

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



SCALE 1/2" = 1'-0"



SITE DATA

ZONING:	MX-
ZONE ATLAS:	A12
SITE SIZE:	29,032 SQ. FT. (.6674 AC)
BUILDING SIZE / % OF SITE:	1,950 SQ. FT. / 6.72%

PARKING CALCULATIONS

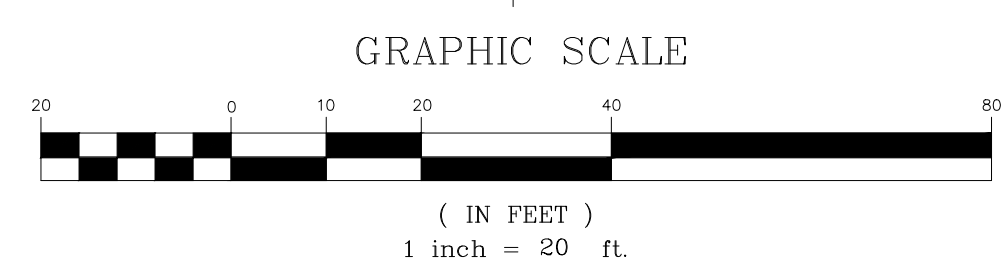
EXISTING AND NEW BUILDING

BUILDING AREA:	1,950 S.F.
PARKING CALCULATIONS:	
8 SPACES / 1,000 S.F.	

