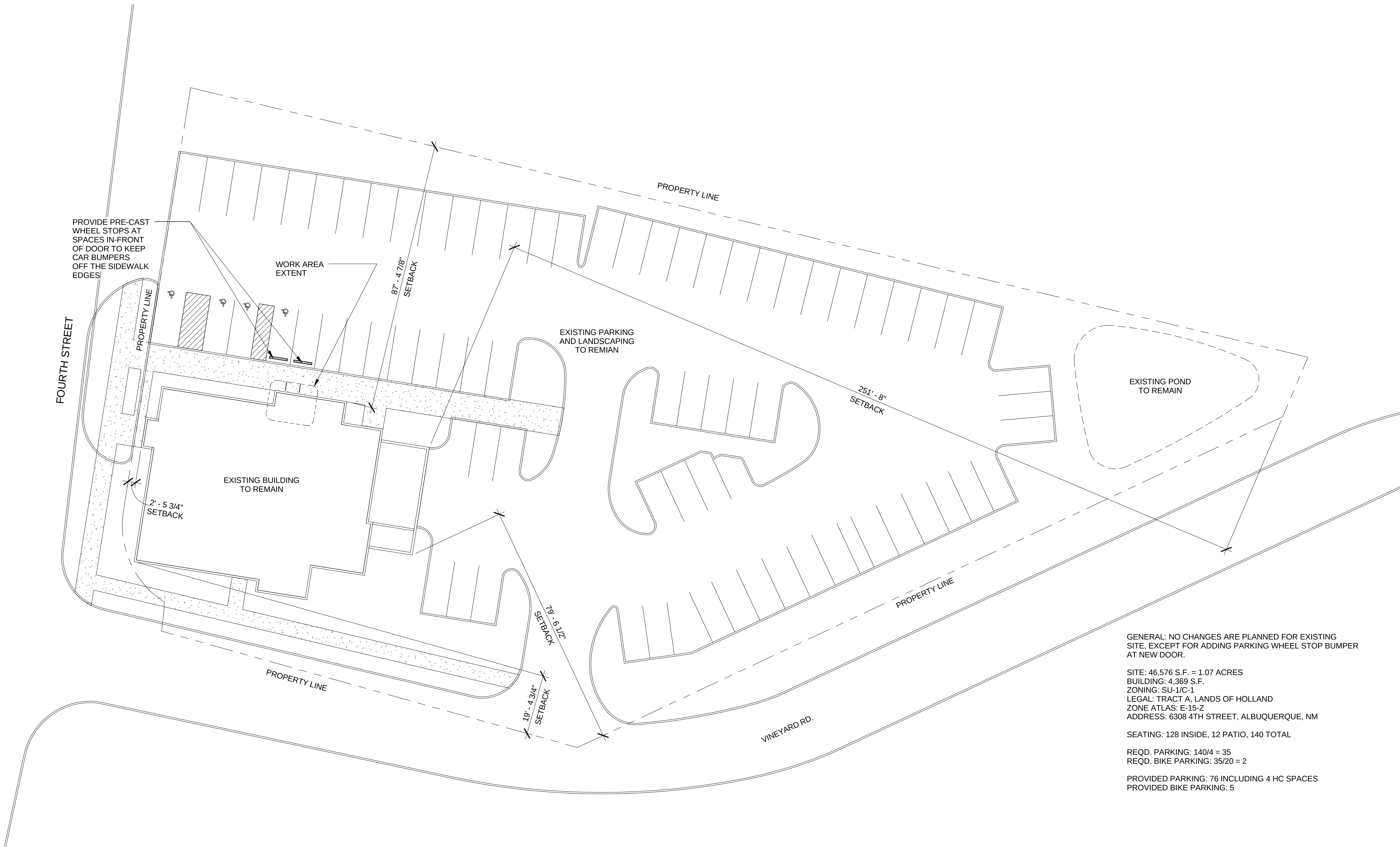


ADMINISTRATIVE AMENDMENT

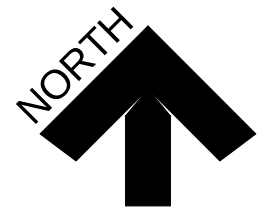
FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



① Site Plan
1" = 20'-0"



GENERAL: NO CHANGES ARE PLANNED FOR EXISTING SITE, EXCEPT FOR ADDING PARKING WHEEL STOP BUMPER AT NEW DOOR.

