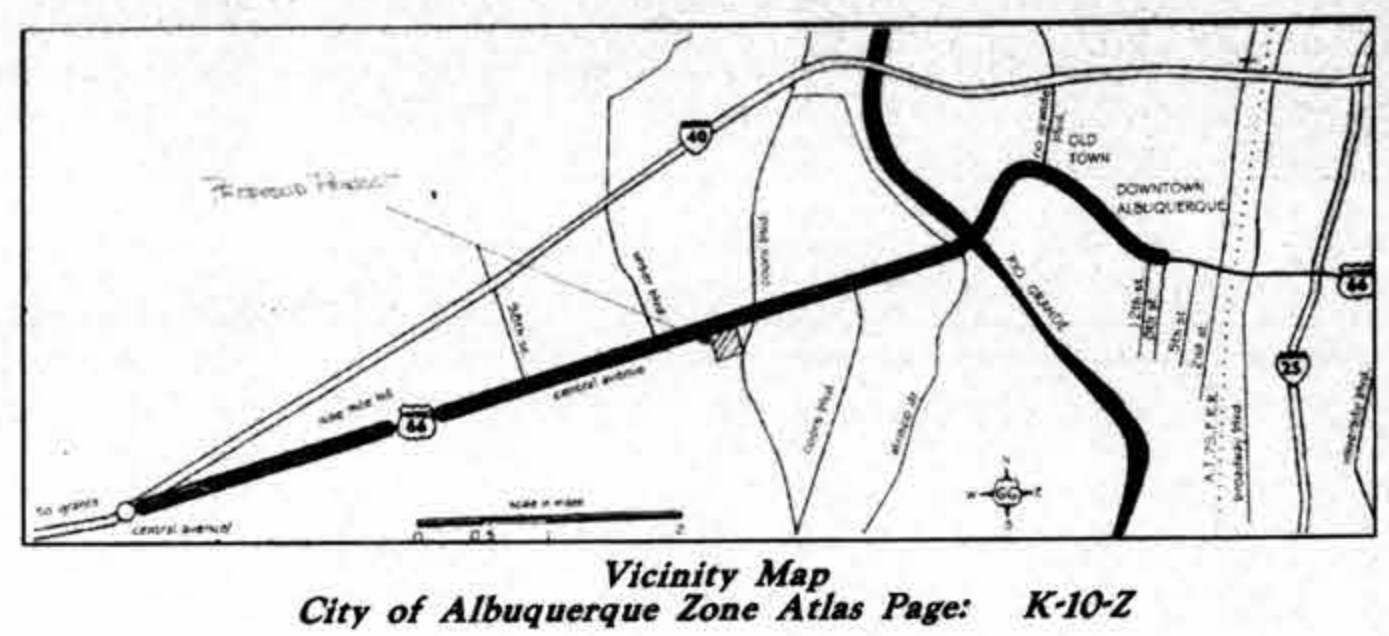
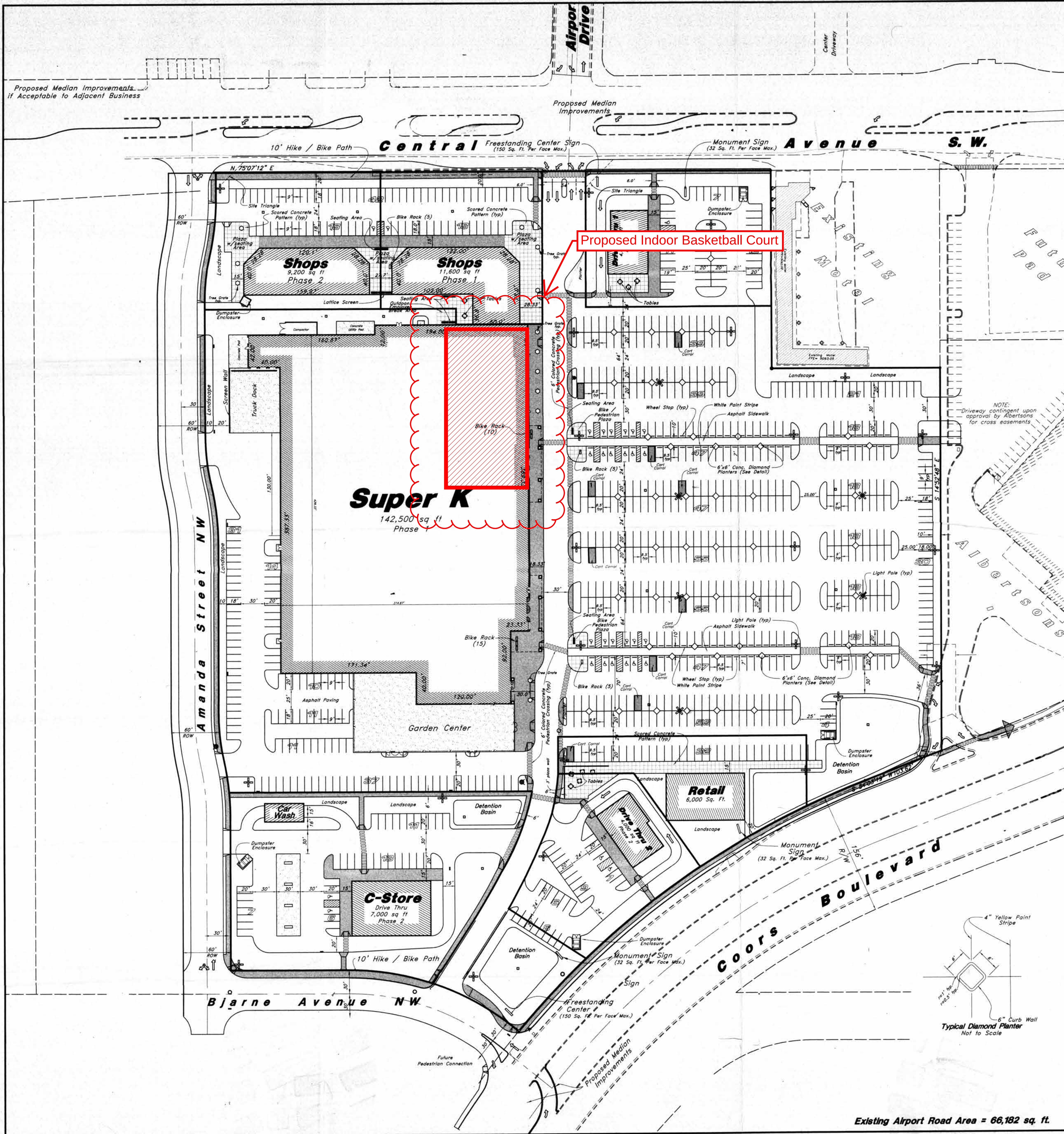


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



- SITE PLAN NOTES:**
1. All truck routes and main drive aisles will be constructed with Heavy Duty Asphalt.
 2. All planters will conform to standards and city radius requirements as shown on detail.
 3. All curbing to be constructed with 24" curb and gutter in parking lot.
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 5. All pedestrian benches shall be RPI 8321 B-RWS-7225 redwood slat seat & back; steel legs.
- NOTE:** Driveway contingent upon approval by Albertsons for cross easements

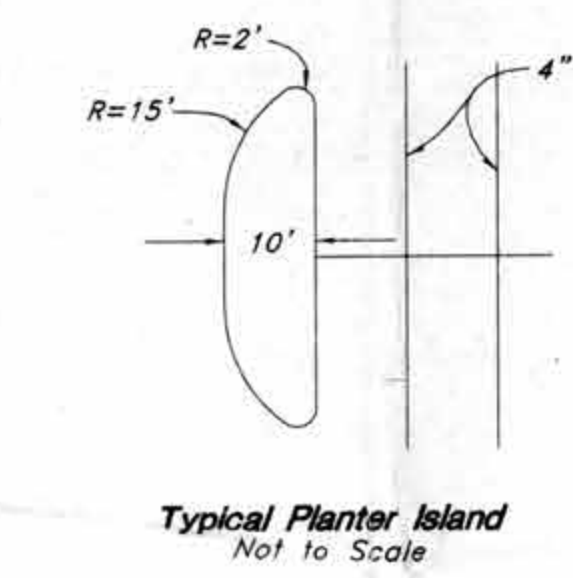
Parking Counts	Stalls Required
Kmart	712 Stalls
Retail Shops	104 Stalls
Retail	30 Stalls
Convenience Store	34 Stalls
Drive Thru 1	10 Stalls
Drive Thru 2	10 Stalls

Parking Required	900 Stalls
Minus 10% Parking Credits	(-90)
Total Parking Required	810 Stalls
Proposed Parking Stalls	877 Stalls
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Bicycle Stalls Proposed	40 Stalls
Handicap Stalls Required	17 Stalls
Handicap Stalls Proposed	32 Stalls