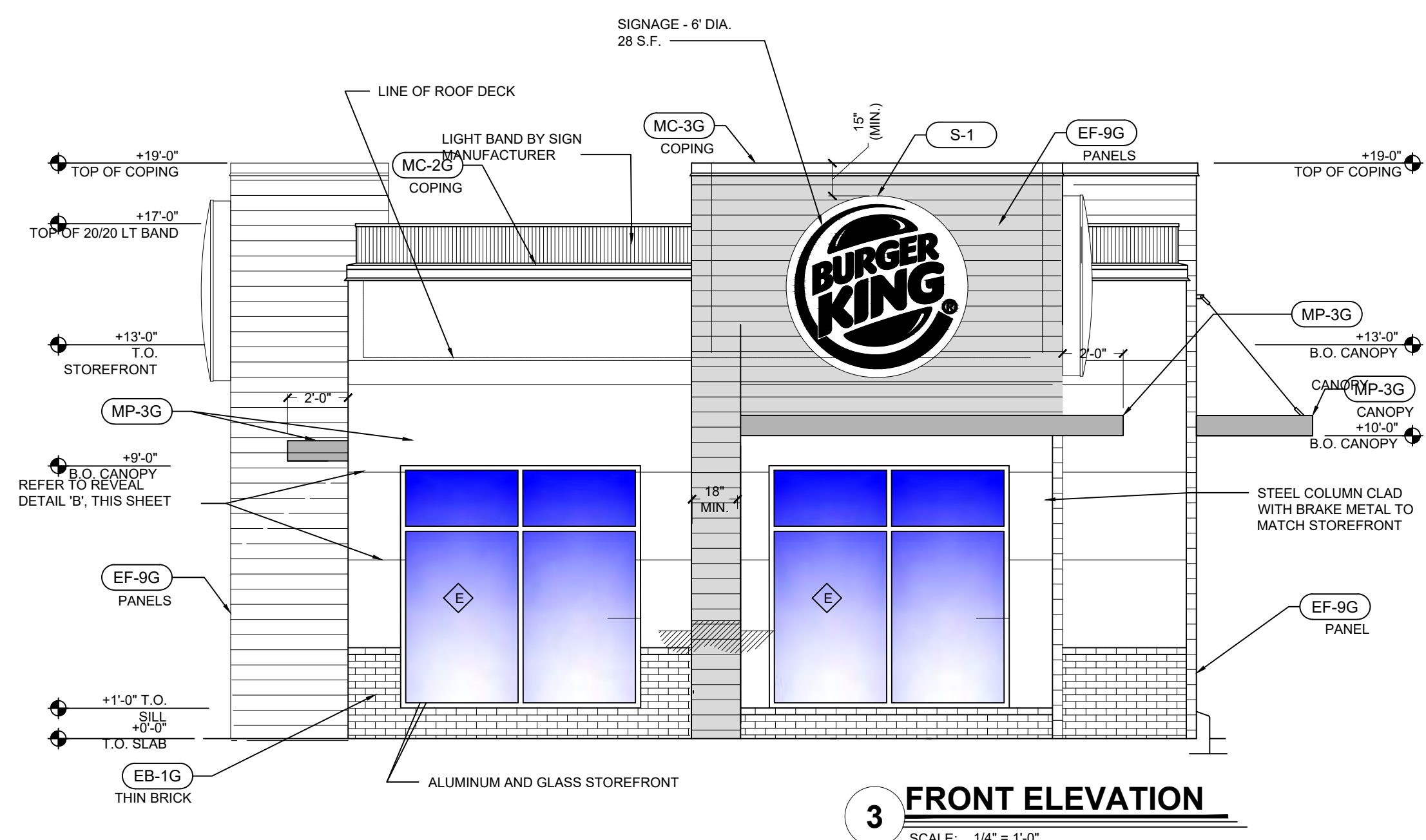
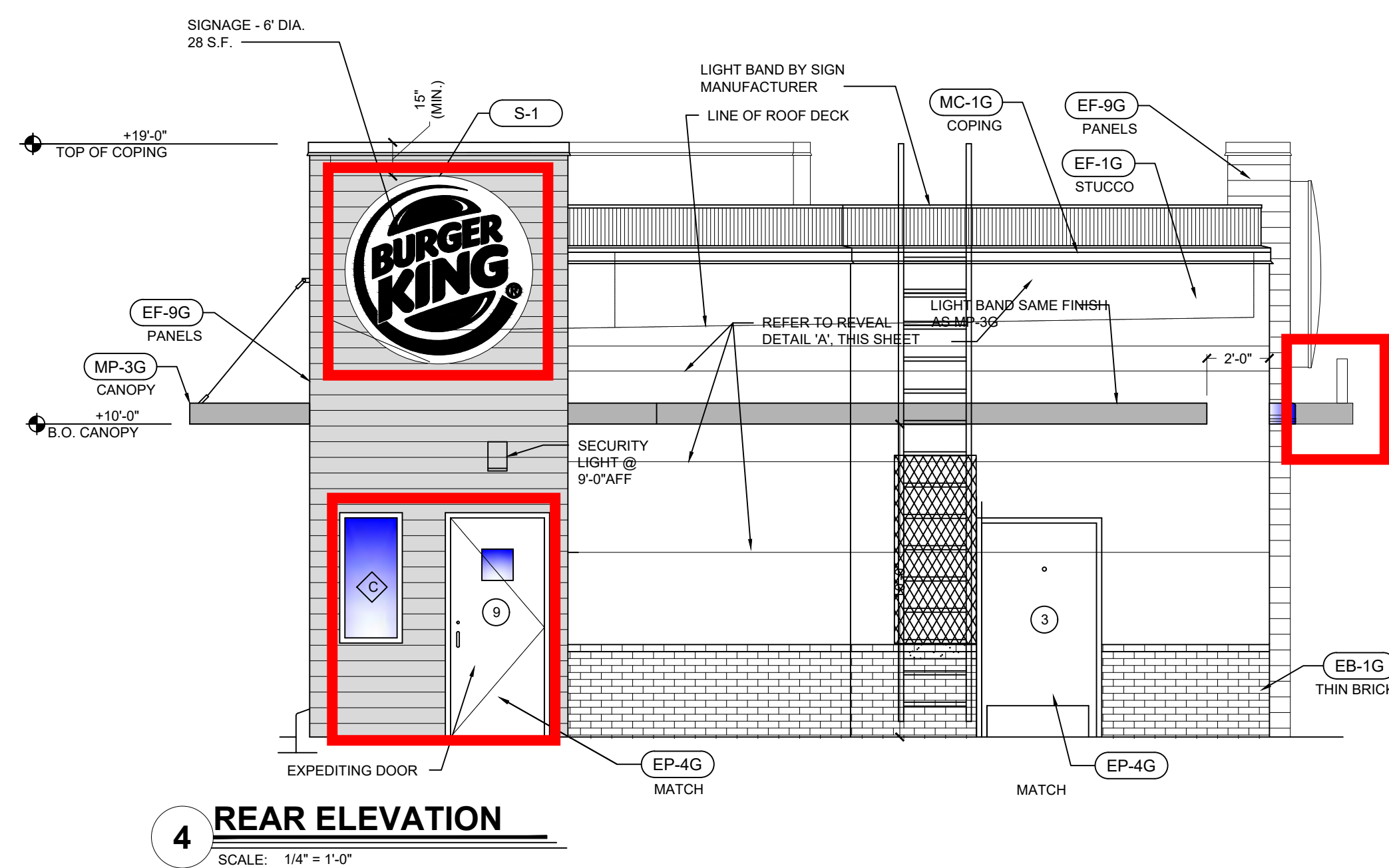
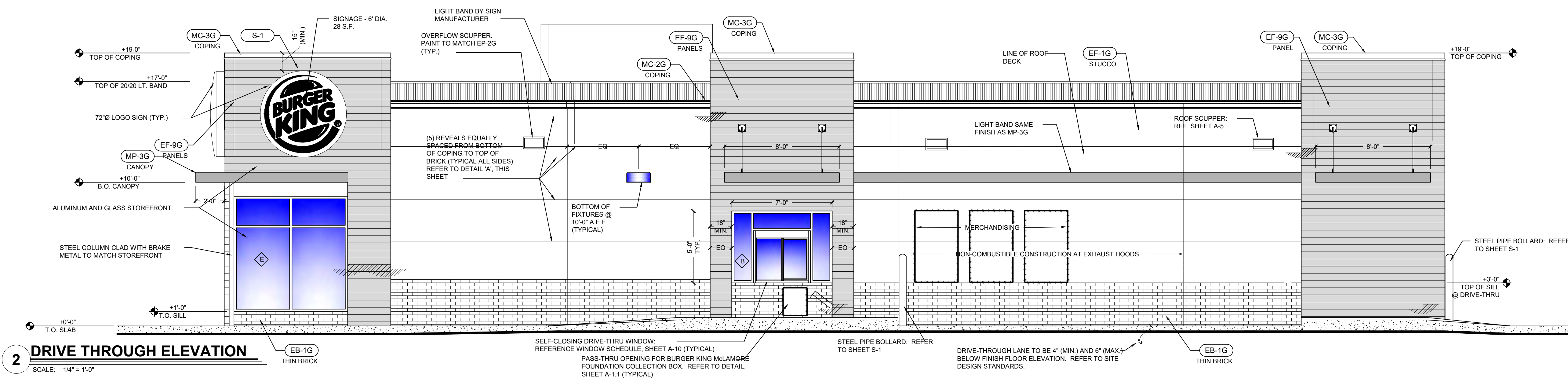
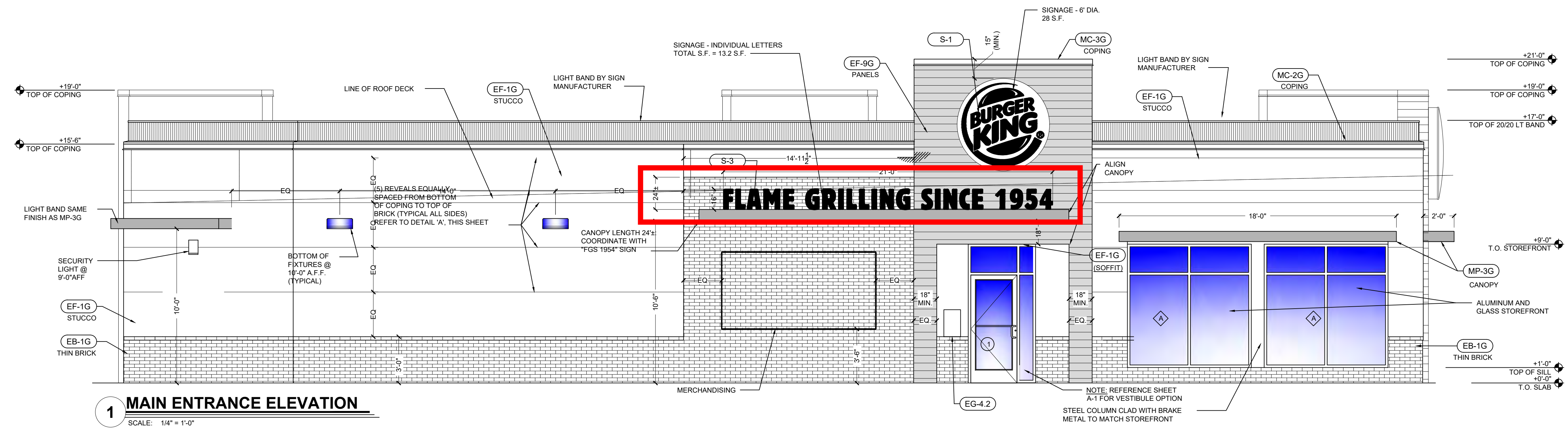
TOTAL STANDARD PARKING PROVIDED =	13 SPACES
TOTAL COMPACT PARKING PROVIDED =	1 SPACE
TOTAL H.C. PARKING REQUIRED =	1 SPACE
TOTAL H.C. PARKING PROVIDED =	2 SPACES
TOTAL MOTORCYCLE SPACES REQUIRED =	1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED =	1 SPACE
TOTAL PARKING PROVIDED =	16 SPACES
1 BICYCLE RACK S REQUIRED	
BIKE SPACES REQUIRED =	3 SPACES
BIKE SPACES PROVIDED =	3 SPACES

