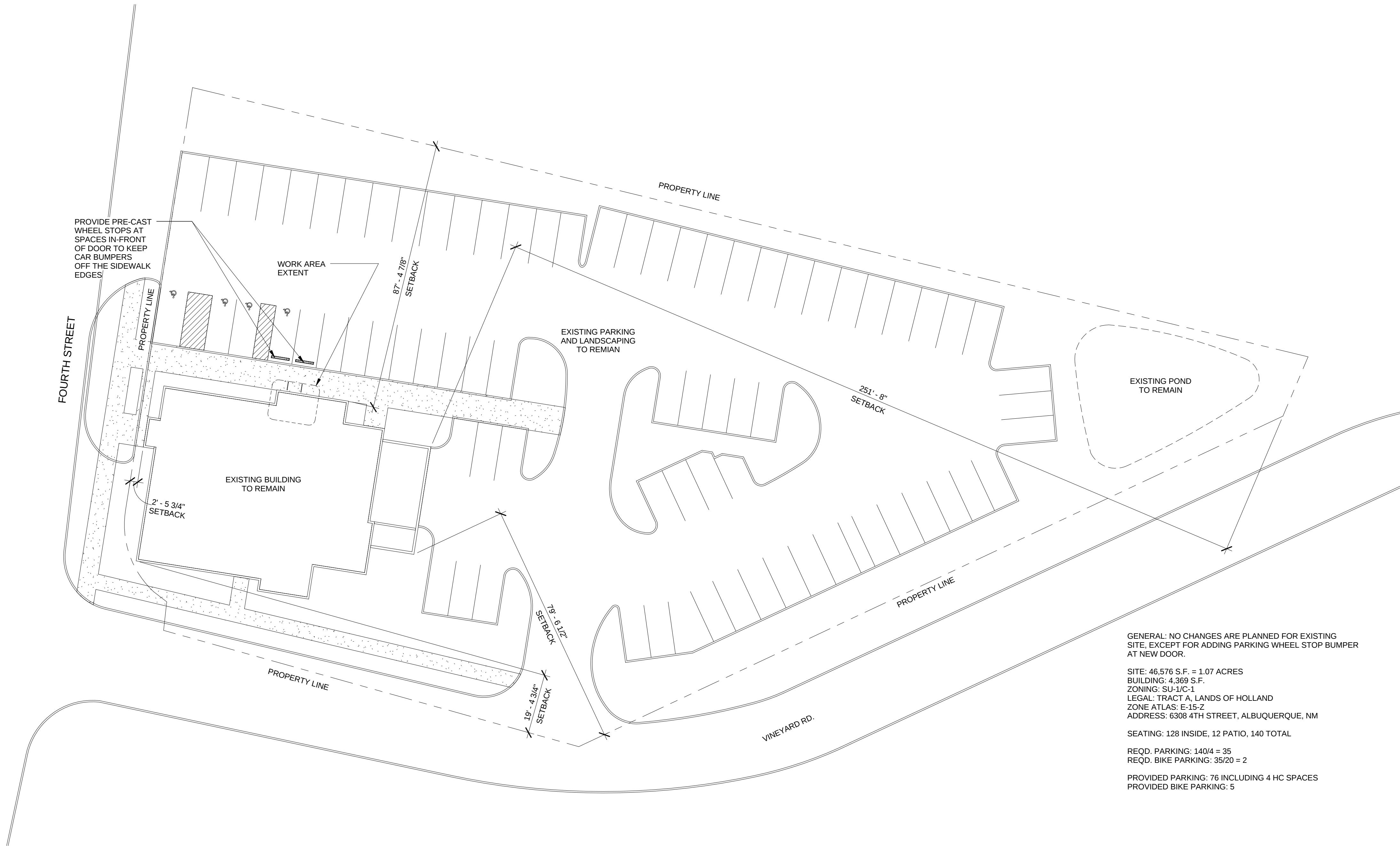


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



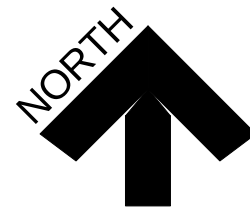
GENERAL: NO CHANGES ARE PLANNED FOR EXISTING SITE, EXCEPT FOR ADDING PARKING WHEEL STOP BUMPER AT NEW DOOR.

