



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Alternative Landscaping Plan (Form P3)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, DHO, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

BRIEF DESCRIPTION OF REQUEST

The applicant intends to renew the existing Burger King restaurant building façade materials/colors, an additional entrance, a window, add an additional drive through lane, replace wall mounted store sign, and add additional storefront signage on the building's south elevation.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

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Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #		

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

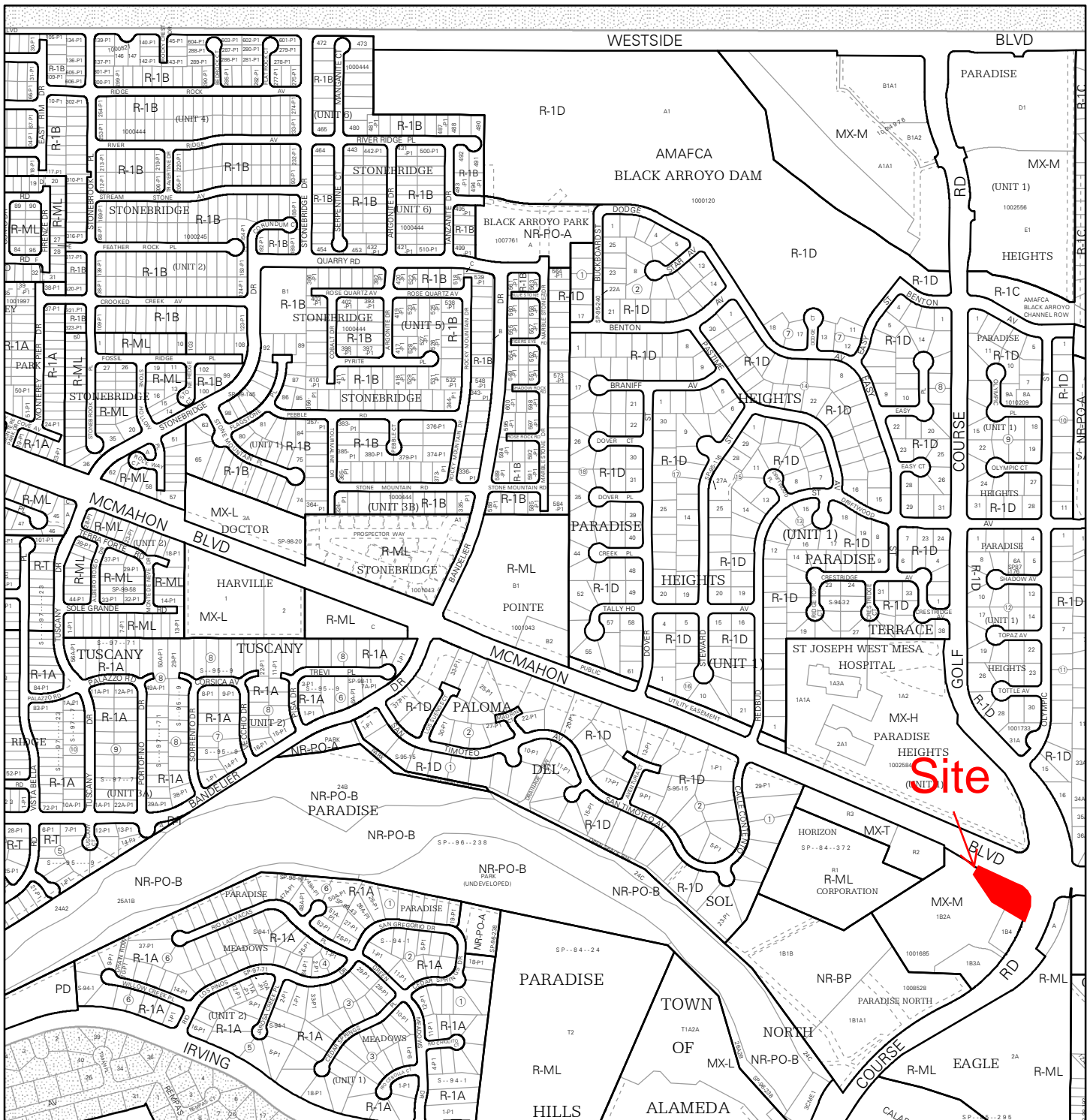
Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

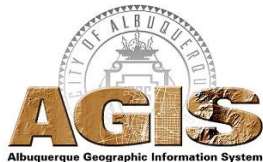
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

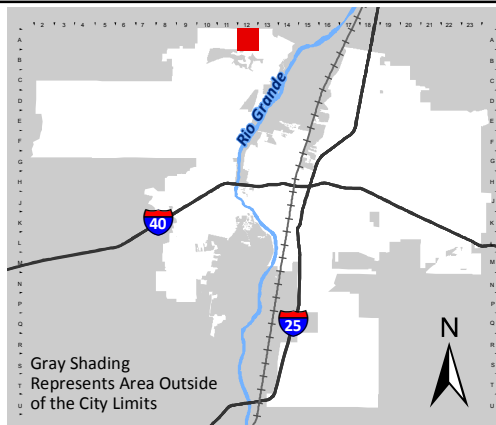


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-12-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

June 11, 2024

Albuquerque Planning Department
600 2nd Street NW,
Albuquerque, NM, 87102

RE: 4760 McMahon Blvd NW

To Whom It May Concern:

This letter provides authorization for Consensus Planning, Inc. to act as our agent relating to all applications, hearings, submittals, and other formal representation for the subject property legally described as: ***Tract 1B-5A Plat of Tracts 1B-2A, 1B-3A & 1B-5A Paradise North. 0.6674 AC***

Sincerely,

Name: Anita Husted

Signature: Anita Husted

Title: AAR Properties, LLC, Manager

Date: 6/18/2024



July 24, 2024

Mr. Michael Vos, ZEO
Planning Department
600 2nd St NW- 3rd Floor
Albuquerque, New Mexico 87102

Minor Amendment - 4760 McMahon Boulevard NW (Case file: 1001685, 1003836)

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Vos,

The purpose of this letter is to request a minor amendment for the property located at 4760 McMahon Boulevard NW. The applicant intends to renew the existing Burger King restaurant building façade and replace the storefront signage on the building's south elevation. The subject property is approximately 0.67 acres, falls within the Mixed Use – Moderate Intensity (MX-M) zoning district, and is part of a site plan approved prior to the 2018 Integrated Development Ordinance (IDO). The property is legally described as Tract 1B-5A Plat of Tracts 1B-2A, 1B-3A & 1B-5A Paradise North. This proposed amendment will not impact the property's current entitlements. The applicant has reviewed the requirements under the existing zoning, IDO, and Development Process Manual (DPM), all of which are essential for obtaining approval for the redevelopment of the property.

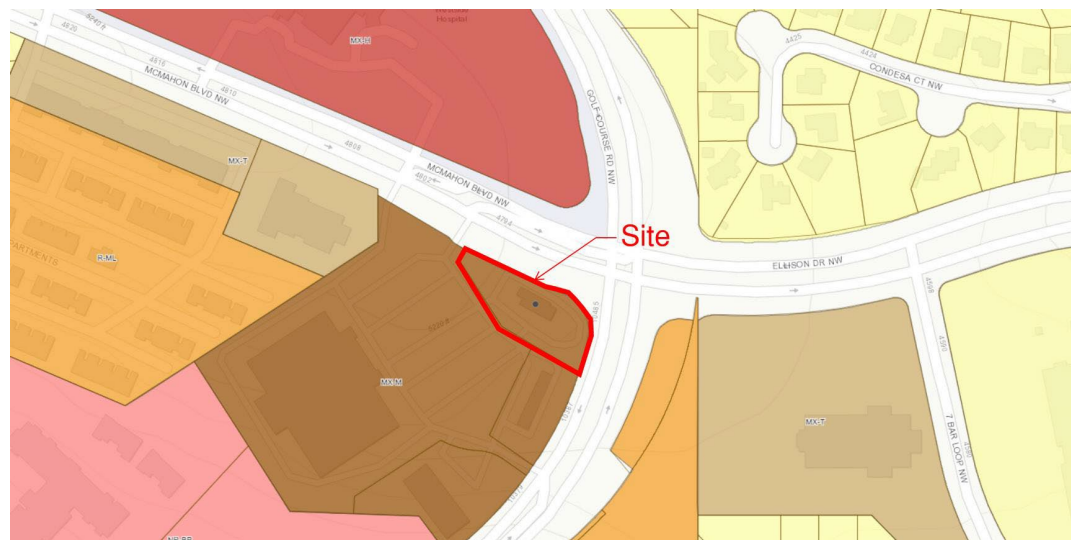


Figure 1: Zoning Map

PRINCIPALS

James K. Strozier, FAICP
Jacqueline Fishman, AICP

ASSOCIATES

Ken Romig, PLA, ASLA

Reason for Request

In 2005, the City of Albuquerque approved a site development plan for subdivision of approximately 7.9 acre. The requested alterations on the Site Plan are limited to the 0.66 acre property located at 4760 McMahon Boulevard NW and intends to request a minor amendment to allow building façade renovation, replacement of the building mounted wall signage, and the addition of a tandem drive-through order lane for the existing Burger King restaurant. The proposed new building façade includes revised façade materials/colors, an

additional entrance, a window, and Burger King wall mounted store sign on the rear elevation. The building exterior will add brick veneer, architectural panels, outdoor canopies above all the windows, and lighting fixtures on the wall surface for decoration and aesthetic purposes. The existing restaurant features a drive-through service window along with complementary site enhancements such as screen walls, landscaping, parking, and street trees along McMahon Boulevard and Golf Course Road. The maximum sign allowance on the storefront is 110 square feet on the approved site plan, and the proposed storefront sign is 28 square feet which is within this maximum allowance. The existing approved developed property within the Site Plan adjacent to the subject property includes a Smith's Grocery Center, a Smith's Fuel Center, Golf Course Marketplace, and several fast-food restaurants. The subject property is labeled "Retail A" on the Site Plan and is highlighted.

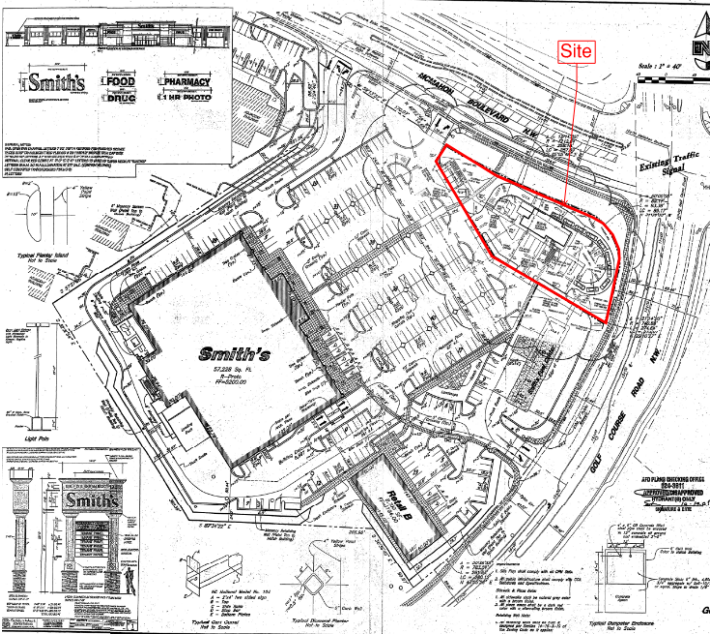


Figure 2: Prior Approval (with subject property highlighted)



Figure 3: Existing Site



Figure 4: Existing Building Façade

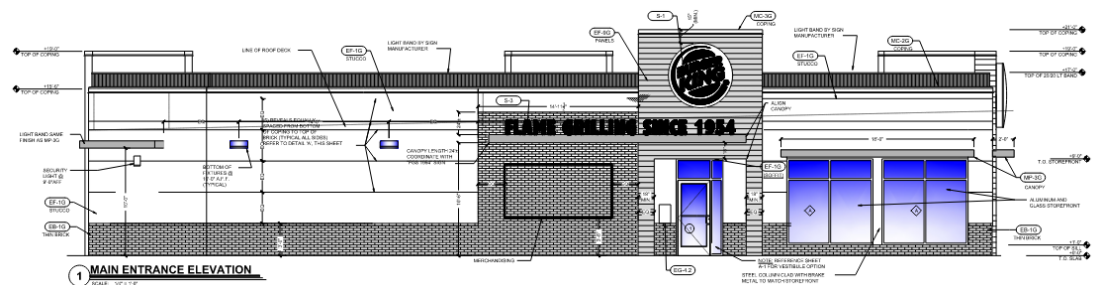


Figure 5: Proposed New Building Façade

Table 6-4-4: Allowable Minor Amendments		
Standard	Maximum Threshold (Cumulative of Earlier Approved Deviations and/or Amendments)	
	General	Lot ≤10,000 sq. ft. in any Mixed-use or Non-residential zone district in an Area of Change
Building gross floor area		10%
Front setback, minimum		15%
Side setback, minimum	15%	50%
Rear setback, minimum	10%	50%
Building height, maximum	Increase: 10% Decrease: any amount	
Wall and fence height	6 in.	
Any other numerical standard	10%	
Any addition or revision that would otherwise be decided as a Permit – Sign, Permit – Wall or Fence – Minor, or Site Plan – Administrative	Any amount that meets requirements specified in the approved Permit or Site Plan or, if the Permit or Site Plan is silent, the IDO	
All rooftop installations and ground-mounted installations of solar or wind energy generation on premises less than 5 acres	Any amount to accommodate the installation that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
All additions or modifications of battery storage on premises less than 5 acres	Any amount to accommodate the addition that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
Changing the site layout of an electric facility other than an electric generation facility	Any amount to accommodate the change that does not affect the ability to meet requirements specified in the approved Site Plan or, if the Site Plan is silent, the IDO	
Any standard cited in an application for “reasonable accommodation” or “reasonable modification” under the federal Fair Housing Act Amendments of 1998 (or as amended)	The minimum deviation necessary to comply with the federal Fair Housing Act Amendments	



Criteria for Approval

Pursuant to the site plan amendment procedures of the IDO, this application follows subsection 14-16-6-4(Z) which addresses applications for amendments to site development plans approved prior to the effective date of this IDO.

Below is an explanation of how the application meets the criteria for approval as outlined in subsection 6-4(Z)(1)(a) – for Minor Amendments to site development plans approved prior to the effective date of this IDO.

The Planning Director may grant minor amendments that meet all of the following requirements.

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.

Applicant response: *The proposed changes include revising the building façade materials, colors, and lighting, as well as an addition of a tandem drive-through order lane, entrance, window, and signage. These modifications do not fit into the categories outlined in Table 6-4-4, as the proposed changes cannot be quantitatively measured for the 10% threshold allowance specified by the IDO. The appearance of the building will be significantly imported with the proposed amendment and is not in conflict with the regulation of the prior approved shopping center Site Plan.*

2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.

Applicant response: *The proposed alteration involves the revision of an existing 5,200 square foot Burger King restaurant building façade, and the approved site plan is approximately 344,500 square feet. The proposed new building façade includes revised materials and colors, an additional entrance, window, and a wall mounted Burger King store sign on the rear elevation. Outdoor canopies above all windows, new storefront signage on the south elevation, and the addition of a tandem drive-through order lane are also part of the proposed changes. The existing Site Plan specifies that the maximum sign allowance on the storefront is 110 square feet, and the proposed storefront sign is 28 square feet. The total square footage of the sign is 28 square feet, which is within the maximum allowance. In addition, brick veneer and architectural panels, along with lighting fixtures, are proposed for the exterior wall surface for decorative purposes. This change cannot be measured within the 10% threshold allowance stipulated by the IDO because the changes are aesthetical and are not required by the design requirements of the plan. This Minor Amendment to a prior approved Site Plan conforms to the prescribed thresholds outlined in IDO Table 6-4-4. The proposed alterations maintain consistency and compliance with the regulations governing the underlying MX-M zoning district.*

3. The requested change does not require major public infrastructure, significant changes to access to the subject property, or a traffic impact study, which would warrant additional review by the original decision-making body.

Applicant response: *The subject property is already supported by well-established infrastructure capable of accommodating the proposed development. With the exception of adding an additional drive-through order lane, the requested changes for the existing Burger King restaurant focus solely on updating the building façade and do not require modifications to public infrastructure, access points, parking, traffic flow, landscaping, or utility services serving the property. The purpose of the additional drive-through order lane is to reduce any potential congestion in the vehicle queuing lane for the existing customer pick-up window.*

4. No deviations, Variances, or Waivers shall be granted for minor amendments.

Applicant response: *The project does not anticipate any deviations, variances, or waivers; therefore, this criterion does not apply.*

Summary

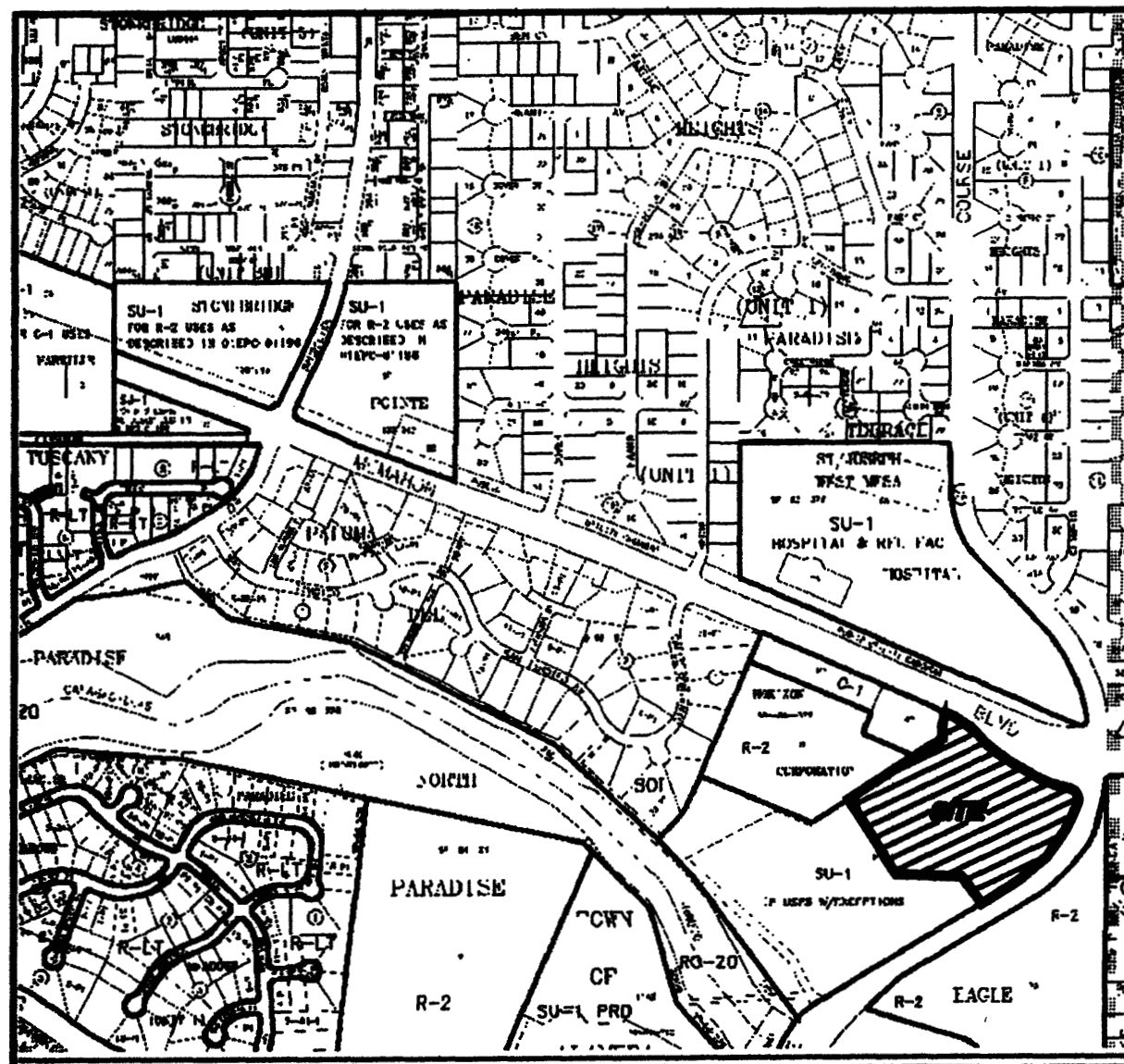
This proposal seeks to refurbish an existing building façade that includes revised materials and colors, a new window, an additional entrance, add a tandem drive-through lane, window canopies, and new building-mounted wall signs. The amendment adheres to the IDO guidelines for minor amendments, asserting that the changes meet original site requirements, and fall within minor amendment 10% thresholds allowed by the IDO. The application does not necessitate public infrastructure alterations, and does not seek deviations, variances, or waivers, thus ensuring compatibility with the intent of the previously approved site plan and maintaining consistency with the IDO regulations. Finally, the exterior building improvements will also help achieve compliance with the current street-facing façade design requirements of the IDO for non residential buildings.