 KEYED NOTES

- | | | | |
|-----|---|-----|---|
| 1. | EXISTING CONSTRUCTION. | 21. | PAINTED LETTERS 18" HIGH READS "DRIVE THRU ONLY" |
| 2. | ASPHALT PAVING, REF. DETAIL.; PATCH TO EXISTING | 22. | PAINTED DIRECTIONAL ARROWS 10" LONG OR COMPARABLE PATTERN. |
| 3. | CURB, REF. DETAIL. PATCH AT EXIST.; LANDSCAPE INSIDE CURB AREA | 23. | EXISTING PARKING STRIPING, RE-PAINT |
| 4. | EXISTING PEDESTRIAN ACCESS | 24. | MOTORCYCLE SIGNAGE, REF. DETAIL. AND PAINT "MC" AS SHOWN |
| 5. | LANDSCAPE AREA, REF. A1.2. | 25. | 2 BIKE RACKS, 3 PARKING SPACES, REF. I.A. |
| 6. | F. VERIFY EXISTING AND IF NECESSARY REPAIR STIPED PEDESTRIAN ACCESS & TRUNCATED MATS - PROVIDE FULL WIDTH 1'12 MATS, RAMPS AT BOTH CURBS. | 26. | ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB, AND GUTTER BUILT TO COM STANDARD DETAIL 2430 & 2415A. |
| 7. | VERIFY WITH DETAILS THIS SHEET ADA COMPLIANT PARKING SIGNAGE PER ADA STANDARDS AND DETAIL RE- PAINT EXISTING SYMBOL, WHITE SYMBOL, /BLUE BACKGROUND, REF. F/A1.1. | 27. | INSTALL 24" X 36" TRUNCATED DOME ADA MAT AT EXISTING CURB RAMP THIS LOCATION. |
| 8. | IF CRACKED OR BRICKED REPAIR AND /OR REPAINT RE-Paint EXISTING ACCESSIBLE ASILE BLUE STRIPES AND DETAIL F/A1.1 | 28. | EXISTING LIGHT POLES. |
| 9. | EXISTING DUMPSITER | 29. | EXISTING CURBS AND ADA RAMPS REPLACE ANY BROKEN CURBS AND COLORED PAVING AT ADA CROSS WALK.; VERIFY IF ALL ADA RAMPS MEET CURRENT STANDARDS AND IF THEY DO NOT REPLACE PER G/A1.1 |
| 10. | PATCH PAVING @ CONNECTION, FIELD VERIFY | 30. | EXISTING EASEMENT LINE @ DASHED |
| 11. | EXISTING BUS STOP | 31. | EXISTING SIDEWALK FOR BIKE RACK |
| 12. | PREVIEW MENU | 32. | VAN ACCESSIBLE ASILE AND 2 FLANKING SPACES, REF. ADA1.1 AND NOTE WHERE VAN LANGUAGE IS ADDED FOR THESE SPACES. |
| 13. | SPEAKER / ORDER PYLON | | |
| 14. | MENU PYLON | | |
| 15. | MAX HEIGHT PYLON | | |
| 17. | EXISTING MONUMENT SIGNAGE. | | |
| 18. | SIGNAGE "DO NOT ENTER" REF. DETAIL.; PROVIDE AND INSTALL "STOP" SIGN ON REVERSE SIDE OF THIS SIGN | | |
| 19. | PAINTED LETTERS 18" HIGH READS "ONE WAY DO NOT ENTER" | | |
| 20. | SIGNAGE SIM TO ONE WAY SIGN EXCEPT FOR THE COLOR | | |



TRAFFIC CIRCULATION LAYOUT

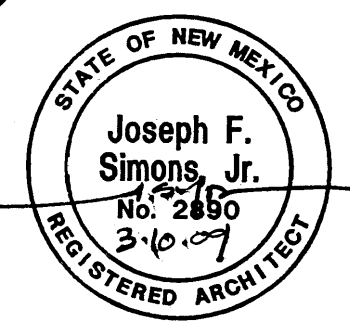


PROJECT # 1001685

DRAWN BY: JFS	CHECKED BY: JFS	DATE: 12.2.2008
NO. DATE	REVISION	
1 12.16.08	UPDATE PER COMMENTS	
2 1.5.09	UPDATE PER COMMENTS	
3 1.15.09	EPC APPROVAL	
4 10.09	DRB FINAL SET	
5 10.09	DRB FINAL SET	



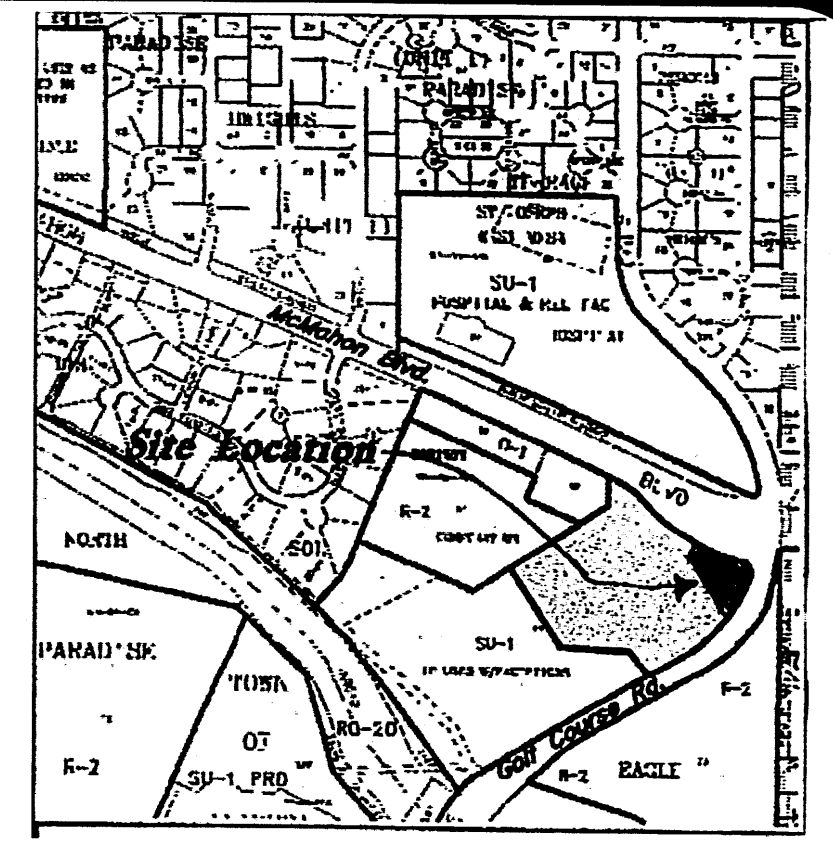
Joseph F. Simons Jr., AIA
P.O. Box 67488
Albuquerque, NM 87163-7488
ph. 505.480.7950 fax. 505.771.8861
www.simonsarchitecture.com