SITE: 46,576 S.F. = 1.07 ACRES
BUILDING: 4,369 S.F.
ZONING: SU-1/C-1
LEGAL: TRACT A, LANDS OF HOLLAND
ZONE ATLAS: E-15-Z
ADDRESS: 6308 4TH STREET, ALBUQUERQUE, NM

SEATING: 128 INSIDE, 12 PATIO, 140 TOTAL

REQD. PARKING: 140/4 = 35
REQD. BIKE PARKING: 35/20 = 2

PROVIDED PARKING: 76 INCLUDING 4 HC SPACES
PROVIDED BIKE PARKING: 5

www.jeebsandzuzu.com

easy as pie

SITE PLAN

sheet no:

AS1.0

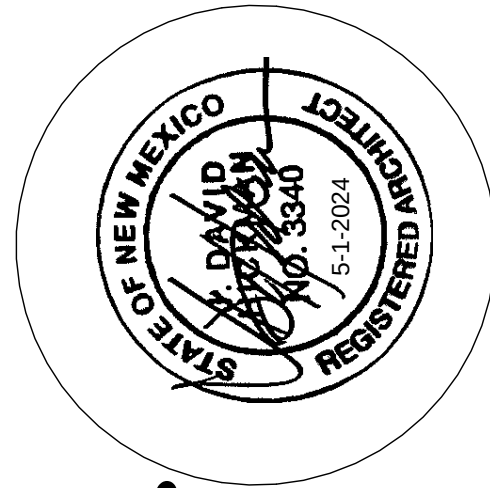
New Door Addition

6308 4th Street NW
Albuquerque NM 87107

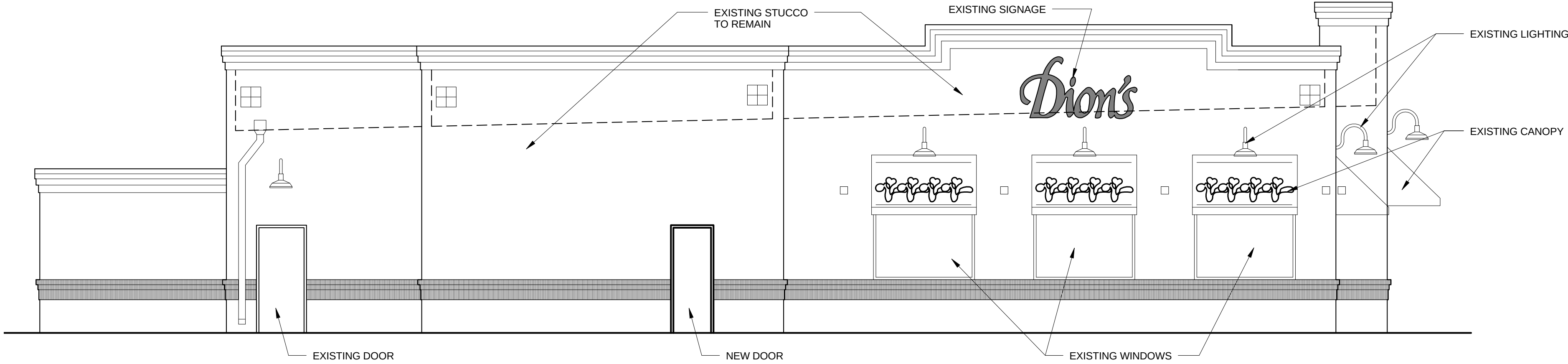


JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build

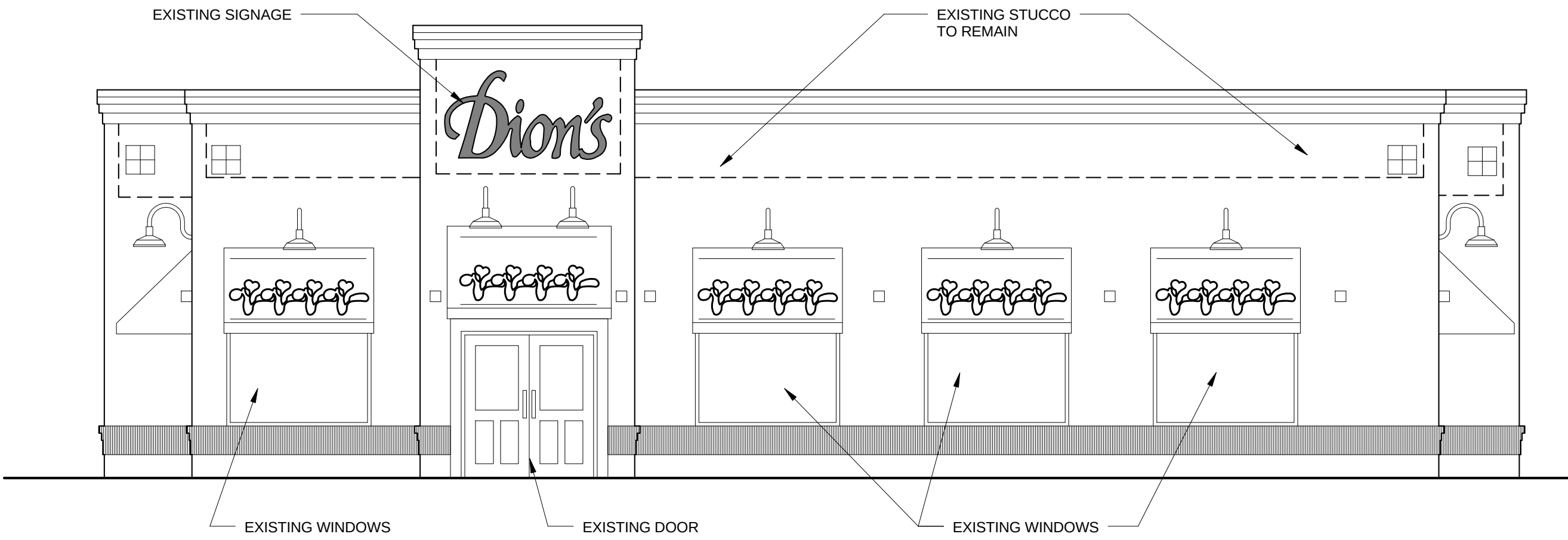
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318



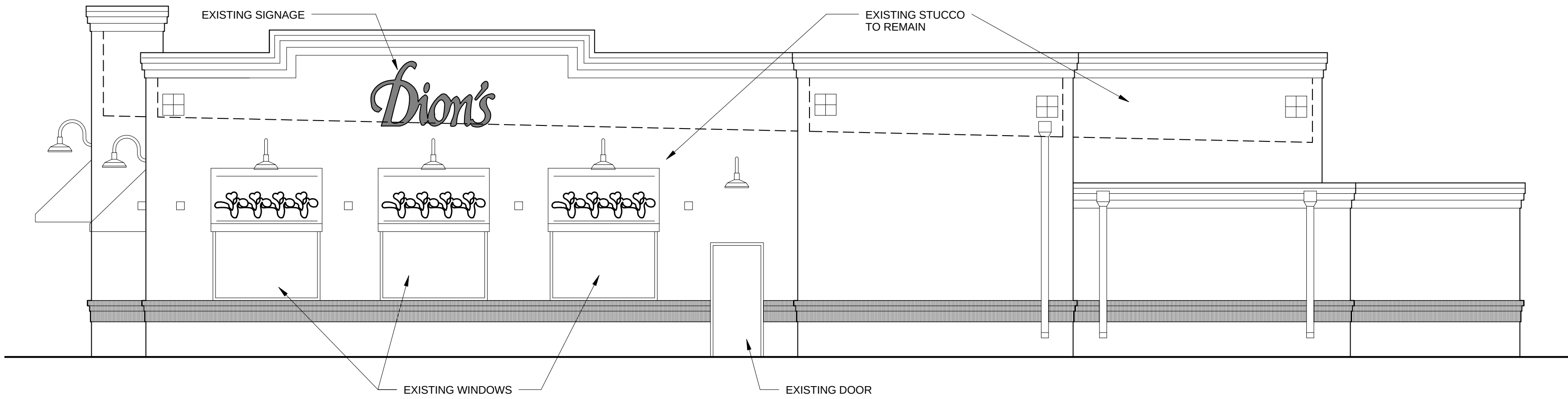
job no: 24-012
drawn: UM
checked: JDH
date: May 1, 2024



