

ADMINISTRATIVE AMENDMENT

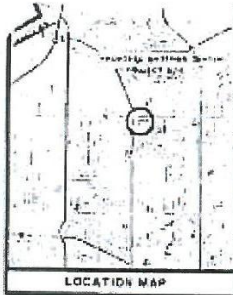
FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

"LOUISIANA PLAZA"

A PROPOSED SHOPPING CENTER
SOUTHEAST CORNER OF LOUISIANA BLVD. AND MONTGOMERY BLVD. N.E.
ALBUQUERQUE, NEW MEXICO



Ground Lease Agreement
(Mossman-Gibbs/Louisiana
Plaza Partners)
JAP 4/11/84

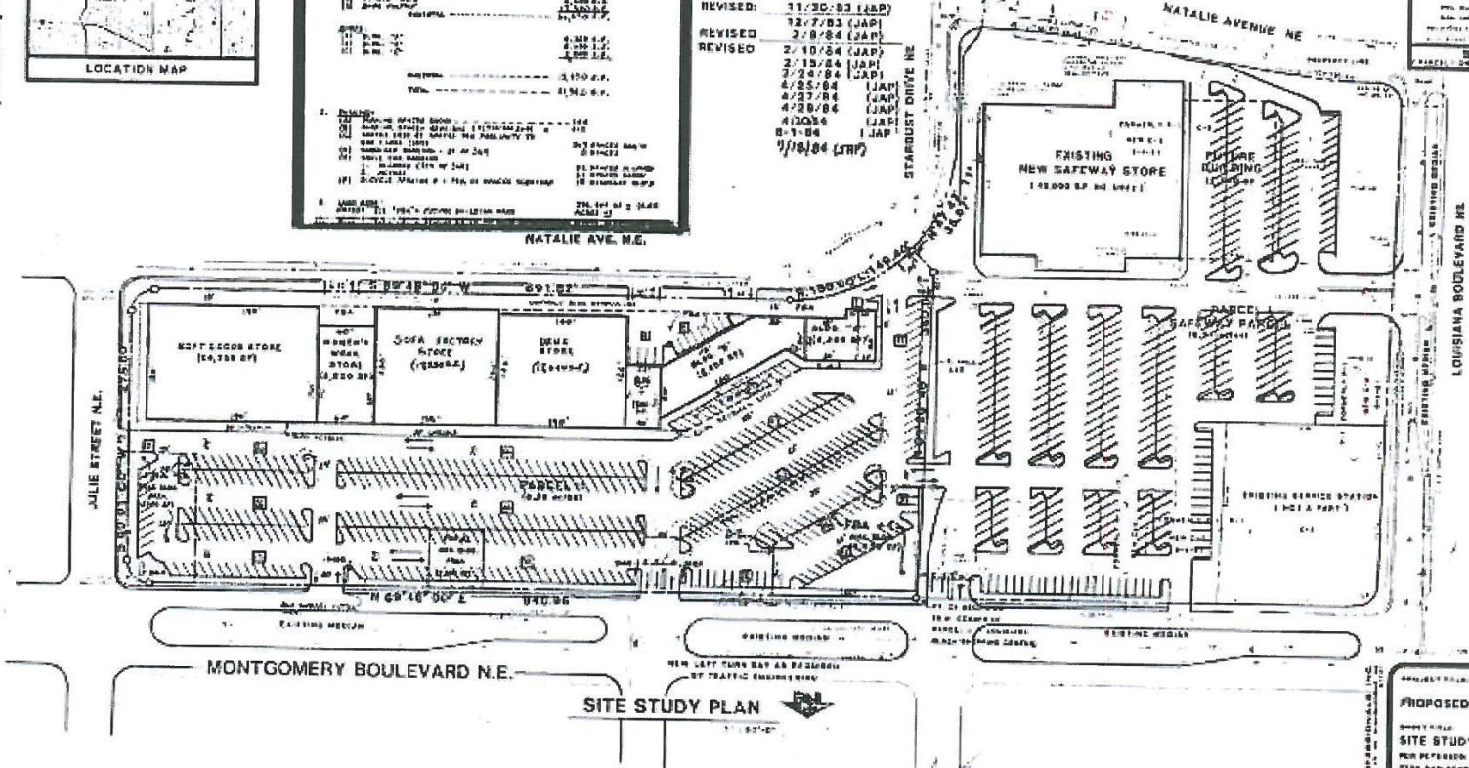
ANALYSIS: LOUISIANA PLAZA SHOPPING CENTER (PARCEL II)

