCTURE LOUVERS AND WINDOWS SYSTEM. SEE STRUCTURAL FOR DETAILS
6	NEW PATIO CANOPY DECORATIVE FEATURE. SEE STRUCTURAL FOR SUPPORT DETAILS

REFLECTED CEILING PLAN GENERAL NOTES	
1.	ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD UNLESS OTHERWISE INDICATED.
2.	ALL CEILING HEIGHT INDICATED ARE TO BE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE.
3.	LOCATE ALL TRACK & RECESSED FIXTURES @ CENTERLINE OF TILE UNLESS OTHERWISE INDICATED.
4.	LIGHTING @ ALL FOOD PREP AREAS & KITCHEN HAS BEEN DESIGNED TO PROVIDE 50 fc @ WORK LEVEL. LIGHTING IN ALL OTHER AREAS HAS BEEN DESIGNED TO PROVIDE AT LEAST 10fc @ 30" A.F.F.. ALL EXPOSED LAMPS IN FOOD PREP AREAS ARE TO BE ENCAPSULATED COATED PAR LAMPS.
5.	CONTRACTOR TO PROVIDE LAMPS INDICATED FOR ALL O.F.C.I. FIXTURES.
6.	VERIFY LIGHT FIXTURES WITH ELECTRICAL DRAWINGS
7.	ALL SURFACE MOUNTED EMERGENCY FIXTURES PAINT TO MATCH ADJACENT WALL FINISHES.
8.	ALL A/C GRILLS, ETC. PAINT TO MATCH ADJACENT CEILING FINISHES.
9.	CONCEALED SPRINKLER HEADS IN FRONT OF HOUSE DRY WALL CEILINGS TO BE FACTORY PAINTED TO MATCH CEILING COLOR.

RCP LEGEND	
	CEILING MOUNTED BAR SPOT LIGHT
	2X4 LED FIXTURE
	2X2 LED FIXTURE
	CEILING MOUNTED LED DROP PENDANT BALL
	CEILING MOUNTED BASKET PENDANT FIXTURE
	CEILING MOUNTED COLORED GLASS PENDANT FIXTURE
	ROUND DOWNLIGHT
	CEILING MOUNTED LED BUBBLE BALL PENDANT LIGHT
	LINEAR LIGHT
ANNOTATIONS	
	TYP. CEILING GRID & LIGHT FIXTURE
	D - DENOTES DEMOLITION
	E - DENOTES EXISTING TO REMAIN
	R - DENOTES RELOCATED



1 REFLECTED CEILING PLAN
1/4" = 1'-0"

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GEOFFREY B. LIM
NO. 006085
REGISTERED ARCHITECT

Project Owner:

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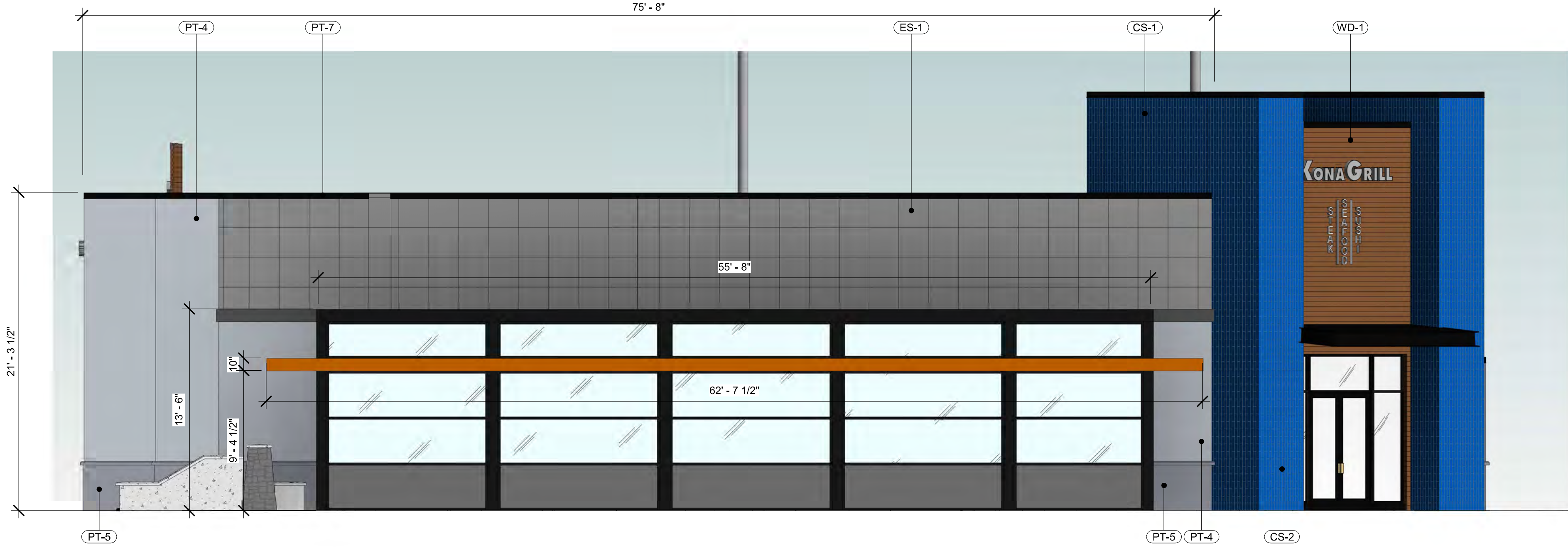
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REFLECTED CEILING PLAN