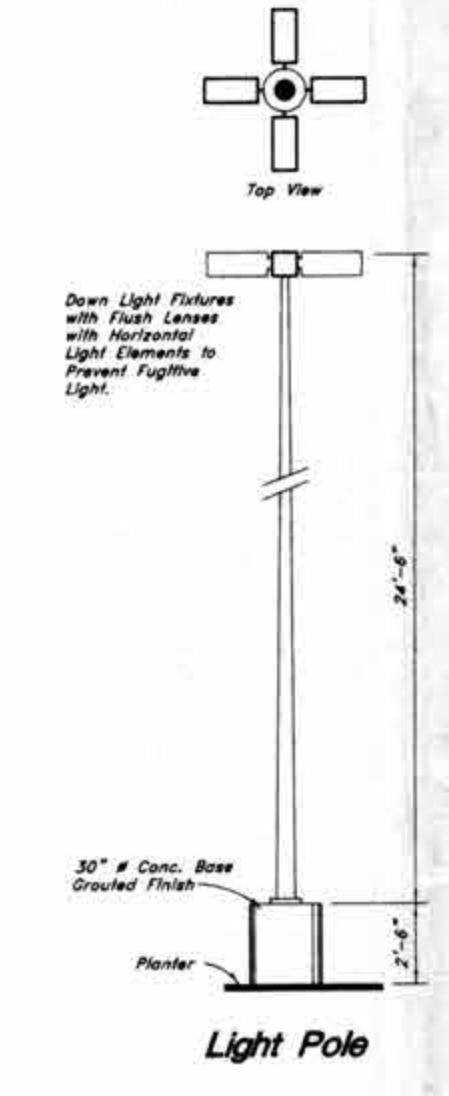
Phasing Plan

Phase 1	
Kmart	142,500 sf
Retail Shops	11,600 sf
Phase 2	
Convenience Store	7,000 sf
Retail Shops	9,200 sf
Retail	6,000 sf
Drive Thru 1	4,000 sf
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* or other permitted C-2 uses or conditional uses

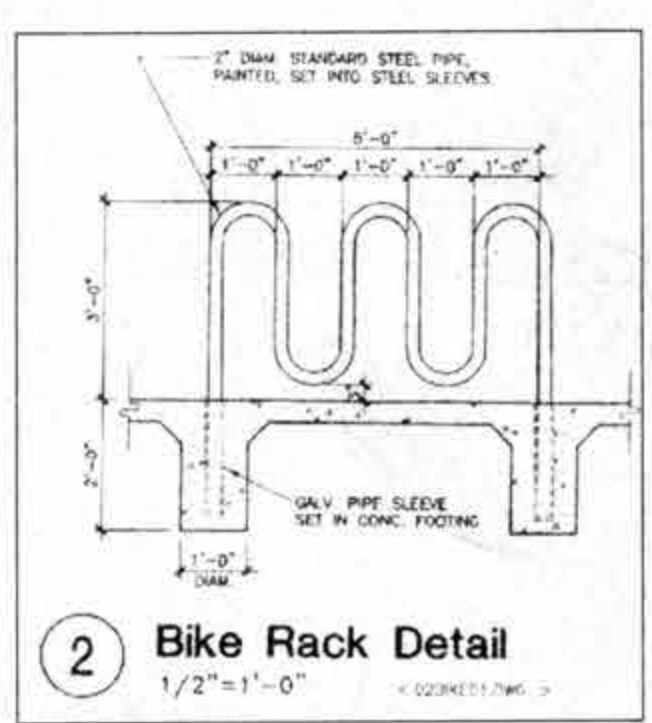


Typical Planter Island
Not to Scale

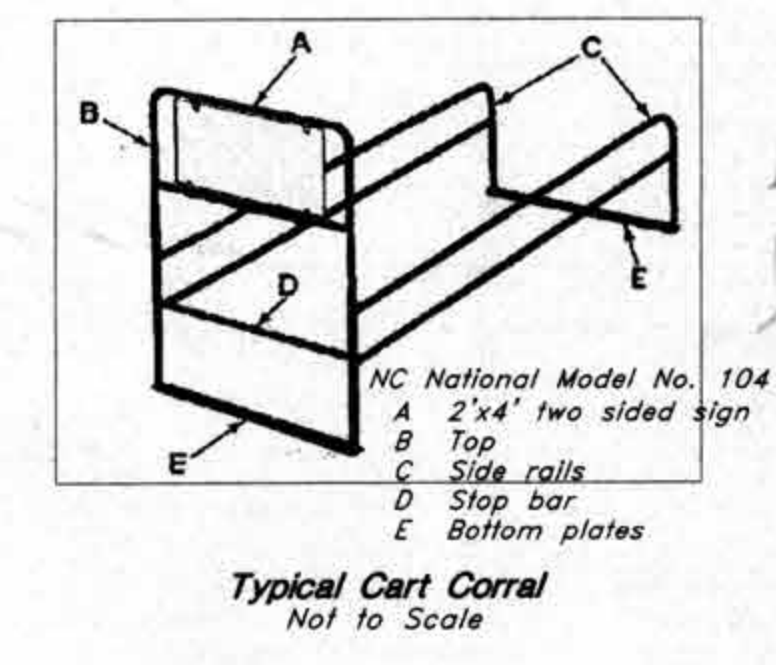


Light Pole
Not to Scale

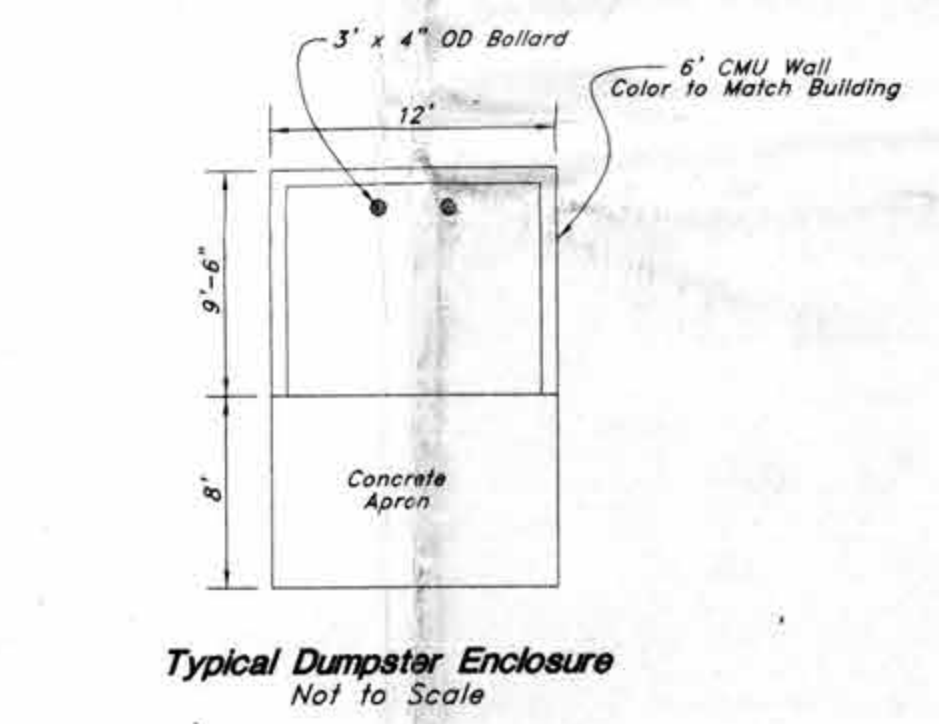
PRJ 1000494



2 Bike Rack Detail
1/2" x 1' x 0'



Typical Cart Corral
Not to Scale



Typical Dumpster Enclosure
Not to Scale

PROJECT # 1000494	PROJECT # 1000494
EPC Application # 00128-00000-00758	Application # 01440-00000-00184
00116-00000-00586	01450-00000-00185
00128-00000-00588	01460-00000-00185
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:	
SITE DEVELOPMENT PLAN	
Traffic Engineer, Transportation Division	6-14-01
Public Works, Engineering Division	6-14-01
Public Works, Water Utilities Division	5-21-01
City Engineer, Engineering Division / AMATCA	5/21/01
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Engineer, Engineering Division	6/20/01
City Engineer, Engineering Division	6/20/01
Solid Waste See Cont. Lines on 1,2.	6/20/01

(Coors Blvd. and Central Ave.)

Albuquerque, New Mexico

M. S. Development
12626 High Bluff Road, Suite 330
San Diego, CA 92130

Site Development Plan

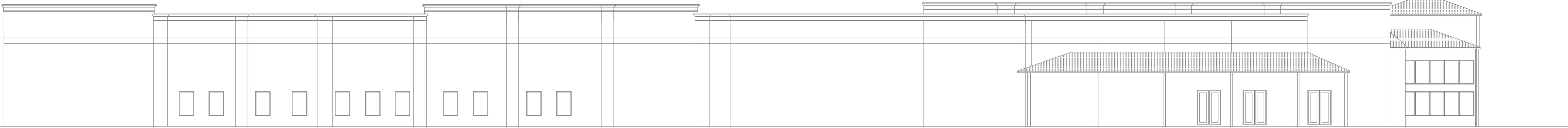
GREAT BASIN ENGINEERING - SOUTH
CONSULTING ENGINEERS AND LAND SURVEYORS
2010 North Redwood Road, P.O. Box 16747
Salt Lake City, Utah 84116
Salt Lake City, UT (801) 521-8528 Ogden (801) 394-7286 Provo (801) 521-9531

SCALE: 1" = 50' DATE: 19 Dec, 2000 DRAWING NO. 1.2

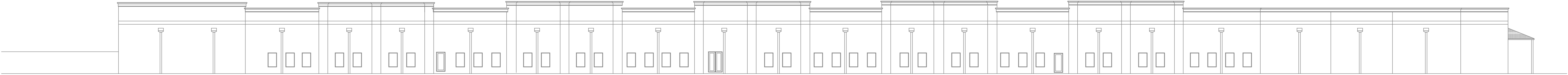
DRAWN BY: kh REVISIONS: 26 Feb, 2001 15 May, 2001

TCALBBB

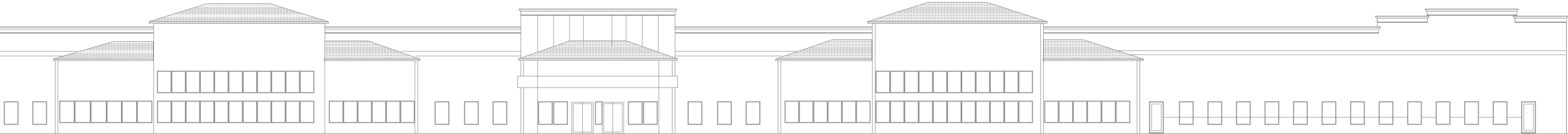
Existing Airport Road Area = 66,182 sq. ft.



