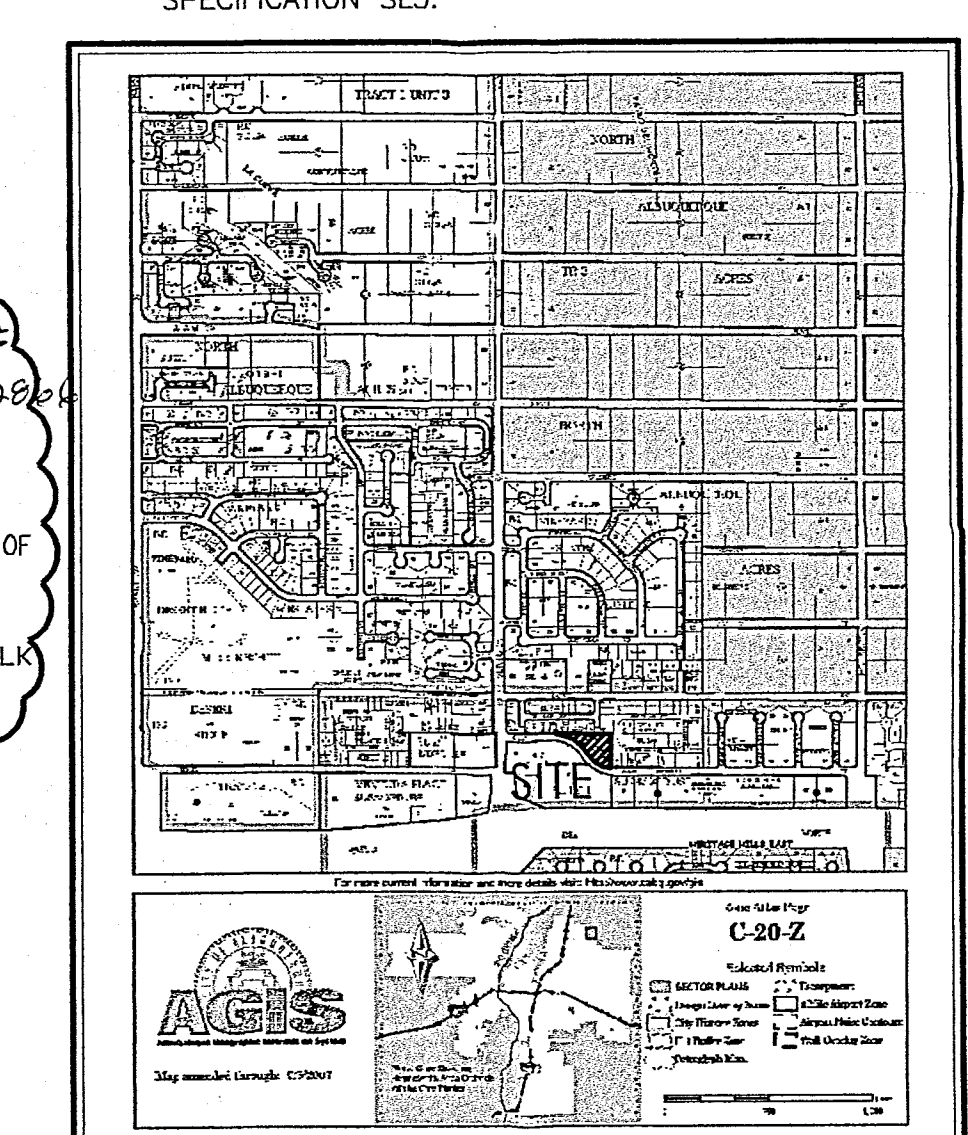
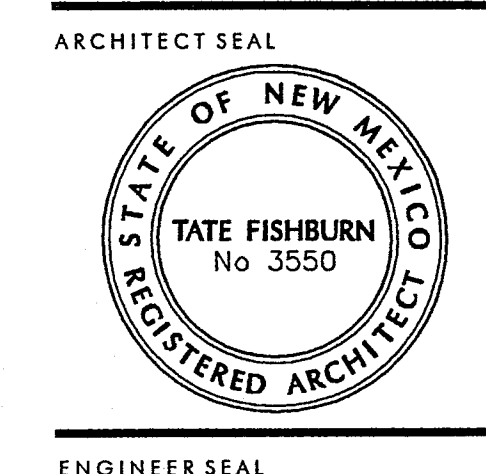