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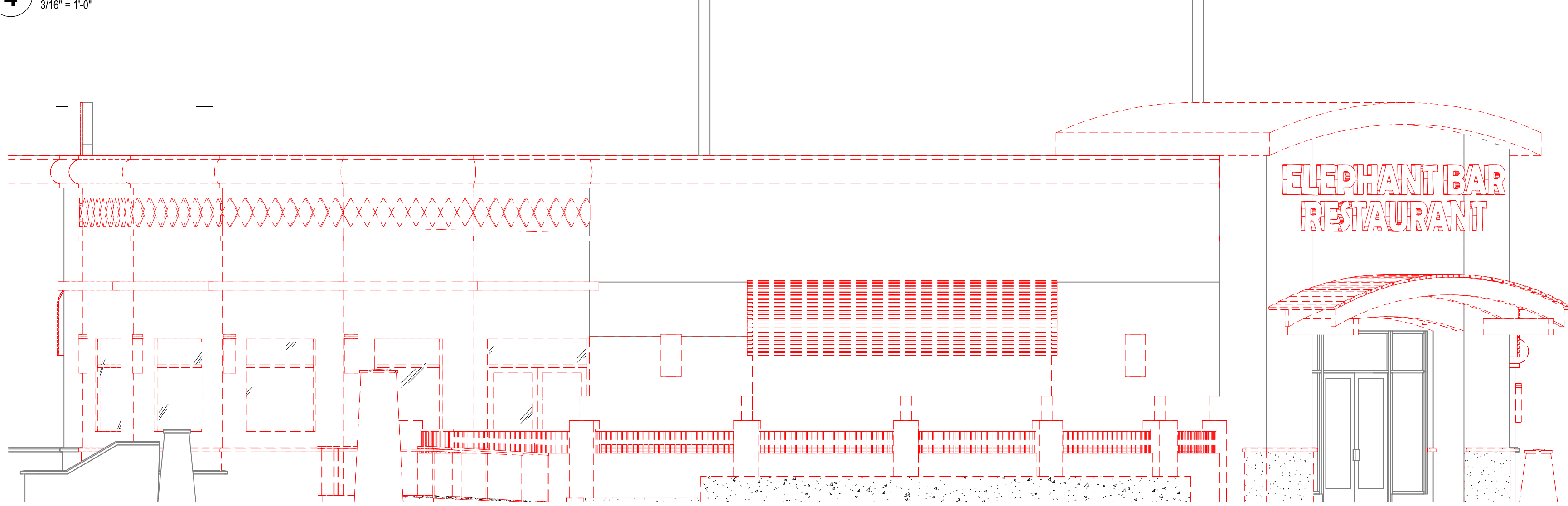
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OVERALL VIEWS OF PROPOSED FRONT ENTRY AND PATIO