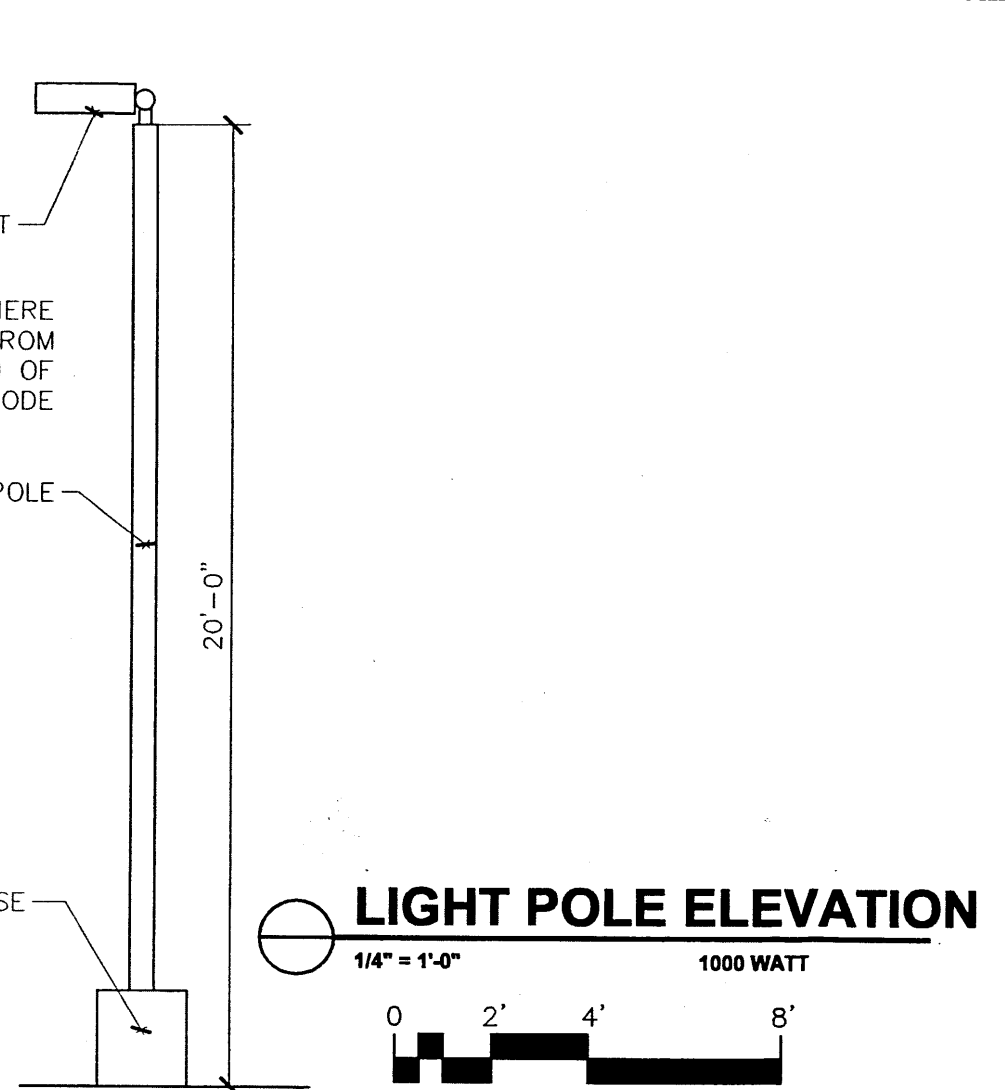
ROC-40
Tract 1B-5, SWC Golf Course & McMahon
Albuquerque, New Mexico

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

C-1



VICINITY MAP
1" = 750'



LEGAL DESCRIPTION

TRACT 1B-5
PARADISE NORTH SUBDIVISION
SW CORNER OF GOLF COURSE AND MCMAHON
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

SITE DATA

ZONING: C2
ZONE ATLAS: A12
SITE SIZE: 29,107 SQ. FT. (.668 AC.)
BUILDING SIZE / % OF SITE: 2,248 SQ. FT. / 7.7%

DRB DATA

GOLF COURSE MARKETPLACE
EPC #04EPC-01349 PROJECT #1001685
EPC #04EPC-01590 PROJECT #1001685
APPROVED 10.19.2005

PARKING CALCULATIONS

SEATING AREA: 690 S.F. / 15 = 46 OCCUPANTS
OCCUPANT LOAD: 46 OCCUPANTS / 4
PARKING CALCULATIONS: TRANSIT REDUCTION OF 10% - 1 SPACE
10 SPACES REQUIRED

TOTAL STANDARD PARKING PROVIDED = 8 SPACES
TOTAL H.C. PARKING REQUIRED = 2 SPACES
TOTAL H.C. PARKING PROVIDED = 2 SPACES
TOTAL SHARED PARKING PROVIDED = 4 SPACES
TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE
TOTAL PARKING PROVIDED = 14 SPACES
TOTAL PARKING REQUIRED = 10 SPACES

GENERAL PARKING NOTES

1 BICYCLE RACK PER 20 PARKING SPACES
(1 BICYCLE RACK - 5 SPACES)
BIKE SPACES REQUIRED = 2 RACKS
BIKE SPACES PROVIDED = 2 RACKS
TYPICAL STANDARD SPACES: 9'-0" X 20'-0"
TYPICAL COMPACT CAR SPACES: 8'-0" X 15'-0"
TYPICAL HANDICAP SPACES: 8'-0" X 18'-0"
WITH A 8' WIDE ACCESS AISLE
ALL SPACES ARE STANDARD SIZE UNLESS NOTED OTHERWISE

GENERAL NOTES

1. BECAUSE OF THE SCALE OF THIS DRAWING THE UTILITIES SITE PLAN IS ON A SEPARATE SHEET.
2. NOT USED.
3. THERE ARE NO TURN / DECELERATION LANES THAT SERVE THIS SITE. ALL ACCESS TO THIS SITE IS INTERNAL TO THE SHOPPING CENTER.
4. BUS STOP SERVES ROUTE #92 TAYLOR RANCH EXPRESS ROUTE 157 - MONTANO / UPTOWN / KIRKLAND