PROJECT INFORMATION

PROJECT: NEW OFFICE/RETAIL
 LOCATION: 9001 HOLLY AVENUE, NE ALBUQUERQUE, NM
 OWNER: PARAMOUNT REALTY
 ARCHITECT: TATE FISHBURN ARCHITECT
 LEGAL DESCRIPTION: NORTH ALB. ACRES TRACT 3 UNIT 3 BLOCK 19 LOT D
 CURRENT ZONING CLASSIFICATION: SU-1
 TYPE CONSTRUCTION: TYPE II B
 OCCUPANCY: M/B
 ALLOWABLE AREA: 12,500 SQ. FT.
 TYPE II B CONSTRUCTION & M OCCUPANCY = 12,500
 GROSS BUILDING AREA: 8,542 S.F.
 OFFICE: 2,400 S.F.
 RETAIL: 6,142 S.F.
 TOTAL LOT AREA: 1.04 ACRE +/-
 PARKING ANALYSIS:
 OFFICE AREA = 2,400/200 = 12
 RETAIL PARKING = 6,142/200 = 31
 SPACES PROVIDED = 44 SPACES
 INCLUDING 3 HANDICAP
 3 BIKE SPACES & 2 MOTORCYCLE

GENERAL NOTES:

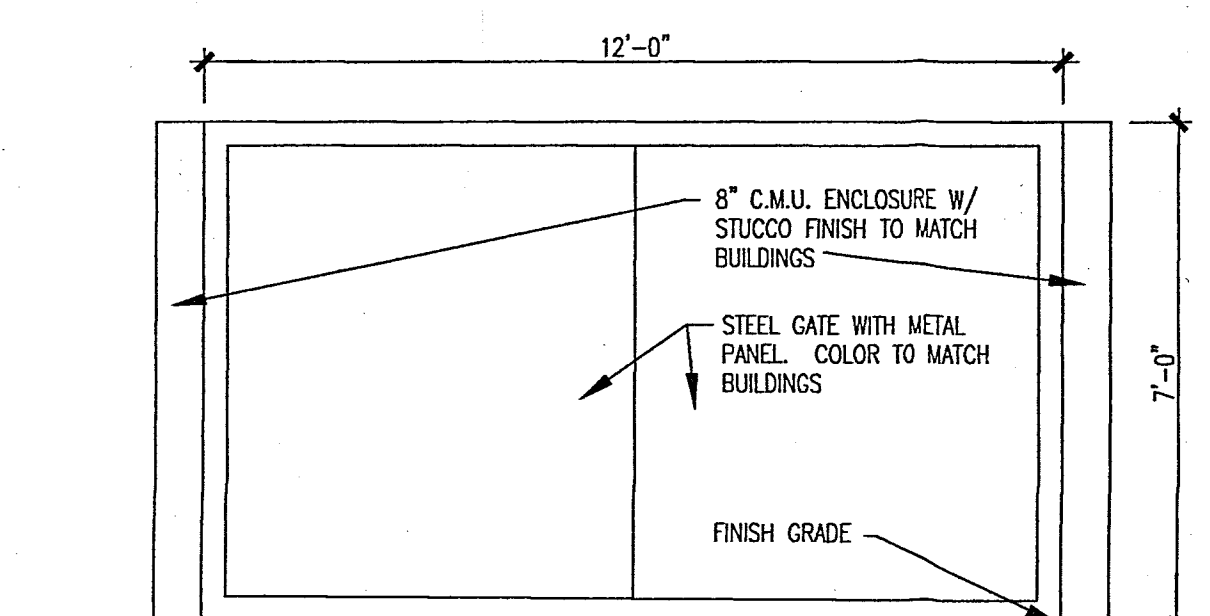
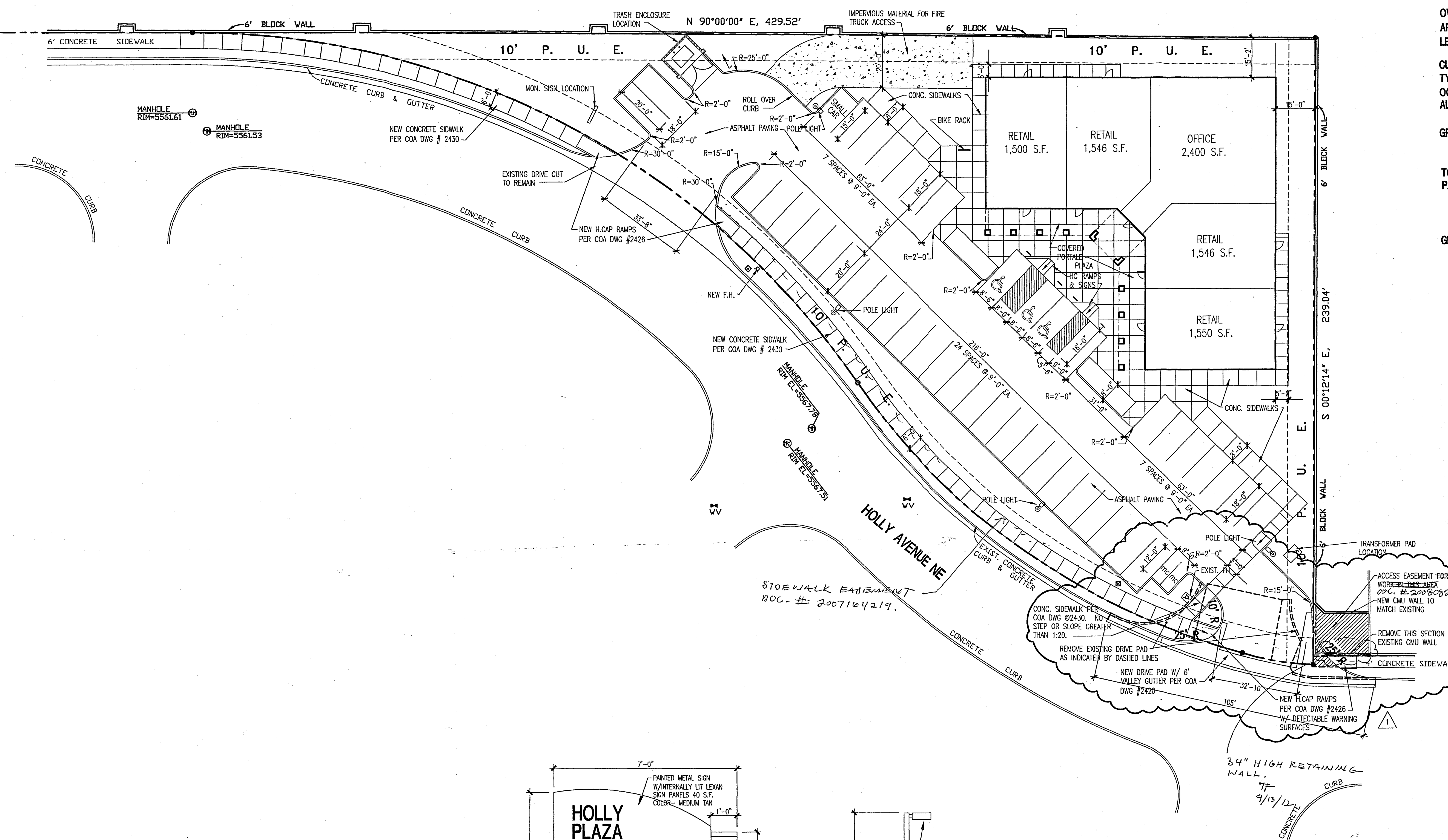
- ALL SITE LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-9, AREA LIGHTING REGULATIONS & THE NIGHT SKY ORDINANCE.
- POLE MOUNTED LIGHTING SHALL BE 20'-0" MAX.
- PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUM. REQ'MENTS
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS W/ NO LIGHT LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING'S BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
- ALL HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.
- STREETLIGHTS SHALL MEET THE FOLLOWING SPEC.- G.E. 100 WATT, BRONZE, LUMEN SHOEBOX TYPE W/ LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.