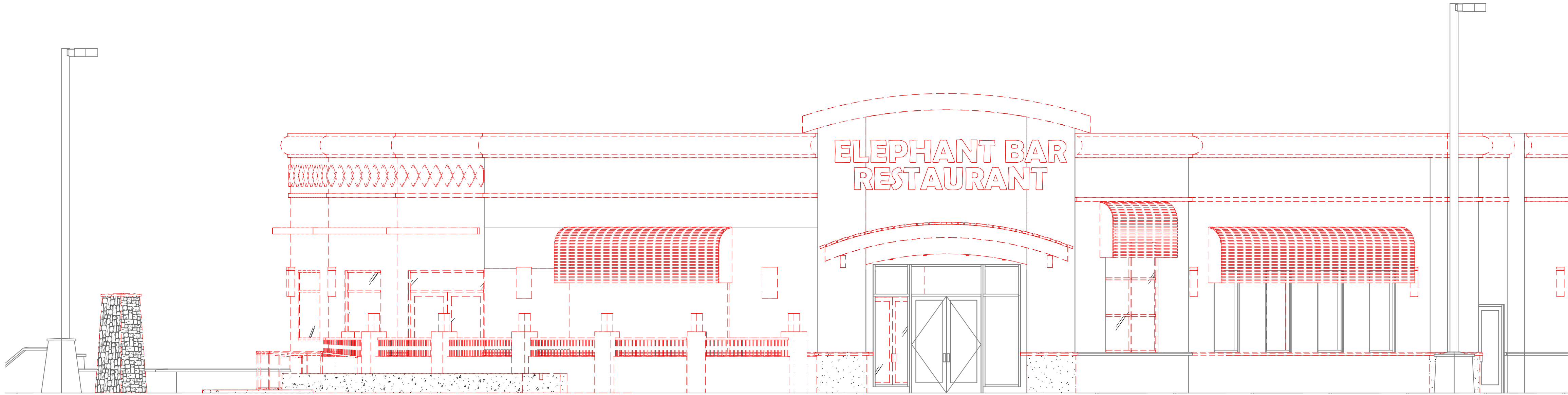
4 ELEVATION B - PATIO ELEVATION - SOUTH
3/16" = 1'-0"