PROJECT NUMBER: 1001685

Application Number: 09DRB-70073

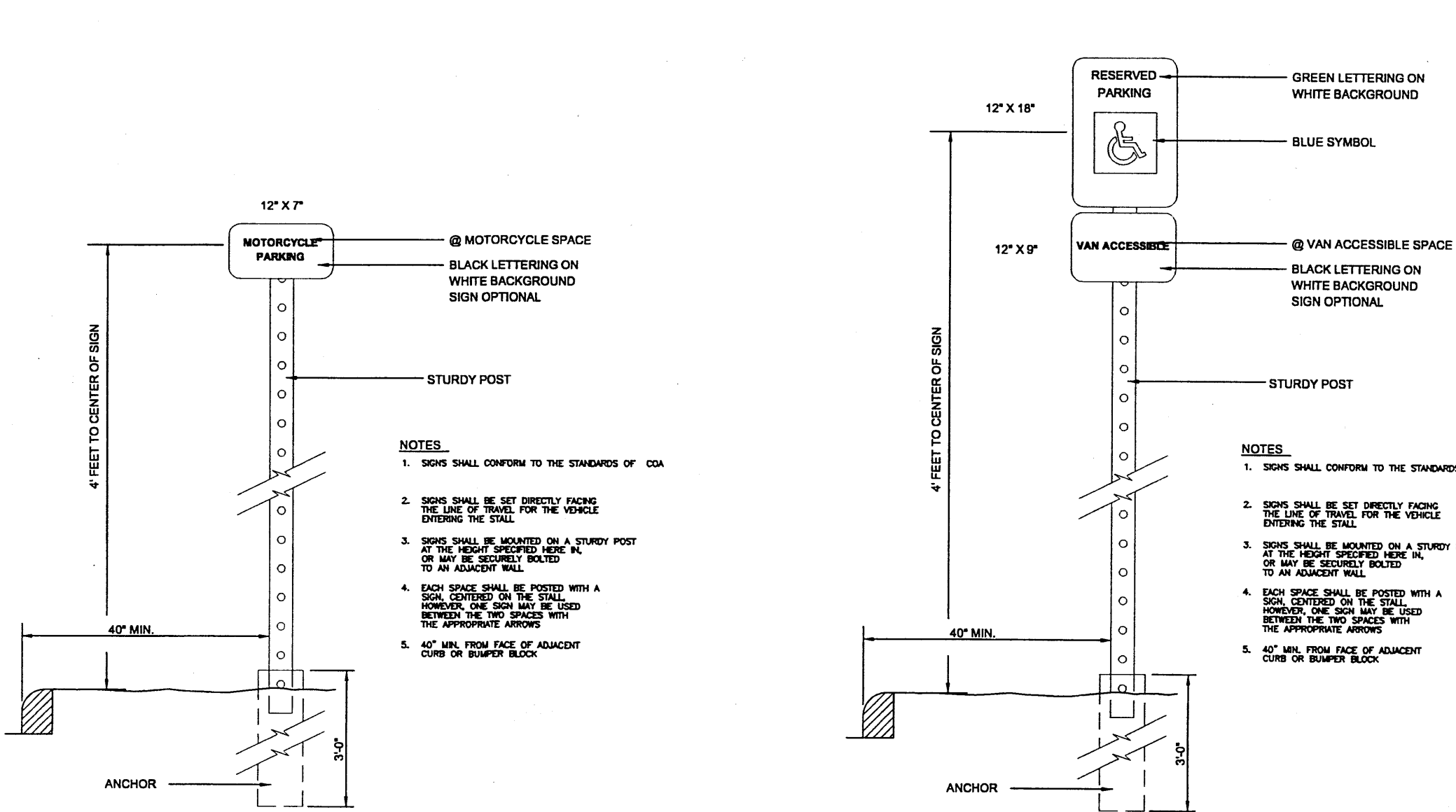
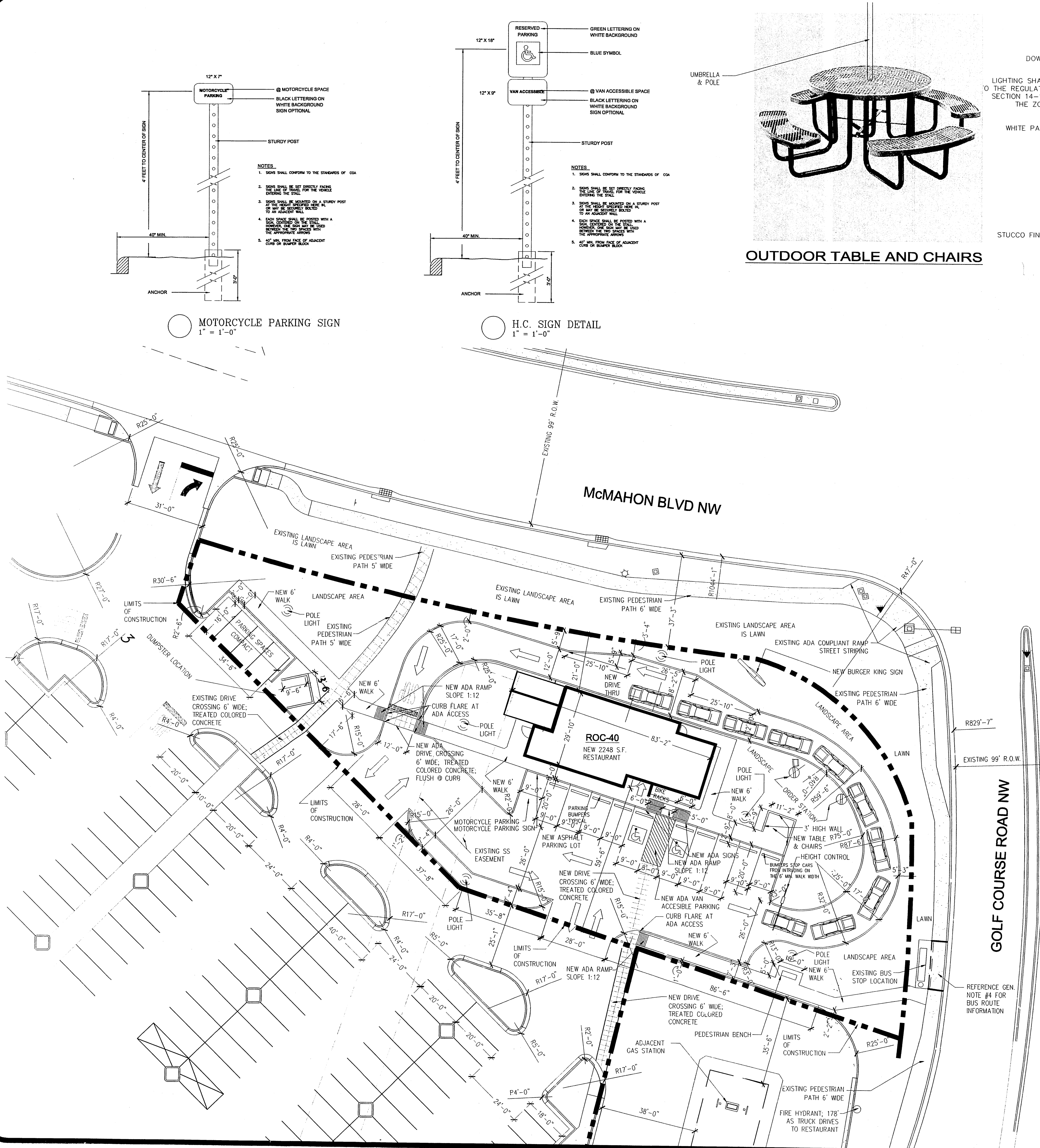
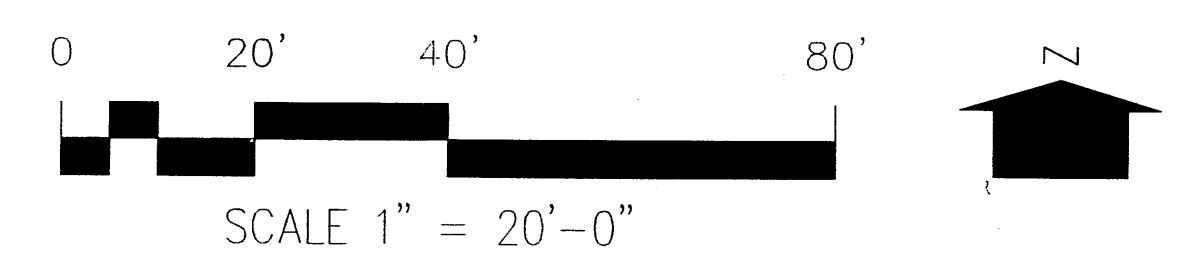
This plan is consistent with specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated January 15, 2009, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