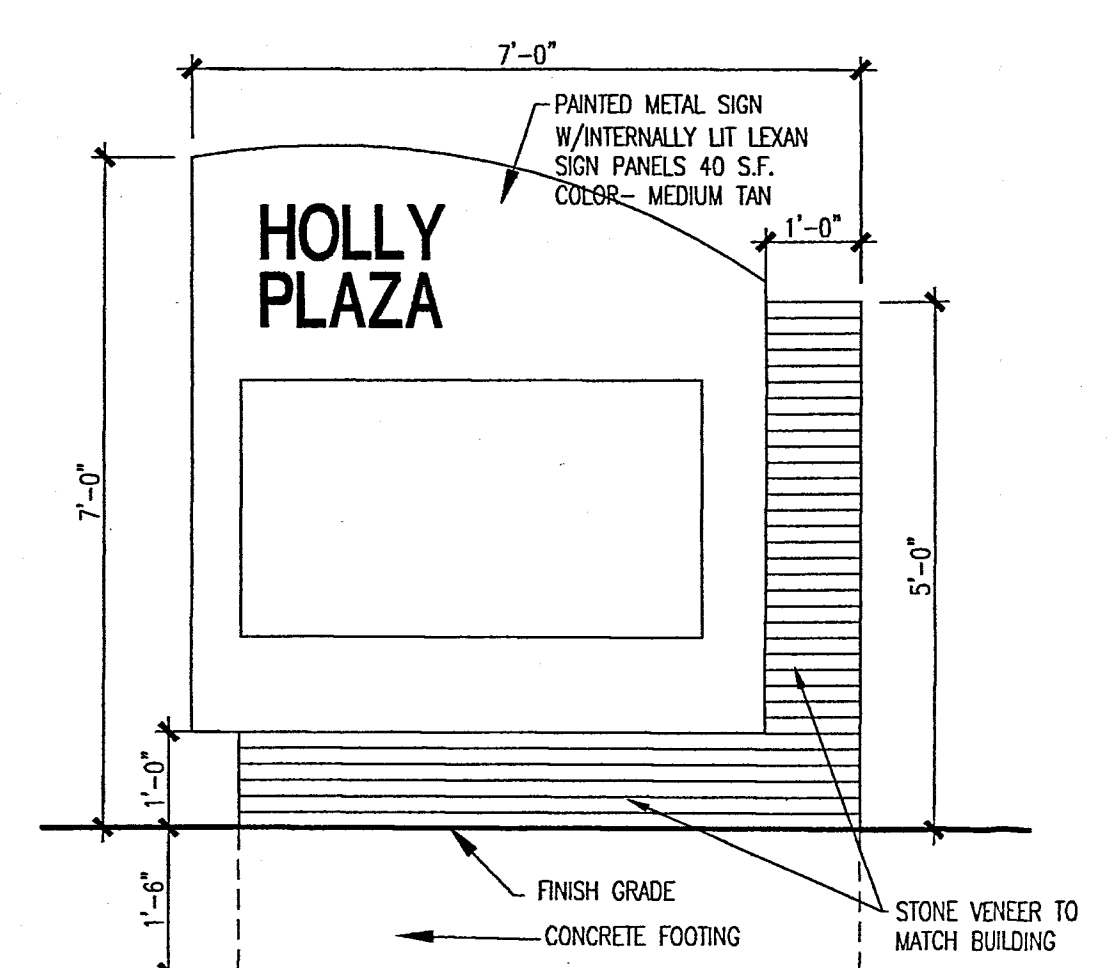
PROJECT NO. 1000523
 APPLICATION NO. 01028-70253
 IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
 DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION
 ROBERT ALLEN 9/26/07
 CHRISTINA SANDORAL 9/26/07
 N/A
 MICHAEL HARTON 9/12/07
 ANDREW SMITH 12-7-07