3 ELEVATION B - DEMO PATIO ELEVATION - SOUTH
3/16" = 1'-0"

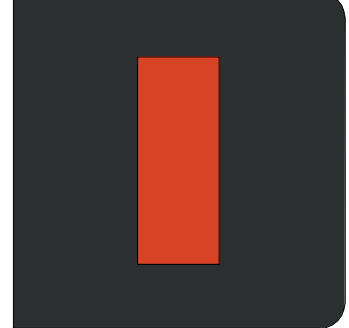


2 ELEVATION A - FRONT ENTRY ELEVATION - SE
3/16" = 1'-0"



1 ELEVATION A - DEMO FRONT ENTRY ELEVATION - SE
3/16" = 1'-0"

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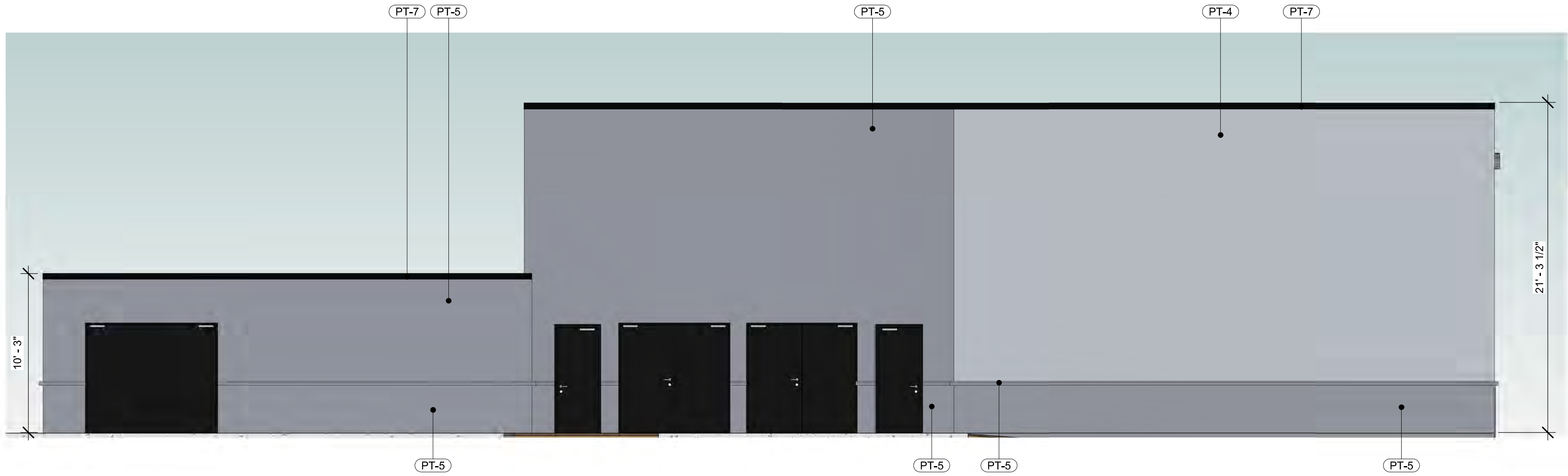
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EXTERIOR ELEVATIONS

Sheet

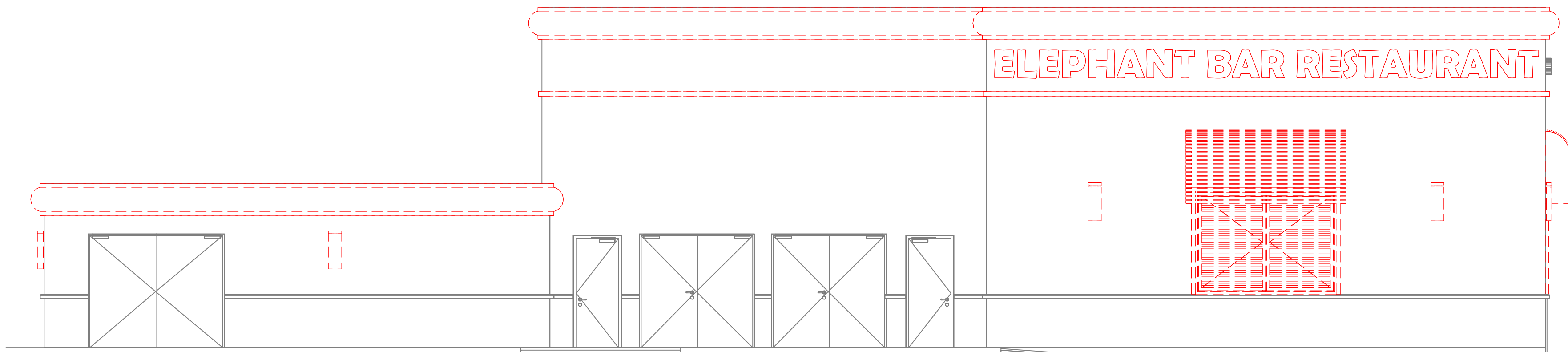
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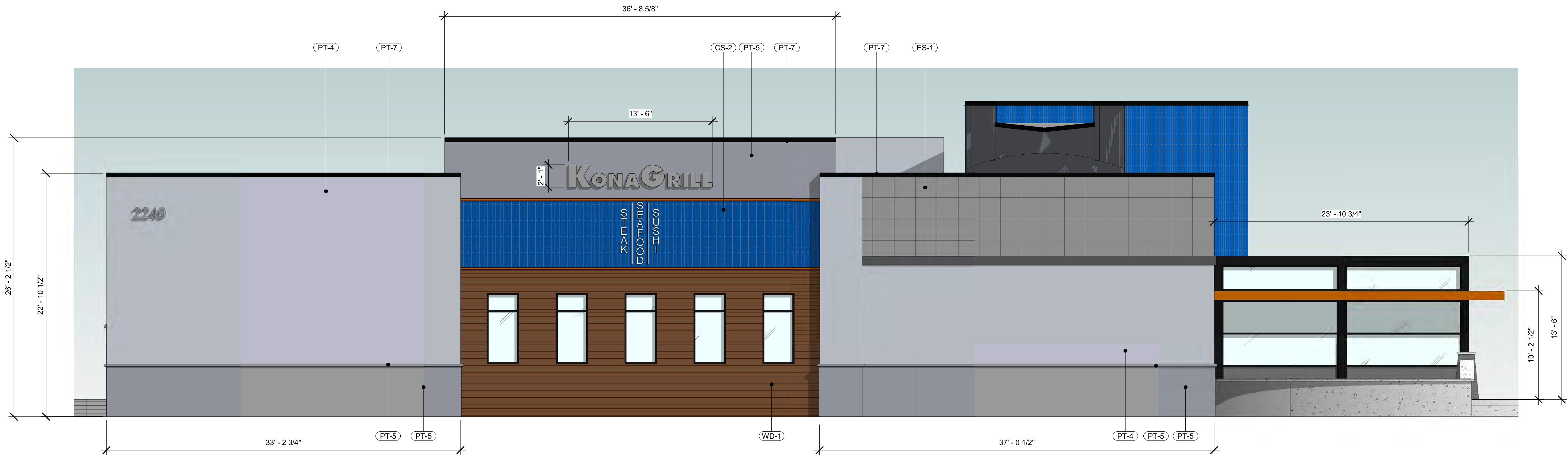
OVERALL VIEW OF PROPOSED PATIO