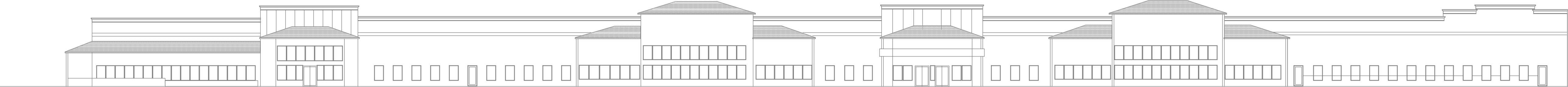
SOUTH



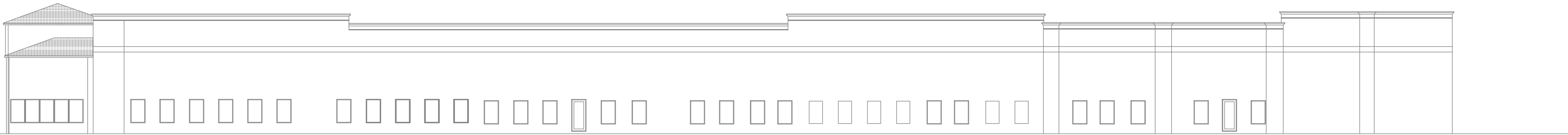
WEST



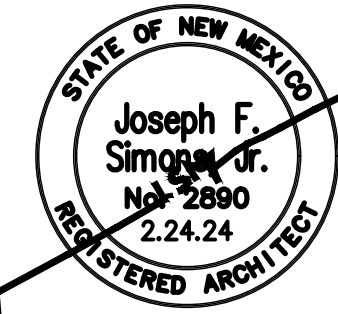
EAST



EAST



NORTH



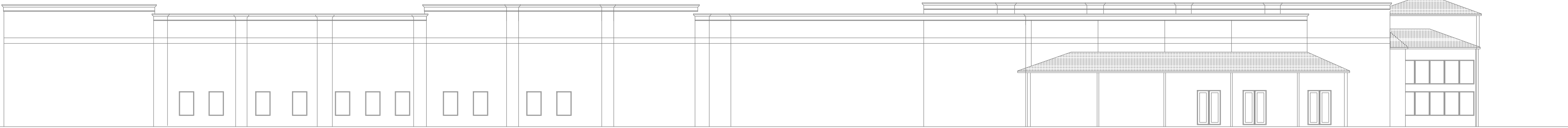
JOSEPH F. SIMONS JR., AIA
NO. 2890
STATE OF NEW MEXICO
REGISTERED ARCHITECT

JOSEPH F. SIMONS JR., AIA
NM LIC 002890
P.O. BOX 67408
ALBUQUERQUE, NM 87121
PH. 505.480.4796
JOE@SIMONSARCHITECTURE.COM

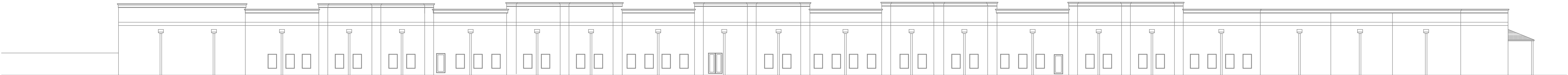


LEGACY ELEMENTARY
GYMNASIUM REMODEL
7000 CENTRAL SW
ALBUQUERQUE, NM 87121
BERNALILLO COUNTY

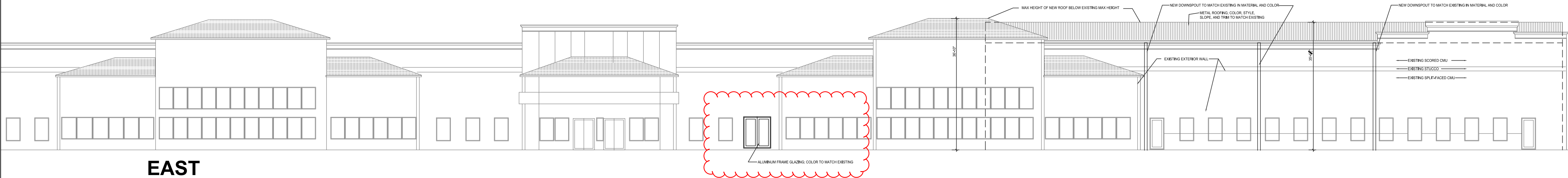
JOB NUMBER
LEG-012
DATE
03.25.24
REVISIONS
DESIGNED & DRAWN BY
JFS



SOUTH

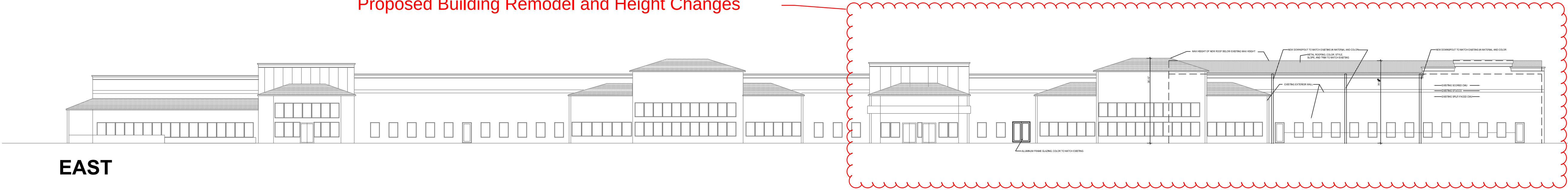


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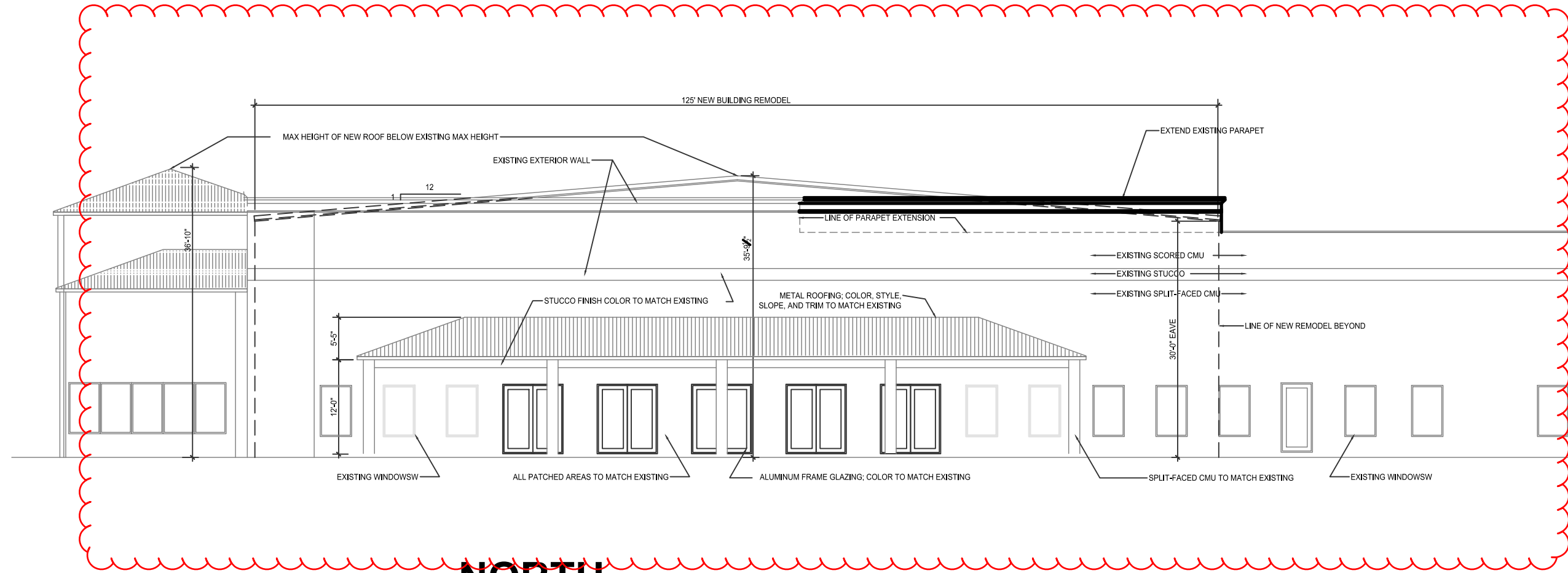