For the reasons stated above, we respectfully request approval of the Minor Amendment to facilitate the proposed changes to the site plan. Approval will enable reasonable use of this property, promoting local economic enhancement and the redevelopment of an existing restaurant on the shopping center site.

Please feel free to contact me at turner@consensusplanning.com should you require additional information or if you have any questions.

Sincerely,


Jonathan Turner,
Zoning Specialist



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings, Central Zone (NAD 27).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: A-12-Z
- U.C.L.S. Log Number 2006463933
- This property is currently zoned "SU-1 IP USES WITH EXCEPTIONS" per inquiry to the Albuquerque Geographic Information System on November 2, 2005.

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

- Plat entitled "A PLAT OF TRACTS 1B-1, 1B-2, 1B-3, 1B-4, 1B-5 AND PARCEL A, PARADISE NORTH, SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, WITHIN PROJECTED SECTION 1, TOWNSHIP 11 N. 2E, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 2005", filed in the office of the County Clerk of Bernalillo County, New Mexico, on November 17, 2005, in Volume 2005C, Folio 371.
- Plat entitled "VACATION AND REPLAT OF PARADISE NORTH SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 1, 2, 11 & 12, T 11 N, R 2 E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 17, 1985, in Volume C34, Folio 99.
- Plat entitled "TRACTS R-1, R-2 AND R-3 A REPLAT OF TRACT R, LANDS OF HORIZON CORPORATION WITHIN PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 6, 1984, in Volume C24, Folio 196.
- Title Report prepared for this property by Rio Grande Title Company, Inc. and underwritten by Lawyers Title Insurance Corporation, Commitment for Title Insurance File No. 52109738-COM RDK, dated November 28, 2005.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT:

The purpose of this plat is to show the Private and Public Easements which were vacated by 06DRB-00405, 05DRB-01893, 05DRB-01894 and 06DRB-00736 as shown hereon.

No new easements are granted by this plat.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
November 7, 2006



TRACTS 1B-2A, 1B-3A AND 1B-5A
PARADISE NORTH
(BEING A REPLAT OF TRACTS 1-B2, 1B-3 AND 1B-5, PARADISE NORTH)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2006

PROJECT NUMBER:

Application Number:

PLAT APPROVAL

Utility Approvals:

Charles Z. Brown 11-27-06
PNM Electric Services Date
Charles Z. Brown 11-27-06
PNM Gas Services Date
David R. Ralib 11/27/06
QWest Corporation Date

Comcast

Date

New Mexico Utilities

Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

City Approvals:

11-27-06
City Surveyor Date

Real Property Division

Date

Environmental Health Department

Date

Traffic Engineering, Transportation Division

Date

Utilities Development

Date

Parks and Recreation Department

Date

AMAFCA

Date

City Engineer

Date

DRB Chairperson, Planning Department

Date

SHEET 1 OF 3

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

TRACTS 1B-2A, 1B-3A AND 1B-5A
PARADISE NORTH
(BEING A REPLAT OF TRACTS 1B-2, 1B-3 AND 1B-5, PARADISE NORTH)
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2006

LEGAL DESCRIPTION

Tracts numbered 1B-2, 1B-3 and 1B-5, inclusive, of PARADISE NORTH, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on November 17, 2005, in Map Book 2005C, Folio 371.

Said tracts contain 7.3558 acres, more or less.

FREE CONSENT

SURVEYED and REPLATTED and now comprising, TRACTS 1B-2A, 1B-3A AND 1B-5A, PARADISE NORTH, (BEING A REPLAT OF TRACTS 1B-2, 1B-3 AND 1B-5, PARADISE NORTH) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby acknowledge and approve the vacation of easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

TRACT 1B-2

Smith's Food & Drug Centers, Inc.
An Ohio Corporation


By: Steven Sorensen, Vice President

TRACTS 1B-3 AND 1B-5


G1 Investments, LLC
A New Mexico limited liability company


By: Gary Brown, Manager

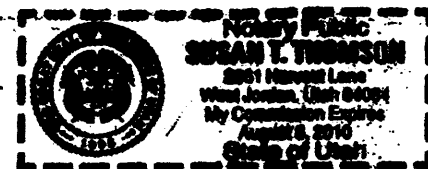
ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF SALT LAKE SS

The foregoing instrument was acknowledged before me this 20
day of NOVEMBER, 2006, by Steven Sorensen, Vice President of
Smith's Food and Drug Centers, Inc.


Notary Public

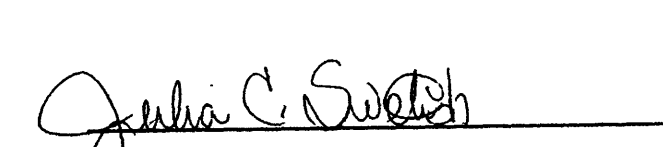
8-8-10
My commission expires

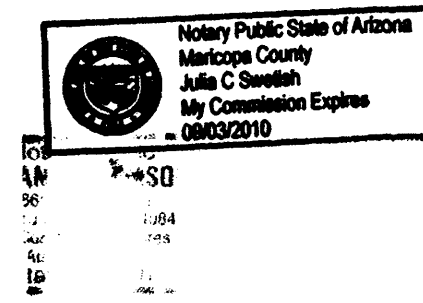


ACKNOWLEDGMENT

STATE OF Arizona
COUNTY OF Maricopa SS

The foregoing instrument was acknowledged before me this 15th
day of November, 2006, by Gary Brown, Manager of G1 Investments, LLC


Notary Public
9/3/2010
My commission expires



EXISTING RECIPROCAL EASEMENTS GRANTED BY PRIOR PLAT

Filed November 17, 2005 in Plat Book 2005C, Page 371.

Owner hereby establishes and creates, for the benefit of Tracts 1B-2, 1B-3, 1B-4, and 1B-5 as set forth on this plat, a nonexclusive easement for pedestrian and vehicular access over and across the driveways to be constructed on the said tracts, together with a nonexclusive easement for the parking of motor vehicles on the parking areas to be constructed on the said tracts.

Owner hereby establishes and creates, for the benefit of Tracts 1B-2, 1B-3, 1B-4, and 1B-5 as set forth on this plat, a nonexclusive easement for underground utilities to be constructed, together with a nonexclusive easement for the drainage of surface water over and across the said tracts.

Owner hereby establishes and creates, for the benefit of the property located adjacent to (and immediately to the northwest of) Tract 1B-2 (i.e., Tract R-2, Lands of Horizon Corp., filed Sept. 6, 1984, Book C24, Page 196) a nonexclusive easement for vehicular access to such adjacent property over and across the shared driveway to be constructed on Tract 1B-2, together with a nonexclusive easement for the parking of motor vehicles on eleven (11) parking spaces to be designated by Owner on the northwest portion of Tract 1B-2.

PNM GAS AND ELECTRIC SERVICES EASEMENT RELEASE APPROVAL

PNM Gas and Electric Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

PNM GAS AND ELECTRIC SERVICES

By: _____

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____
day of _____, 2006, by _____ of
the PNM Gas and Electric Services, a New Mexico Corporation, on
behalf of said corporation.

My commission expires _____

Notary Public

COMCAST CABLE EASEMENT RELEASE APPROVAL

Comcast Cable does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

COMCAST CABLE

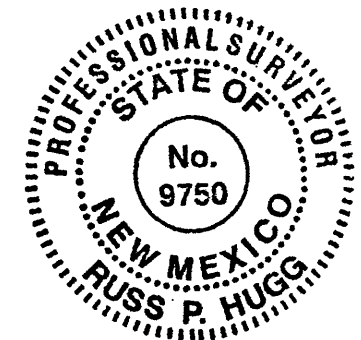
By: _____

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____
day of _____, 2006, by _____

My commission expires _____

Notary Public



SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PROPERTY CORNER LEGEND

- = Fd. 5/8" Rebar and cap stamped "L.S. 14733"
- ⊙ = Fd. 5/8" Rebar and cap stamped "L.S. 9750"
- = Fd. 5/8" Rebar and cap stamped "L.S. 9750"
- ⊠ = Fd. Chiseled "X" in concrete

TRACTS 1B-2A, 1B-3A AND 1B-5A
PARADISE NORTH
 (BEING A REPLAT OF TRACTS 1-B2, 1B-3 AND 1B-5, PARADISE NORTH)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2006

TRACT R-2
LANDS OF HORIZON CORPORATION
 Filed September 6, 1984 in Volume C24, Folio 196

TRACT R-1
LANDS OF HORIZON CORPORATION
 Filed September 6, 1984 in Volume C24, Folio 196

TRACT 1B-2A
 5.7004 ACRES

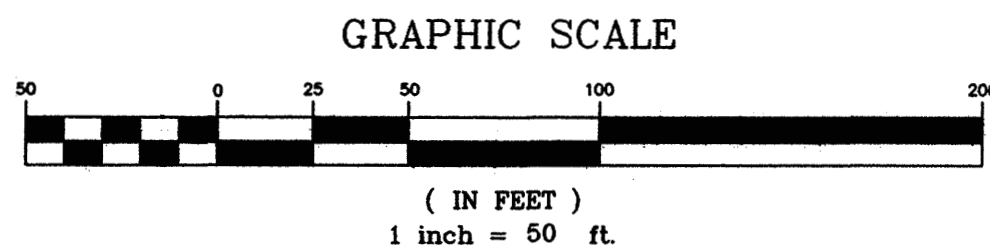
TRACT 1B-1
PARADISE NORTH
 Filed November 17, 2005, in Volume 2005C, Folio 371

TRACT 1B-3A
 0.9880 ACRES

TRACT 1B-4
PARADISE NORTH
 Filed November 17, 2005
 Volume 2005C, Folio 371

TRACT 1B-5A
 0.6674 ACRES

Site



TRACT 1B-1
PARADISE NORTH
 Filed November 17, 2005, in Volume 2005C, Folio 371

061003. DWG

SHEET 3 OF 3
SURV●TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3388
 Fax: 505-897-3377



10' Sanitary Sewer Easement as Shown on the Plat recorded in:
 Volume C28, Folio 174
 Volume C32, Folio 69
 Volume C34, Folio 99
 Volume 90C, Folio 182
 Volume 2005C, Folio 371
 VACATED BY 06DRB-00405
 (Cross hatched area)

10' Public Service Company of New Mexico & Mountain States Telephone and Telegraph Easement per Document filed 10-20-1969, Misc. 153, Page 642 (To remain)

15' Electric Easement filed November 20, 1985 in Vol. C28, Folio 174 VACATED BY 05DRB-01894 and 06DRB-00736 (Cross hatched area)

10' Sanitary Sewer Easement as Shown on the Plat recorded in:
 Volume C28, Folio 174
 Volume C32, Folio 69
 Volume C34, Folio 99
 Volume 90C, Folio 182
 Volume 2005C, Folio 371
 VACATED BY 06DRB-00405
 (Cross hatched area)

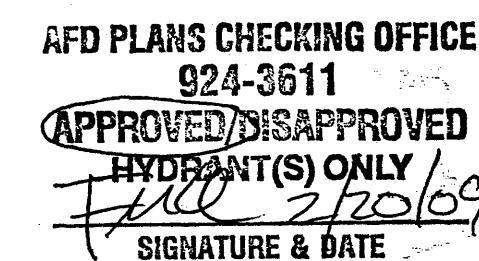
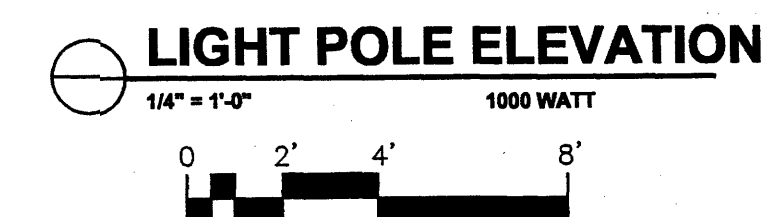
10' Public Service Company of New Mexico & Mountain States Telephone and Telegraph Easement per Document filed 10-20-1969, Misc. 153, Page 642 and as shown on plat filed 8-8-1990 in Vol. 90C, Folio 182. (To remain)

Albuquerque Control Survey Monument "BLACK 2"
 New Mexico State Plane Coordinate System,
 Central Zone (NAD 27) as published:
 Y= 1,530,241.52
 X= 372,920.43
 Delta Alpha= -00°14'43"
 Ground to grid factor= 0.9996784
 Elevation= 5213.926

Sidewalk Easement filed August 29, 2003 in Book A63, Page 4053

Sidewalk Easement filed August 29, 2003 in Book A63, Page 4053

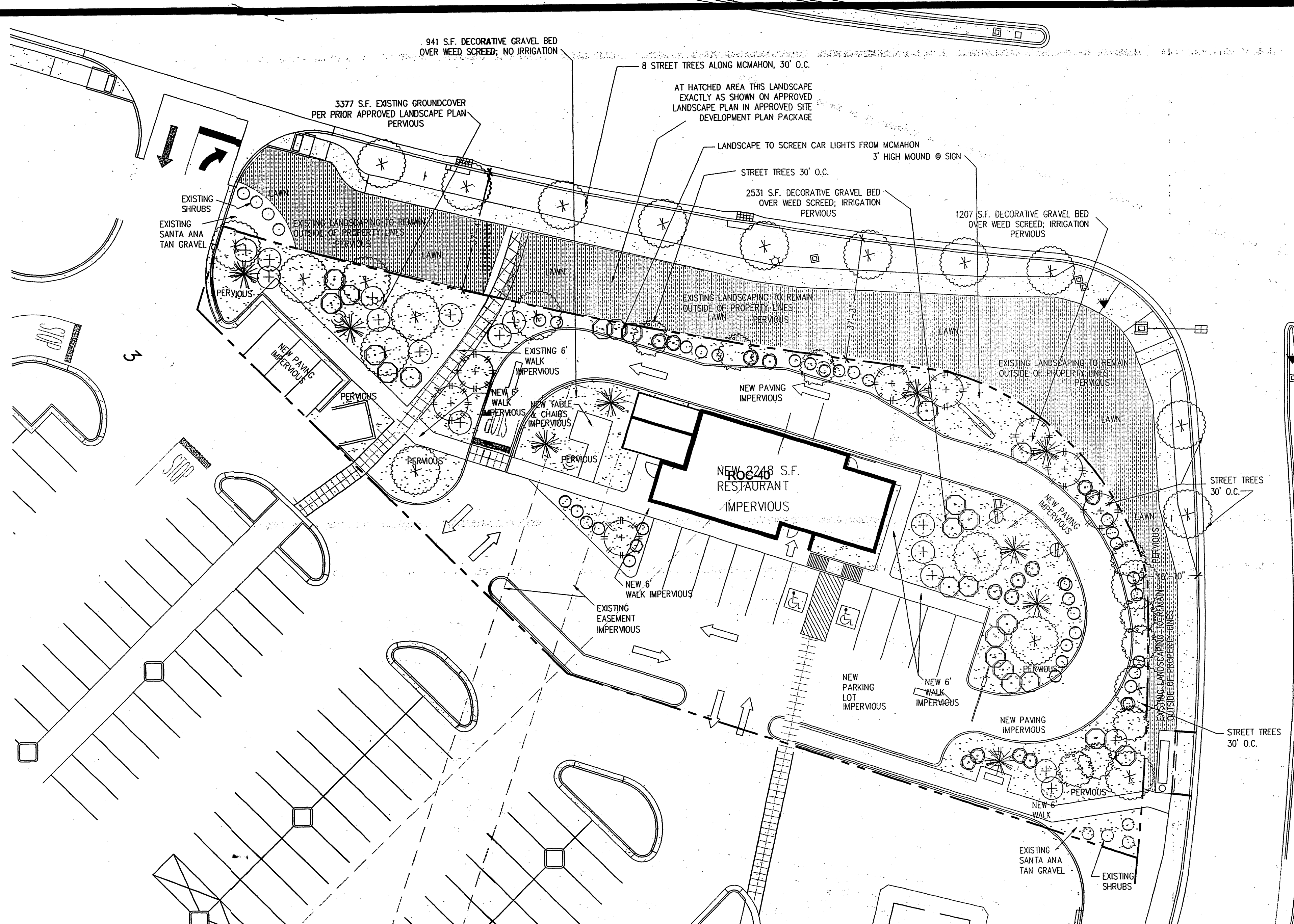
Private 30' Drainage & Utility Easement per Plat Filed November 28, 2005, Vol. 2005C, Folio 371



0 20' 40' 80'

SCALE 1" = 20'-0"

N



TREES

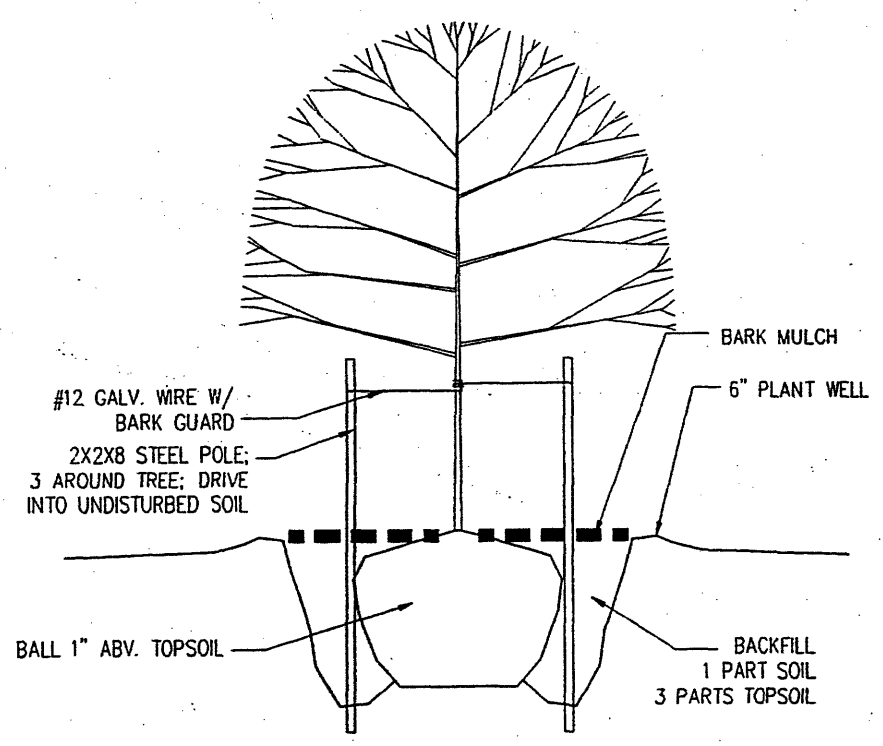
BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	SPREAD	WATER USE	QUANTITY
CELTIS OCCIDENTALIA	COMMON HACKBERRY	2" CALIPER	40' HEIGHT	40' SPREAD	MEDIUM	22
FRAXINUS VELUTINA	ARIZONA ASH	2" CALIPER	40' HEIGHT	40' SPREAD	LOW	9
PINUS ELIDARICA	AFGHAN PINE	10'	40' HEIGHT	18' SPREAD	LOW	9
PINUS FLEXILLA	LIMBER PINE	10'	30' HEIGHT	20' SPREAD	MEDIUM	8

SHRUBS

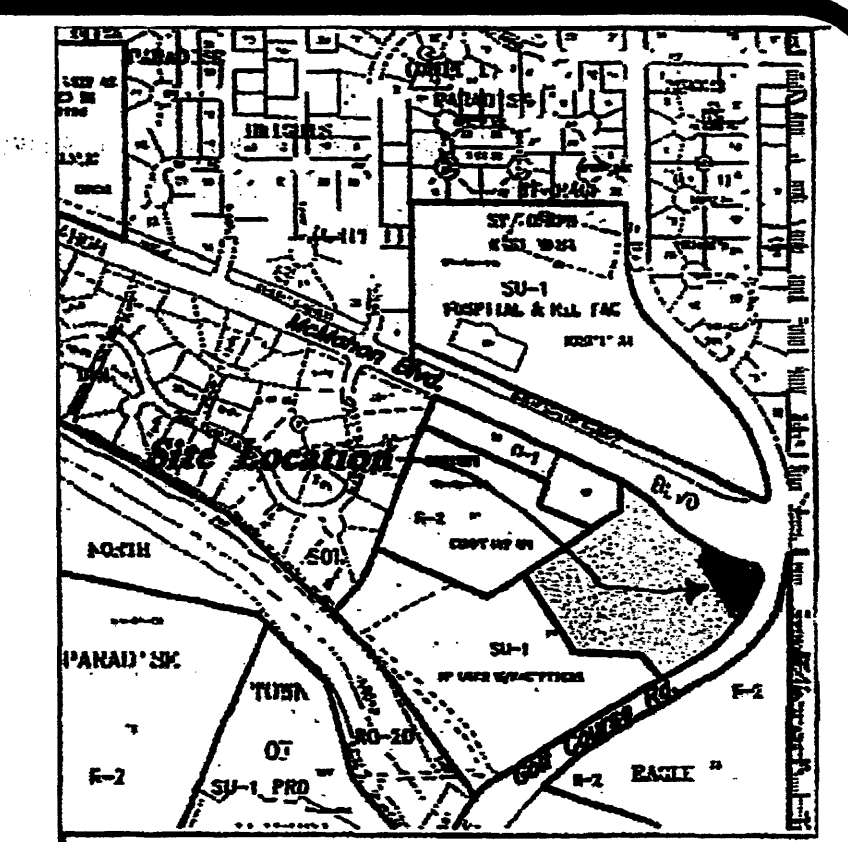
BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	SPREAD	WATER USE	QUANTITY
RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL.	6'	6'	LOW	21
CYTISUS SCOPARIUS	SCOTCH BROOM	5 GAL.	4'	4'	LOW	35
PHOTINA FRASERI	RED TIP PHOTINA	5 GAL.	8'	8'	MEDIUM	12
DASYLIRON WHEELERII	DESERT SPOON	5 GAL.	5'	5'	LOW	15