NO.	DESCRIPTION	AREA (S.F.)	DATE
1	EXISTING LOT	10,000	11/30/83 (JAP)
2	EXISTING LOT	10,000	12/7/83 (JAP)
3	EXISTING LOT	10,000	2/8/84 (JAP)
4	EXISTING LOT	10,000	2/10/84 (JAP)
5	EXISTING LOT	10,000	2/19/84 (JAP)
6	EXISTING LOT	10,000	2/24/84 (JAP)
7	EXISTING LOT	10,000	4/25/84 (JAP)
8	EXISTING LOT	10,000	4/27/84 (JAP)
9	EXISTING LOT	10,000	4/28/84 (JAP)
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DATE: OCTOBER 10, 1983
REVISED: 11/30/83 (JAP)
REVISED: 12/7/83 (JAP)
REVISED: 2/8/84 (JAP)
REVISED: 2/10/84 (JAP)
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ENTRIT up
TO
LEASE AGREEMENT

SITE STUDY PLAN

PROJECT NAME: PROPOSED SHOPPING CENTER

CLIENT: SITE STUDY

FOR: PETROBRAS PROPERTIES

2000 SAN PEDRO NE

ALBUQUERQUE, NEW MEXICO 87110

1131 554-1575

di

ARCHITECTS - PLANNERS

CITY OF ALBUQUERQUE



LOUISIANA PLAZA
SUITE E2 SHELL IMPROVEMENT 08
7200 MONTGOMERY BLVD NE
ALBUQUERQUE, NEW MEXICO

ADDRESS
7200 MONTGOMERY BLVD, NE
SUITE E2
ALBUQUERQUE, NM
87110

LEGAL DESCRIPTION
LOT 11
STARDUST SKIES ADDITION
ALBUQUERQUE, NEW MEXICO
UPCH: 1015060000051510203 0-15-2

CODE ANALYSIS	
APPLICABLE CODES	
2020 INTERNATIONAL EXISTING BUILDING CODE	
2020 NEW MEXICO BUILDING CODE (TITLE 14)	
2019 ICC	
2011 ICC A111	
ALTERATION LEVEL 3	
OCCUPANCY: A-2	
CONSTRUCTION TYPE: V-B SPRINKLED	
OCCUPANT LOAD TABLE (1004.12) 15,360 SF	
KITCHEN: 2,533 SF @ 12/60 = 211.08 CL	
SEATING: 1,456 SF @ 11/15 = 132.36 CL	
NEW TOTAL: 343.44	
EGRESS WIDTH (SECTION 1009.3.2)	
WIDTH REQUIRED: 10' 2" @ 24.3	
WIDTH PROVIDED: 6'	
MINIMUM NUMBER OF EXITS (TABLE 1006.3.3)	
NUMBER REQUIRED: 2	
NUMBER PROVIDED: 2	
OCCUPANCY SEPARATION	
ONE HOUR REQUIRED BETWEEN A AND B M.Y. OCCUPANCIES	
WITH SPRINKLERS, ONE HOUR SEPARATION REQUIRED	
MAXIMUM TRAVEL DISTANCES	
DISTANCE BETWEEN EXITS: 113' DIAGONAL (SEC 1009.11) EXC 3)	
DIAGONAL: 113'48" - 4" DIST PROVIDED 118' - 0"	

EXISTING SPRINKLER SYSTEM

1. SHOP DRAWINGS SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL FOR ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, OR AN OTHER FIRE RELATED SYSTEM.

2. THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED WHEN REQUIRED BY THE 2019 INTERNATIONAL FIRE CODE.

TWO 2A100C REQUIRED
EXIT ACCESS TRAVEL DISTANCE (TABLE 1001.2) = 300 FT
MAXIMUM COMMON PATH OF TRAVEL DISTANCE = 75 FT

SCOPE OF WORK

NEW SHELL SPACE WITH NEW STOREFRONT AND ENTRY DOOR

NEW ELECTRICAL AS SHOWN

NEW MECHANICAL AND PLUMBING AS SHOWN

- DRAWING INDEX**
- A1.1 SITE PLAN / CODE ANALYSIS
 - A2.1 ENLARGED SITE PLAN
 - A3.1 REFLECTED CEILING PLAN
 - A11 DOOR/WINDOW SCHEDULES
 - S0.1 GENERAL STRUCTURAL NOTES
 - S0.2 SPECIAL INSTRUCTION NOTES
 - S1.1 ROOF FRAMING PLAN
 - S2.1 FRAMING SECTIONS & DETAILS
 - M1.1 MECHANICAL PLAN DETAILS
 - M2.1
 - P1.1 PLUMBING FLOOR PLAN
 - P1.2 WATER PIPING FLOOR PLAN
 - E1 ELECTRICAL PLAN
 - E2 RISER DIAGRAM & LEGEND
 - E3 ELECTRICAL SCHEDULES
 - F2.1 FIRE 2 PLAN