EAST

Proposed Building Remodel and Height Changes

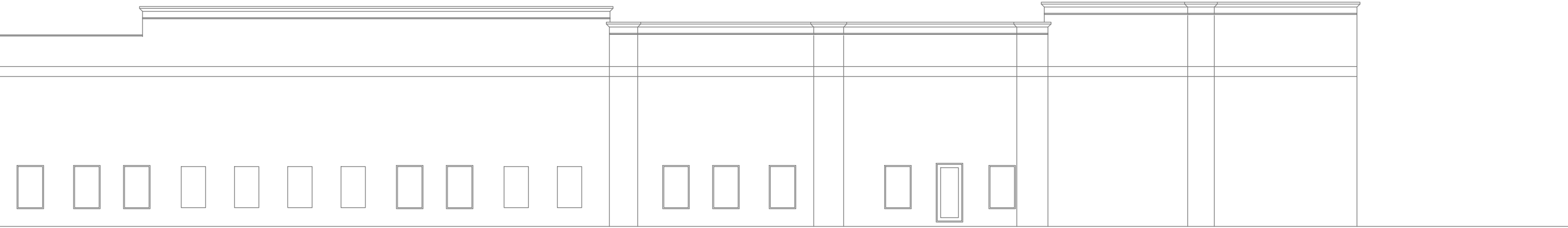


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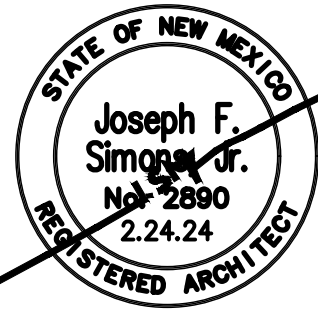


NORTH

Proposed Building Remodel and Height Changes



EXISTING ELEVATIONS
EXISTING



SIMONS ARCHITECTURE IS NOT RESPONSIBLE FOR ANY WORK DONE BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS. SIMONS ARCHITECTURE, ALL RIGHTS RESERVED. THESE DRAWINGS ARE PREPARED BY SIMONS ARCHITECTURE FOR THE EXCLUSIVE USE OF THE CLIENT. NO REPRODUCTION IN ANY FORM WITHOUT WRITTEN CONSENT IS PERMITTED. THE CLIENT AGREES TO HOLD SIMONS ARCHITECTURE HARMLESS FROM ALL LIABILITY, INCLUDING ATTORNEY'S FEES, IN CONNECTION WITH ANY INTELLECTUAL AND MATERIAL INFRINGEMENT OF ANY PATENT, TRADEMARK, OR COPYRIGHT OF ANY EXISTING BUILDING TO REMAIN WITH THE AUTHOR.

Joseph F. Simons Jr., aia
nm lic 002890
p.o. box 67408
albuq. n.m. 87193-7408
ph. 505.480.4796
joe@simonsarchitecture.com



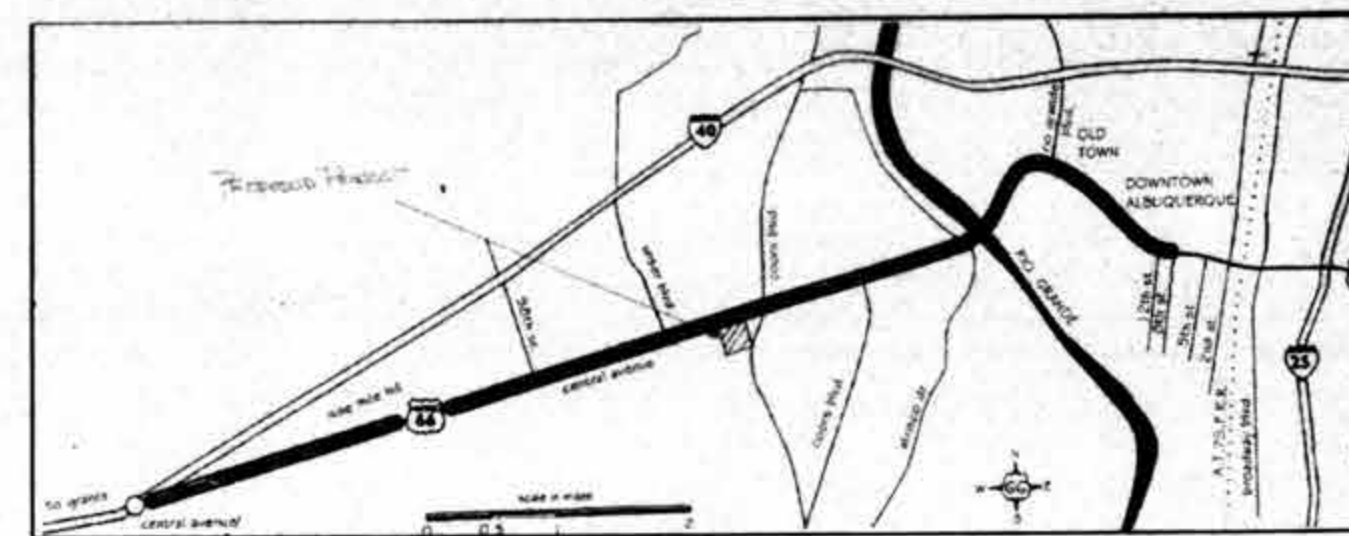
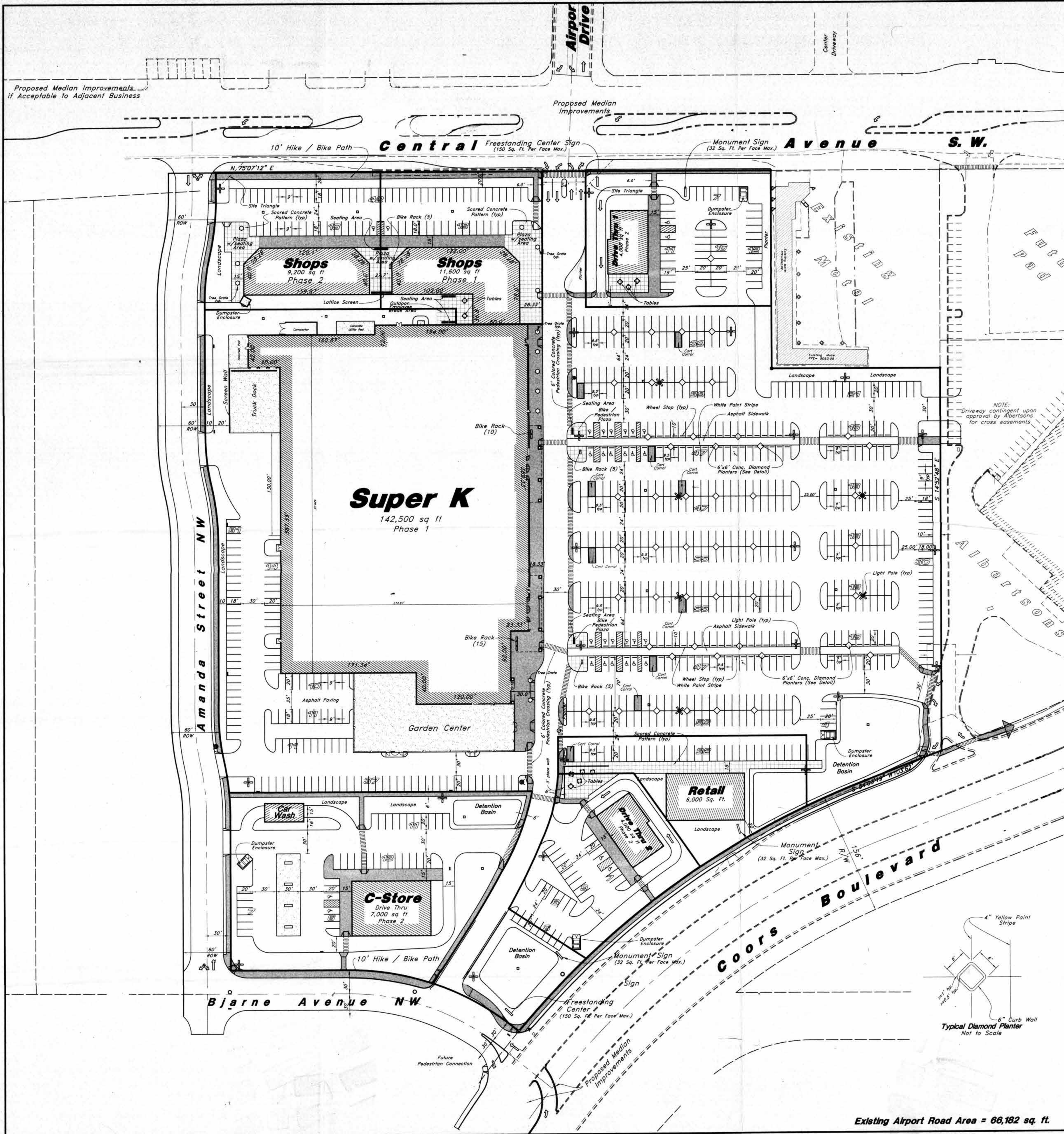
LEGACY ELEMENTARY
GYMNASIUM REMODEL
7000 CENTRAL SW
ALBUQUERQUE, NM 87121
BERNALILLO COUNTY

JOB NUMBER
LEG-012
DATE
03.25.24

REVISIONS

DESIGNED & DRAWN BY
JFS

A3.1



Vicinity Map
City of Albuquerque Zone Atlas Page: K-10-Z

Parking Counts Stalls Required

Kmart	712 Stalls
Retail Shops	104 Stalls
Retail	30 Stalls
Convenience Store	34 Stalls
Drive Thru 1	10 Stalls
Drive Thru 2	10 Stalls

Parking Required	900 Stalls
Minus 10% Parking Credits	(-90)
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Handicap Stalls Required	17 Stalls
Handicap Stalls Proposed	32 Stalls

* Kmart parking field has 9.5' wide stalls. All others are 9.0'.