GROUND COVER

SYMBOL	MATERIAL	COLOR
	GRAVEL	SANTA ANA TAN
	EXISTING LAWN OUTSIDE OF PROPERTY LINE	EXISTING



TREE PLANTING DETAIL



VICINITY MAP
1" = 750'

LEGAL DESCRIPTION

TRACT 1B-5
PARADISE NORTH SUBDIVISION
SW CORNER OF GOLF COURSE AND MCMAHON
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

SITE DATA

ZONING: C2
ZONE ATLAS: A12
SITE SIZE: 29,107 SQ. FT. (.668 AC.)
BUILDING SIZE / % OF SITE: 2,248 SQ. FT. / 7.7%

DRB DATA

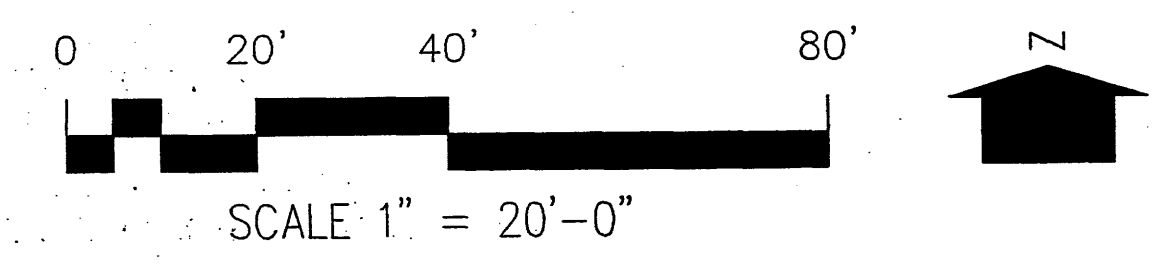
GOLF COURSE MARKETPLACE
EPC #04EPC-01349 PROJECT #1001685
EPC #04EPC-01590 PROJECT #1001685
APPROVED 10.19.2005

LANDSCAPE CALCULATIONS

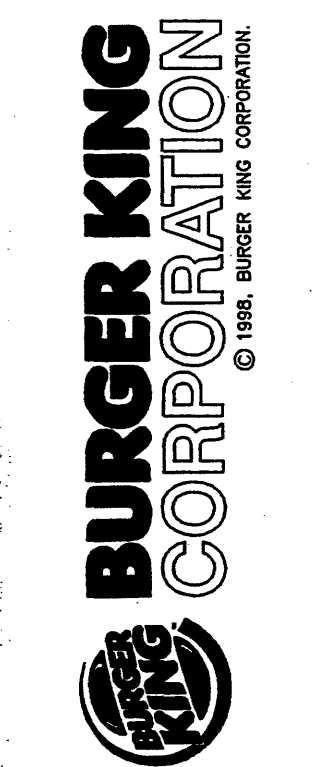
TOTAL LOT AREA:	29107 S.F.
TOTAL BUILDING AREA:	2248 S.F.
NET LOT AREA:	26859 S.F.
LANDSCAPE REQUIREMENT:	15 %
TOTAL LANDSCAPE REQUIREMENT:	4028 S.F.
TOTAL BED PROVIDED:	8056 S.F.
GROUND COVER REQUIRED:	15 %
TOTAL GROUND COVER REQUIREMENT:	6704 S.F.
TOTAL GROUND COVER PROVIDED:	7115 S.F. (26%)
TOTAL LANDSCAPE PROVIDED:	7115 S.F.

GENERAL NOTES

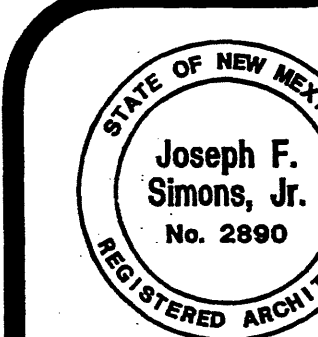
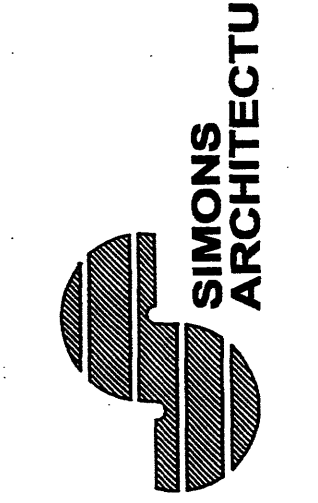
- IRRIGATION SYSTEM TO BE LOW-WATER USE DRIP. THERE IS NOT TURF AREAS ON THIS SITE. IRRIGATION SYSTEM TO COMPLY WITH IRRIGATION NOTES ON APPROVED LANDSCAPE PLAN OF THE APPROVED SITE DEVELOPMENT PACKAGE.
- SOLE RESPONSIBILITY OF MAINTENANCE FOR ALL LANDSCAPE AND IRRIGATION SYSTEM IS WITH THE PROPERTY OWNER.
- PROVIDE STATEMENT OF COMPLIANCE WITH WATER CONSERVATION PER CITY ORDINANCE 6.1.1.1. OF THE WATER CONSERVATION ORDINANCE.
- REF. APPROVED LANDSCAPE PLAN IN APPROVED SITE DEVELOPMENT PACKAGE FOR TREE WELL DETAIL.
- REF. APPROVED LANDSCAPE PLAN IN APPROVED SITE DEVELOPMENT PACKAGE FOR STREET TREE PLAN.
- THE PLANT LIST IS TAKEN FROM THE APPROVED LANDSCAPE PLAN IN THE APPROVED SITE DEVELOPMENT PACKAGE.
- THE ONLY PART OF THE SITE WITHIN 20' OF THE ROAD IS THE FAR EAST EDGE. TREES ARE 20' O.C. MAX THERE.
- LANDSCAPE CALCULATIONS ARE FOR BUILDING AREA PROPERTY.



DRAWN BY: JFS	CHECKED BY: JFS	DATE: 12.2.2008
NO. DATE	REVISION	
1 12.16.08	UPDATE PER COMMENTS	
2 1.5.09	UPDATE PER COMMENTS	

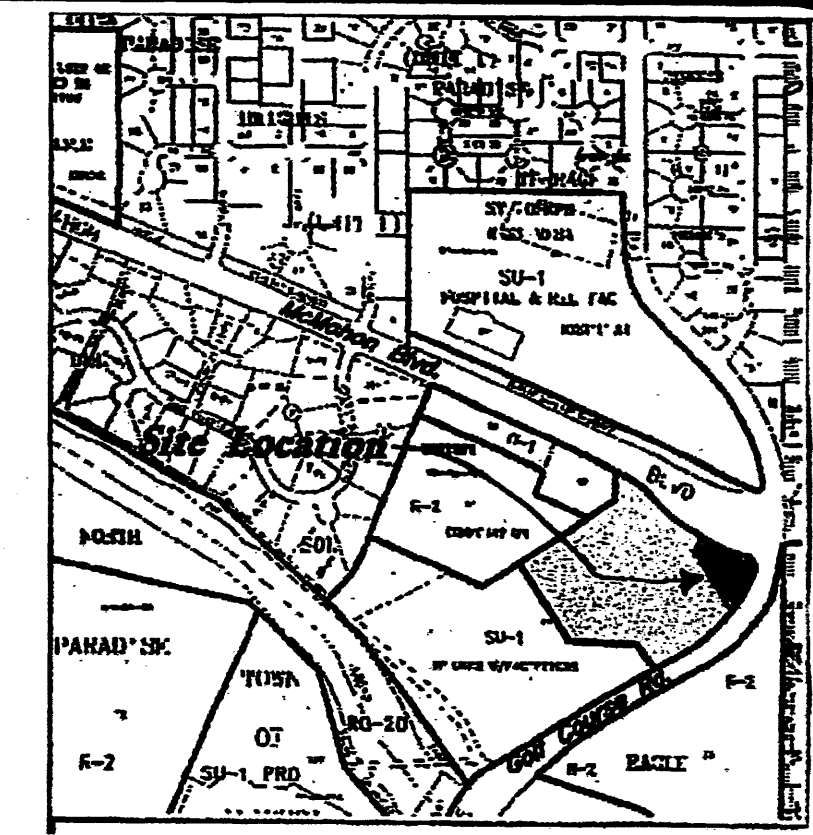
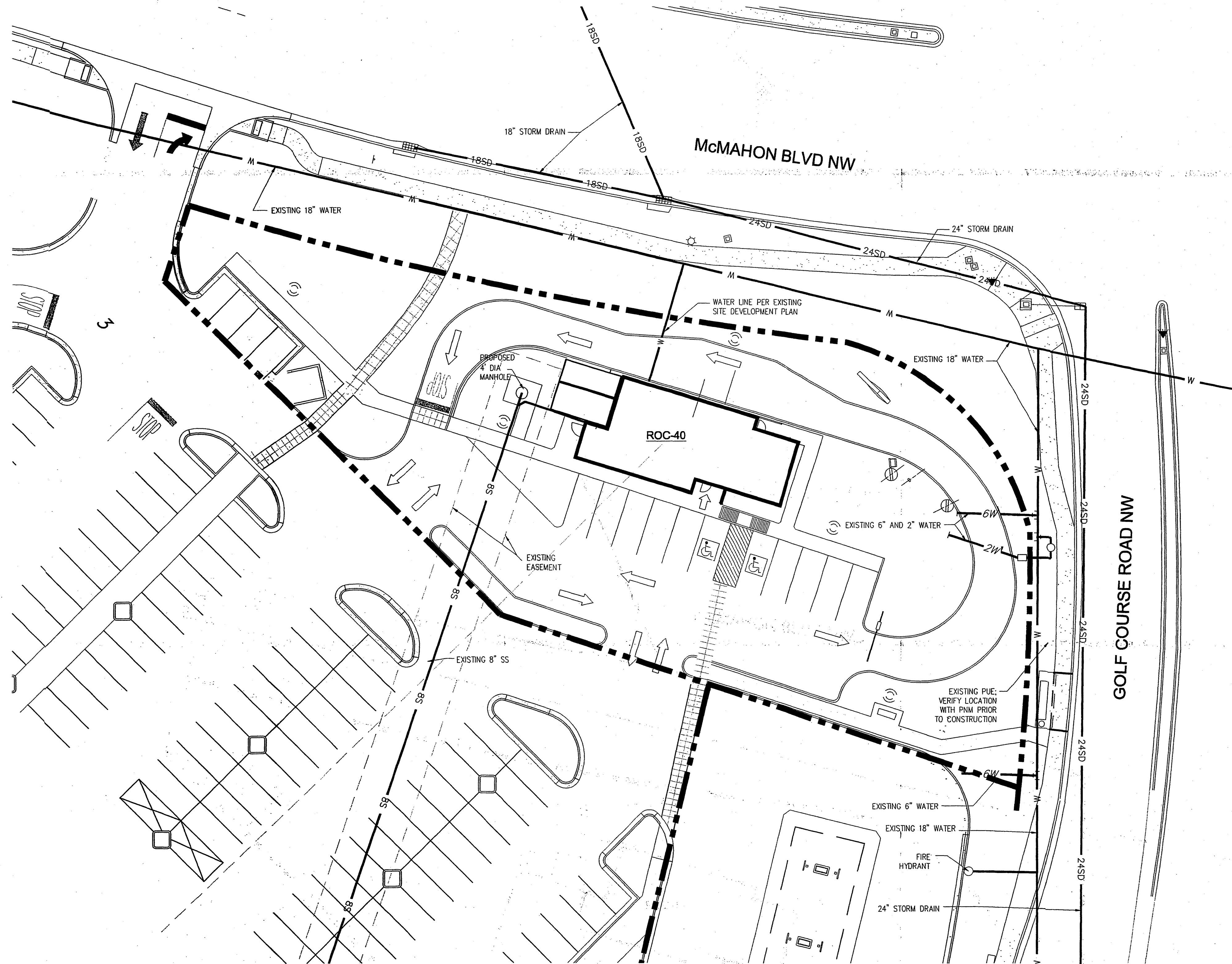


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ROC-40
Tract 1B-5, SWC Golf Course & McMahon
Albuquerque, New Mexico

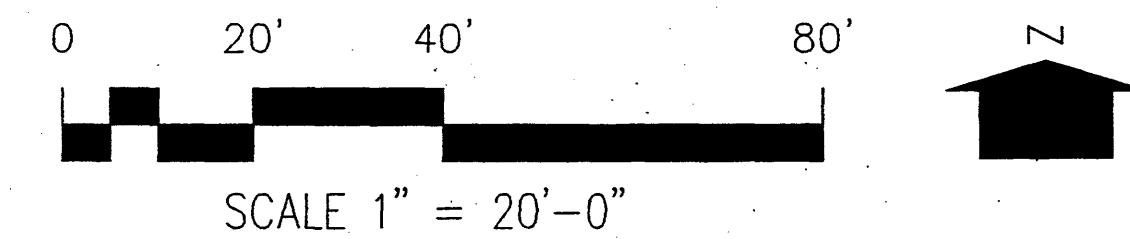
LANDSCAPE PLAN FOR BUILDING PERMIT



VICINITY MAP
1" = 750'

GENERAL NOTES

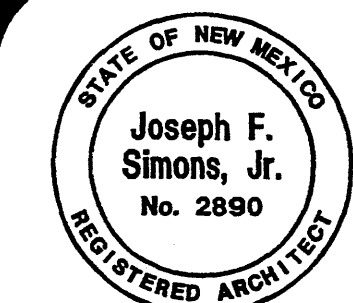
1. THE DATA FOR THIS PLAN WAS TAKEN FROM THE PRIOR APPROVED SITE DEVELOPMENT PLAN W/ UTILITIES.
2. FIREFLOW INFORMATION FOR THIS SITE IS 2248 S.F. OF VB CONSTRUCTION.
3. ALL UTILITY LINES ARE CALLED OUT BY LEADER AND NOTE.



NO.	DATE	REVISION	CHECKED BY	DATE
1	11/13/08	UPDATE PER COMMENTS	JFS	11/13/08
2	11/13/08	UPDATE PER COMMENTS	JFS	11/13/08



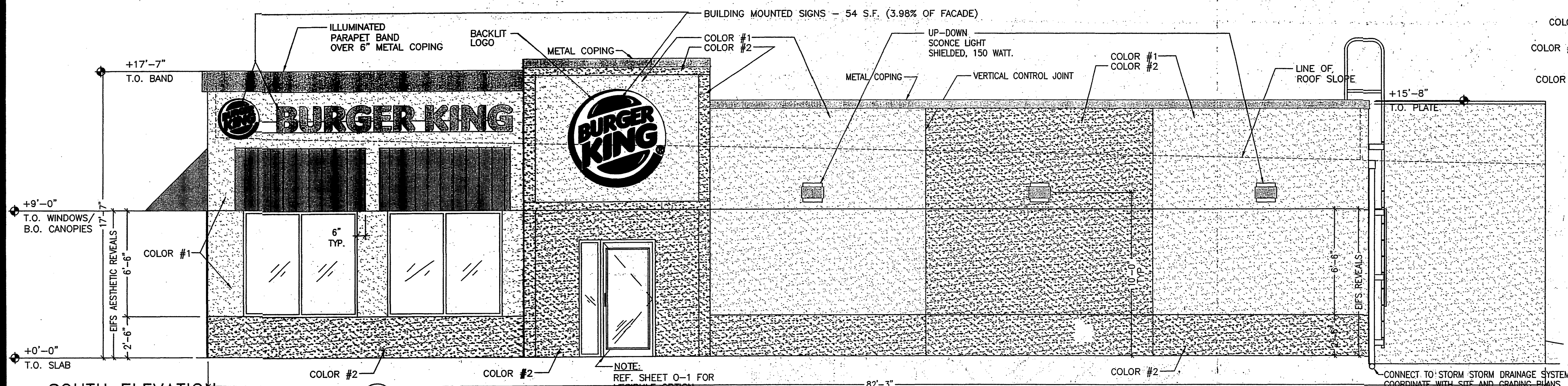
Joseph F. Simons, Jr., AIA
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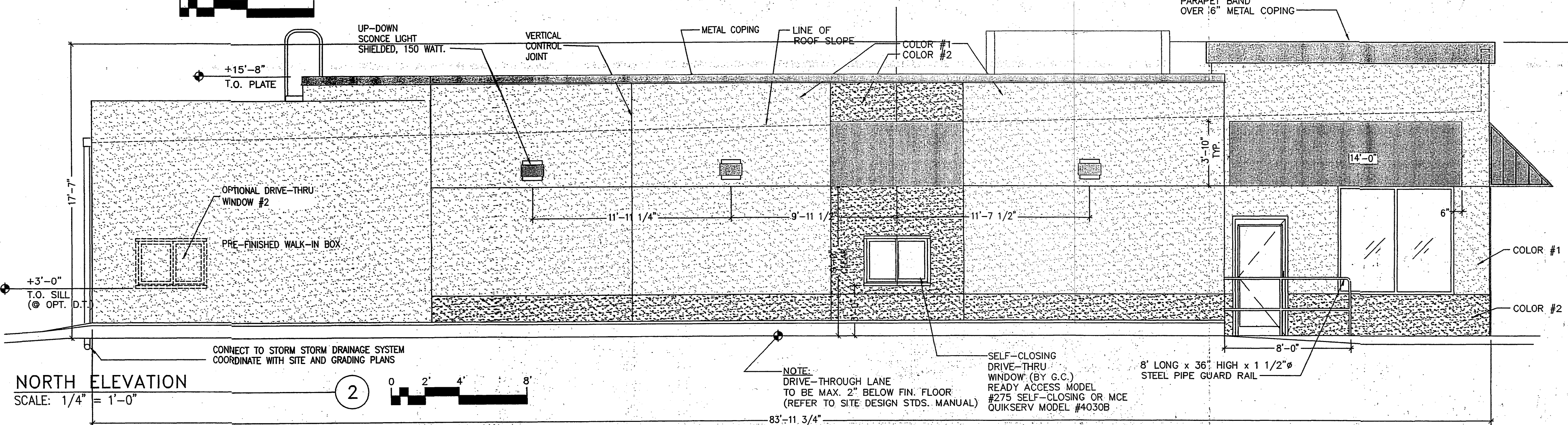
ROC-40
 Tract 1B-5, SWC Golf Course & McMahon
 Albuquerque, New Mexico