GENERAL NOTES

ANSI NOTES (ANSI A111.1 - 2009)

509.4 OPERABLE PARTS
OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TUSTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS (22 N) MAXIMUM.

404.2.1 THRESHOLDS AT DOORWAYS
IF PROVIDED, THRESHOLDS AT DOORWAYS SHALL BE 1/2 INCH (13 MM) MAXIMUM IN HEIGHT. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH SECTIONS 302 AND 303.

404.2.2 DOOR HARDWARE
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TUSTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES (865 MM) MINIMUM AND 48 INCHES (1219 MM) MAXIMUM ABOVE THE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

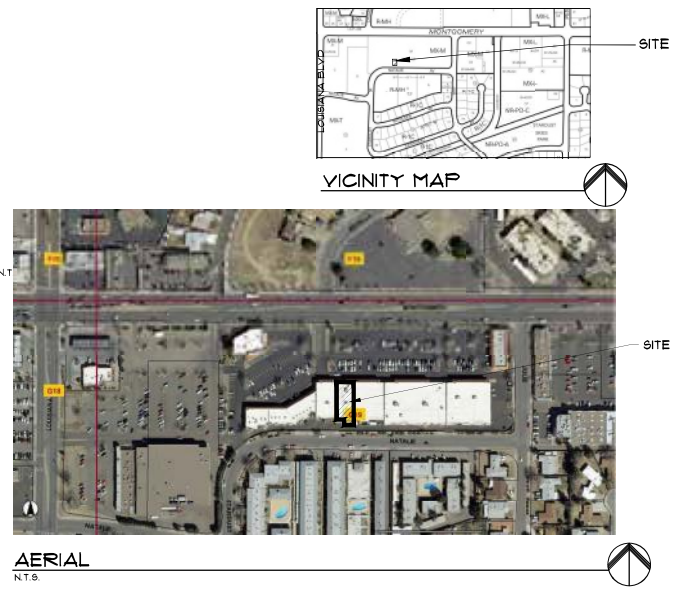
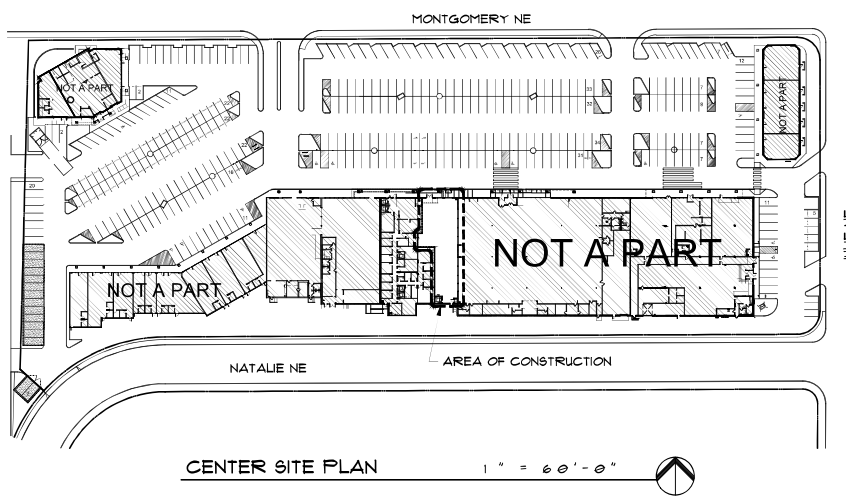
404.2.3 CLOSING SPEED
404.2.3.1 DOOR CLOSERS
DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MIN.

404.2.3.2 SPRING HINGES
DOOR SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 10 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.

404.2.8 DOOR-OPENING FORCE
FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE FORCE FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
1. INTERIOR HINGED DOOR: 5.0 POUNDS (22 N) MAXIMUM
2. SLIDING OR FOLDING DOOR: 5.0 POUNDS (22 N) MAXIMUM
THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.