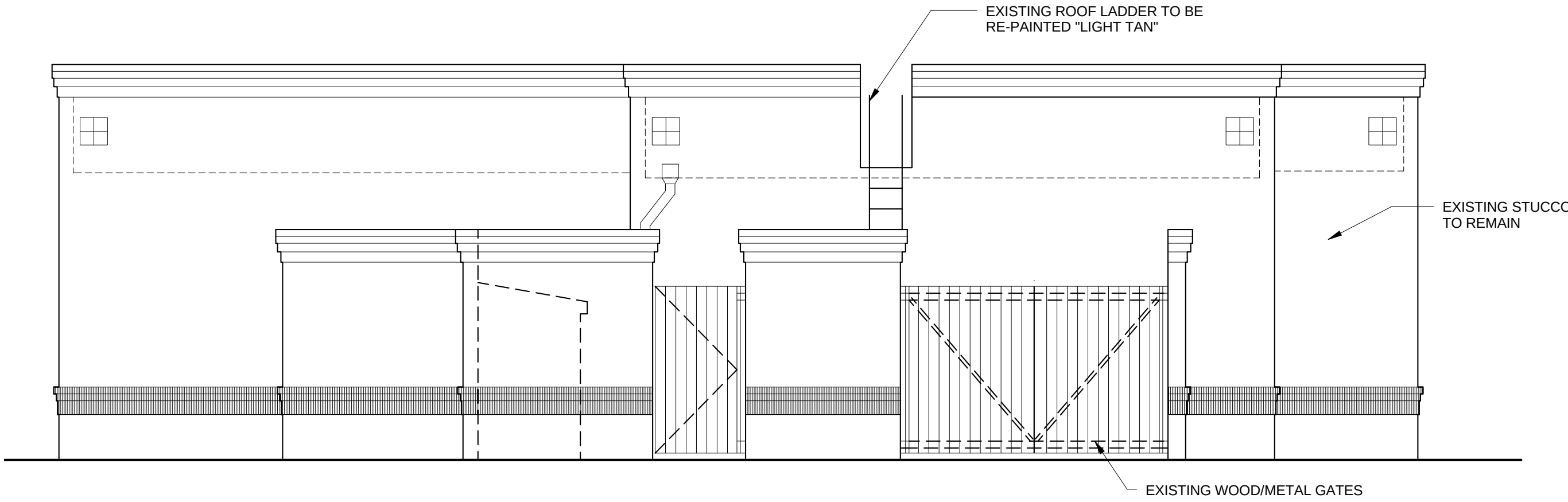
④ Building Elevation - North
3/16" = 1'-0"



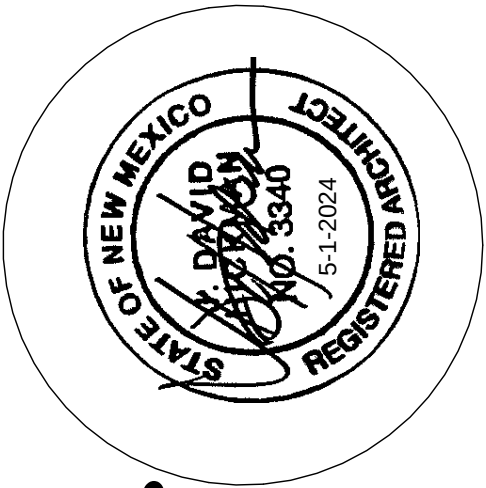
③ Building Elevation - West
3/16" = 1'-0"



② Building Elevation - South
3/16" = 1'-0"



① Building Elevation - East
3/16" = 1'-0"