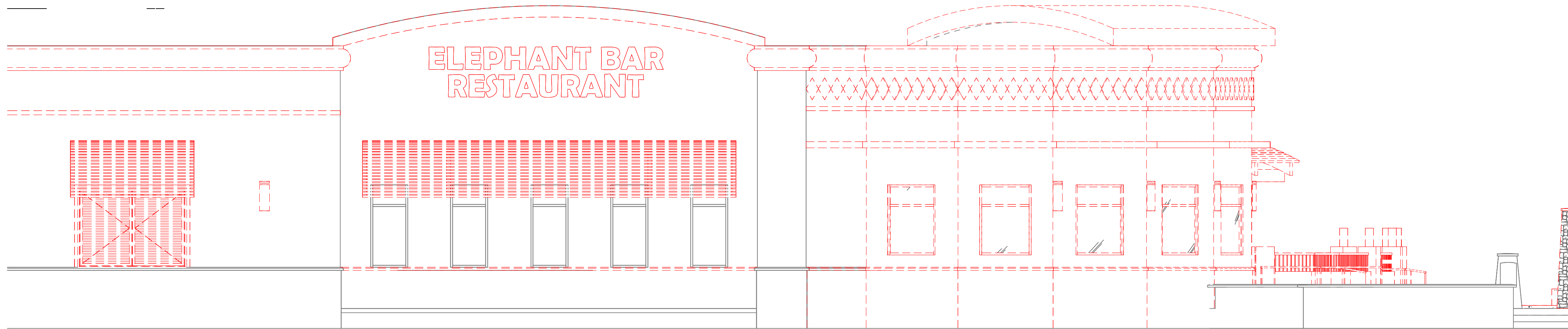
4 ELEVATION D - REAR ELEVATION - NORTH
3/16" = 1'-0"