606.4 FAUCETS
FAUCETS SHALL COMPLY WITH SECTION 309.5. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MINIMUM.

PLUMBING FIXTURE COUNT FOR INFORMATION ONLY											
TABLE 209.1											
OCCUPANCY USE	LOAD	RATIO	WATER CLOSETS		RATIO	LAVATORIES		RATIO	FOUNTAIN	DRINKING SERVICE	
			MALE	FEMALE	MALE	MALE	FEMALE	MALE		SINK	
ASSEMBLY	121	1 PER 105	0.488	0.530	1 PER 100	0.305	1 PER 100	0.305	1/500	0.242	
REQUIRED TOTALS			1	1	1	1	1	1	2	1	
PROVIDED TOTALS			1	1	1	1	1	1	2	1	



STATE OF NEW MEXICO
31 MAY 2024
MARTIN FM GRUMMER
NO. 022044
REGISTERED ARCHITECT

MARTIN FM GRUMMER
ARCHITECT
300 WILSON BLVD NE
ALBUQUERQUE, NM 87110
(505) 245-5207

PETERSON PROPERTIES

AA

7200 MONTGOMERY BLVD NE
SUITE E-2 SHELL IMPROVEMENT
ALBUQUERQUE, NM 87110
SITE PLAN

DATE: 31 MAY 2024
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

REVISIONS

E-2

SHEET NO:
A1.1

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

PARKING REQUIREMENTS				PARKING TOTALS	
SUITE A1	NAIL SALON	1,200 SF @ 41/000	4.80	364 SPACES REQUIRED	
SUITE A2-A3	RICHE B'S REST.	1,525 SF @ 81/000	12.20	364 SPACES PROVIDED	
SUITE A4	SALON G.O.A.T.	1,100 SF @ 41/000	4.40		
SUITE B1	IT STORE	562 SF @ 41/000	2.25	ADA REQUIRED 12	
SUITE B2	IDEAL EYEBROW	556 SF @ 41/000	2.24	ADA PROVIDED 12	
SUITE B3-B4	FINAL STITCH	1,812 SF @ 41/000	7.25	MOTORCYCLE REQUIRED 6 SPACES	
SUITE B5-B6	APPLE NAILS	1,348 SF @ 41/000	5.35	MOTORCYCLE PROVIDED 6 SPACES	
SUITE B7-B8	SEVEN CLOVER	1,320 SF @ 41/000	5.28	BICYCLE REQUIRED 10% = 36 SPACES	
SUITE B9-B10	STATE FARM	1,371 SF @ 41/000	5.51	BICYCLE PROVIDED 38 SPACES	
SUITE B11	POST OFFICE	567 SF @ 41/000	3.81		
SUITE D	OTHER MOTHERS	14,138 SF @ 41/000	56.55		
SUITE E1	DOH	6,505 SF @ 41/000	26.04		
SUITE E2	AVAILABLE	3,661 SF @ 81/000	29.29		
SUITE E3	PLANET FITNESS	24,100 SF @ 251/000	61.75		
SUITE F1	J'S VAR B-G	2,322 SF @ 81/000	23.38		
SUITE F2	NO SKECHUAN	2,841 SF @ 81/000	22.18		
SUITE F3	AFNA BAZAAR	2,585 SF @ 41/000	11.54		
SUITE F4	COYOTE JU-JITSU	1,654 SF @ 251/000	13.14		
SUITE G1-G2	YELLOW SUB	1,840 SF @ 81/000	14.72		
SUITE G3-G5	WILD BIRDS	2,110 SF @ 41/000	8.44		
SUITE G-3	AFNA BAZAAR	1,000 SF @ 81/000	8.00		
SUITE H	URGENT CARE	5,800 SF @ 51/000	23.00		
TOTAL		81,563 SF	364.32		