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



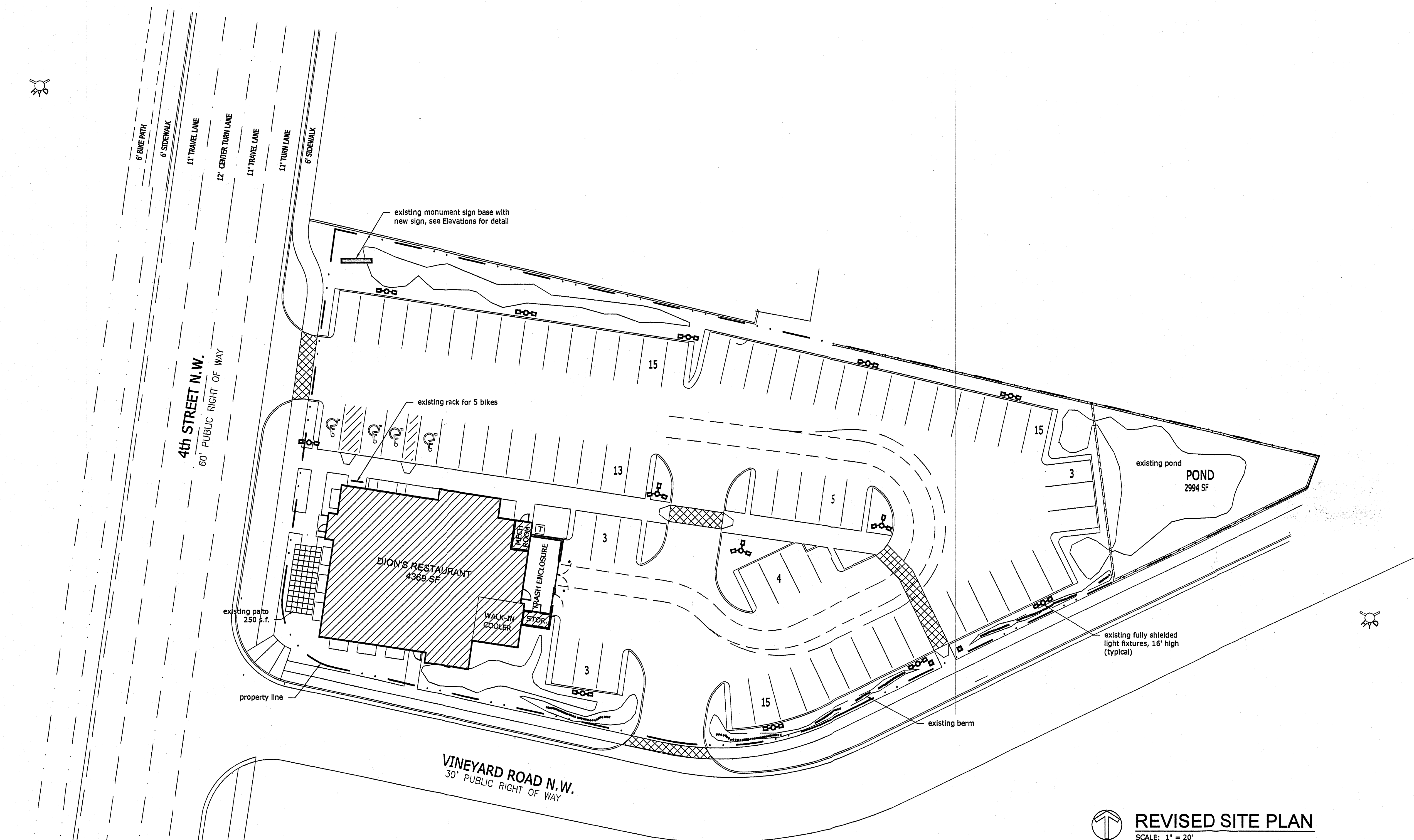
job no: 24-012
drawn: UM
checked: JDH
date: May 1, 2024

New Door Addition
6308 4th Street NW
Albuquerque NM 87107

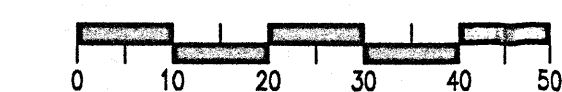
sheet no:
A2.0

BUILDING ELEVATIONS

www.jeebsandzuzu.com



REVISED SITE PLAN
SCALE: 1" = 20'



General: No changes are planned for existing site, except replacing the monument sign

Site: 46,576 s.f. = 1.07 acres
Building: 4,369 s.f.
Zoning: SU-1 / C-1
Legal: Tract A, Lands of Holland
Zone Atlas: E-15-Z
Address: 6308 4th Street, Albuquerque, NM

Seating: 128 Inside, 12 patio, 140 total

Reqd. Parking: 140 / 4 = 35
Reqd. Bike Parking: 35 / 20 = 2

Provided Parking: 76 including 4 HC spaces
Provided Bike Parking: 5

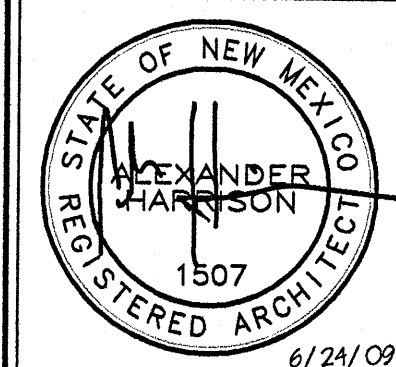
ADMINISTRATIVE AMENDMENT

09AA-10092-Project # 1000699

Facade and signage changes as shown, except no building signage on east elevation.