Phasing Plan

Phase 1	
Kmart	142,500 sf
Retail Shops	11,600 sf

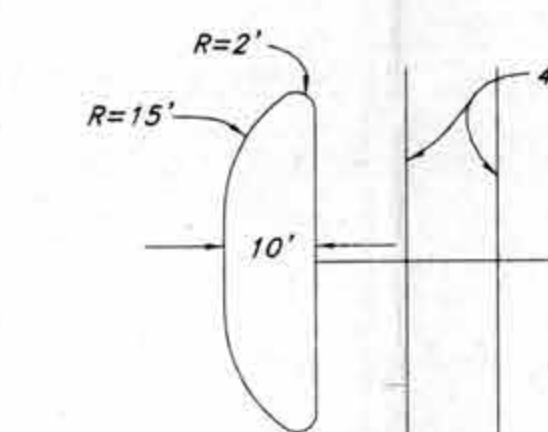
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Retail Shops	9,200 sf
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* or other permitted C-2 uses or conditional uses

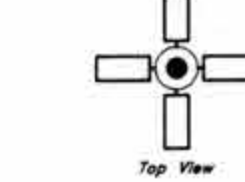
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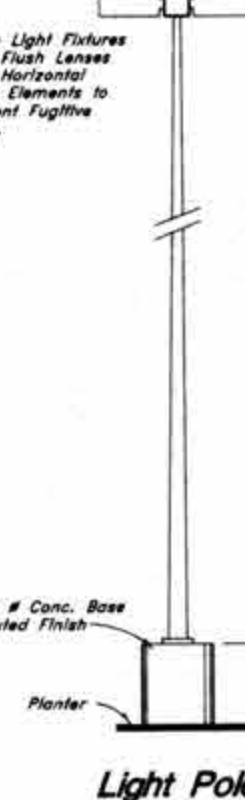
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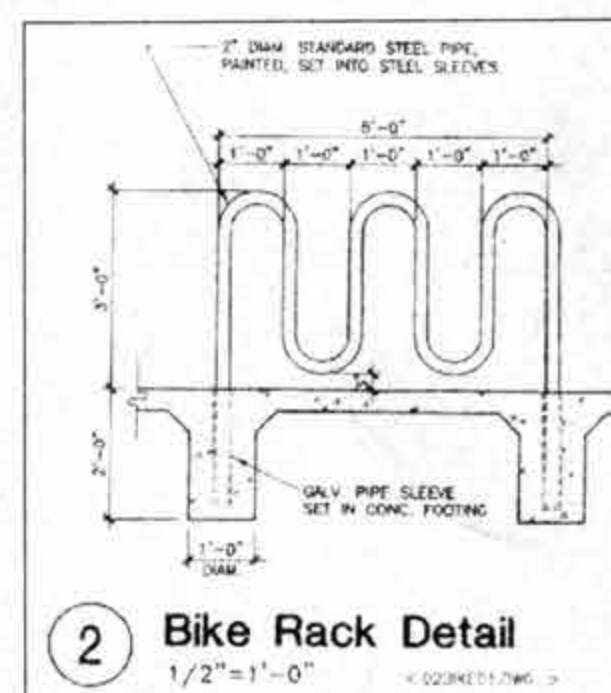
Typical Planter Island
Not to Scale



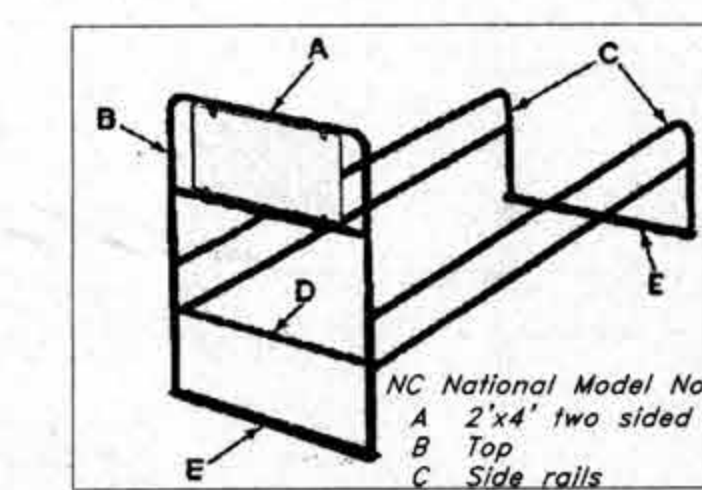
Light Pole



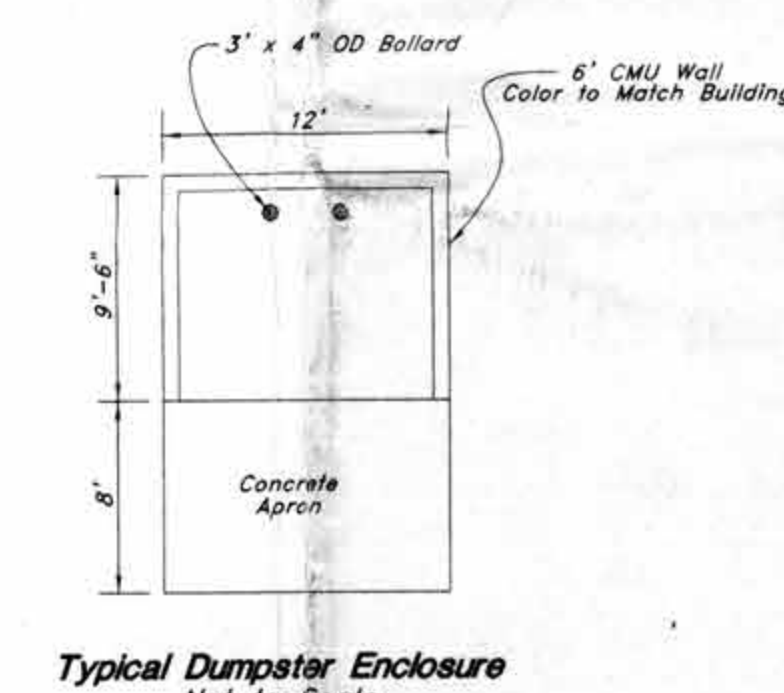
Light Pole



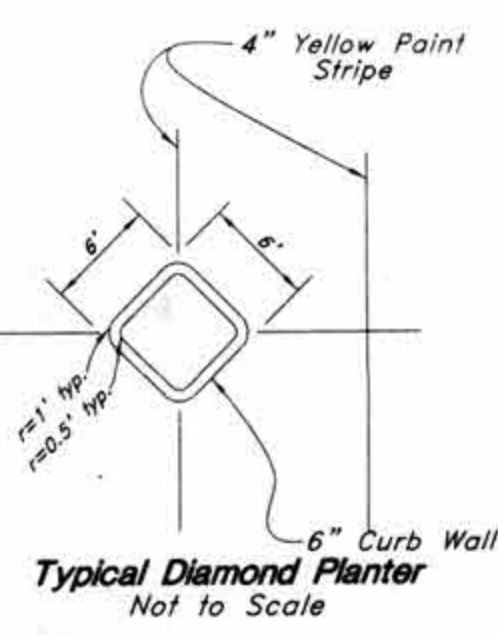
2 Bike Rack Detail
1/2" x 1'-0"