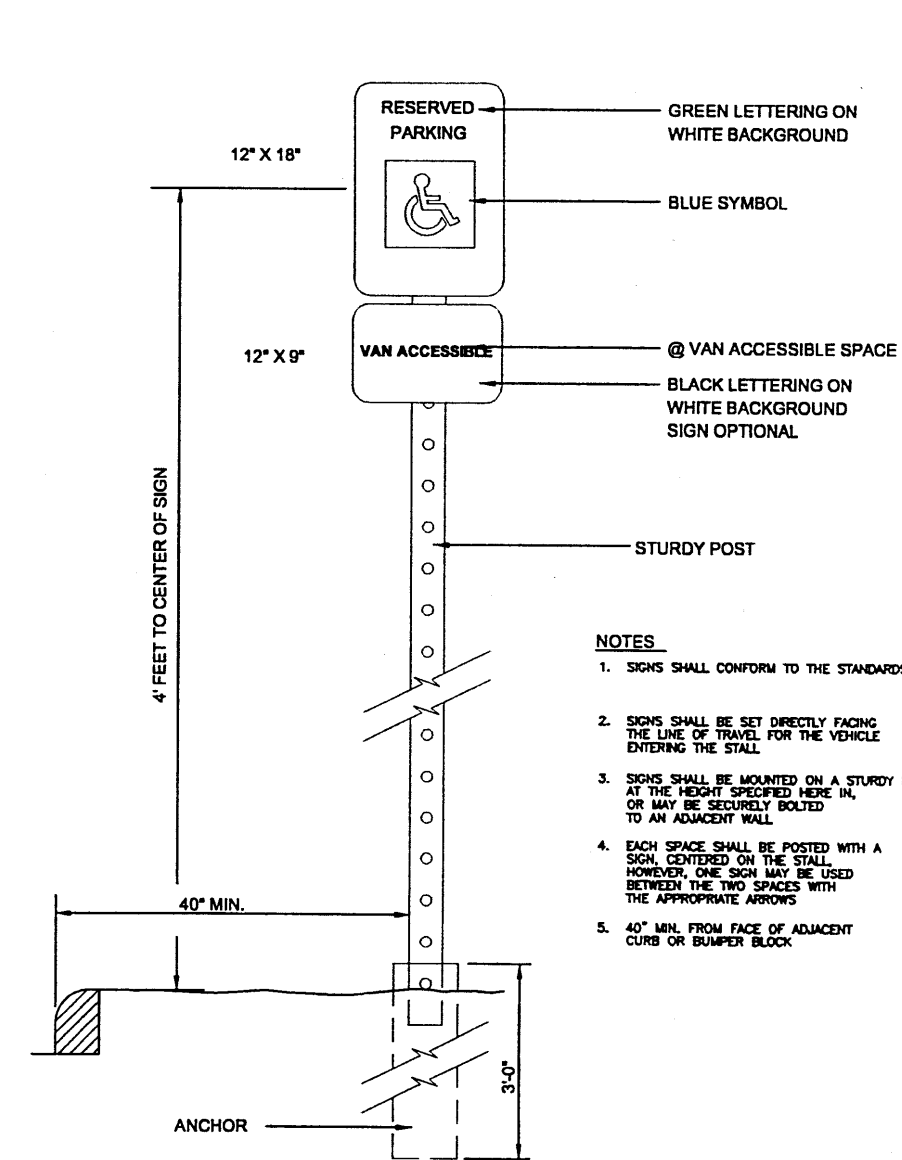
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

[Signature]
Traffic Engineering, Transportation Division
ABCWUA
[Signature]
Parks and Recreation Department
[Signature]
City Engineer
N/A
Environmental Health Department
[Signature]
Solid Waste Management
[Signature]
DRB Chairperson, Planning Department