Russell B. 02 July '09

APPROVED BY DATE



Alexander Harrison
Architect

Peter-Defries Corp.
d.b.a. Dion's
8525 Jefferson St. NE
Albuquerque, NM 87113
505-858-1010

All Rights Reserved
Copyright © 2009

Dion's Restaurant #6
6308 4th Street NW, Albuquerque, NM

Project No: 801-6R1

Date: 6/24/09

Revisions:

Sheet Title:
**REVISED
SITE PLAN**

Sheet Number:
1

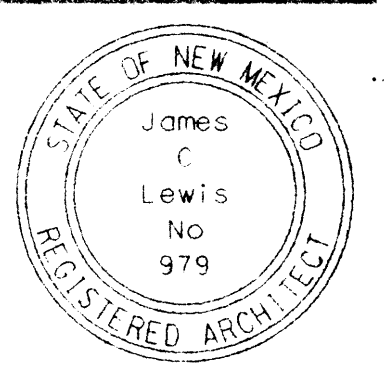
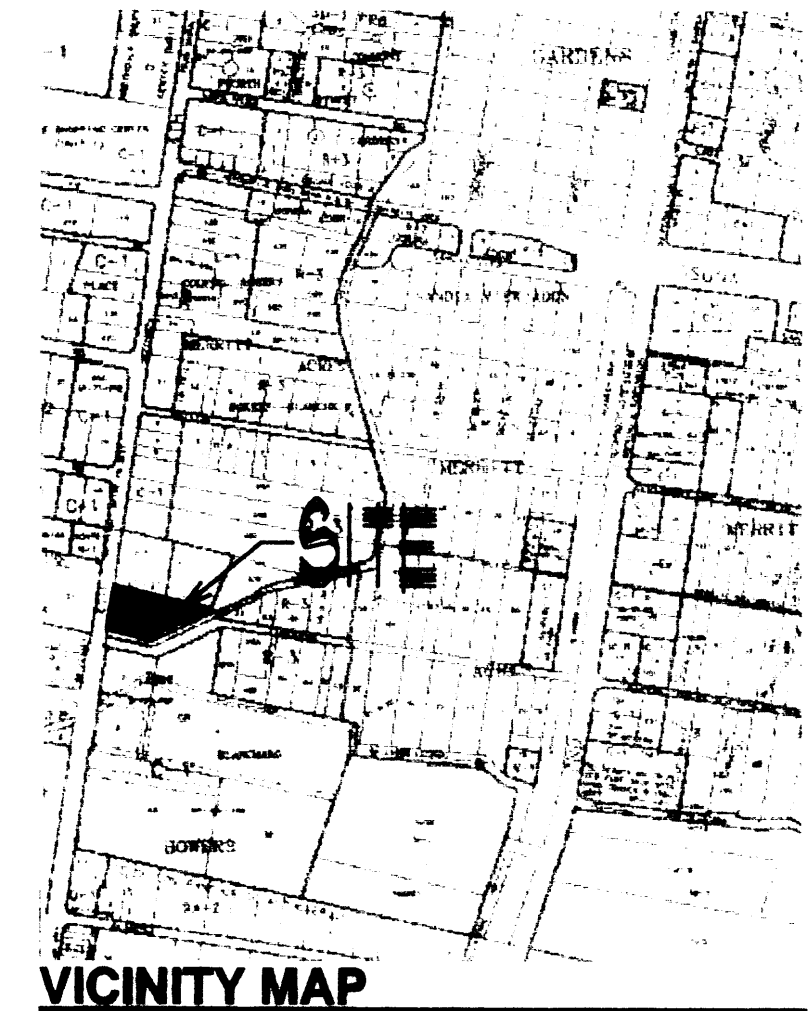
SDP1.....SITE PLAN
C1.....CONCEPTUAL GRADING PLAN
SDP2.....LANDSCAPE PLAN
SDP3.....EXTERIOR ELEVATIONS
SDP4.....CONCEPTUAL UTILITIES

*AN AS-BUILT COPY OF THE APPROVED TRAFFIC CIRCULATION LAY-OUT MUST BE SUBMITTED BY THE DESIGNER
-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT, INCLUDING A LETTER OF CERTIFICATION THAT
THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE T.C.L. VERIFICATION OF T.C.L. ACCEPTABILITY
WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.*
SITE LIGHTING FIXTURES 16'-0" MAXIMUM W/ SHARP CUT-OFFS LUMINAIRE.
BUILDING MOUNTED SIGNS SHALL BE LIMITED TO 6% OF THE FACADE AREA. SIGNAGE SHALL BE INDIVIDUAL
CHANNELIZED LETTERS, METAL LETTERS OR NEON LETTERS AT A MAXIMUM HEIGHT OF 2'-0". SEE SHEET
SDP-3 FOR BUILDING MOUNTED SIGNS AND LIGHTS.