SITE: 46,576 S.F. = 1.07 ACRES
BUILDING: 4,369 S.F.
ZONING: SU-1/C-1
LEGAL: TRACT A, LANDS OF HOLLAND
ZONE ATLAS: E-15-Z
ADDRESS: 6308 4TH STREET, ALBUQUERQUE, NM

SEATING: 128 INSIDE, 12 PATIO, 140 TOTAL

REQD. PARKING: 140/4 = 35
REQD. BIKE PARKING: 35/20 = 2

PROVIDED PARKING: 76 INCLUDING 4 HC SPACES
PROVIDED BIKE PARKING: 5



① Site Plan
1" = 20'-0"

www.jeebsandzuzu.com

easy as pie

SITE PLAN

sheet no:

New Door Addition

AS1.0

6308 4th Street NW
Albuquerque NM 87107



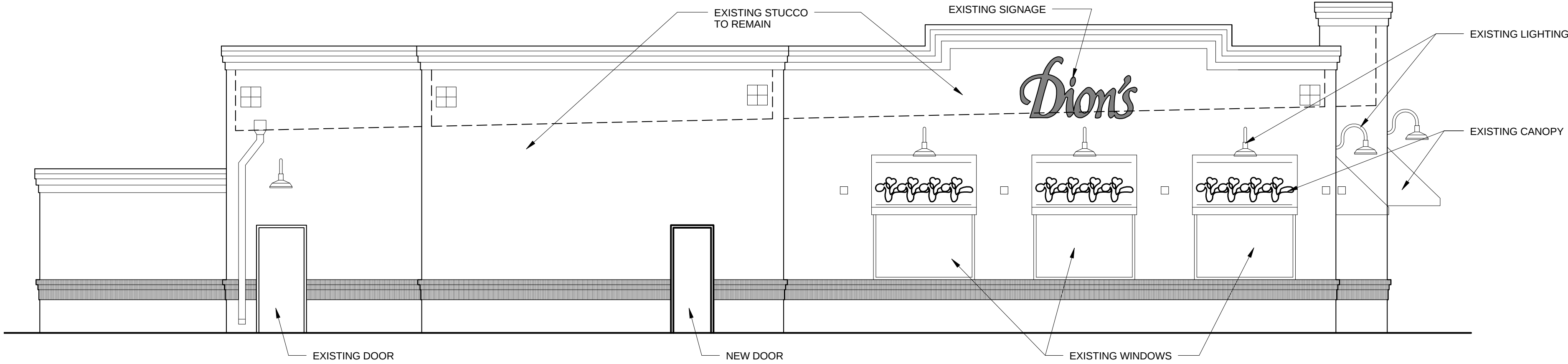
JEEBS & ZUZU, LLC.

**Architecture
Construction
Design-Build**

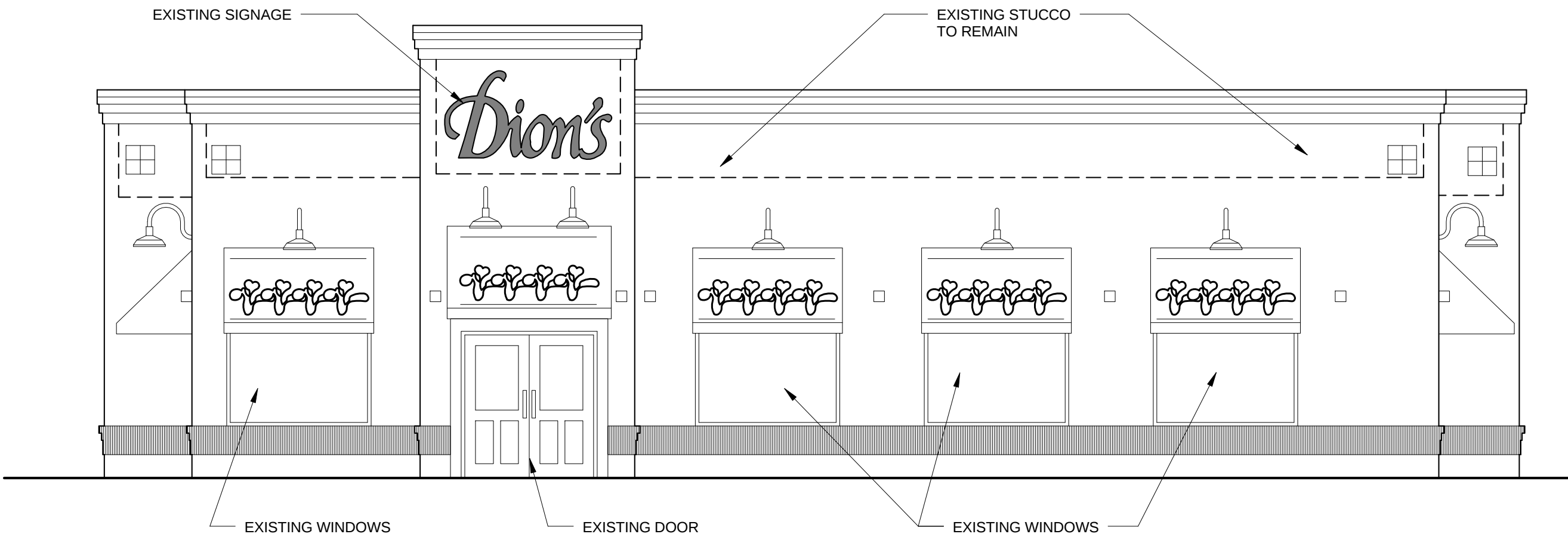
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318