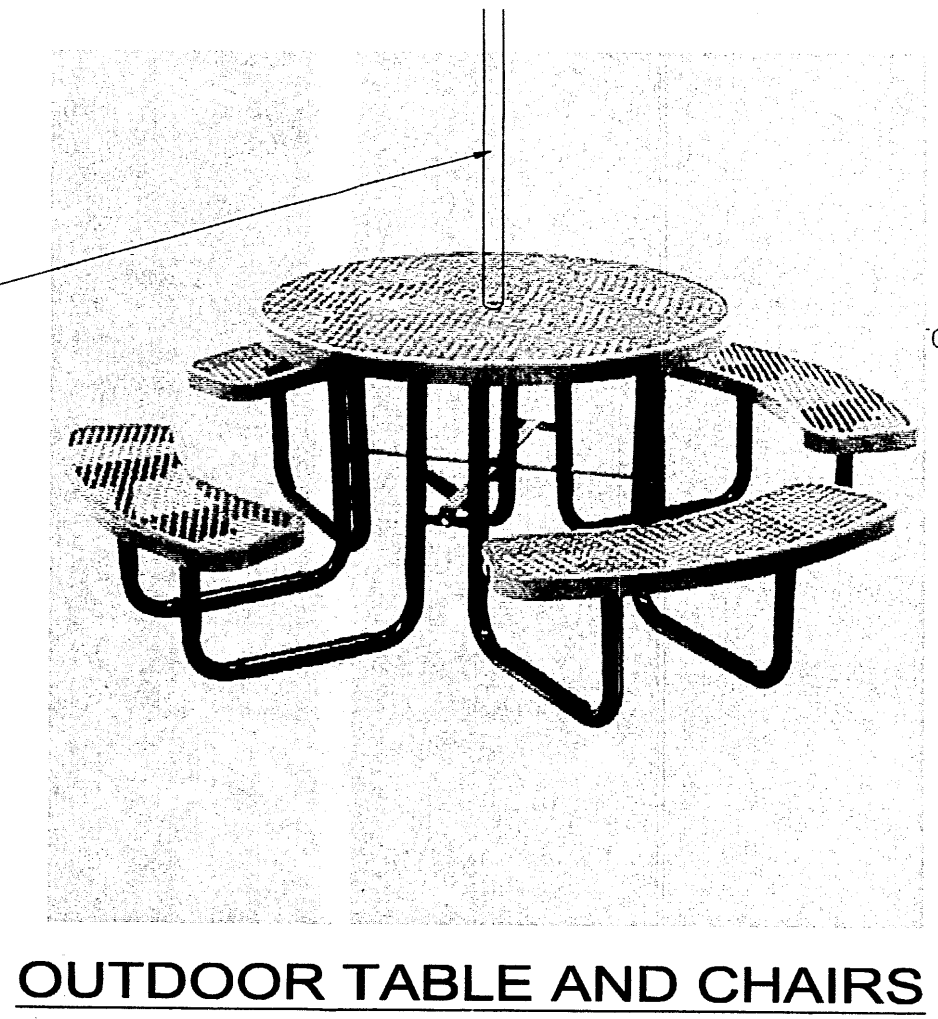
03-11-09
Date
3-11-09
Date
3/11/09
Date
3/11/09
Date
3-11-09
Date



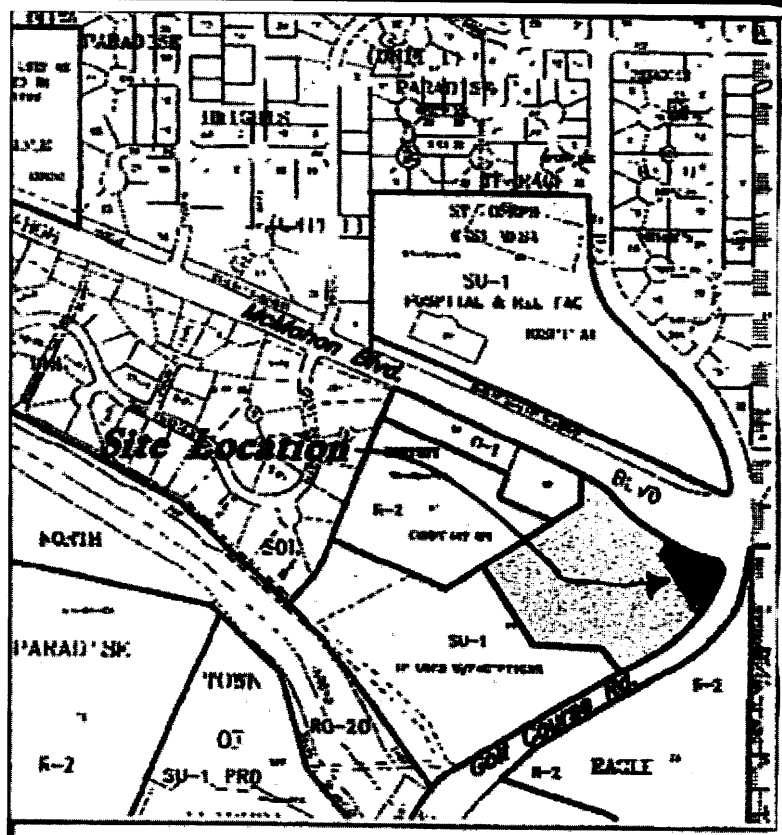
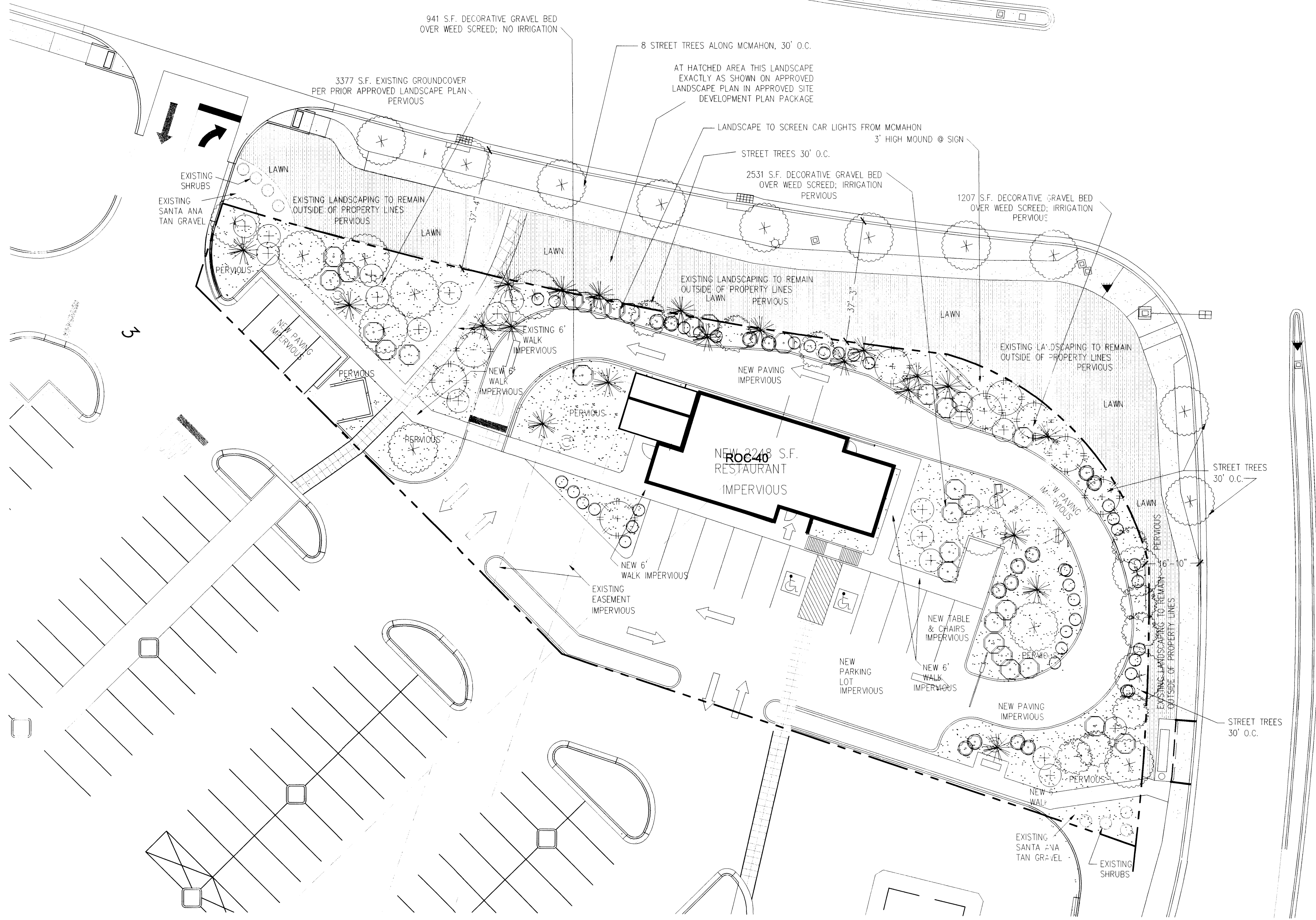
MOTORCYCLE PARKING SIGN
1" = 1'-0"