LEGAL
LEGAL DESCRIPTION
TRACT 67A3 MAP NO. 29
ADDRESS
6308 4TH ST. NW
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

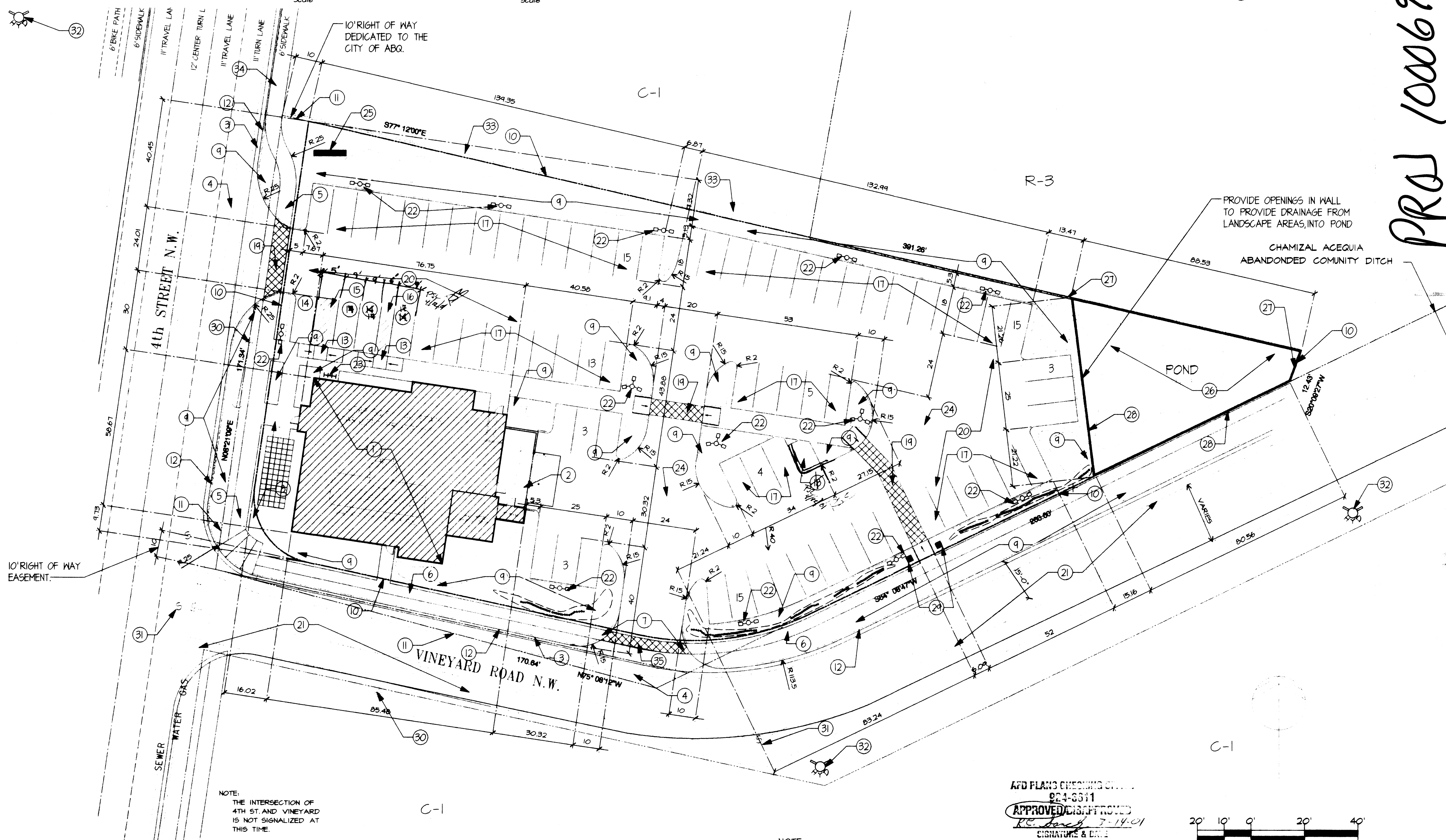
ZONING
ZONED SU-1 FOR C-1 USES
PARKING
REQUIRED KITCHEN= 1200 SF • 1:200 = 6
BATHROOMS= 300 SF • 1:100 = 3
DINING = 2500 SF • 1:15 = 169
WAITING = 200 SF • 1:1 = 29
TOTAL PERSONS 207
PARKING = 1 SPACE/3 PERSONS = 69 SPACES
LESS 10% FOR BUS ROUTE = -7
TOTAL REQUIRED = 62 SPACES
PROVIDED = 62 STANDARD SPACES
4 HANDICAPPED SPACES (1 VAN SPACE)
BICYCLE SPACES
1 SPACE/20 CAR SPACES
76 SPACES/20 = 3.8 REQUIRED BICYCLE SPACES
PROVIDED = 5 SPACES