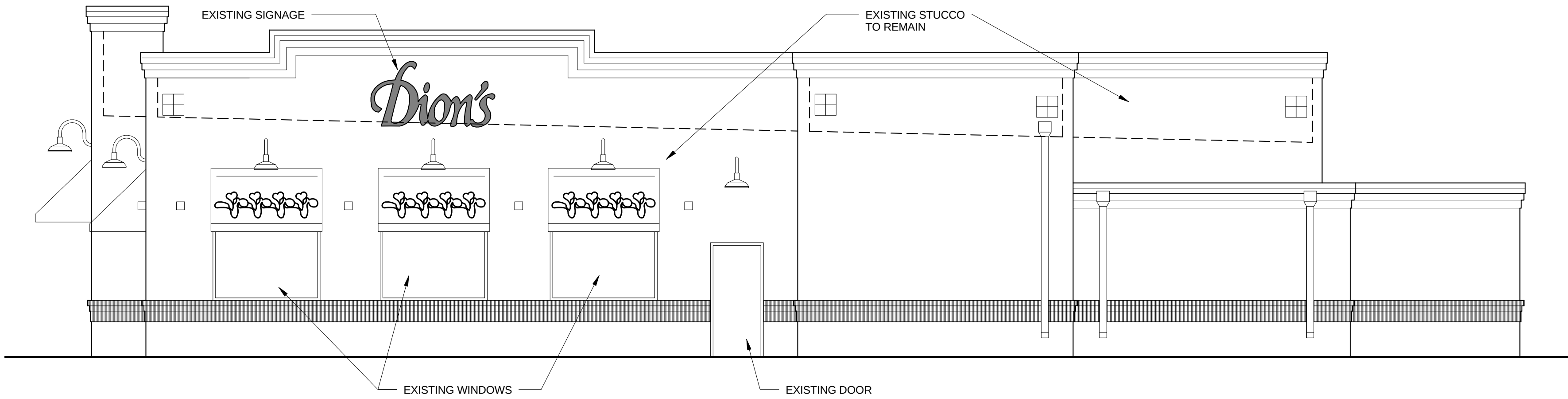
job no: 24-012
drawn: UM
checked: JDH
date: May 1, 2024