SITE DEVELOPMENT PLAN W/ UTILITIES

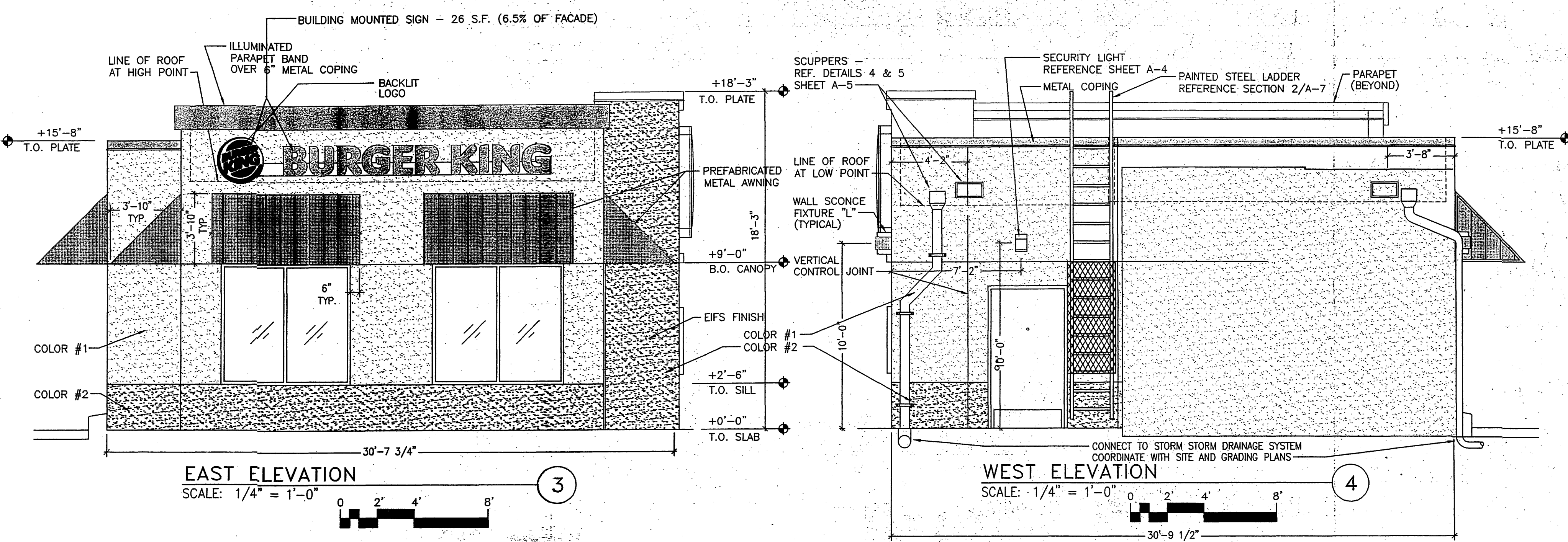
C-3



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

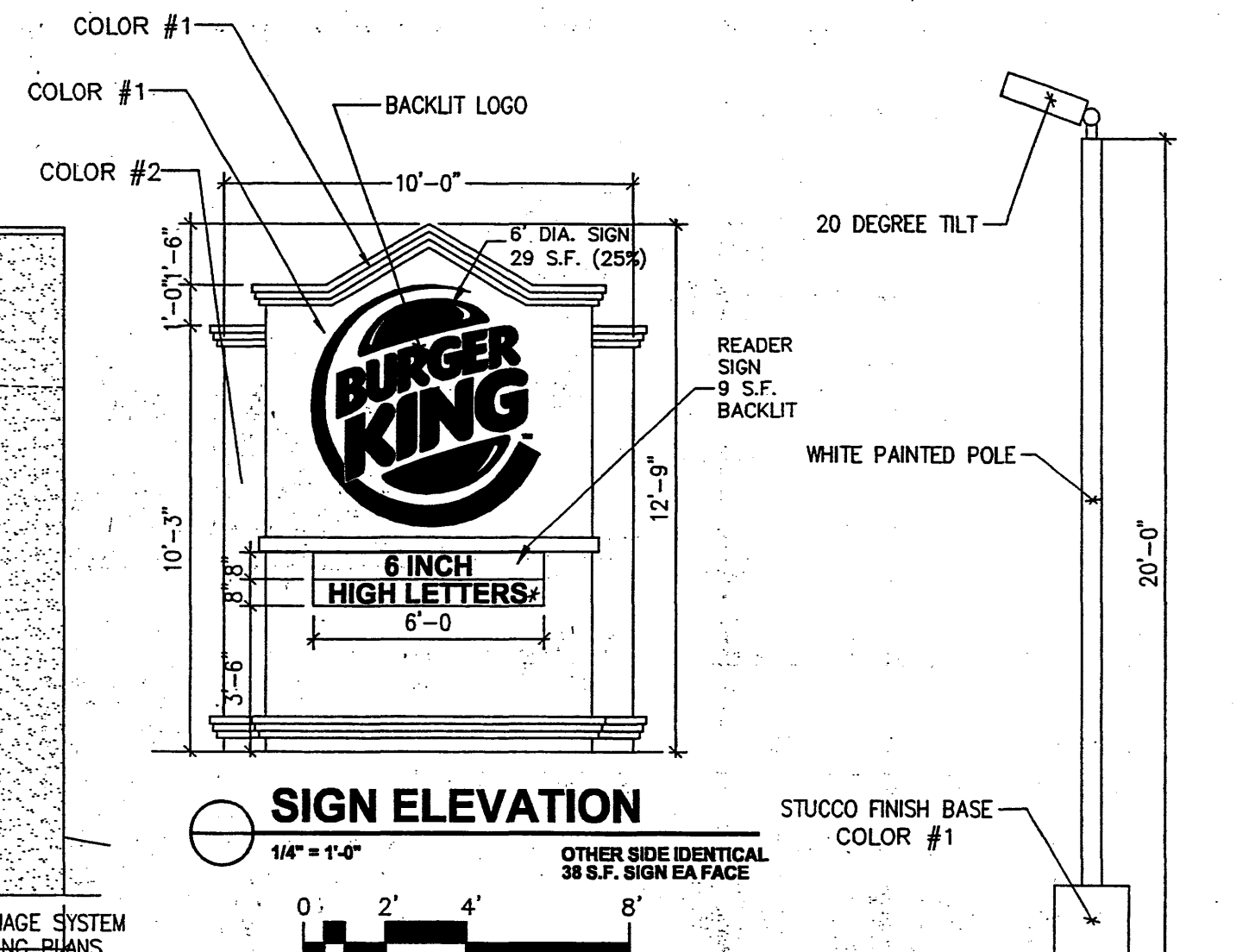


NORTH ELEVATION
SCALE: 1/4" = 1'-0"

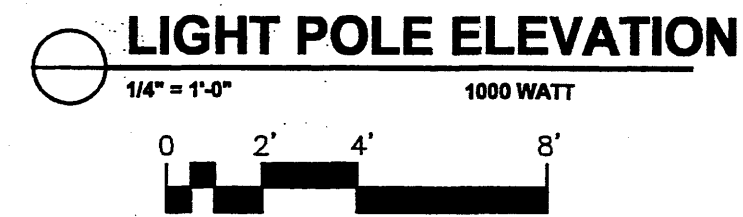


EAST ELEVATION
SCALE: 1/4" = 1'-0"

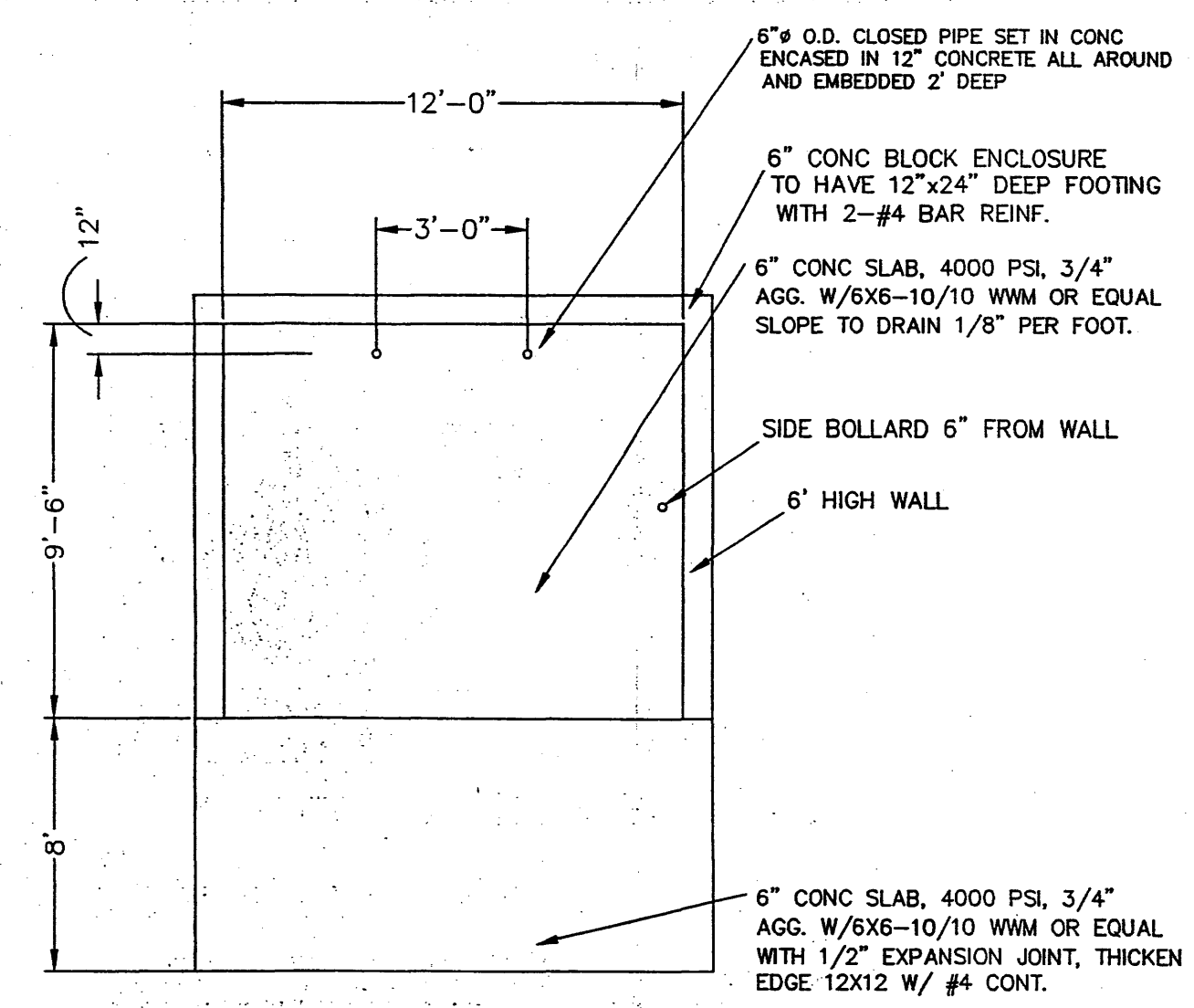
WEST ELEVATION
SCALE: 1/4" = 1'-0"



SIGN ELEVATION
1/4" = 1'-0"



LIGHT POLE ELEVATION
1/4" = 1'-0"



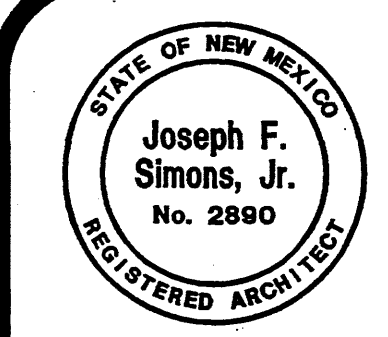
DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"

EXTERIOR BUILDING FINISH SPECIFICATIONS			
EXTERIOR FINISH			
ICI PAINTS MASTER PALETTE			
PALETTE			
COLOR #1	#30YY 65/171	PAPIER-MACHE	#651
COLOR #2	#10YY 30/295	WESTERN TRAIL	#462
AWNING	AWARD BLUE		
WITH E.I.F.S. FINISHES, USE HIGH IMPACT REINFORCING MESH FROM FLOOR TO 6'-0" A.F.F.. PROVIDE STUCCO CONTROL JOINTS AS REQUIRED. STUCCO OR EIFS TO BE PAINTED.			
SOFFIT SPECIFICATION AT ENTRY ELEMENT			
EXTERIOR FINISH WITH CONT. STRIP VENT, OR WHITE PERFORATED VINYL.			
METAL AWNING FINISH SPECIFICATIONS			
WELDED CLEAR ALUMINUM TUBING (MIN. 1" SQUARE) WITH STANDING SEAM ROOFING TO BE PREFINISHED METAL (BOTH SIDES) WITH KNAUF 500 OR EQUIVALENT PAINT. COLOR: BK BLUE			
ALUMINUM PANEL BY FIRESTONE METAL PRODUCTS: (800) 426-7737 OR 24 GAUGE METAL PANELS BY BERRIDGE ROOFING: (800) 669-0009			
REFERENCE SHEET A-9 FOR AWNING FABRICATORS.			
METAL COPING			
PAINT WITH GILDED DEVFLEX WATERBORNE ACRYLIC LATEX "SAFETY RED"			
WINDOWS, ENTRY DOORS, DOOR FRAMES			
WINDOW MULLIONS, ENTRY DOORS, DOOR FRAMES, TRANSOM & SIDELITES CLEAR ANODIZED ALUMINUM FINISH.			
DELIVERY DOOR, ROOF LADDER, TRASH GATE, SCUPPERS AND DOWNSPOUTS			
GLOSS EXTERIOR ENAMEL FOR METAL SURFACES: MATCH COLOR #2			

DRAWN BY: JFS	CHECKED BY: JFS	DATE: 12.2.2008
NO. DATE	REVISION	
1 12.16.08	UPDATE PER COMMENTS	
1 1.3.08	UPDATE PER COMMENTS	

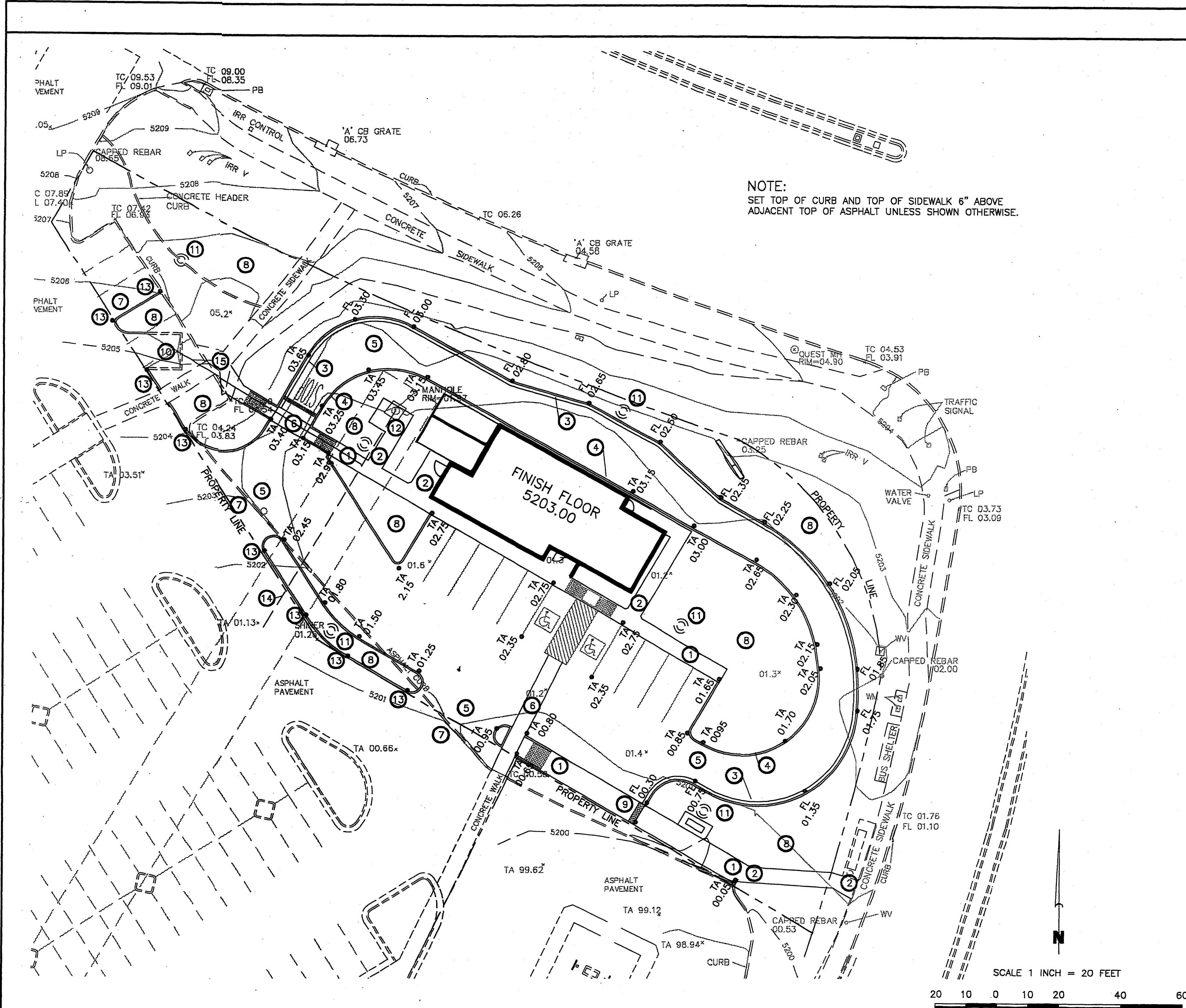
BURGER KING CORPORATION
© 1998, BURGER KING CORPORATION

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ROC-40
Tract 1B-5, SWC Golf Course & McMahon
Albuquerque, New Mexico

EXTERIOR ELEVATIONS



NOTE:
SET TOP OF CURB AND TOP OF SIDEWALK 6" ABOVE
ADJACENT TOP OF ASPHALT UNLESS SHOWN OTHERWISE.

KEYED NOTES

1. TURNDOWN SIDEWALK. SEE DETAIL SHEET C5.2.
2. SIDEWALK. SEE DETAIL SHEET C5.2.
3. CURB & GUTTER. SEE DETAIL SHEET C5.2.
4. HEADER CURB. SEE DETAIL SHEET C5.2.
5. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C5.2.
6. COLORED, TEXTURED CONCRETE SIDEWALK. SEE ARCHITECTURAL.
7. EXISTING ASPHALT PAVEMENT, TO REMAIN. BROKEN HATCHED AREA.
8. LANDSCAPE
9. 20" WIDE SIDEWALK CULVERT. SEE DETAIL SHEET C5.2.
10. REFUSE ENCLOSURE. SEE GRADING INFORMATION ON SHEET C5.2.
11. AREA LIGHT. SEE ARCHITECTURAL.
12. CONCRETE PAD (ELEV. 03.20) WITH TABLE. SEE ARCHITECTURAL.
13. SET TOP OF CURB 6" ABOVE ADJACENT EXISTING TOP OF ASPHALT.
14. EXISTING SAS.
15. NEW 4" SAS FROM REFUSE ENCLOSURE TO EXISTING SAS.

DRAINAGE NOTES

1. THE SITE IS A TRACT WITHIN A LARGER DEVELOPMENT AND IS PRESENTLY GRADED AND LANDSCAPED. THE OFFSITE FLOWS ARE LIMITED TO A LANDSCAPED AREA OUTSIDE THE TRACT BUT WITHIN THE LARGER DEVELOPMENT. THESE FLOWS ARE INTERCEPTED BY THE CIRCULAR DRIVE AND ROUTED TO A SIDEWALK CULVERT ON THE SOUTHERLY PROPERTY BOUNDARY. ALL FLOWS ARE ROUTED TO THE LARGER DEVELOPMENT AND THENCE TO GOLF COURSE ROAD.
2. THE SITE IS LOCATED IN PRECIPITATION ZONE 1. THERE IS FLOW INCREASE OF 0.75 AND 0.83 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY. THE 5 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORM INCREASE BY 1301 AND 1658 CUBIC FEET RESPECTIVELY.
3. THE SITE IS LOCATED IN A 'ZONE X' PER FEMA FIRM MAP NO. 329, DATED NOVEMBER, 2003.
4. TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY B&C LAYOUT SERVICES, DATED JANUARY, 2008.