AREAS
LOT = 46,576 SF
BUILDING = 4,364 SF
F LEGAL NOTES

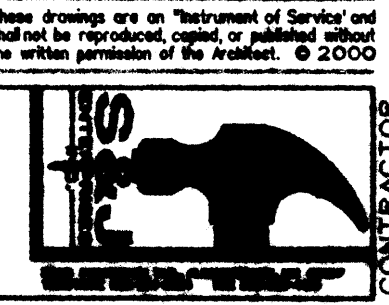


CONSULTANT

A DETAIL NOT USED B DETAIL NOT USED C INDEX OF DRAWINGS D GENERAL NOTES



1. PROPOSED 4,364 SQ. FT. RESTAURANT
 2. PROPOSED TRASH ENCLOSURE
 3. PROPOSED STREET ALIGNMENT
 4. EXISTING STREET ALIGNMENT
 5. PROPOSED 6' WIDE CONCRETE SIDEWALK
 6. PROPOSED 4' WIDE CONCRETE SIDEWALK
 7. 24" CURB CUTS W/ 15" RETURNS
 8. OUTDOOR WAITING & SITTING AREA 250 SQ'
 9. PROPOSED LANDSCAPE AREA
 10. PROPOSED PROPERTY LINE
 11. EXISTING PROPERTY LINE
 12. PROPOSED CURB AND GUTTER
 13. PROPOSED HC RAMP SEE DETAIL H SHT SDP3
 14. PROPOSED 8'X10' HC PARKING SPACE(S)
 15. PROPOSED 8'X10' HC ACCESS AISLE
 16. PROPOSED 8'X10' HC ACCESS AISLE
 17. PROPOSED 8'X10' PARKING SPACE(S)
 18. PROPOSED 8'X10' SMALL CAR SPACE
 19. 6' WIDE PEDESTRIAN CONNECTION, RAISED & TEXTURED CONCRETE
 20. PROPOSED ASPHALT PAVING
 21. EXISTING ASPHALT PAVING
 22. PROPOSED SITE POLE LIGHTING, SEE SHT SDP3
 23. PROPOSED BIKE RACK LOCATION, SEE SHT SDP3 FOR DETAIL
 24. TRASH TRUCK ROUTE
 25. PROPOSED MONUMENT SIGN, SEE SHT SDP3 FOR DETAIL
 26. PROPOSED DRAINAGE POND SEE GRADING PLAN
 27. PROPOSED 6' SOLID WALL
 28. PROPOSED 6' ROD IRON WALL SEE SHT SDP3 FOR DETAIL
 29. PROPOSED GATE
 30. EXISTING UTILITY POLE
 31. EXISTING MAN HOLE
 32. EXISTING FIRE HYDRANT
 33. EXISTING RETAINING WALL
 34. EXISTING CONC. SIDEWALK
 35. 4' WIDE PEDESTRIAN CONNECTION, RAISED & TEXTURED CONCRETE
- KEYED NOTES
Case No.: 00128 00000 01633
This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on EPC 1/16/01 and DRB 1/16/01 and that the findings and conditions in the Official Notice/Notification of Decision have been complied with.
Signature: [Signature] Date: 4-16-01
Traffic Engineer, Transportation Division
Signature: [Signature] Date: 4/14/01
Parks & Recreation Dept.
Signature: [Signature] Date: 4/11/01
Public Works, Water Utilities Division
Signature: [Signature] Date: 4/11/01
City Engineer, Engineering Div./AMNCA
Signature: [Signature] Date: 8-14-01
Solid Waste Department



Applebee's
6308 4TH ST. NW
Albuquerque, New Mexico

ISSUE DATE:
13 FEB 01
REVISIONS:
22 FEB 01
14 MAR 01

SHEET
SDP1
OF 5

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.
Signature: [Signature] Date: 4/16/01
Albuquerque Planning Department
SIGNATURE BLOCK

T SITE DEVELOPMENT PLAN - CONCEPTUAL REVISION

NOTE:
SEE SHEET SDP4 FOR UTILITIES.

APPROVED
Signature: [Signature] Date: 3-14-01
CITY PLANNER



Scale: 1"=20'-0"