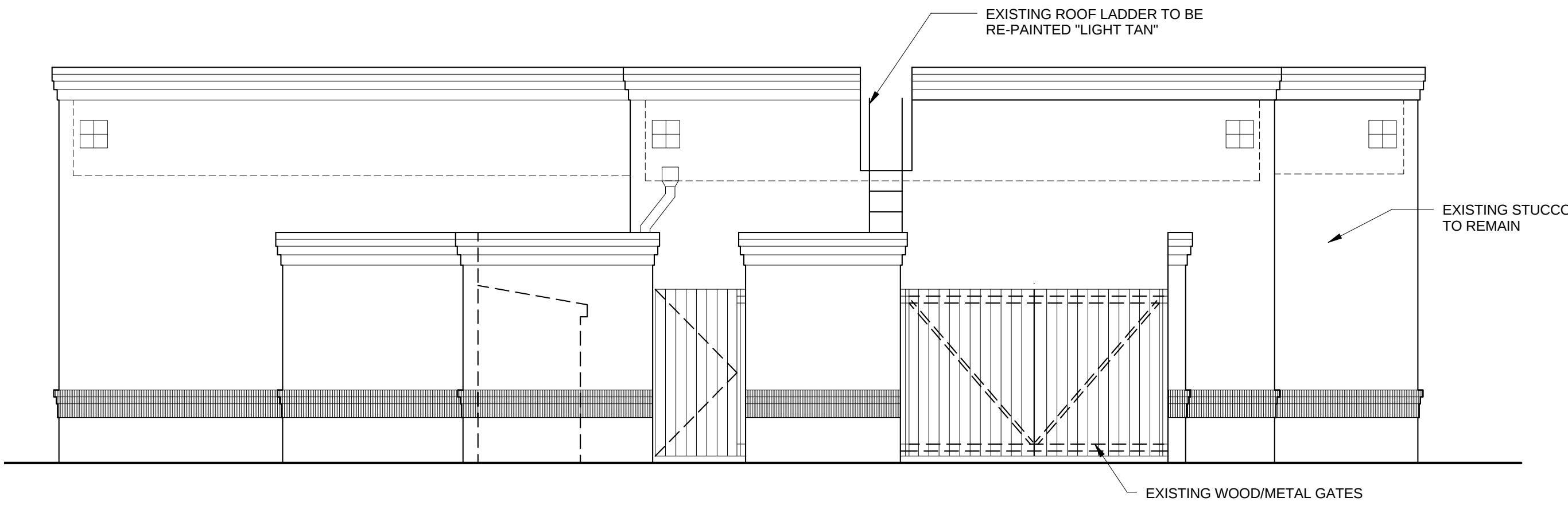
④ Building Elevation - North
3/16" = 1'-0"



③ Building Elevation - West
3/16" = 1'-0"



② Building Elevation - South
3/16" = 1'-0"



① Building Elevation - East
3/16" = 1'-0"

easy as pie



JEEBS & ZUZU, LLC.
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no: 24-012
drawn: UM
checked: JDH
date: May 1, 2024

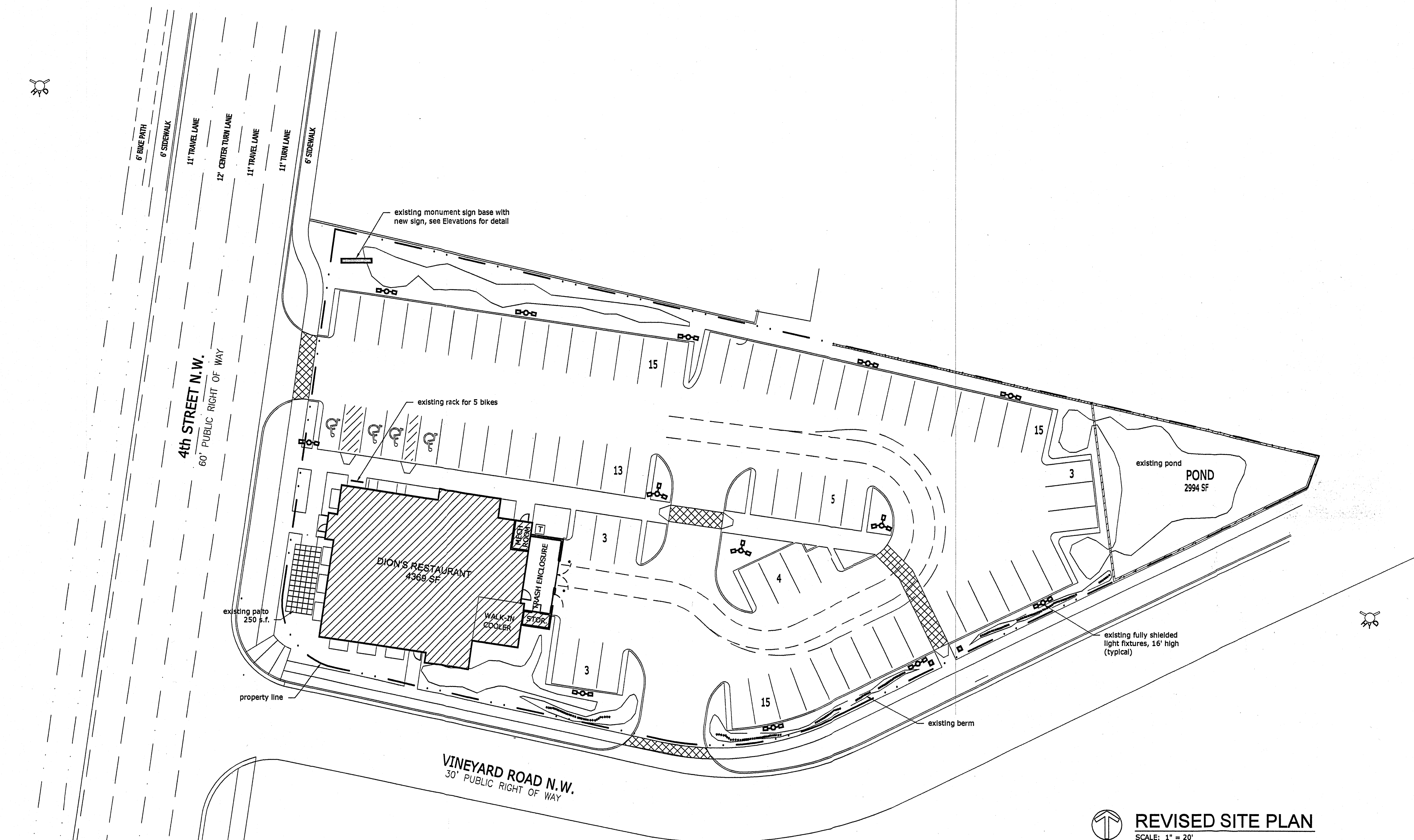
New Door Addition
6308 4th Street NW
Albuquerque NM 87107