Typical Cart Corral
Not to Scale



Typical Dumpster Enclosure
Not to Scale

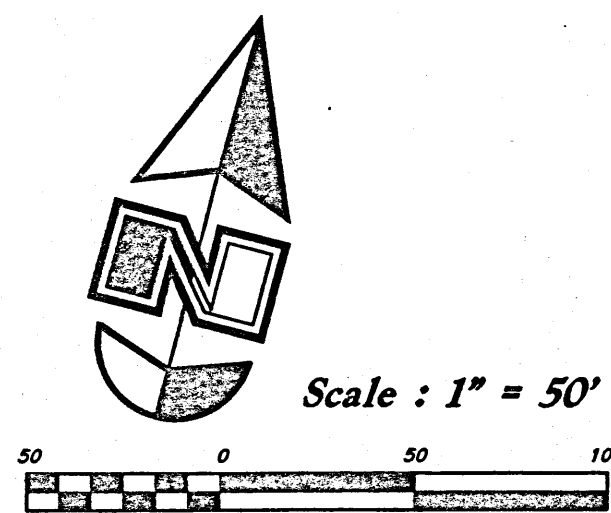
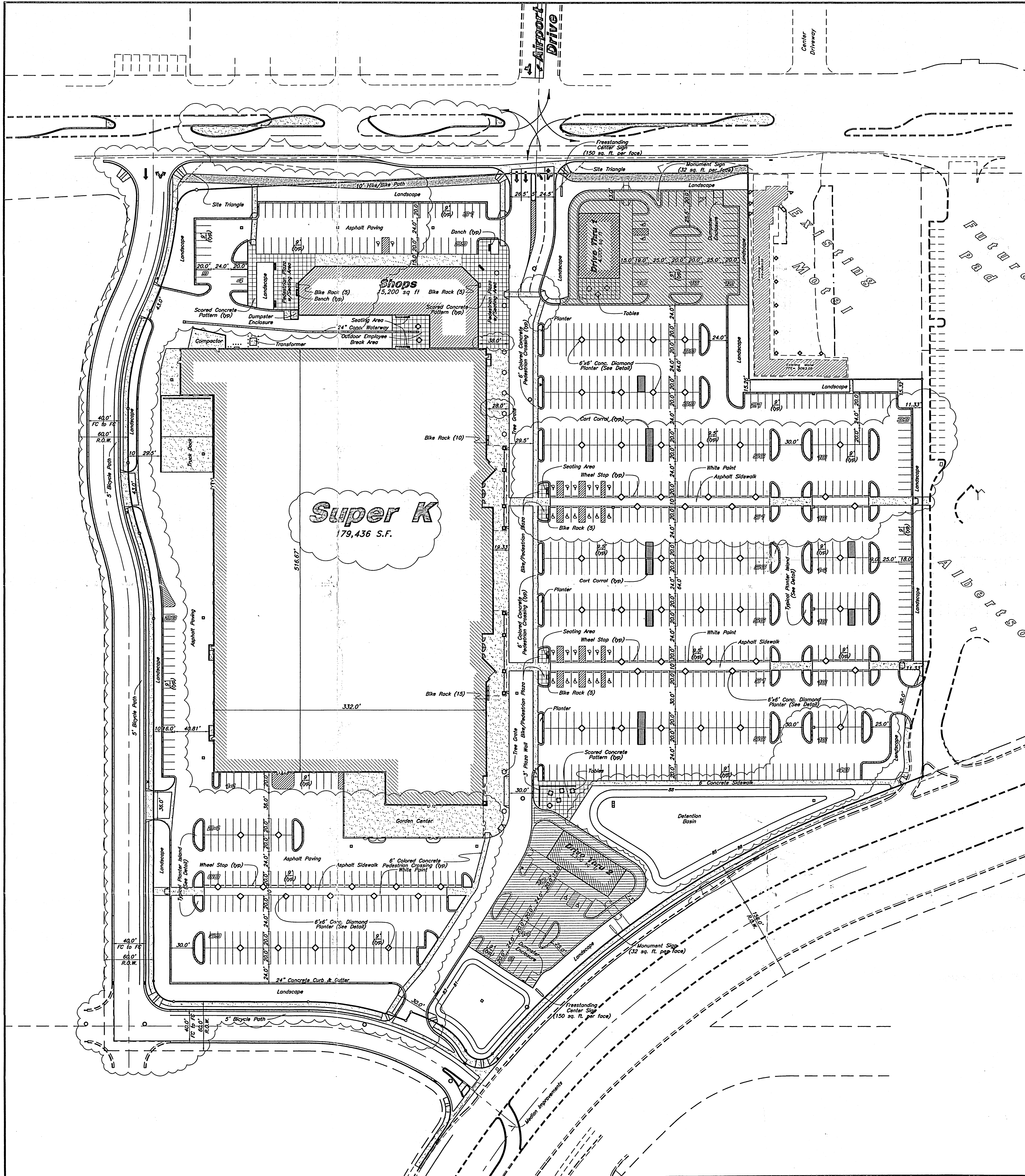


Typical Diamond Planter
Not to Scale

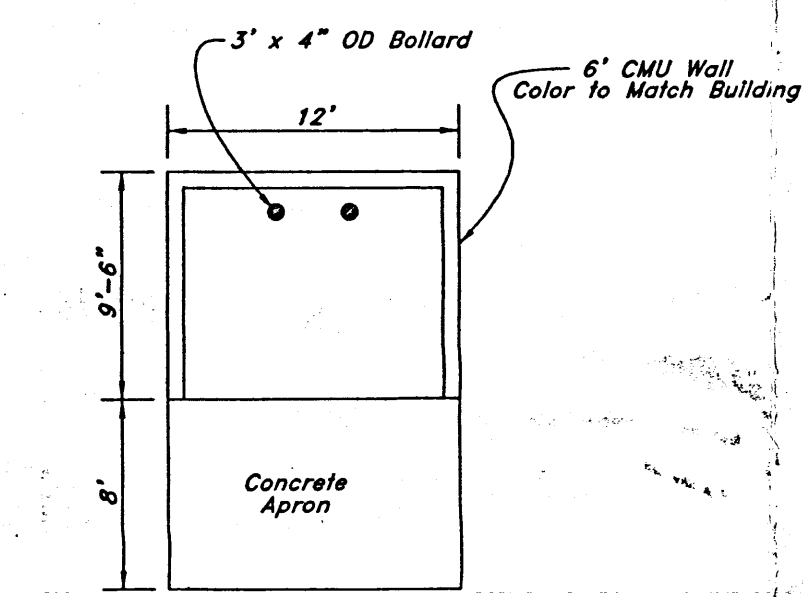
PROJECT # 1000494		PROJECT # 1000494	
EPC Application #: 00128-00000-00758		Application #: 01440-00000-00184	
00116-00000-00586		01450-00000-00185	
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Public Works, Water Utilities Division	<i>[Signature]</i>	Date	6-14-01
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APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.			Date
<i>[Signature]</i>			6/20/01
Solid Waste See Cont. Lines on 1,2.			6/20/01

Albuquerque, New Mexico	
M. S. Development	
12626 High Bluff Road, Suite 330 San Diego, CA 92130	
Site Development Plan	
GREAT BASIN ENGINEERING - SOUTH CONSULTING ENGINEERS AND LAND SURVEYORS 2010 North Redwood Road, P.O. Box 16747 Salt Lake City, Utah 84116 Salt Lake City (801)521-8528 Ogden (801)394-7286 Provo (801)521-9531	
SCALE: 1" = 50'	DATE: 19 Dec, 2000
DRAWN: kh	REVISIONS: 26 Feb, 2001 15 May, 2001
TCALBBB	1.2

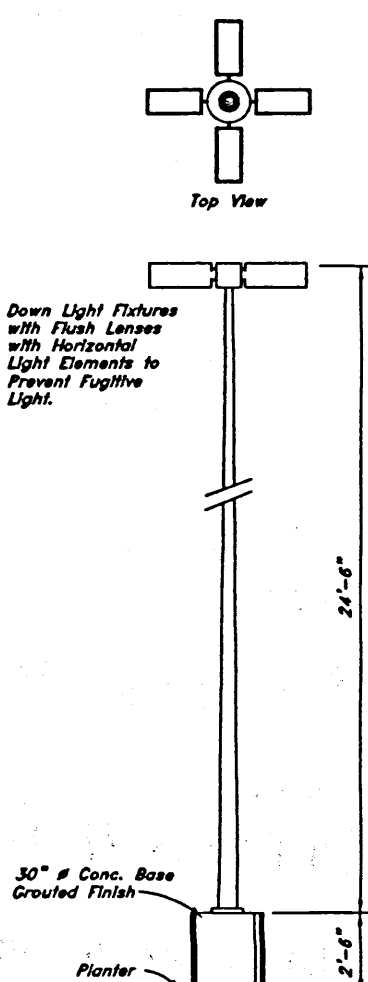
Existing Airport Road Area = 66,182 sq. ft.