3 ELEVATION D - DEMO REAR ELEVATION - NORTH
3/16" = 1'-0"

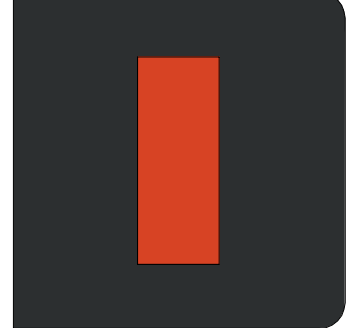


2 ELEVATION C - SIDE ELEVATION - WEST
3/16" = 1'-0"



1 ELEVATION C - DEMO SIDE ELEVATION - WEST
3/16" = 1'-0"

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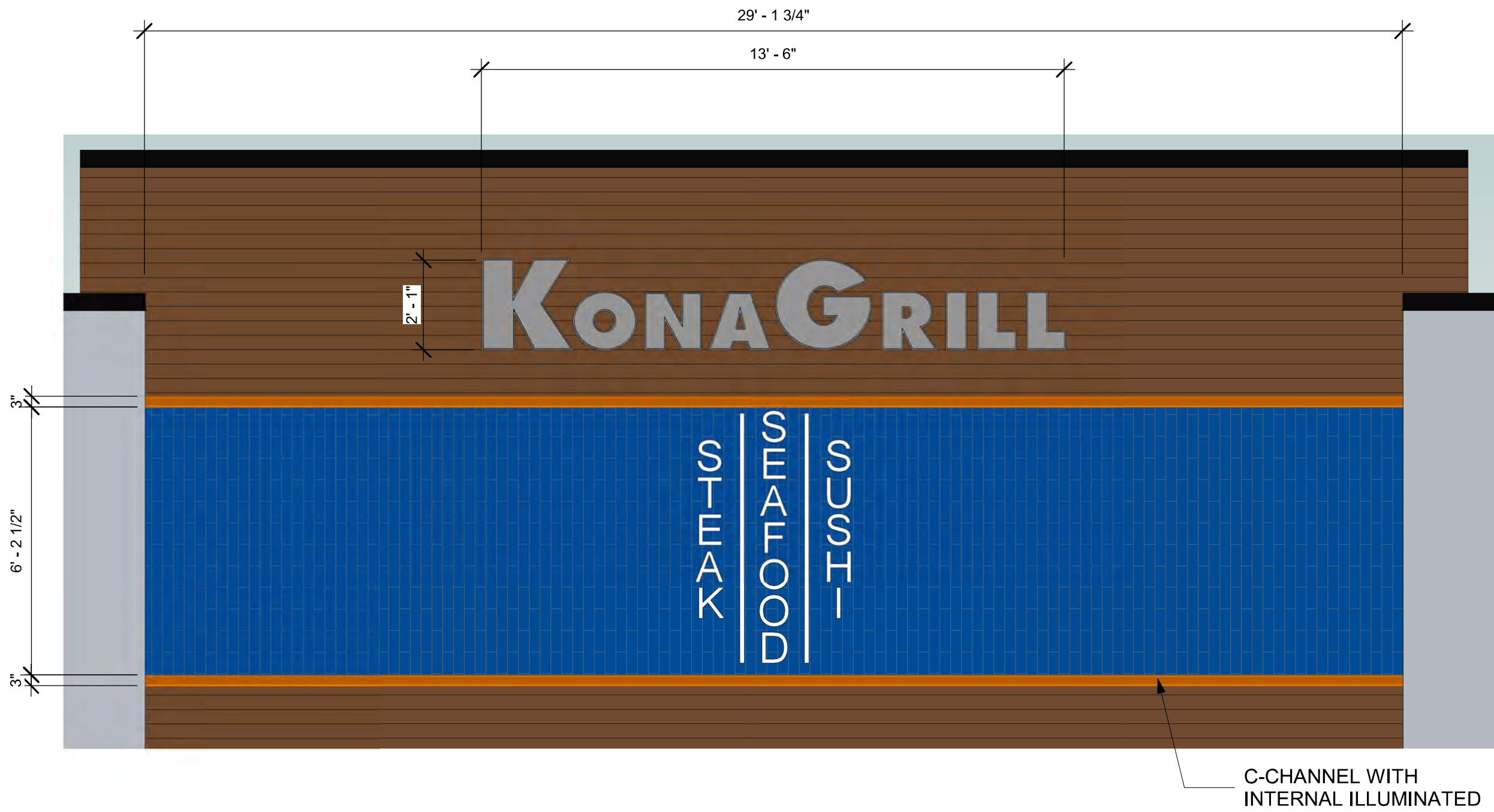
EXTERIOR ELEVATIONS