sheet no:

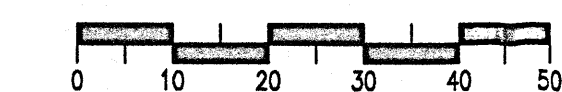
A2.0

BUILDING ELEVATIONS

www.jeebsandzuzu.com



REVISED SITE PLAN
SCALE: 1" = 20'



General: No changes are planned for existing site, except replacing the monument sign

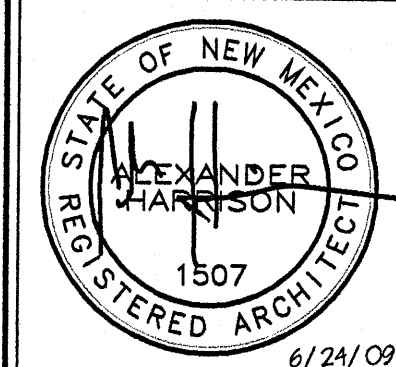
Site: 46,576 s.f. = 1.07 acres
Building: 4,369 s.f.
Zoning: SU-1 / C-1
Legal: Tract A, Lands of Holland
Zone Atlas: E-15-Z
Address: 6308 4th Street, Albuquerque, NM

Seating: 128 Inside, 12 patio, 140 total

Reqd. Parking: 140 / 4 = 35
Reqd. Bike Parking: 35 / 20 = 2

Provided Parking: 76 including 4 HC spaces
Provided Bike Parking: 5

ADMINISTRATIVE AMENDMENT	
09AA-10092-Project # 1000699	
Facade and signage changes as shown, except no building signage on east elevation.	
APPROVED BY	DATE
<i>Russell</i>	02 July '09



Alexander Harrison
Architect

Peter-Defries Corp.
d.b.a. Dion's
8525 Jefferson St. NE
Albuquerque, NM 87113
505-858-1010

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Dion's Restaurant #6
6308 4th Street NW, Albuquerque, NM

Project No: 801-6R1

Date: 6/24/09

Revisions:

Sheet Title:

REVISED
SITE PLAN

Sheet Number:

* AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAY-OUT MUST BE SUBMITTED BY THE DESIGNER
OF RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT, INCLUDING A LETTER OF CERTIFICATION THAT
THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE T.C.L. VERIFICATION OF T.C.L. ACCEPTABILITY
WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED."

SITE LIGHTING FIXTURES 016'-0" MAXIMUM 1/4 SHARP CUT-OFFS LUMINAIRE.