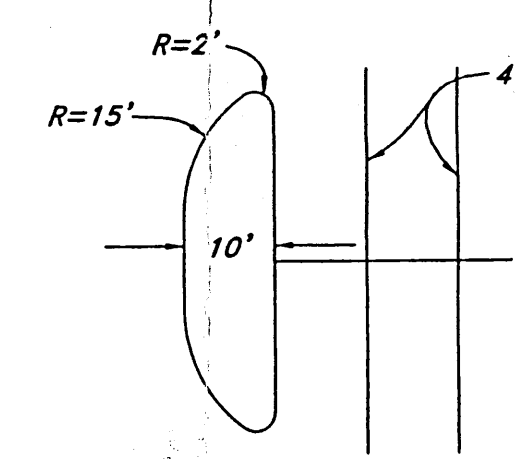
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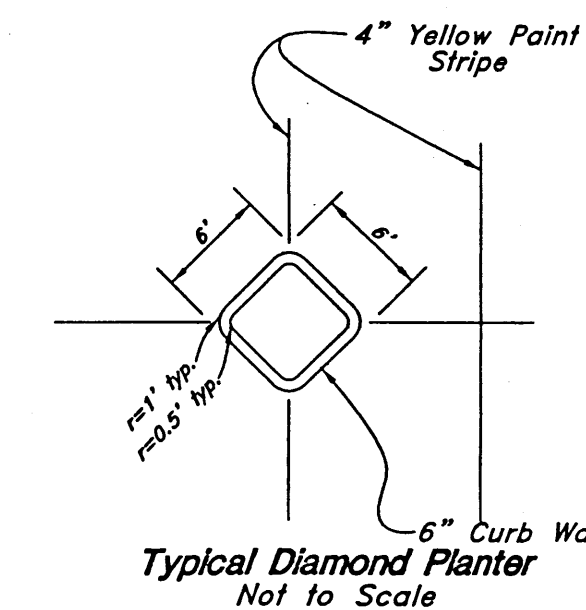
Typical Dumpster Enclosure
Not to Scale



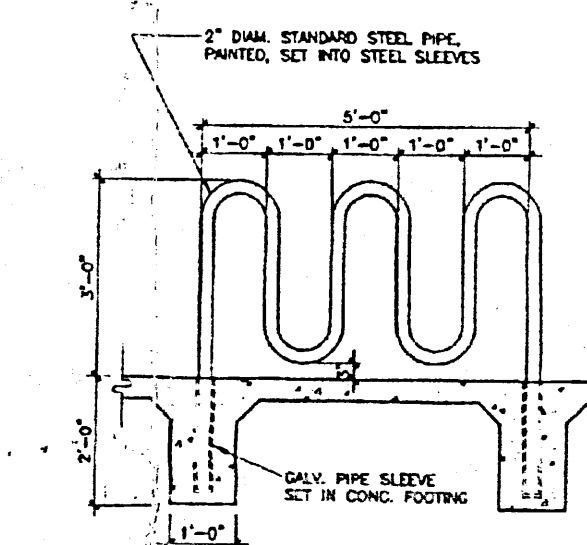
Light Pole



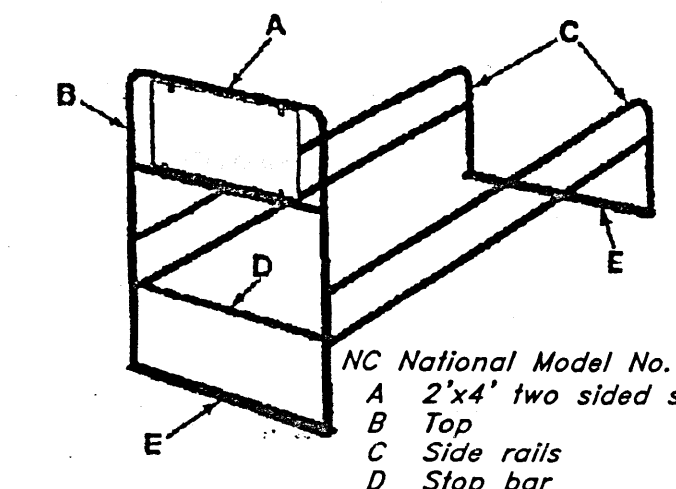
Typical Planter Island
Not to Scale



Typical Diamond Planter
Not to Scale



Bike Rack Detail
Not to Scale



Typical Cart Corral
Not to Scale

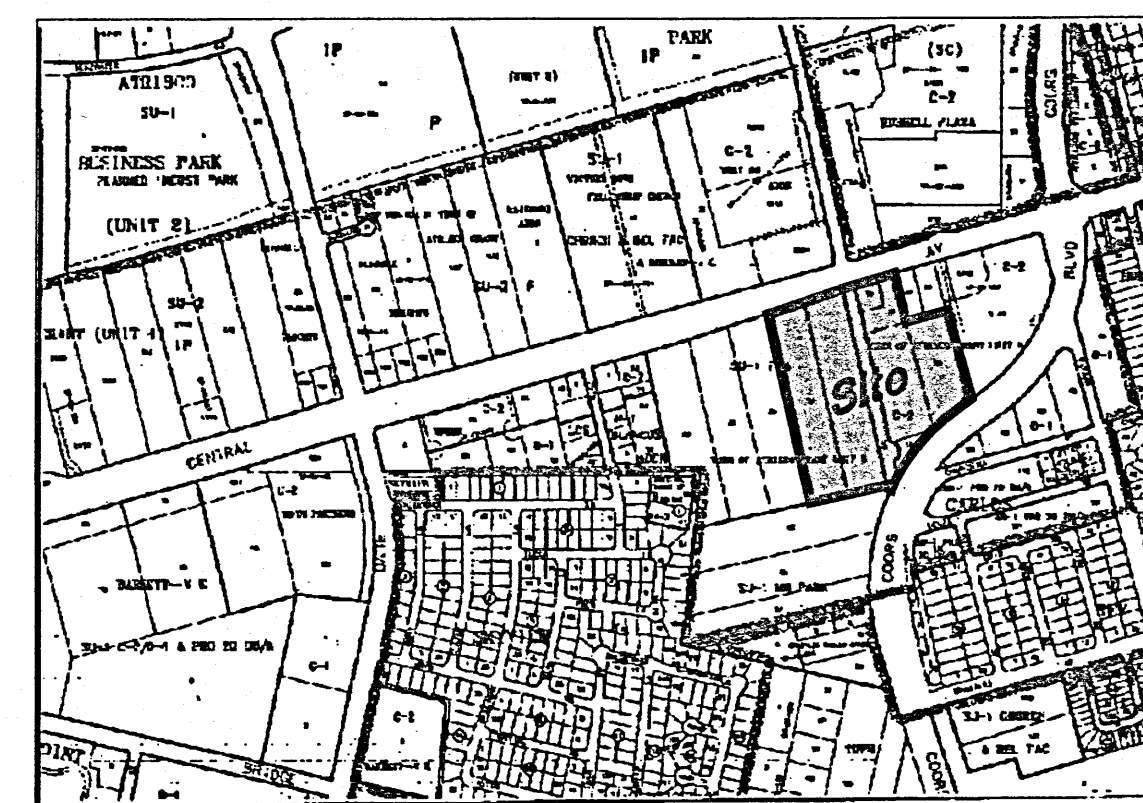
Parking Required 1051 Stalls
Minus 10% Parking Credits (105)
Total Parking Required 946 Stalls
Proposed Parking Stalls 955 Stalls
Bicycle Parking Required 40 Stalls
Bicycle Stalls Proposed 40 Stalls
Handicap Stalls Required 21 Stalls
Handicap Stalls Proposed 32 Stalls

* Kmart parking field has 9.5' wide stalls. All others are 9.0'.

Phasing Plan

Phase 1	
Kmart	180,072 sf
Retail Shops	15,200 sf
Phase 2	
Drive Thru 1	4,000 sf
Drive Thru 2	3,500 sf

* or other permitted C-2 uses or conditional uses



City of Albuquerque Zone Atlas Page: K-10-2

Site Area = 822,387 sq. ft. or 18.879 acres

Parking Counts **Stalls Required**

Kmart	900 Stalls
Retail Shops	76 Stalls
Drive Thru 1	40 Stalls
Drive Thru 2	35 Stalls

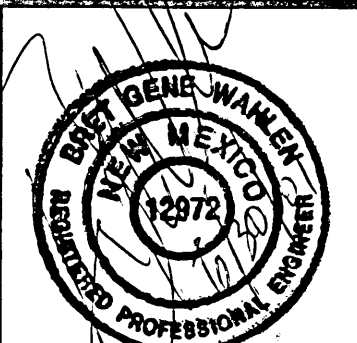
GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS and LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 (801) 321-8529 Fax (801) 321-9551

Site Development Plan
Coors Plaza
 Coors Boulevard and Central Avenue
 Albuquerque, New Mexico

Project 1005494

ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-01234567
 REVIEWED BY: [Signature]
 APPROVED BY: [Signature]
 PLANNING DIRECTOR DATE 7/3/01

APPROVED
 Date 7/3/01
 By Joseph D. Mendoza
 DEPT. TRAFFIC ENGINEERING
 Albuquerque, New Mexico