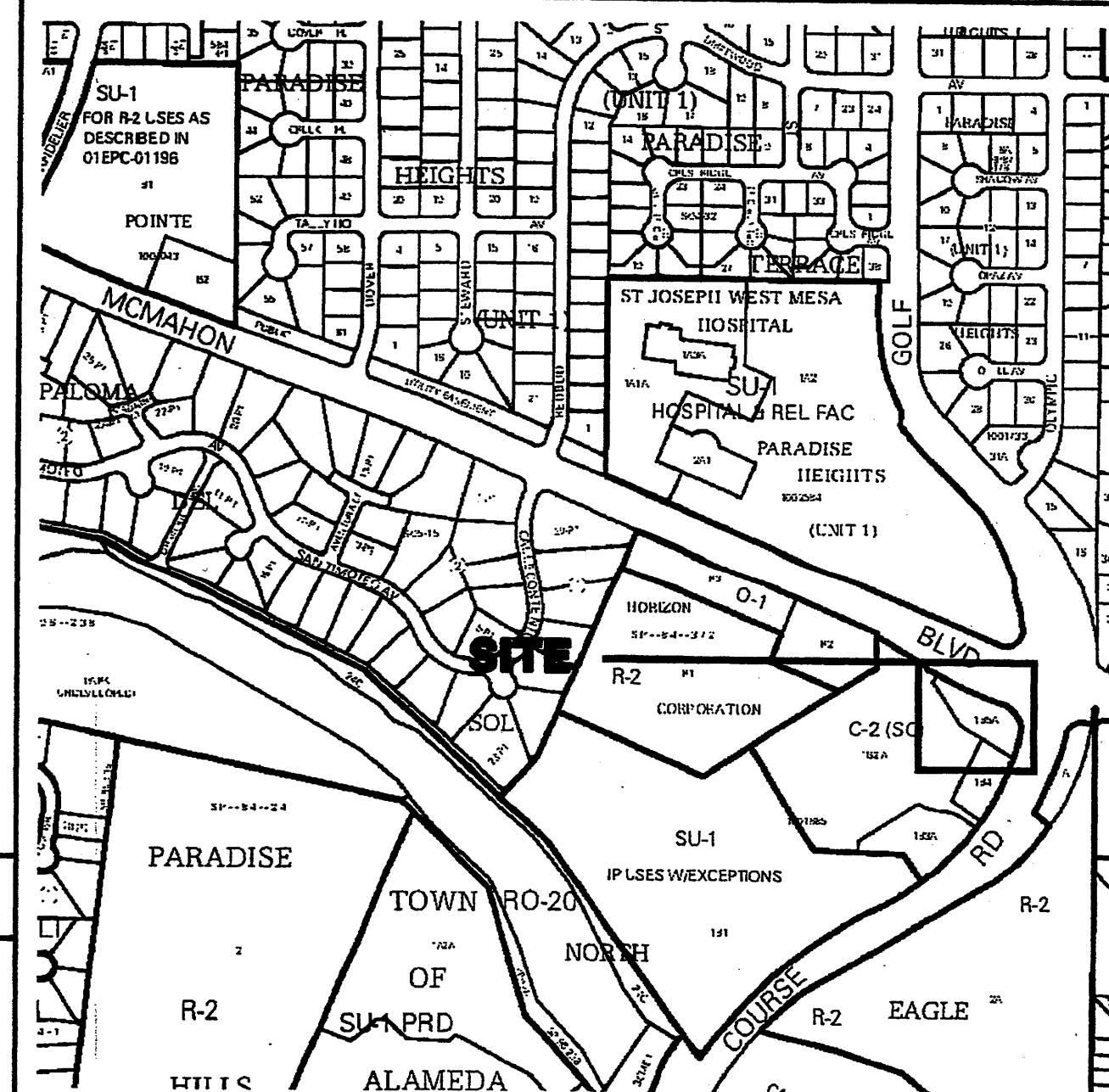
GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

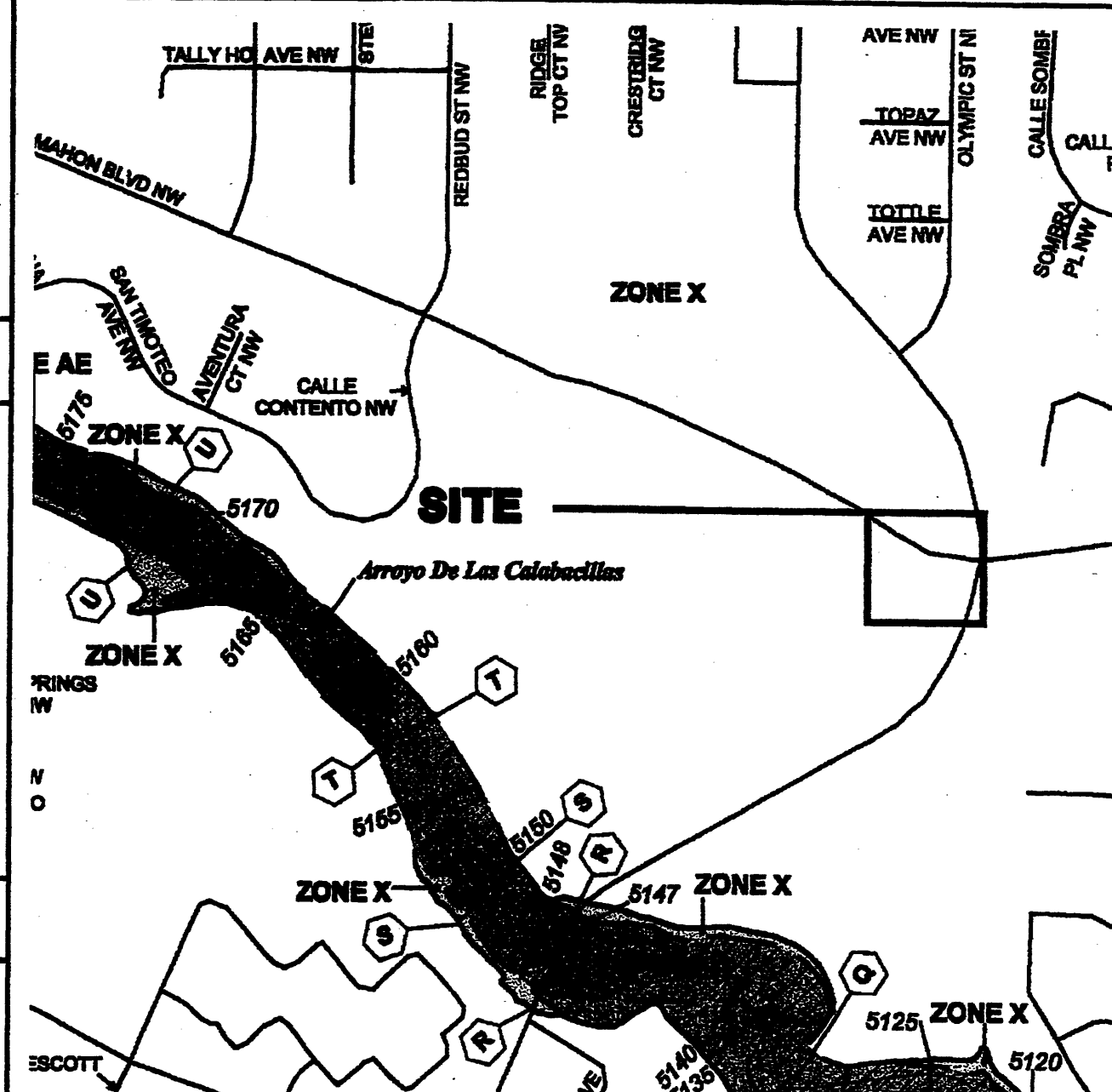
EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP A-12



FEMA FIRM PANEL NO. 329



LEGAL DESCRIPTION

TRACT 1B-5, PARADISE NORTH SUBDIVISION

PERMANENT BENCHMARK

ACS 9_A12 ELEVATION 5201.853 (NAVD 1988)

no.	date	remarks	by

project title BURGER KING MCMAHON @ GOLF COURSE ALBUQUERQUE, NM		
sheet title GRADING & DRAINAGE PLAN		
sheet date 02/11/09	design by JJB	project no. 0902

BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 (505)823-1344 FAX (505)821-9105		sheet C5.1 of
--	--	----------------------------

OFFSITE DRAINAGE MAP

OFFSITE DRAINAGE IS LIMITED BY SLOPE AND CURBS TO THE LANDSCAPED AREA IMMEDIATELY ADJACENT TO THE TRACT IN QUESTION. THIS AREA IS SHOWN AS BASIN A IN THE DRAINAGE CALCULATIONS.

ENGINEER'S CERTIFICATION

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN STAMP DATED 02/11/09. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. EXCEPTIONS AND/OR QUALIFICATIONS:

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS METER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD	ROOF DRAINAGE POINT
TP	TOP OF CURB		FEMA FLOODPLAIN BOUNDARY
TS	TOP OF EARTH PAD		DRAINAGE BASIN BOUNDARY
TW	TOP OF SIDEWALK		EROSION SETBACK LINE
TW	TOP OF WALL		EXISTING CONTOUR
FH	FIRE HYDRANT		PROPOSED CONTOUR
WM	WATER METER	XX.XX	EXISTING SPOT ELEVATION
WV	WATER VALVE	XX.XX	PROPOSED SPOT ELEVATION
MH	MANHOLE	XX.XX	RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE		

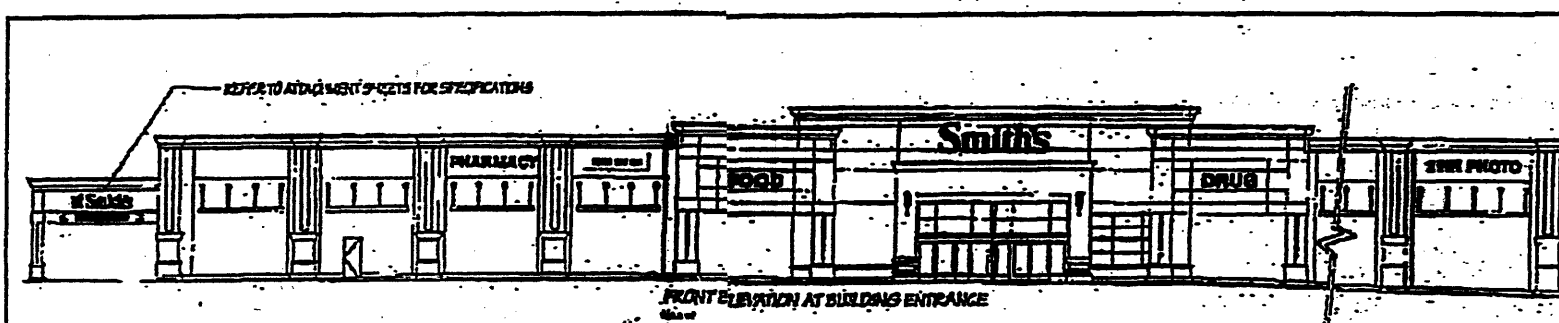
DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
EXISTING	10	A	0	0.08	0.24	0	0.00
		B	26532	0.22	0.76	486	0.48
		C	0	0.44	1.49	0	0.00
		D	2565	1.24	2.89	265	0.17
		TOTAL	29097			751	0.63
	100	A	0	0.44	1.29	0	0.00
		B	26532	0.67	2.03	1481	1.24
		C	0	0.99	2.87	0	0.00
		D	2565	1.97	4.37	421	0.26
		TOTAL	29097			1902	1.49
DEVELOPED	10	A	0	0.08	0.24	0	0.00
		B	11227	0.22	0.76	206	0.20
		C	0	0.44	1.49	0	0.00
		D	17870	1.24	2.89	1847	1.19
		TOTAL	29097			2052	1.38
	100	A	0	0.44	1.29	0	0.00
		B	11227	0.67	2.03	627	0.52
		C	0	0.99	2.87	0	0.00
		D	17870	1.97	4.37	2934	1.79
		TOTAL	29097			3560	2.32
A	100	A	0	0.44	1.29	0	0.00
		B	7895	0.67	2.03	441	0.37
		C	0	0.99	2.87	0	0.00
		D	115	1.97	4.37	19	0.01
		TOTAL	8010			460	0.38

SIDEWALK CULVERT

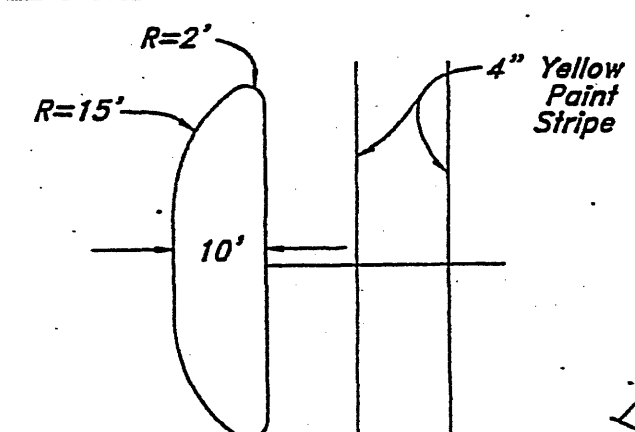
FLOW RATE
 $Q = ((2.03)(11700) + (4.37)(7233))/43560$
 $= 1.27$ CFS

BROAD CRESTED WEIR (C = 2.8)
 $Q = 1.27 = (2.8)(0.4)(1.5)$
 $L = 1.79$ FT.
USE 20"

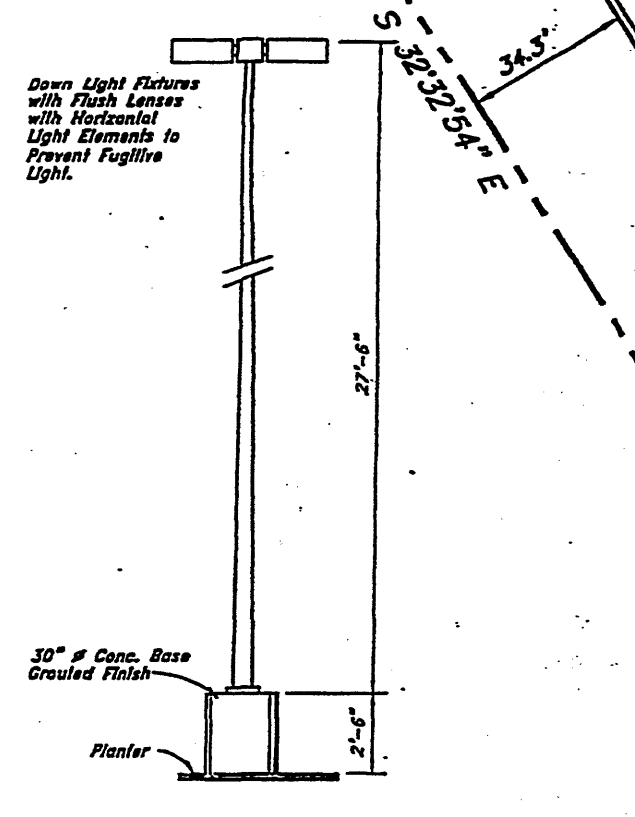


Smith's
FOOD
PHARMACY
DRUG
1 HR PHOTO

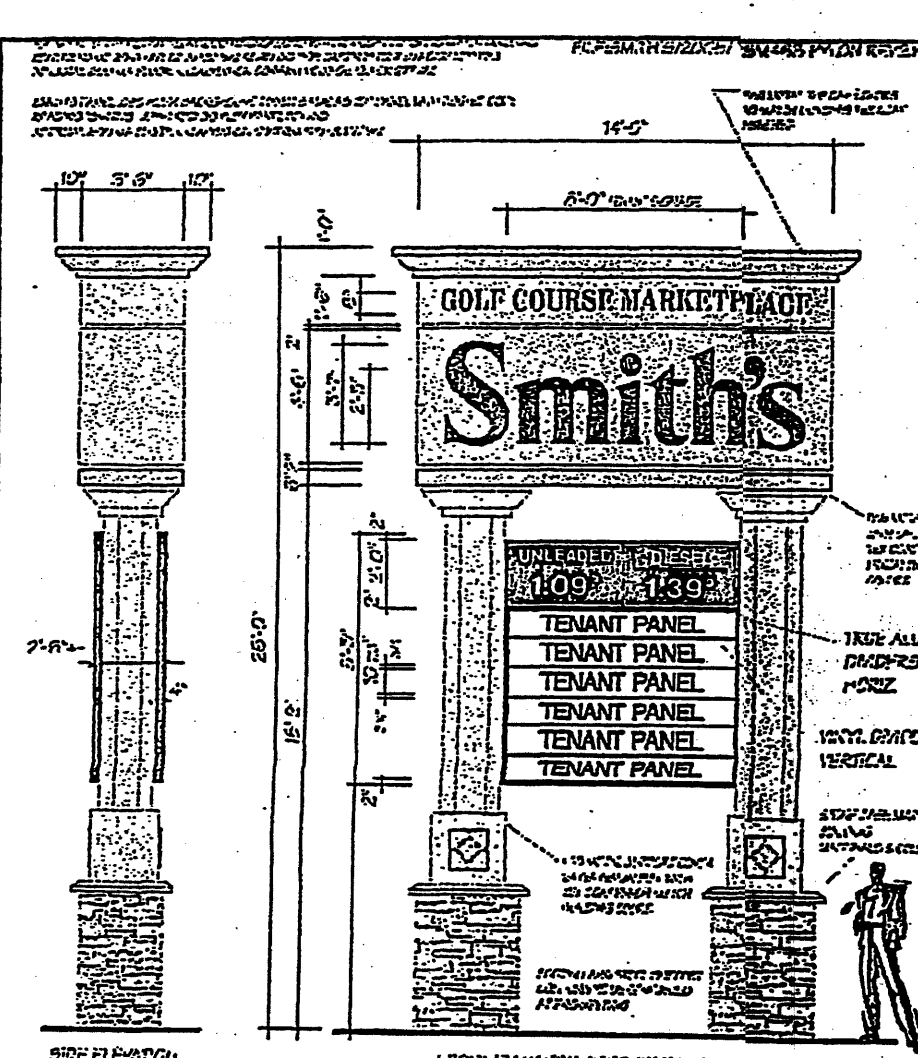
GENERAL NOTES:
FAC. OPEN PAN CHANNEL LETTERS 7 1/2" DEPTH RETURNS PRE-FINISHED BRONZE
FACES 3/8" TRANSLUCENT RED FLEX 66 #211 WITH 2" BRONZE TRIM CAP RISE
AT "SMITH'S" LETTERS & 1" BRONZE TRIM CAP AT SMALLER LETTERS
INTERNAL CLEAR RED 2" TUBE AT 2'-0" TO 2'-6" LETTERS TO VARIOUS TUBES NEON AT "SMITH'S"
LETTERS 15 MM. 50 H.A. ILLUMINATION AT 27' H.A.C. (CONFORMING)
SELF CONTAINED TRANSDUCERS PERMITS
IN LETTERS



Typical Planter Island
Not to Scale



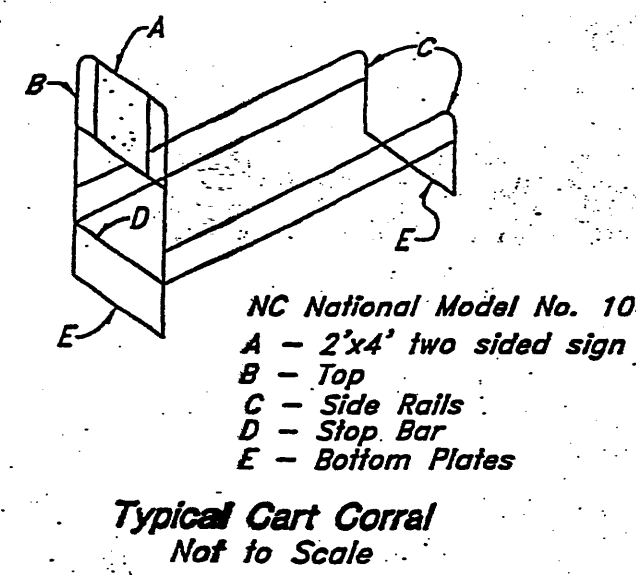
Light Pole



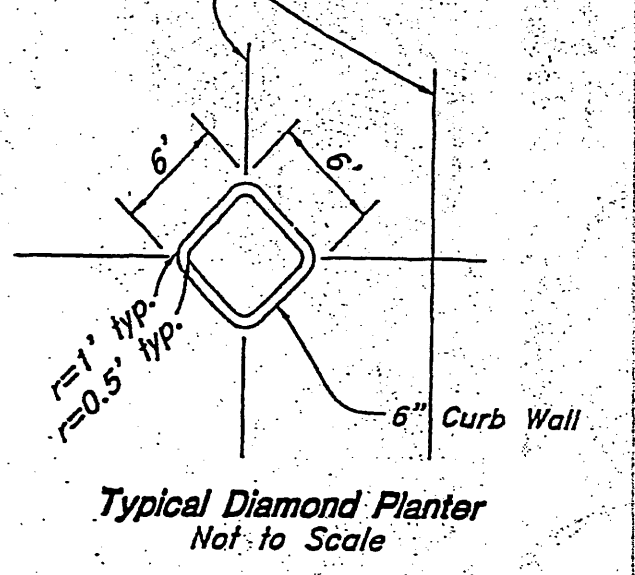
GoldenWest
ADVERTISING

Smith's
57,228 Sq. Ft.
R-Proto
FF=5200.00

Retail B
17,519.00



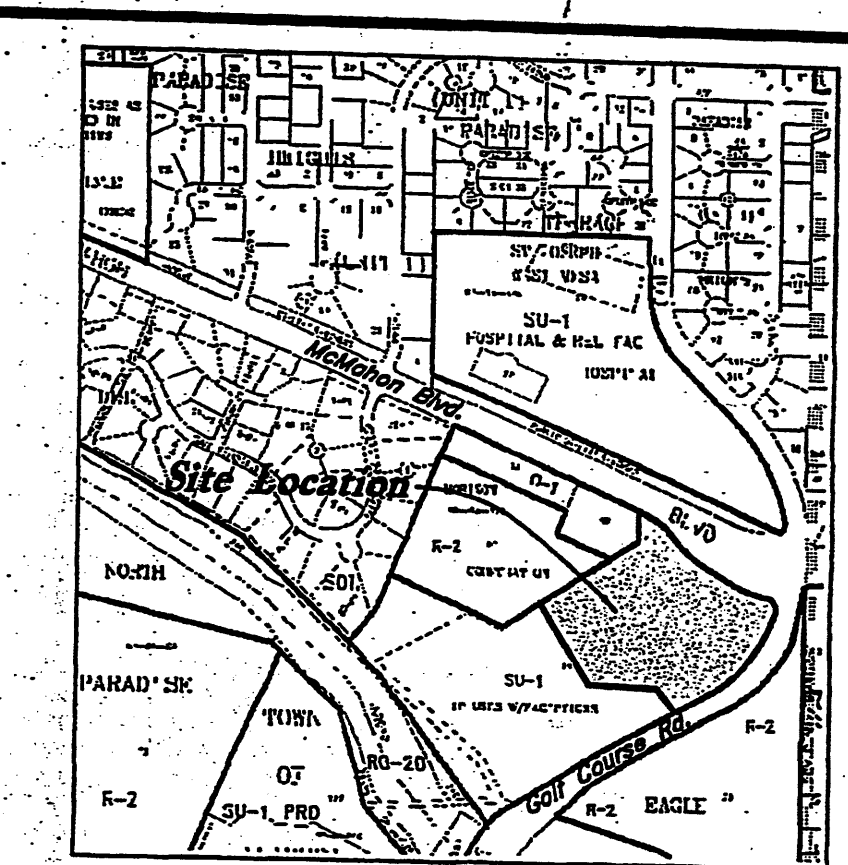
Typical Cart Corral
Not to Scale



Typical Diamond Planter
Not to Scale

Site

Scale: 1" = 40'