BUILDING MOUNTED SIGNS SHALL BE LIMITED TO 6% OF THE FACADE AREA. SIGNAGE SHALL BE INDIVIDUAL
CHANNELIZED LETTERS, METAL LETTERS OR NEON LETTERS AT A MAXIMUM HEIGHT OF 2'-0". SEE SHEET
SDP-3 FOR BUILDING MOUNTED SIGNS AND LIGHTS.

LEGAL
LEGAL DESCRIPTION
TRACT 6743 MAP NO. 29
ADDRESS
6308 4TH ST. NW
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

ZONING

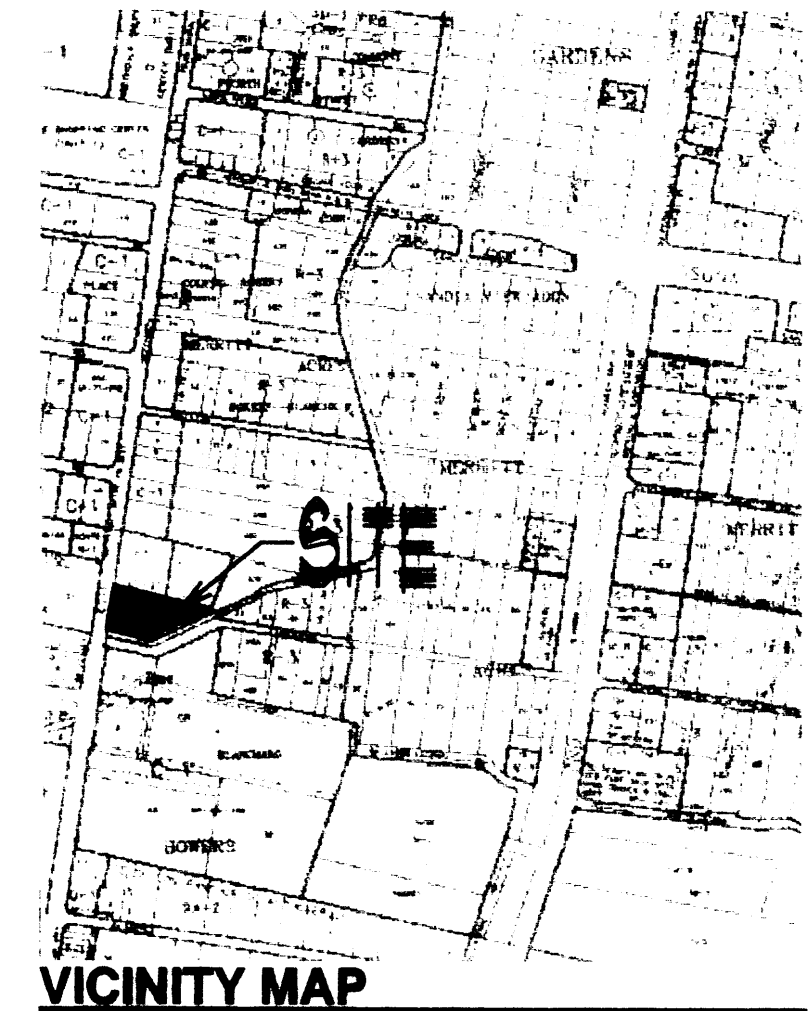
ZONED SU-1 FOR C-1 USES
PARKING
REQUIRED KITCHEN= 1200 SF • 1:200 = 6
BATHROOMS= 300 SF • 1:100 = 3
DINING = 250 SF • 1:15 = 166
WAITING = 200 SF • 1:17 = 29

TOTAL PERSONS 20
PARKING = 1 SPACE/3 PERSONS = 6 2/3 SPACES
LESS 10% FOR BUS ROUTE = -1
TOTAL REQUIRED = 62 SPACES
PROVIDED = 77 STANDARD SPACES
4 HANDICAPPED SPACES (1 VAN SPACE)
BICYCLE SPACES 3
= 1 SPACE/20 CAR SPACES
76 SPACES/20 = 3.8 REQUIRED BICYCLE SPACES
PROVIDED = 5 SPACES

AREAS

LOT	= 46,576 SF
BUILDING	= 4,369 SF

(F) LEGAL NOTES



A circular professional seal for James C. Lewis, a Registered Architect in the State of New Mexico. The seal features the text "STATE OF NEW MEXICO" at the top and "REGISTERED ARCHITECT" at the bottom. In the center, the name "James C. Lewis" and the number "No. 979" are printed.