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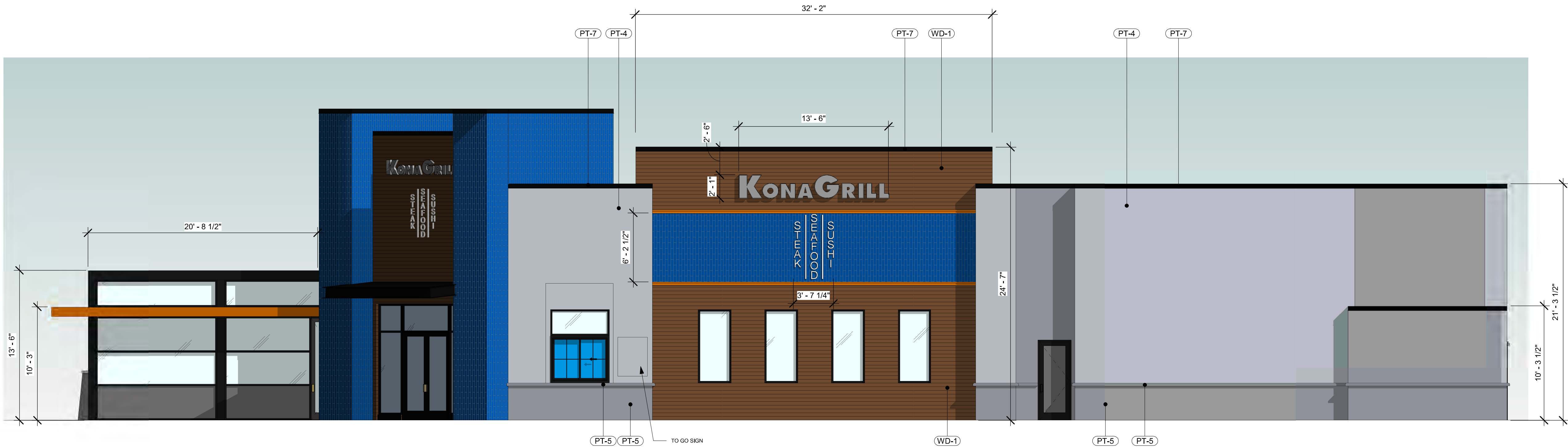
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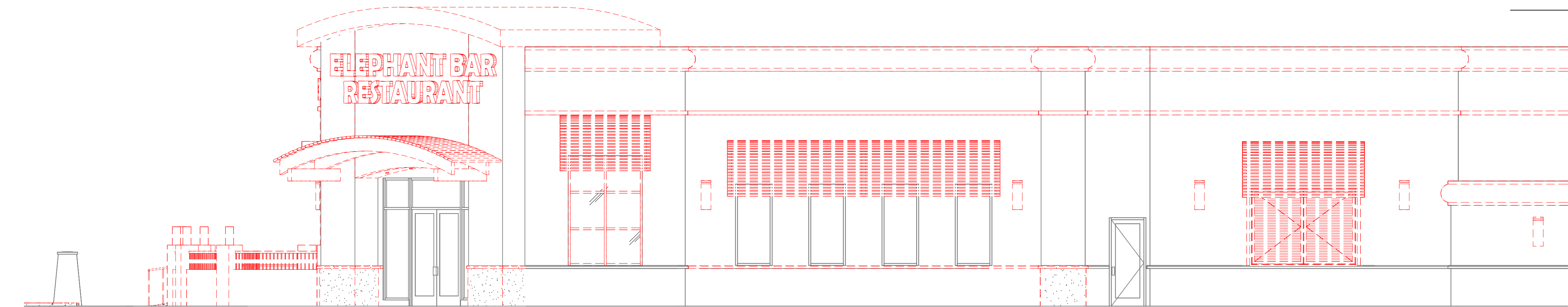
OVERALL VIEW OF EAST ELEVATION - PROPOSED FINISHES



3 ELEVATION SIGN ACCENT BAND - TYP
3/8" = 1'-0"

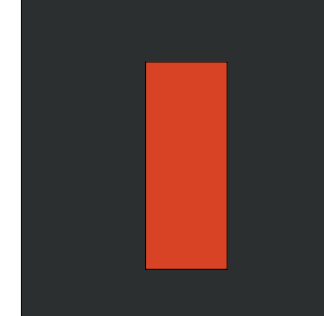


2 ELEVATION E - SIDE ELEVATION - EAST
3/16" = 1'-0"



1 ELEVATION E - DEMO SIDE ELEVATION - EAST
3/16" = 1'-0"

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