Vicinity Map
Zone Atlas Page: A-12-Z
Scale: 1" = 750'

Site Data Table:

Existing Zone	= SU-1 w/ IP uses
Proposed Zone	= C-2 (SC)
Site Area	= 344,532 s.f. (7.91 acres)
Building Areas:	
Smith's	= 57,228 sf
Retail A	= 2,248 sf
Retail B	= 8,700 sf
Fuel Center	
Total	= 68,176 sf
Parking Required:	
Restaurant	= 10 stalls
1/200' - 8,000 s.f.	= 40 stalls
1/250' - 45,000 s.f.	= 180 stalls
1/300' - 12,928 s.f.	= 43 stalls
Bus Shelter 10% Reduction - 29 Stalls	
Total Required	= 244 stalls
Parking Provided	= 306 Stalls
(4.43 / 1000)	
Handicap Parking Required	= 8 stalls
Handicap Parking Provided	= 10 stalls
Bicycle Parking Required	= 18 stalls
Bicycle Parking Provided	= 21 stalls

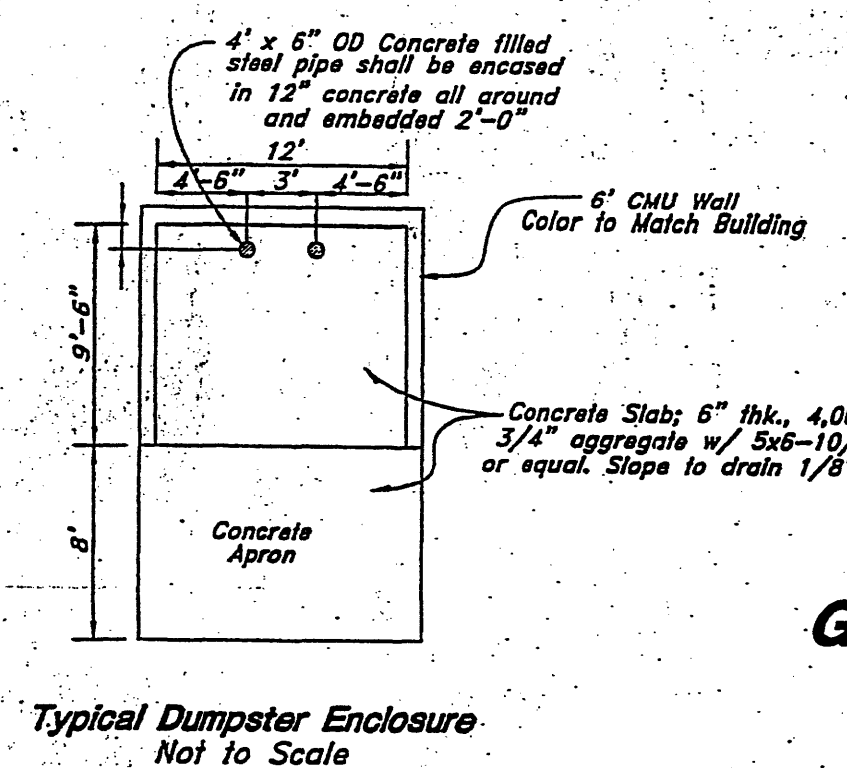
PROJECT #1001685
EPC Application #: 04EPC-01349
DRB Application #: 04EPC-01590
DRB Project #:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on June 20, 2002 and that the findings and conditions in the Official Notice of Decision have been complied with.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	10-11-05
Christine Randall	10/19/05
Parks and Recreation Department	10/19/05
Roger A. Shuman	2/12/07
Public Works, Water Utilities Division	10/19/05
Bradley J. Babin	10/19/05
City Engineer, Engineering Division / AMAFCA	10/19/05
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	10/19/05
Signature and Date	10/19/05
Michael Holten	10/19/05
Solid Waste	
Fire Department	

AFD PLANS CHECKING OFFICE
824-3611
APPROVED/REAPPROVED
HYDRANT(S) ONLY
10-19-05
SIGNATURE AND DATE



Typical Dumpster Enclosure
Not to Scale

Smith's
FOOD & DRUG STORES
#463

Golf Course Road & McMahon Road
Albuquerque, New Mexico

Site Development Plan for Building Permit

Golf Course Marketplace
SWC Golf Course Rd. & McMahon Blvd.
Albuquerque, New Mexico

22 Aug, 2005
SHEET NO.
1

Stone Surfacing

- TYPE (1) : "Rebel Red" Decomposed Granite (3/4"-1") Contractor To Submit Sample From Local Source
 TYPE (2) : "Desert Tan" Decomposed Granite (3/4"-1") Contractor To Submit Sample From Local Source
 TYPE (3) : "Desert Tan" Decomposed Granite (2"-3") Contractor To Submit Sample From Local Source
- APPLICATION PROCEDURE :
 1. Place pre-emptive herbicide on the grade layer.
 2. Place sand barrier fabric (if specified).
 3. Place 3" minimum decomposed granite to finish grade.
 4. Place pre-emptive herbicide on finish grade.

Legend/Miscellaneous

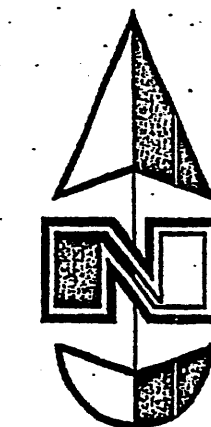
- Person (or equal) 3/16"x1/4" Steel Edging / Installed Per Manufacturers Recommendations
 Landscape Boulders (3'-9" Diameter) / To Be Of Similar Color To Desert Sand Granite

Landscape Calculations

Total Lot Area = 344,532 s.f.
 Total Building Area = 72,928 s.f.
 Net Lot Area = 271,604 s.f.
 Landscape Requirement = 0.15 15%
 Landscape Required = 40,741 s.f.
 Total Landscape Provided = 59,649 s.f.
 Total Bed Provided = 48,689 s.f.
 Total Sod Provided = 11,960 s.f.

Site

Scale : 1" = 40'



Plant List (TREES)

Symbol	Botanical Name	Common Name	Size	Ht.	Spd.
*	<i>Celtis occidentalis</i>	Common Hackberry	2" Caliper	40 Ft.	40 Ft.
*	<i>Cercis reniformis</i>	Oklahoma Redbud	2" Caliper	25 Ft.	25 Ft.
*	<i>Crataegus monogyna</i>	Singie-seed Hawthorne	2" Caliper	30 Ft.	8 Ft.
*	<i>Fraxinus velutina</i>	Arizona Ash	2" Caliper	40 Ft.	40 Ft.
*	<i>Pinus aldarica</i>	Alghan Pine	6'-8'	40 Ft.	18 Ft.
*	<i>Pinus flexilis</i>	Limb Pine	6'-8'	30 Ft.	20 Ft.
*	<i>Pyrus calleryana 'Chanticleer'</i>	Chanticleer Flowering Pear	2" Caliper	25 Ft.	15 Ft.
*	<i>Robinia x. ambigua</i>	Idaho Locust	2" Caliper	40 Ft.	30 Ft.
*	<i>Trachycarpus fortunei wagnerianus</i>	Windmill Palm	8'-10'	15 Ft.	4 Ft.

Plant List (SHRUBS)

Symbol	Botanical Name	Common Name	Size	Ht.	Spd.
⊙	<i>Agave americana</i>	Century Plant	5 Gallon	6 Ft.	6 Ft.
⊙	<i>Buxus s. microphylla 'Winter Gem'</i>	Winter Gem Boxwood	5 Gallon	4 Ft.	4 Ft.
⊙	<i>Caryopteris x. clandonensis</i>	Blue Mist Spirea	5 Gallon	3 Ft.	3 Ft.
⊙	<i>Cotoneaster bodinifolius</i>	Greyleaf Cotoneaster	5 Gallon	2 Ft.	3 Ft.
⊙	<i>Cytisus scoparius</i>	Scotch Broom	5 Gallon	4 Ft.	4 Ft.
⊙	<i>Dasylirion wheeleri</i>	Desert Spoon	5 Gallon	8 Ft.	5 Ft.
⊙	<i>Hesperaloe parviflora</i>	Red Flowering Yucca	5 Gallon	3 Ft.	4 Ft.
⊙	<i>Leucophyllum f. 'Green Cloud'</i>	Green Cloud Centea	5 Gallon	3 Ft.	4 Ft.
⊙	<i>Photinia fraseri</i>	Red Tip Photinia	5 Gallon	8 Ft.	8 Ft.
⊙	<i>Rhus trilobata</i>	Three-leaf Sumac	5 Gallon	6 Ft.	6 Ft.
⊙	<i>Spiraea bumalda 'Neon Flash'</i>	Neon Flash Spirea	5 Gallon	4 Ft.	4 Ft.
⊙	<i>Yucca brevifolia</i>	Joshua Tree	15 Gallon	15 Ft.	15 Ft.
⊙	<i>Yucca filamentosa</i>	Adams Needle	5 Gallon	3 Ft.	3 Ft.

Plant List (GRASSES)

Symbol	Botanical Name	Common Name	Size	Ht.	Spd.
⊙	<i>Cortaderia selloana</i>	Pampas Grass	1 Gallon	12 Ft.	9 Ft.
⊙	<i>Miscanthus gracillimus</i>	Gracillimus Maiden Grass	1 Gallon	5 Ft.	8 Ft.
⊙	<i>Muhlenbergia rigida</i>	Purple Muhly	1 Gallon	2 Ft.	3 Ft.

Planting Notes

- All landscaped areas shall receive topsoil and/or fill material to provide a rough grade at (4) inches below ultimate finish grade, allowing for the weed barrier fabric and gravel surfacing installation.
- All plant material shall be dug twice the diameter of the rootball and (6) inches deeper. Excess material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil, to 1 part native soil, to 1 part humus mulch additive and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be 'Agrifilm' brand 21 gram tablets used as per manufacturers recommendations.
- Upon completion of planting operations, all shrub and tree wells shall receive a (3) inch minimum depth of stone surfacing as specified. The stone surfacing shall be placed immediately following the installation of the weed barrier fabric.
- All areas where different types of stone surfacing are to be used shall be separated with 3/16"x1/4" steel edging, and shall be installed per manufacturer's recommendations.
- All landscape boulders shall be of similar color and shape previously used on the site.
- The project shall be swept clean of dirt and debris prior to completion of the project.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.
- The landscape contractor shall be responsible for completing all maintenance requirements as outlined in the project specifications.

General Notes

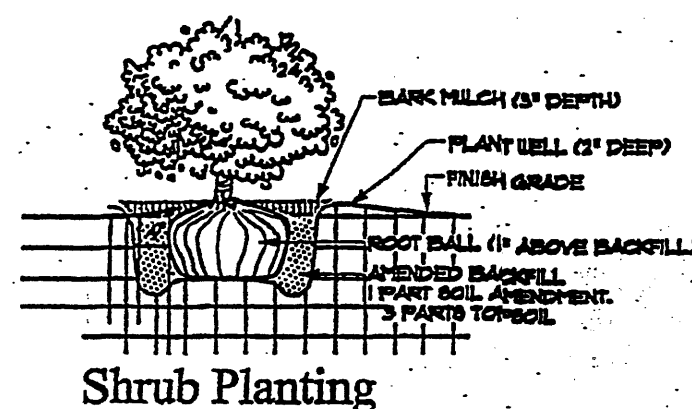
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
- The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and groundcovers shall be triangular and equally spaced.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specification.
- The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the root balls shall be planted flush with the finish grade.
- The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walls, etc.

IRRIGATION NOTES:

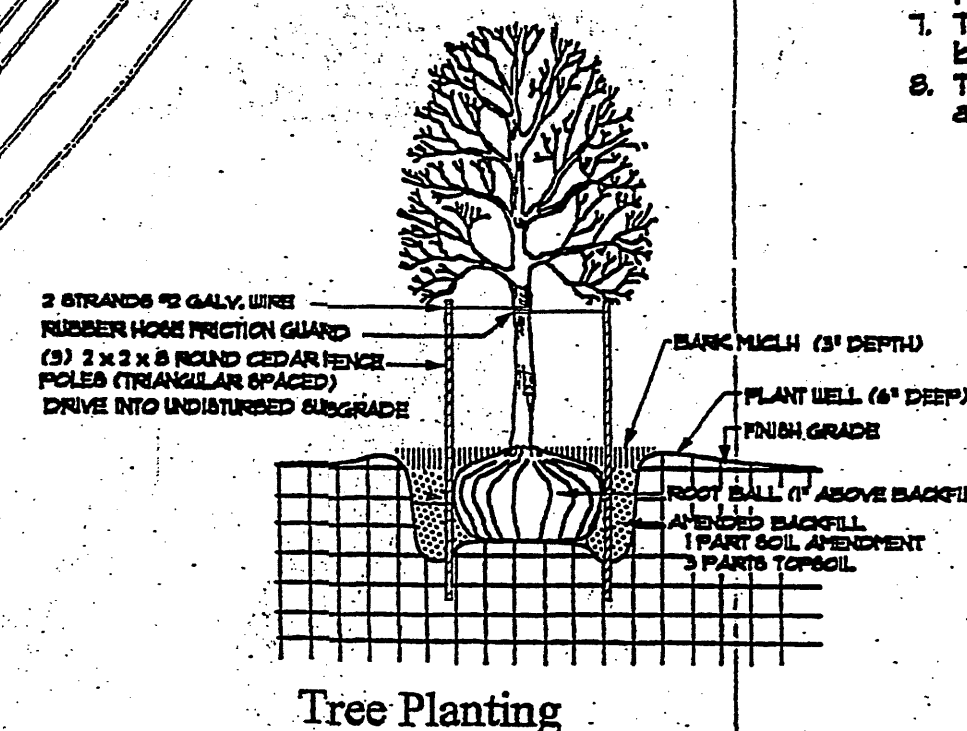
Irrigation shall be a complete underground system with:
 Trees to receive (5) 1.0 GPM Emitters.
 Shrubs to receive (2) GPH Drip; Emitters.
 Drip and Bubbler Systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day. (to be adjusted according to the season).
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Waste Water Ordinance, planting restriction approach.
 Approval of this plan does not constitute or imply exemption from waste water provisions of the Water Conservation Landscaping and Waste Water Ordinance. Water management is the sole responsibility of the Property Owner.



Shrub Planting



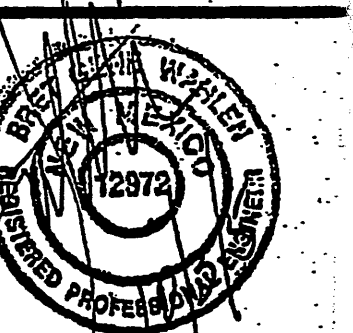
Tree Planting

Smith's
 FOOD & DRUG STORES
#463

Golf Course Road & McMahon Road
 Albuquerque, New Mexico

GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS and LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 Salt Lake City (801) 321-8339 Ogden (801) 321-9551

Preliminary Landscape Plan
 Golf Course Marketplace
 SWC Golf Course Rd. & McMahon Blvd.
 Albuquerque, New Mexico

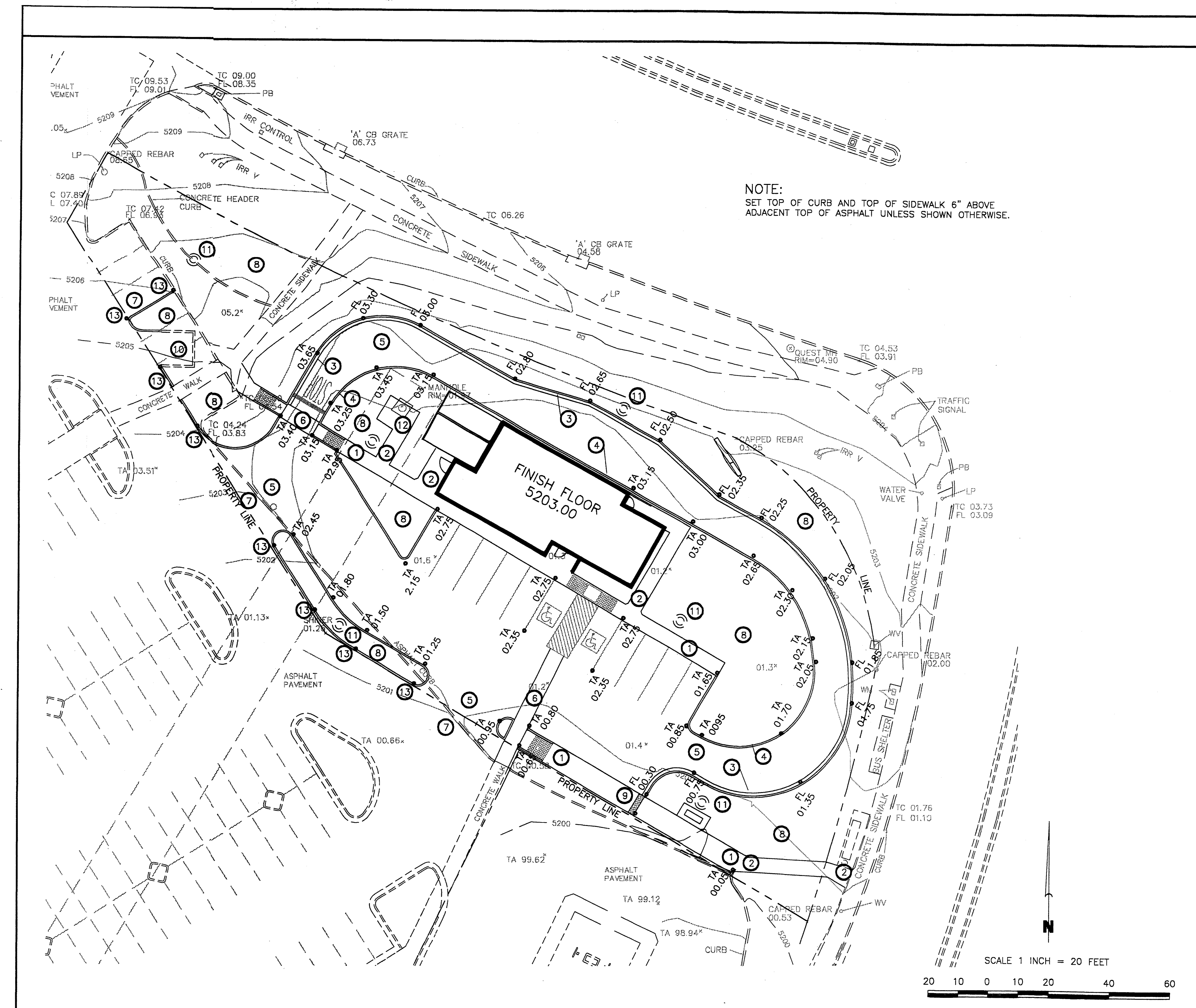


22 Aug, 2005

SHEET NO.