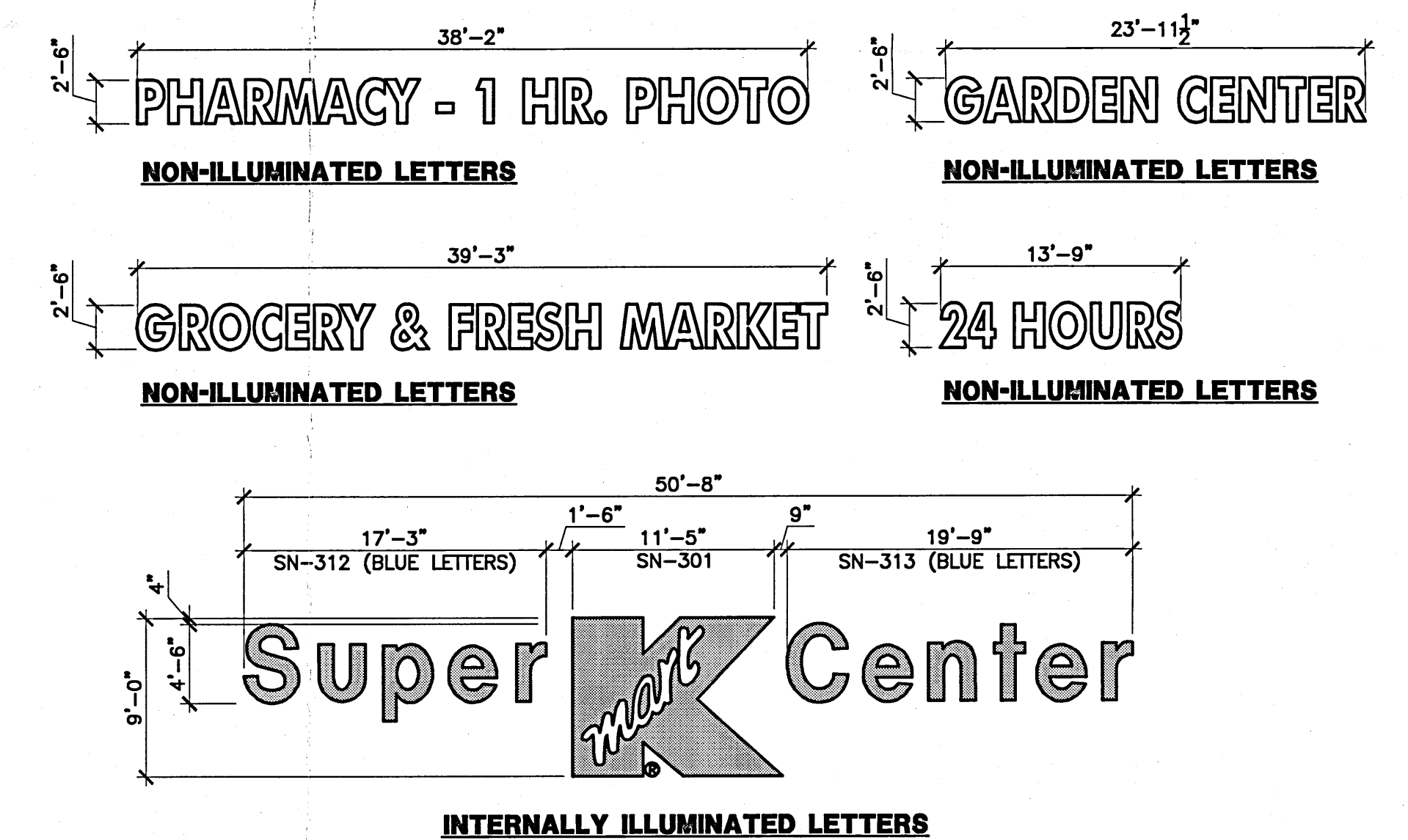
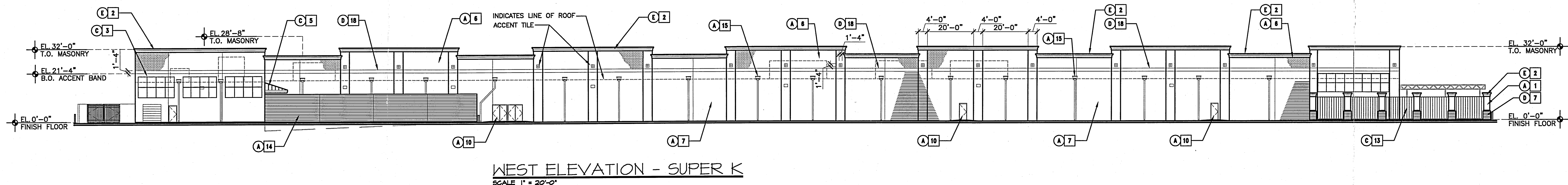
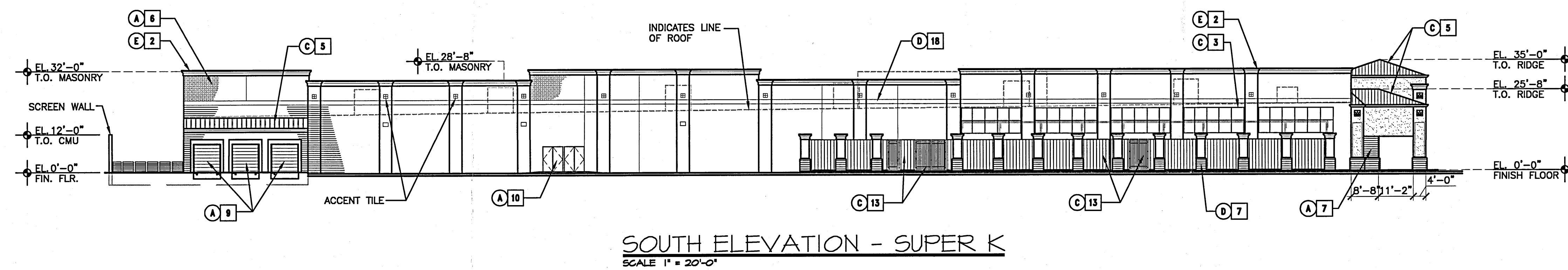
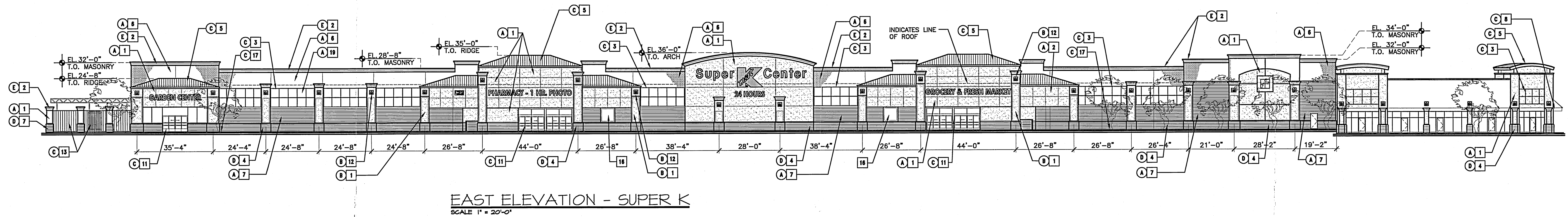
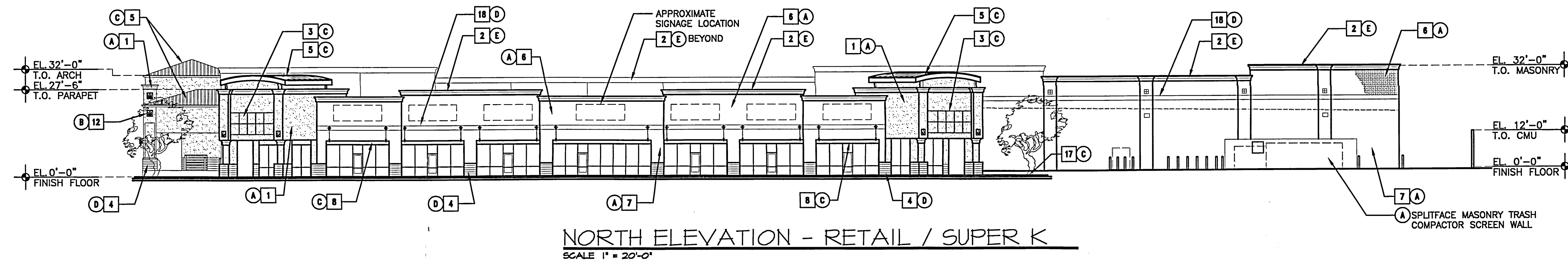


25 May, 2001

SHEET NO. **C1**

KEYNOTES

- | | |
|------------------------------------|--|
| 1 STUCCO FINISH | A PAINT TO MATCH ICI "ENGLISH COTTAGE" MP# 10YY 41/175 |
| 2 EIFS CORNICE | B PAINT TO MATCH ICI "FAUNA" MP# 10YY 41/175 |
| 3 METAL GRILLE | C PAINT TO MATCH ICI "CLAYTON LAKE" MP# 90GG 13/087 |
| 4 SPLIT FACE MASONRY WANSCOT | D PAINT TO MATCH ICI "BLACK BURGUNDY" MP# 30YR 09/146 |
| 5 METAL STANDING SEAM ROOF | E PAINT TO MATCH ICI "CHINA WHITE" MP# 4SYN 74/073 |
| 6 CENTER SCORED MASONRY | |
| 7 SPLIT FACE MASONRY | |
| 8 METAL SUNSHADE | |
| 9 OVERHEAD DOORS | |
| 10 HM DOOR & FRAME | |
| 11 ANODIZED ALUMINUM STOREFRONT | |
| 12 CONCRETE ACCENT BLOCK | |
| 13 WROUGHT IRON FENCE | |
| 14 LOADING DOCK SCREENWALL | |
| 15 8"X8" CENTER SCORE BLOCK | |
| 16 DOWN SPOUT | |
| 17 ART PANEL | |
| 18 TREE GRATE | |
| 19 SMOOTH FACE MASONRY ACCENT BAND | |
| 20 SMOOTH FACE MASONRY | |



Super K Center
STORE #9821
 S.W.C. OF CENTRAL AVENUE AND COORS BOULEVARD
 ALBUQUERQUE, NEW MEXICO
 DA # 01144.00
 DATE 07/02/01