SITE PLAN FOR BUILDING PERMIT
 NEW RETAIL/OFFICE BUILDING
 9001 HOLLY AVENUE, NE
 ALBUQUERQUE, NEW MEXICO

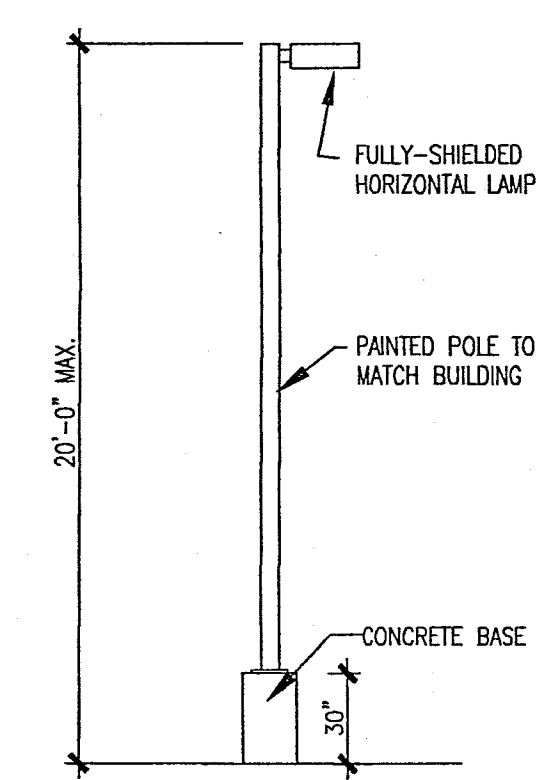
REVISIONS
 ADMINISTRATIVE AMENDMENT 7/24/2008
 DATE MAY 15, 2008
 NORTH SCALE
 1"=20'-0"
 DRAWING NAME
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 SHEET NUMBER
 SDP-1



4 TRASH ENCLOSURE
N.T.S.



3 MONUMENT SIGN
1/2"=1'-0"



2 POLE LIGHT
N.T.S.