4

SUC4632



KEYED NOTES

1. TURNDOWN SIDEWALK. SEE DETAIL SHEET C5.2.
2. SIDEWALK. SEE DETAIL SHEET C5.2.
3. CURB & GUTTER. SEE DETAIL SHEET C5.2.
4. HEADER CURB. SEE DETAIL SHEET C5.2.
5. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C5.2.
6. COLORED, TEXTURED CONCRETE SIDEWALK. SEE ARCHITECTURAL.
7. EXISTING ASPHALT PAVEMENT, TO REMAIN. BROKEN HATCHED AREA.
8. LANDSCAPE
9. 20" WIDE SIDEWALK CULVERT. ALIGN WITH DOWNSPOUT. SEE DETAIL SHEET C5.2.
10. REFUSE ENCLOSURE. SEE GRADING INFORMATION ON SHEET C5.2.
11. AREA LIGHT. SEE ARCHITECTURAL.
12. CONCRETE PAD (ELEV. 03.20) WITH TABLE. SEE ARCHITECTURAL.
13. SET TOP OF CURB 6" ABOVE ADJACENT EXISTING TOP OF ASPHALT.

DRAINAGE NOTES

1. THE SITE IS A TRACT WITHIN A LARGER DEVELOPMENT AND IS PRESENTLY GRADED AND LANDSCAPED. THE OFFSITE FLOWS ARE LIMITED TO A LANDSCAPED AREA OUTSIDE THE TRACT BUT WITHIN THE LARGER DEVELOPMENT. THESE FLOWS ARE INTERCEPTED BY THE CIRCULAR DRIVE AND ROUTED TO A SIDEWALK CULVERT ON THE SOUTHERLY PROPERTY BOUNDARY. ALL FLOWS ARE ROUTED TO THE LARGER DEVELOPMENT AND THENCE TO GOLF COURSE ROAD.
2. THE SITE IS LOCATED IN PRECIPITATION ZONE 1. THERE IS FLOW INCREASE OF 0.75 AND 0.83 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY AND THE 6 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORM INCREASE BY 1301 AND 1658 CUBIC FEET RESPECTIVELY.
3. THE SITE IS LOCATED IN A 'ZONE X' PER FEMA FIRM MAP NO. 329, DATED NOVEMBER, 2003.
4. TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY B&C LAYOUT SERVICES, DATED JANUARY, 2008.

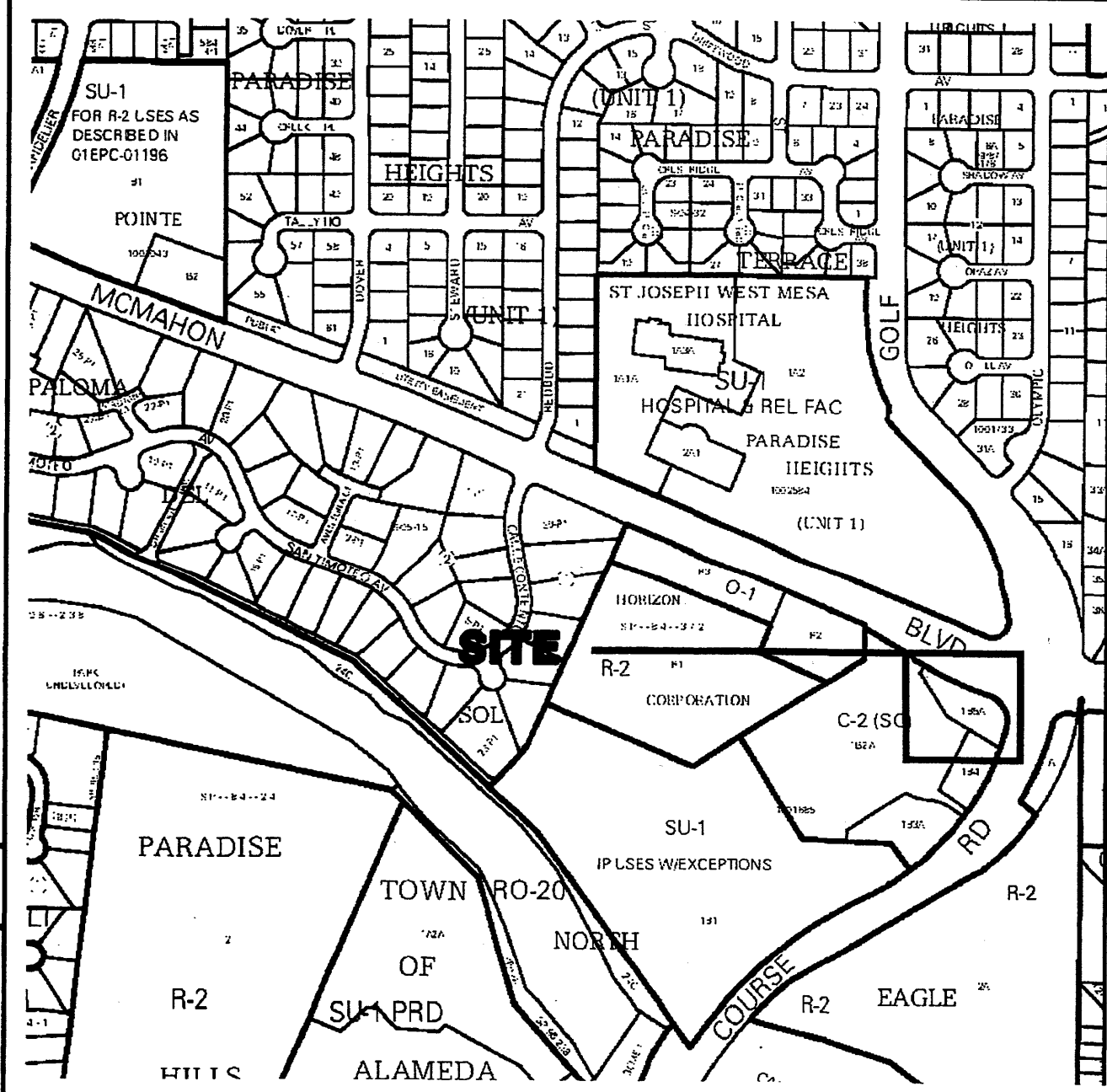
GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

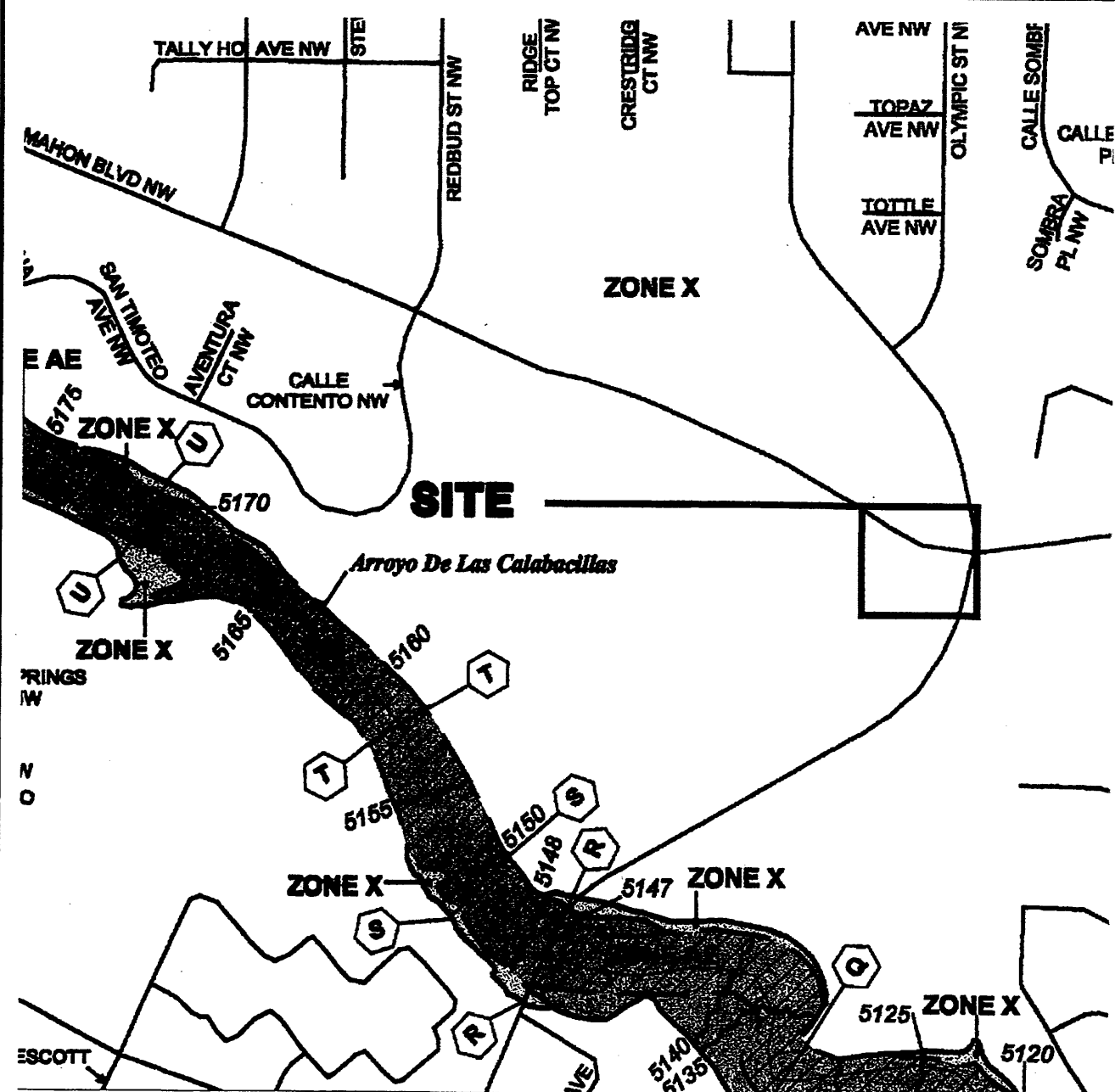
EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMES OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP A-12



FEMA FIRM PANEL NO. 329



LEGAL DESCRIPTION

TRACT 1B-5, PARADISE NORTH SUBDIVISION

PERMANENT BENCHMARK

ACS 9_A12 ELEVATION 5201.853 (NAVD 1988)

no.	date	remarks	by

project title BURGER KING MCMAHON GOLF COURSE ALBUQUERQUE, NM			
sheet title GRADING & DRAINAGE PLAN			
sheet date 01/28/09	design by JUB	project no. 0902	

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

OFFSITE DRAINAGE MAP

OFFSITE DRAINAGE IS LIMITED BY SLOPE AND CURBS TO THE LANDSCAPED AREA IMMEDIATELY ADJACENT TO THE TRACT IN QUESTION. THIS AREA IS SHOWN AS BASIN A IN THE DRAINAGE CALCULATIONS.

ENGINEER'S CERTIFICATION

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN STAMP DATED [blank]. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. EXCEPTIONS AND/OR QUALIFICATIONS:

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS METER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD	ROOF DRAINAGE POINT
TC	TOP OF CURB		FEMA FLOODPLAIN BOUNDARY
TP	TOP OF EARTH PAD		DRAINAGE BASIN BOUNDARY
TS	TOP OF SIDEWALK		EROSION SETBACK LINE
TW	TOP OF WALL		EXISTING CONTOUR
FH	FIRE HYDRANT		PROPOSED CONTOUR
WM	WATER METER	XX.XX	EXISTING SPOT ELEVATION
WV	WATER VALVE	•XX.XX	PROPOSED SPOT ELEVATION
MH	MANHOLE	XX.XX	RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE		

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD (year)	TREATMENT TYPE	TREATMENT AREA (sq. ft.)	EXCESS PRECIPITATION (in.)	PEAK RUNOFF (cfs/acre)	RUNOFF VOLUME (cu. ft.)	RUNOFF RATE (cfs)
EXISTING	10	A	0	0.08	0.24	0	0.00
		B	26532	0.22	0.76	486	0.48
		C	0	0.44	1.49	0	0.00
		D	0	1.24	2.89	265	0.17
		TOTAL	26532			751	0.63
DEVELOPED	100	A	0	0.44	1.29	0	0.00
		B	26532	0.67	2.03	1481	1.24
		C	0	0.99	2.87	0	0.00
		D	2565	1.97	4.37	421	0.28
		TOTAL	26532			1902	1.49
DEVELOPED	10	A	0	0.08	0.24	0	0.00
		B	11227	0.22	0.76	206	0.20
		C	0	0.44	1.49	0	0.00
		D	17870	1.24	2.89	1847	1.19
		TOTAL	29097			2052	1.38
DEVELOPED	100	A	0	0.44	1.29	0	0.00
		B	11227	0.67	2.03	627	0.52
		C	0	0.99	2.87	0	0.00
		D	17870	1.97	4.37	2934	1.79
		TOTAL	29097			3560	2.32
DEVELOPED	100	A	0	0.44	1.29	0	0.00
		B	7895	0.67	2.03	441	0.37
		C	0	0.99	2.87	0	0.00
		D	115	1.97	4.37	19	0.01
		TOTAL	8010			460	0.38

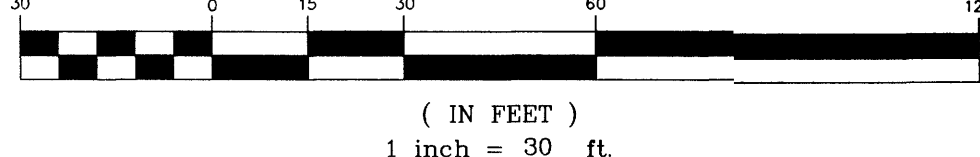
SIDEWALK CULVERT

FLOW RATE
 $Q = ((2.03)(11700) + (4.37)(7233))/43560$
 $= 1.27 \text{ CFS}$
BROAD CRESTED WEIR (C = 2.8)
 $Q = 1.27 = (2.8)(0.4*1.5)$
 $L = 1.79 \text{ FT.}$
USE 20"

EXISTING SITE
CONDITIONS
MAP

ALTA / A.C.S.M. LAND TITLE SURVEY FOR
TRACTS 1B-2, 1B-3, 1B-4 AND 1B-5
PARADISE NORTH
WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2005

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

TRACT R-2
LANDS OF HORIZON CORPORATION
Filed September 6, 1984 in Volume C24, Folio 196
PREBYTERIAN HEALTHCARE SERVICE

TRACT R-1
LANDS OF HORIZON CORPORATION
Filed September 6, 1984 in Volume C24, Folio 196
PUERTA DEL SOL ASSOCIATES, LLC

TOTAL AREA - 7.9091 ACRES

LEGEND

- WATER VALVE =
- WATER METER =
- HYDRANT =
- STORM DRAIN MANHOLE =
- STORM DRAIN INLET =
- TRANSFORMER =
- GUY WIRE =
- POWER POLE =
- TELEPHONE PEDESTAL =
- CONCRETE AREA =
- SANITARY SEWER MANHOLE =
- TELEPHONE MANHOLE =
- WATER MANHOLE =
- METAL POST =
- LIGHT POLE =
- TRAFFIC SIGNAL BOX =
- TRAFFIC SIGNAL LIGHTS =
- TREE =
- SET PROPERTY CORNER =
- FD. 5/8" REBAR W/ CAP "LS 14733" =
- FD. 5/8" REBAR W/ ALUM. CAP "LS 7248" =
- FD. CHISELED "X" =

TRACT 1B-1
PARADISE NORTH
Filed November 17, 2005, in Volume 2005C, Folio 371

LINE TABLE

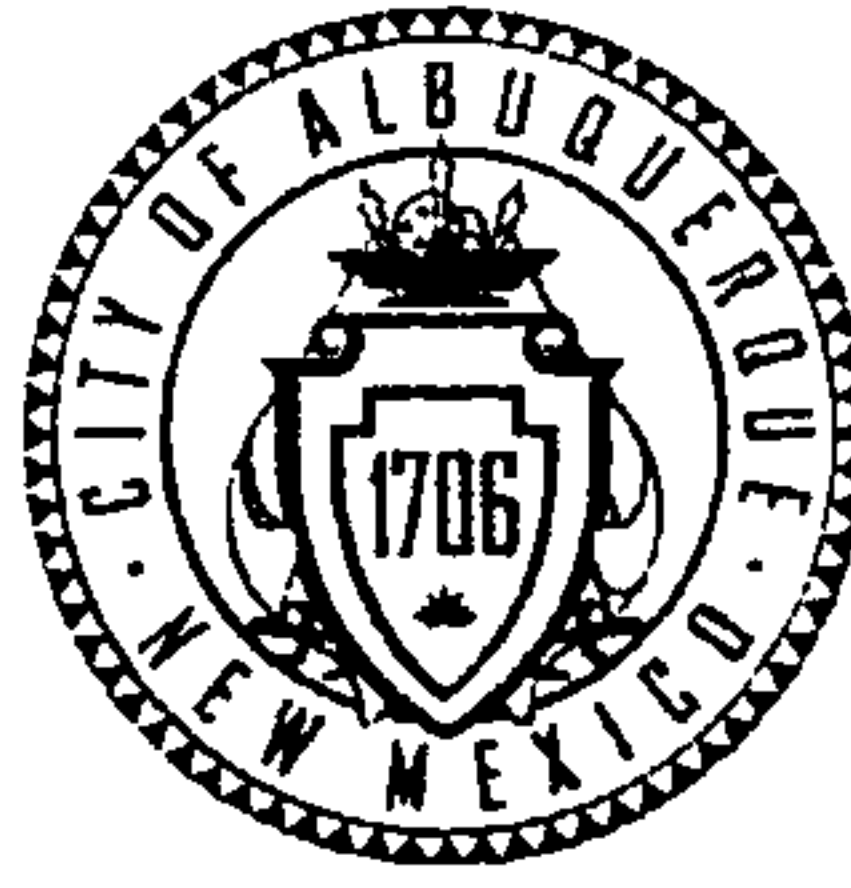
LINE	LENGTH	BEARING
L1	26.58	N3012°59'E
L2	35.77	N0225°11'E
L3	57.75	S5511°03'E

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	14.701	370.001	7.351	14.701	S40°52'13"E	216°35'
C2	30.971	1212.641	15.481	30.961	S59°42'49"E	127°42'
C3	227.241	1212.641	113.851	226.911	S65°48'49"E	104°41'3"
C4	93.301	89.091	51.441	89.091	S31°58'56"E	60°00'00"
C5	86.241	740.881	43.171	86.191	S14°33'54"W	6°40'09"
C6	188.401	740.881	94.711	187.891	S25°31'05"W	14°34'11"
C7	26.211	783.541	13.111	26.211	S33°45'41"W	1°50'01"
C8	24.001	783.541	12.001	24.001	S35°35'50"W	1°45'19"
C9	231.421	783.541	116.561	230.581	N44°56'10"E	16°55'19"
C10	80.951	180.001	41.171	80.291	S74°18'26"E	25°46'04"
C11	55.861	100.001	28.681	55.141	N71°11'15"W	32°00'25"

SHEET 2 OF 2

SURVTEK, INC.
Consulting Surveyors
6643 Paradise Blvd. N.E. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: November 19, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001685*
04EPC-01348 Zone Map Amendment
04EPC-01349 EPC Site Development
Plan-Building Permit
04EPC-01590 EPC Site Development
Plan-Subdivision

Smiths Food & Drug Center
1555 S. Redwood Rd.
Salt Lake City, UT 84115

LEGAL DESCRIPTION: for a portion of Tract 1-B, **Paradise North**, located at the SW corner of GOLF COURSE NW and MCMAHON NW, containing approximately 8 acres. (A-12) Carmen Marrone, Staff Planner

On November 18, 2004 the Environmental Planning Commission voted to approve Project 1001685/ 04EPC 01348, a request for a Zone Map Amendment from SU-1 for Permissive IP Uses w/exceptions to C-2 (SC) for the north 7.8 acres of Tract 1-B, Paradise North Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a Zone Map Amendment from SU-1 for Permissive IP Uses w/exceptions to C-2 (SC) for the north ½ of Tract 1-B, Paradise North Subdivision. The proposed zoning will affect 7.9 acres of a 21-acre site, located at the southwest corner of Golf Course Road and McMahon Boulevard NW.
2. The applicant proposes to construct a Smith's Grocery Store with a drive-up pharmacy and alcohol sales for off-premises consumption, a separate fueling station and two smaller retail buildings on the site.
3. The current zoning is similar to the proposed zoning with regard to uses allowed except that the current zoning does not allow a grocery store as a permissive use and prohibits alcohol sales for off-premises consumption.