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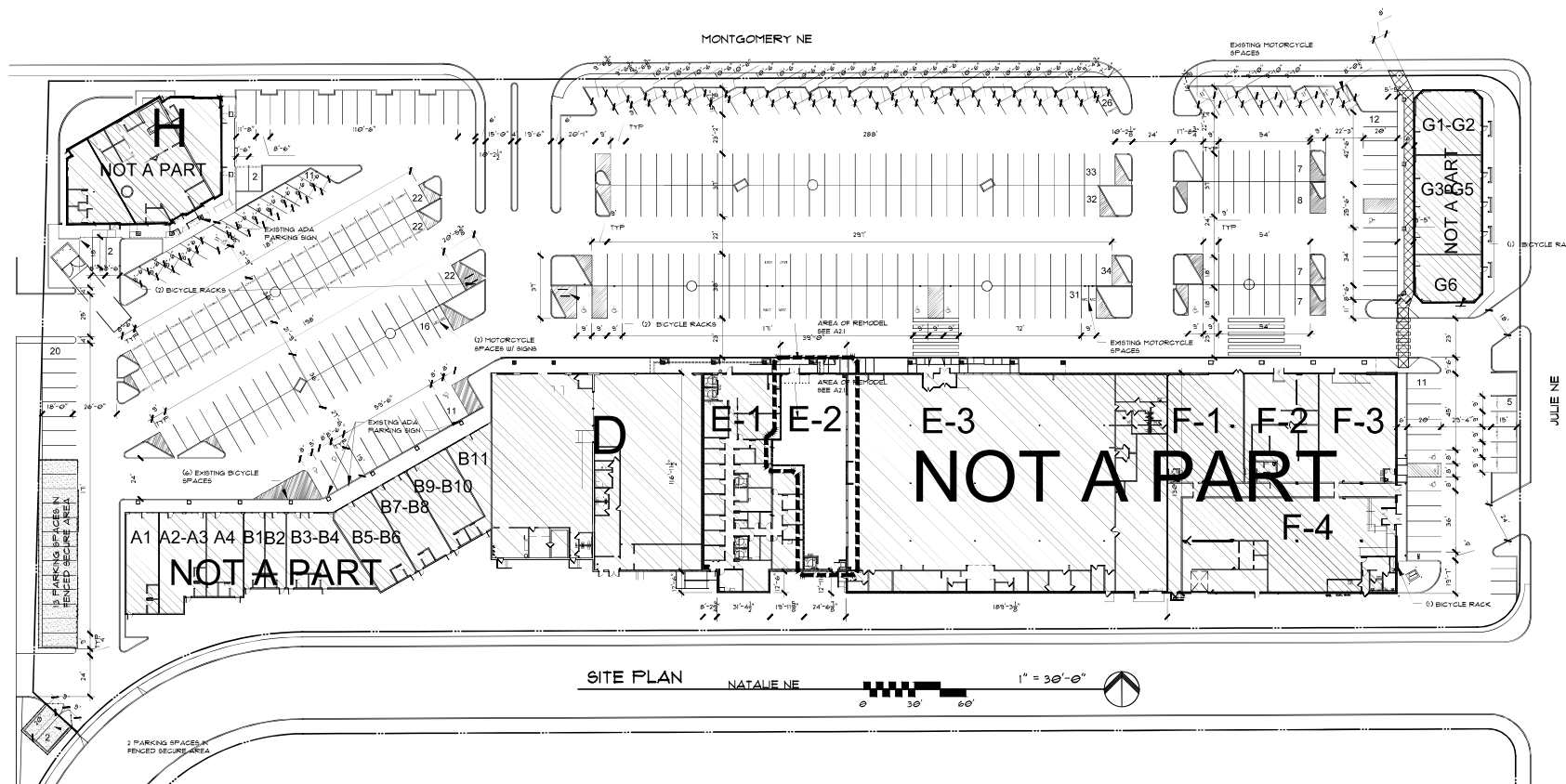
7200 MONTGOMERY BLVD NE
SUITE E-2 DHELL IMPROVEMENT
ALBUQUERQUE, NM 87110
SITE PLAN

DATE: 31 MAY 2024
DRAWN BY: MFMG
CHECKED BY:
VERIFIED BY:

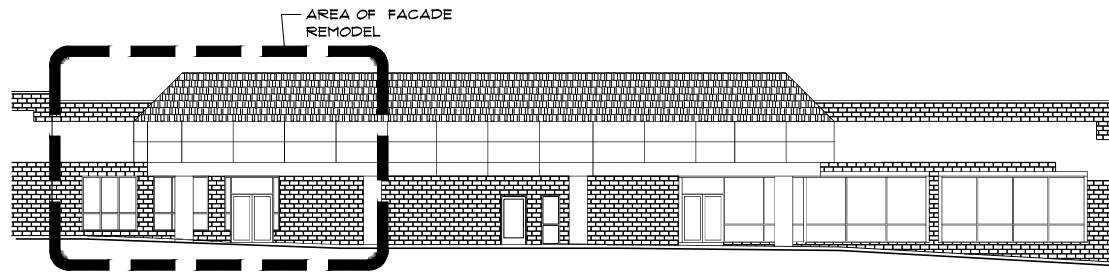
REVISIONS

E-2

SHEET NO:
A1.2

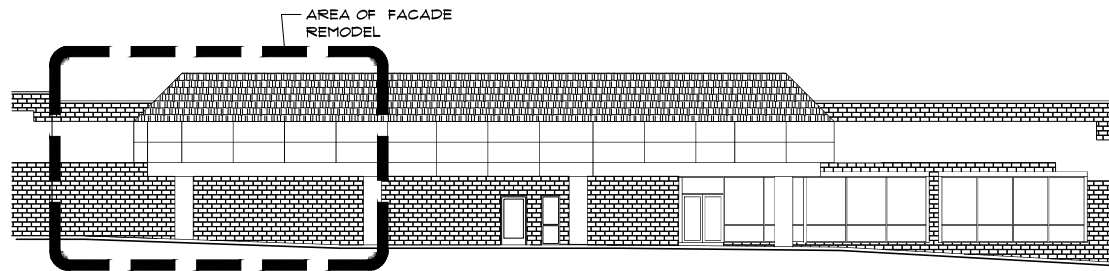


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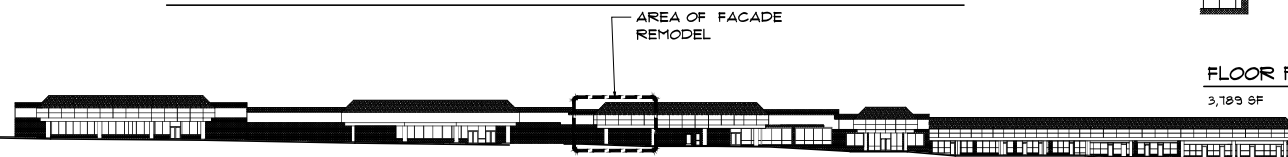
PARTIAL NORTH ELEVATION - PROPOSED

1/8" = 1'-0"



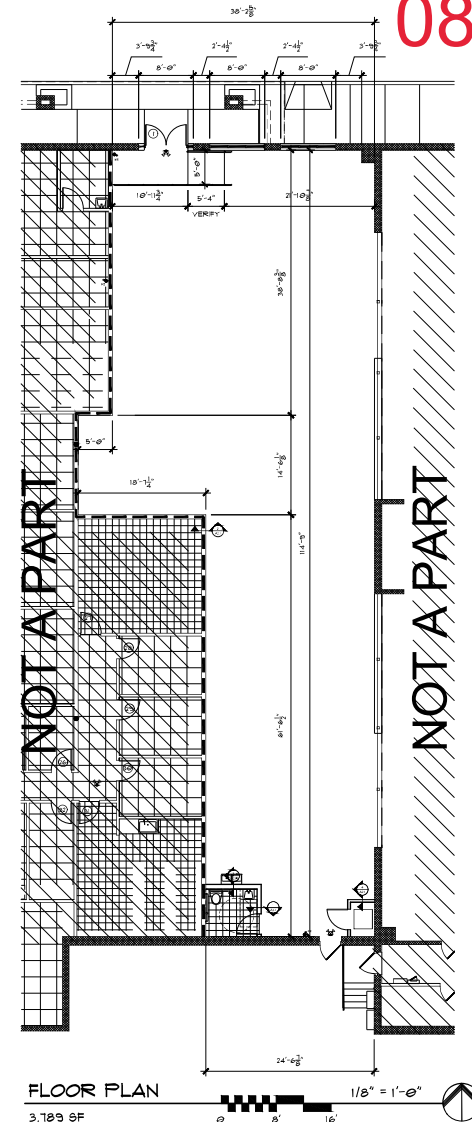
PARTIAL NORTH ELEVATION - EXISTING

1/8" = 1'-0"



NORTH ELEVATION - EXISTING

1/32" = 1'-0"



FLOOR PLAN

3,789 SF



MARTIN FM GRUMMER
ARCHITECT
37 MILLER PARK E.
ALBUQUERQUE, NM 87110
(505) 262-5507

AA

FLOOR PLAN
7200 MONTGOMERY BLVD NE
SUITE E-2 DHELL IMPROVEMENT
ALBUQUERQUE, NM 87110

DATE: 31 MAY 2024
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VERIFIED BY:

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