CONSUL I AM I

VICINITY MAP

1. PROPOSED 4364 SQ. FT. RESTAURANT
2. PROPOSED TRASH ENCLOSURE
3. PROPOSED STREET ALIGNMENT
4. EXISTING STREET ALIGNMENT
5. PROPOSED 6' WIDE CONCRETE SIDEWALK
6. PROPOSED 4' WIDE CONCRETE SIDEWALK
7. 24" CURB CUTS W/ 15R RETURNS
8. OUTDOOR WAITING & SITTING AREA 250 SQ'
9. PROPOSED LANDSCAPE AREA
10. PROPOSED PROPERTY LINE
11. EXISTING PROPERTY LINE
12. PROPOSED CURB AND GUTTER
13. PROPOSED HC RAMP SEE DETAIL H SHT SDPS
14. PROPOSED 8'X10' HC PARKING SPACE(S)
15. PROPOSED 8'X10' HC ACCESS AISLE
16. PROPOSED 6'X10' HC ACCESS AISLE
17. PROPOSED 9'X10' PARKING SPACE(S)
18. PROPOSED 8'X15' SMALL CAR SPACE
19. 6' WIDE PEDESTRIAN CONNECTION, RAISED & TEXTURED CONCRETE
20. PROPOSED ASPHALT PAVING
21. EXISTING ASPHALT PAVING
22. PROPOSED SITE POLE LIGHTING, SEE SHT SDPS
23. PROPOSED BIKE RACK LOCATION, SEE SHT SDPS FOR DETAIL
24. TRASH TRUCK ROUTE
25. PROPOSED MONUMENT SIGN, SEE SHT SDPS FOR DETAIL
26. PROPOSED DRAINAGE POND SEE GRADING PLAN
27. PROPOSED 6' SOLID WALL
28. PROPOSED 6' SOLID IRON WALL SEE SHT SDPS FOR DETAIL
29. PROPOSED GATE
30. EXISTING UTILITY POLE
31. EXISTING MAN HOLE
32. EXISTING FIRE HYDRANT
33. EXISTING RETAINING WALL
34. EXISTING CONC. SIDEWALK
35. 4' WIDE PEDESTRIAN CONNECTION, RAISED & TEXTURED CONCRETE

PROJECT
NO. 01450 - 00000 - 00278
KEYED NOTES

Schlager Lewis Architects
1620
Central Ave SE
Albuquerque NM 87106
(505) 247-5529
FAX (505) 243-5701
gsl@slmac.com

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Applebee's
6308 4TH ST. NW
Albuquerque, New Mexico

Case No. : 00128 00000 01633

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on EPC 1/18/01 and DRB _____ and that the findings and conclusions in the Official Notice/Notification of Decision have been complied with.

Richard D. Dineen 4-18-01
Traffic Engineer, Transportation Division Date

Bernice E. Ambrosio 2/14/01
Parks & Recreation Dept Date

Roger A. Dineen 3/14/01
Public Works, Water Utilities Division Date

Kevin E. Dineen 4/16/01
City Engineer, Engineering Div/AMFCA Date

John A. Dineen 9-14-01
Solid Waste Department Date

ISSUE DATE:
13 FEB 01

REVISIONS:
22 FEB 01
14 MAR 01

**SITE PLAN
CONCEPTUAL REVISION**

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.

 4/16/01
City Planner _____ Date
ALBUQUERQUE PLANNING DEPARTMENT

SIGNATURE BLOCK

Scale: 1" = 20'-0"

6 BIKE PATH
6' SIDEWALK
11' TRAVEL LANE
12' CENTER TURN LANE
11' TRAVEL LANE
11' TURN LANE
6' SIDEWALK

10' RIGHT OF WAY DEDICATED TO THE CITY OF ABQ.

4th STREET N.W.

SEWER WATER EAS.

VINEYARD ROAD N.W.

CHAMIZAL ACEQUIA ABANDONED COMMUNITY DITCH

POND

PROJ 10006

AFD PLANS CHECKING STAMP
824-8511
APPROVED
R.C. Jones 7-14-01
SIGNATURE & DATE

NOTE:
THE INTERSECTION OF
4TH ST. AND VINEYARD
IS NOT SIGNALIZED AT
THIS TIME.

NOTE:
SEE SHEET SDP4 FOR UTILITIES.

0' 10' 0' 20' 40'