4. The proposed SC designation provides site development plan control of all of the parcels within the site to assure that all uses within the site are conducted in a compatible and harmonious manner within the context of the regulations of the C-2 zone and the shopping center regulations. Approval and revision of development plans is the same procedure as for SU-1 plans.
 5. The current zoning was established in 1985 in order to provide jobs and services to the surrounding neighborhoods. In support of this zoning, the site is part of a Neighborhood Activity Center per the *West Side Strategic Plan*. Currently, the Neighborhood Activity Center does not contain any commercial zoning that would provide for the daily needs of the surrounding neighborhoods.
 6. The proposed zone change is supported by Policies 5e, 5i, and 5j of the *Comprehensive Plan* because: it will assist in providing employment and service uses that will compliment residential areas (Policy 5i); the proposed commercial zoning will be located in an already existing commercially zoned area (Policy 5j) and; the proposed SC designation will help protect the integrity of existing neighborhoods by requiring site plan review of all proposed development (Policy 5e).
 7. The subject site is located within the Seven Bar Ranch Community and is within a designated Neighborhood Activity Center per the *West Side Strategic Plan*. The request from industrial zoning to commercial zoning is supported by Policy 3.4 of the Plan to encourage neighborhood commercial uses that will serve the surrounding neighborhoods within the Seven Bar Ranch Community. The request is also in line with the goals for the Ellison/Golf Course Neighborhood Center by providing commercial uses in the Center as recommended on page 104 of the WSSP.
 8. The request for C-2 zoning meets the requirements of Section 4 of the *Westside-McMahon Land Use and Transportation Guide* by providing commercial zoning that is consistent with the "mixed use" designation of the site.
 9. The request for a zone map amendment from industrial zoning to commercial zoning is more advantageous to the community, pursuant to applicable goals and policies of the Comprehensive Plan and the West Side Strategic Plan, as demonstrated by the applicant (*Section 1D3, R-270-1980*). Furthermore, the proposed zone change will not jeopardize the health, safety, or general welfare of the City (*Section 1A, R-270-1980*), will not destabilize the surrounding land use and zoning (*Section 1B, R-270-1980*), will not be harmful to adjacent property, the neighborhood or the community (*Section 1E, R-270-1980*), and is not in conflict with adopted elements of the *Comprehensive Plan* or the *West Side Strategic Plan* (*Section 1C, R-270-1980*).
 10. There is no known neighborhood opposition to this request.
-

OFFICIAL NOTICE OF DECISION
PROJECT #1001685
NOVEMBER 16, 2004
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On November 18, 2004 the Environmental Planning Commission voted to approve Project 1001685/04EPC 01590, a site plan for subdivision for Tract 1-B, Paradise North Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site plan for subdivision to subdivide Tract 1-B, Paradise North Subdivision into five tracts and to provide retail uses on the northern four tracts. The northern four tracts comprise a total of 7.9 acres in size.
2. The proposed uses further the goals of Policy 5i of the *Comprehensive Plan* by providing employment and service uses that will compliment surrounding residential development.
3. The proposed uses further the goals of Policy 3.4 of the *West Side Strategic Plan* to encourage neighborhood commercial uses that will serve the surrounding neighborhoods within the Seven Bar Ranch Community. The request is also in line with the goals for Neighborhood Activity Centers by providing commercial uses in the Center as recommended on page 104 of the *WSSP*.
4. The site plan for subdivision contains all of the necessary information per *Section 14-16-1-5* of the Comprehensive Zoning Code.
5. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for, if applicable.

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Traffic Impact Study (TIS) is required (has been submitted).
 - d. Completion of the required TIS mitigation measures (when determined), per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS) including site driveways).
 - e. Provide truck circulation route (including fueling center).
 - f. Provide cross access agreement if applicable.
 - g. Site plan shall comply and be designed per DPM Standards.
 - h. The proposed right-turn access on McMahon Boulevard approximately 200 feet west of Golf Course Road is not a permitted access, and therefore, will require the approval of the Metropolitan Transportation Board (MTB) of the Mid-Region Council of Governments.
-

On November 18, 2004 the Environmental Planning Commission voted to approve Project 1001685/04EPC 01349, a site plan for building permit for a 7.8-acre portion of Tract 1-B, proposed as Tracts 1B-2, 1B-3, 1B-4, and 1B-5, Paradise North Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

- 1. This is a request for a site plan for building permit for Tracts 1B-2, 1B-3, 1B-4, and 1B-5, Paradise North Subdivision containing approximately 7.9 acres, located at the southwest corner of Golf Course Road and McMahon Boulevard NW.
- 2. The proposed uses further the goals of Policy 5i of the *Comprehensive Plan* by providing employment and service uses that will compliment surrounding residential development.
- 3. The proposed uses further the goals of Policy 3.4 of the *West Side Strategic Plan* to encourage neighborhood commercial uses that will serve the surrounding neighborhoods within the Seven Bar Ranch Community. The request is also in line with the goals for Neighborhood Activity Centers by providing commercial uses in the Center as recommended on page 104 of the *WSSP*.

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PROJECT #1001685
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4. The layout of the site is consistent with the goals of the West Side Strategic Plan to cluster buildings where possible to encourage pedestrian activity.
5. The easternmost access from McMahon Boulevard will require MRCOG approval.
6. Although the *West Side Strategic Plan* calls for pedestrian connections from Neighborhood Centers to surrounding residential development, the slopes between the site and the adjacent residential development to the west prevent the opportunity to provide suitable pedestrian connections between the two sites.
7. The Transit Department requests that the applicant install a bus shelter adjacent to the site on Golf Course Road.
8. Section 14-16-3-2 of the Zoning Code, Regulations for Shopping Centers, limits the sign area of free-standing signs to 150 square feet. The proposed free-standing signs on Golf Course Road and on McMahon Boulevard have a sign area of 192 square feet.
9. With a few adjustments, the site plan for building permit will meet the requirements of the Zoning Code.
10. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Parking calculations shall be corrected as follows:
 - The total required parking for the site is 298 spaces.
 - The total amount of parking required, based on 1/300 calculation, is 43 spaces.
 - Total parking provided is 325 parking spaces.
3. Label all internal walkways with regard to width and surface materials.
4. The applicant shall provide a bus shelter adjacent to the site on Golf Course Road, south of McMahon. The bus shelter shall be at the owner's expense, of a type acceptable to the City.

5. Walls:
 - a. Provide a general note stating that all walls will be built and designed per Section 14-16-3-19 of the Zoning Code.
 - b. Label the retaining walls along Golf Course Road, in front of Retail Building B.
 - c. Indicate the color and materials of all proposed walls.
 - d. Provide a 6' high wall west of Smith's Grocery Store to visually screen the circulation area west of Smith's Grocery from the adjacent residential zone.
6. The Landscape Plan shall indicate all easements that will affect plantings.
7. Indicate the surface material and color of all outdoor plazas.
8. Building Elevations:
 - Show the overall width of each building façade on the Smith's Store and the fueling station.
 - Label the trellises and canopies along the front facades of all elevations.
 - Identify the color of all windows.
 - Label all wall-mounted lighting.
 - Under-canopy lighting on the fuel station shall be recessed so that no light lens projects below the canopy ceiling.
9. The face area of the pylon signs shall be reduced to a maximum of 150 square feet to meet the regulations of the Zoning Code.
10. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for, if applicable.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Traffic Impact Study (TIS) is required (has been submitted).
 - d. Completion of the required TIS mitigation measures (when determined), per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS) including site driveways).
 - e. Provide truck circulation route (including fueling center).
 - f. Provide cross access agreement if applicable.
 - g. Site plan shall comply and be designed per DPM Standards.

- h. The proposed right-turn access on McMahon Boulevard approximately 200 feet west of Golf Course Road is not a permitted access, and therefore, will require the approval of the Metropolitan Transportation Board (MTB) of the Mid-Region Council of Governments.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **DECEMBER 3, 2004** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

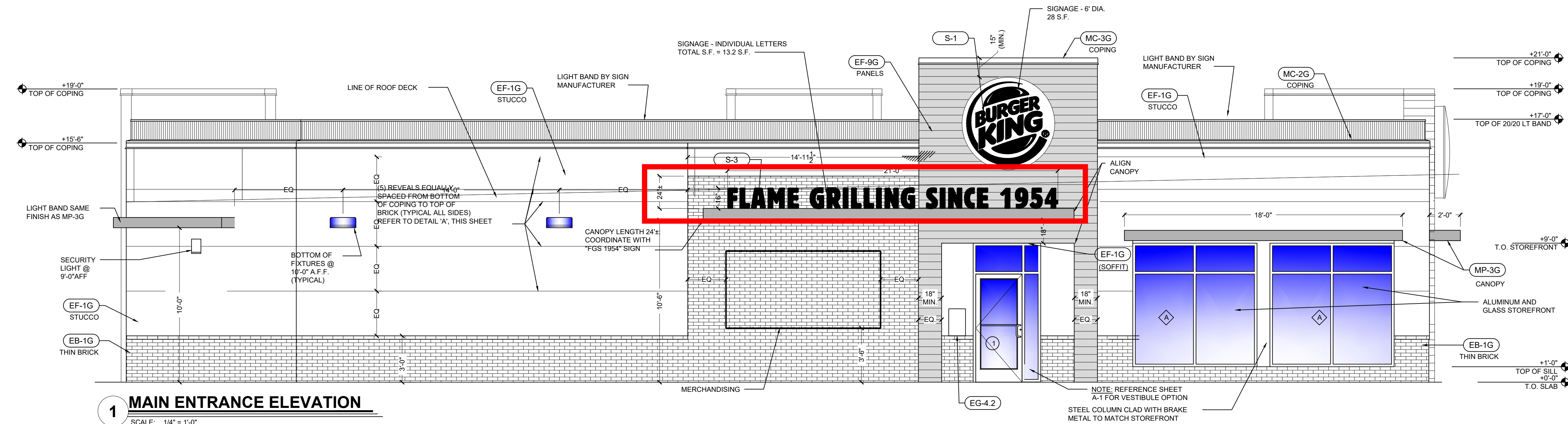
OFFICIAL NOTICE OF DECISION
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RD/CM/ac

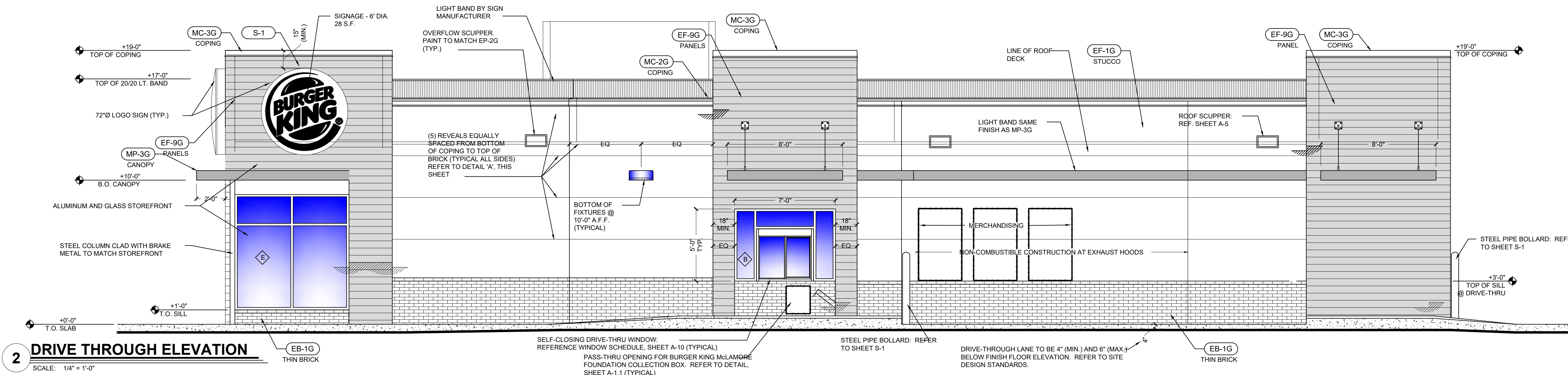
cc: Great Basin Engineering, 2010 N. Redwood Rd., Salt Lake City, UT 84116
Jerome Romero, Paradise Heights NA, 10601 Olympic St. NW, Albuquerque, NM 87114
Minna Dimmick, Paradise Heights NA, 10536 Calle Sombra Ct. NW, Albuquerque, NM 87114
Carol Murphy, Saragossa NA, 10404 Cista del Sol NW, Albuquerque, NM 87114
Pat Lee, Saragossa NA, 10511 Calle Alba NW, Albuquerque, NM 87114
Gary Clarke, Cottonwood Heights NA, 10309 Dunbar St. NW, Albuquerque, NM 87114
Kevin Winner, Cottonwood Heights NA, 4259 Ridgencircle Rd. NW, Albuquerque, NM 87114
Julia Wilson, Horizon Hills NA, 5705 Carmen Rd. NW, Albuquerque, NM 87114
Jolinda Balmer, Horizon Hills NA, 10590 Vista Bella Pl. NW, Albuquerque, NM 87114



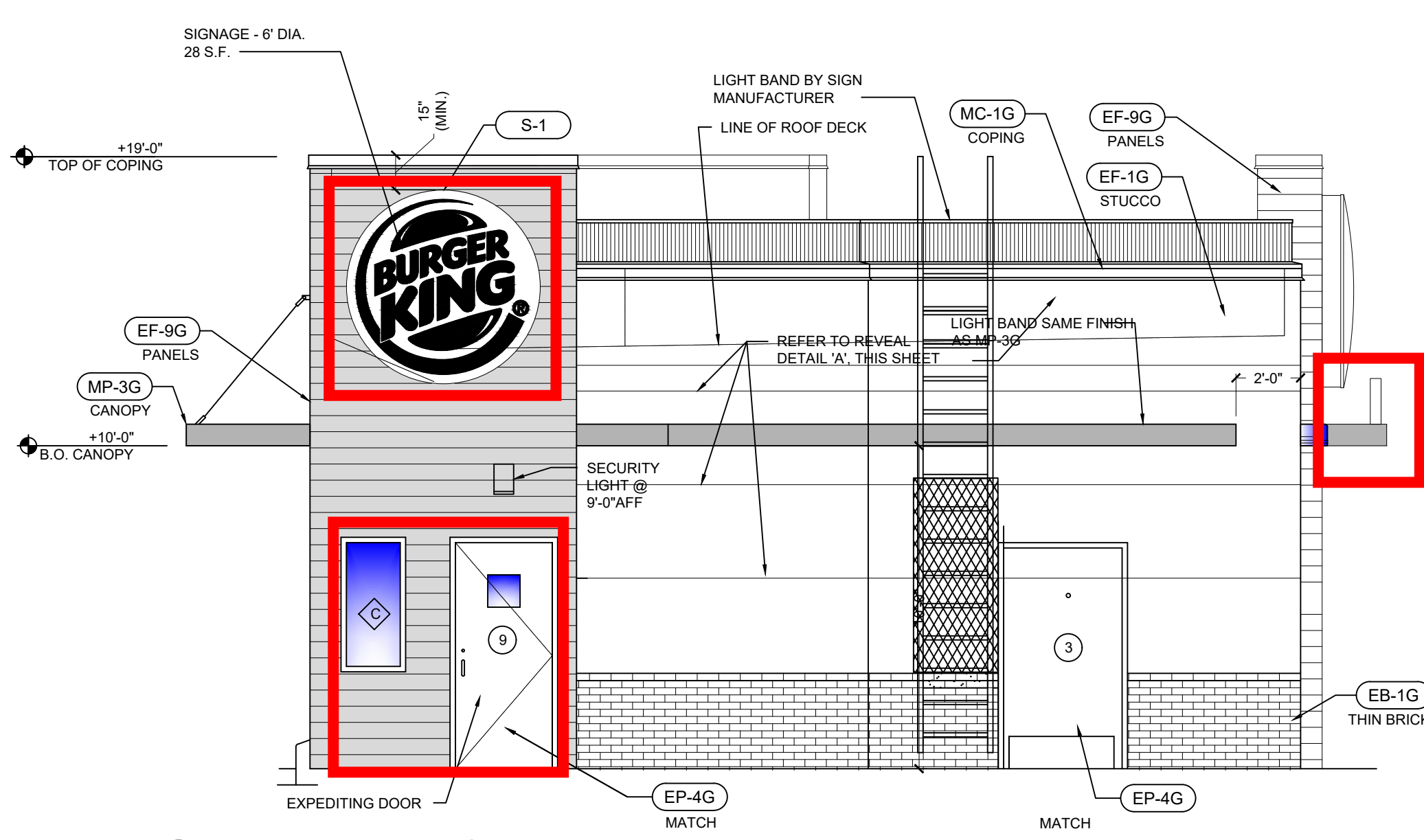
(IN FEET)
1 inch = 20 ft



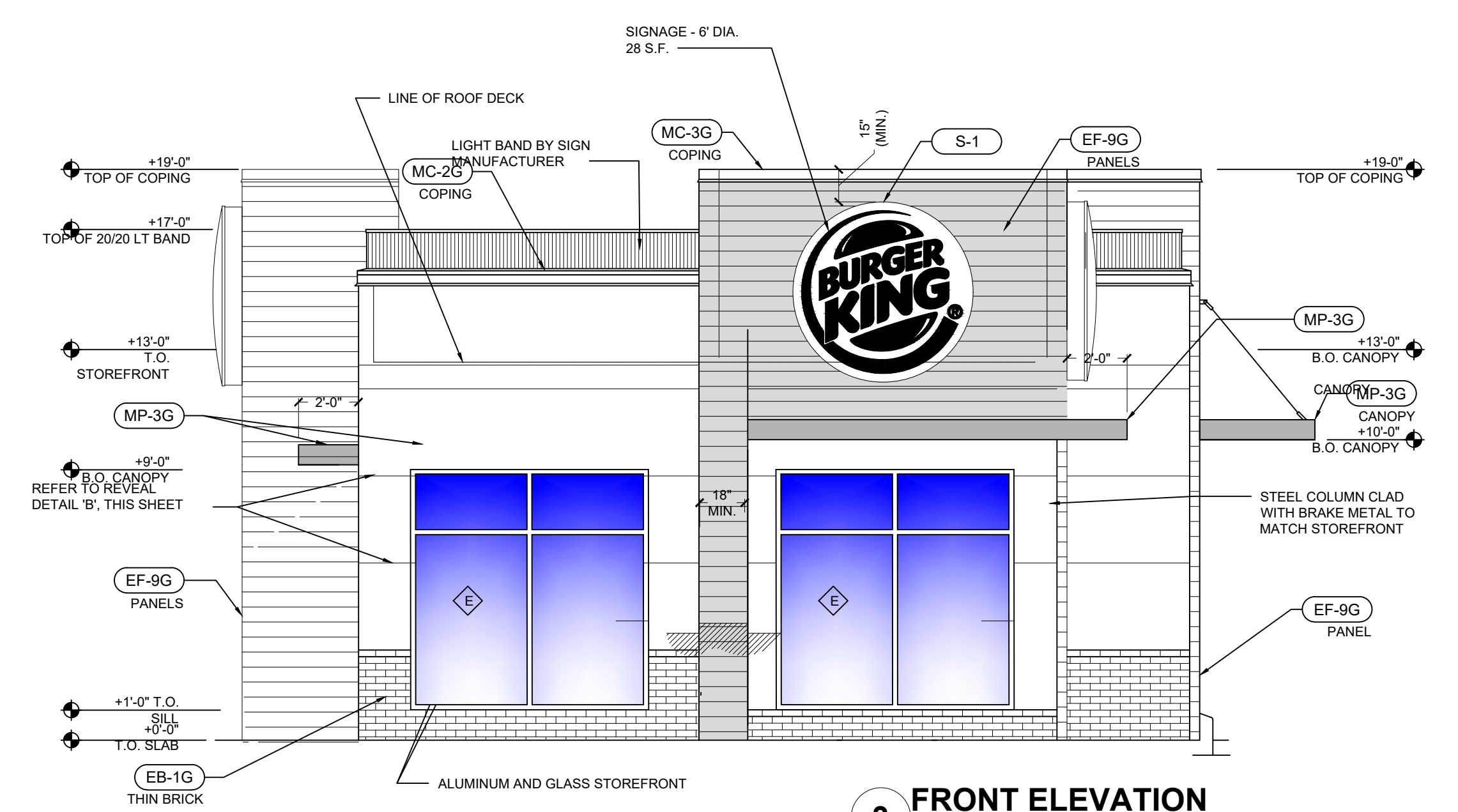
1 MAIN ENTRANCE ELEVATION
SCALE: 1/4" = 1'-0"



2 DRIVE THROUGH ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

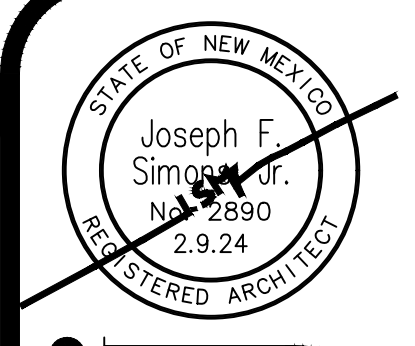
DRAWN BY: JFS
CHECKED BY: JFS
DATE: 12.2.2008

NO.	DATE	REVISION
1		

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SIMONS ARCHITECTURE

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ph. 505.480.4796
jfs@simonsarchitecture.com



ROC-40
4760 McMAHON BLVD NW
ALBUQUERQUE, NM 87114

ELEVATIONS

A-2