H.C. SIGN DETAIL
1" = 1'-0"



OUTDOOR TABLE AND CHAIRS



VICINITY MAP
1" = 750'

LEGAL DESCRIPTION

TRACT 1B-5
PARADISE NORTH SUBDIVISION
SW CORNER OF GOLF COURSE AND MCMAHON
ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

SITE DATA

ZONING: C2
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SITE SIZE: 29,107 SQ. FT. (.668 AC.)
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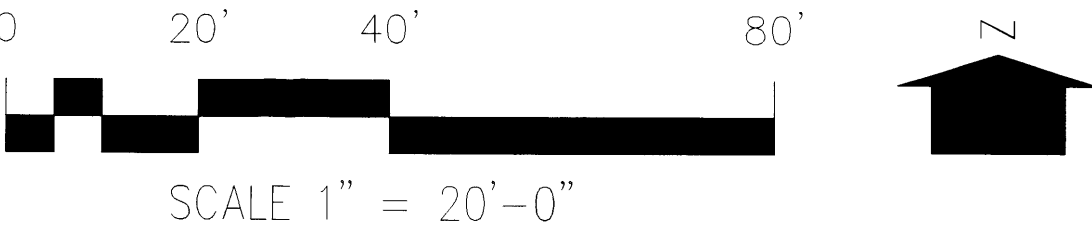
GOLF COURSE MARKETPLACE
EPC #04EPC-01349 PROJECT #1001685
EPC #04EPC-01590 PROJECT #1001685
APPROVED 10.19.2005

LANDSCAPE CALCULATIONS

TOTAL LOT AREA: 29107 S.F.
TOTAL BUILDING AREA: 2248 S.F.
NET LOT AREA: 26859 S.F.
LANDSCAPE REQUIREMENT: 15 %
TOTAL LANDSCAPE REQUIREMENT: 4028 S.F.
TOTAL BED PROVIDED: 8064 S.F.
GROUND COVER REQUIRED: 15 %
TOTAL GROUND COVER REQUIREMENT: 6704 S.F.
TOTAL GROUND COVER PROVIDED: 7124 S.F. (26.52 %)
TOTAL LANDSCAPE PROVIDED: 7124 S.F.

GENERAL NOTES

- IRRIGATION SYSTEM TO BE LOW-WATER USE DRIP. THERE IS NOT TURF AREAS ON THIS SITE. IRRIGATION SYSTEM TO COMPLY WITH IRRIGATION NOTES ON APPROVED LANDSCAPE PLAN OF THE APPROVED SITE DEVELOPMENT PACKAGE.
- SOLE RESPONSIBILITY OF MAINTENANCE FOR ALL LANDSCAPE AND IRRIGATION SYSTEM IS WITH THE PROPERTY OWNER.
- PROVIDE STATEMENT OF COMPLIANCE WITH WATER CONSERVATION PER CITY ORDINANCE 6.1.1.1. OF THE WATER CONSERVATION ORDINANCE.
- REF. APPROVED LANDSCAPE PLAN IN APPROVED SITE DEVELOPMENT PACKAGE FOR TREE WELL DETAIL.
- REF. APPROVED LANDSCAPE PLAN IN APPROVED SITE DEVELOPMENT PACKAGE FOR STREET TREE PLAN.
- THE PLANT LIST IS TAKEN FROM THE APPROVED LANDSCAPE PLAN IN THE APPROVED SITE DEVELOPMENT PACKAGE.
- THE ONLY PART OF THE SITE WITHIN 20' OF THE ROAD IS THE FAR EAST EDGE. TREES ARE 20' O.C. MAX THERE.
- LANDSCAPE CALCULATIONS ARE FOR BUILDING AREA PROPERTY.
- ALL LANDSCAPE AREAS SHALL CONTAIN LIVE VEGETATION MATERIALS AT LEAST 75 PERCENT OF THE AREA AT MATURITY, PER SECTION 14-16-3-10 (G) (3) OF THE ZONING CODE.



TREES

BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	SPREAD	WATER USE	QUANTITY
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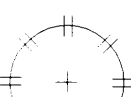
CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" CALIPER	40' HEIGHT	40' SPREAD	MEDIUM	22
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FRAXINUS VELUTINA	ARIZONA ASH	2" CALIPER	40' HEIGHT	40' SPREAD	LOW	9
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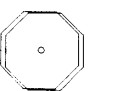
PINUS ELДАРICA	AFGHAN PINE	10'	40' HEIGHT	18' SPREAD	LOW	21
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PINUS FLEXILLA	LIMBER PINE	10'	30' HEIGHT	20' SPREAD	MEDIUM	9
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SHRUBS

BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	SPREAD	WATER USE	QUANTITY
----------------	-------------	------	---------------	--------	-----------	----------



RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL.	8'	6'	LOW	29
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CYTISUS SCOPARIUS	SCOTCH BROOM	5 GAL.	4'	4'	LOW	35
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PHOTINA FRASERI	RED TIP PHOTINA	5 GAL.	8'	8'	MEDIUM	12
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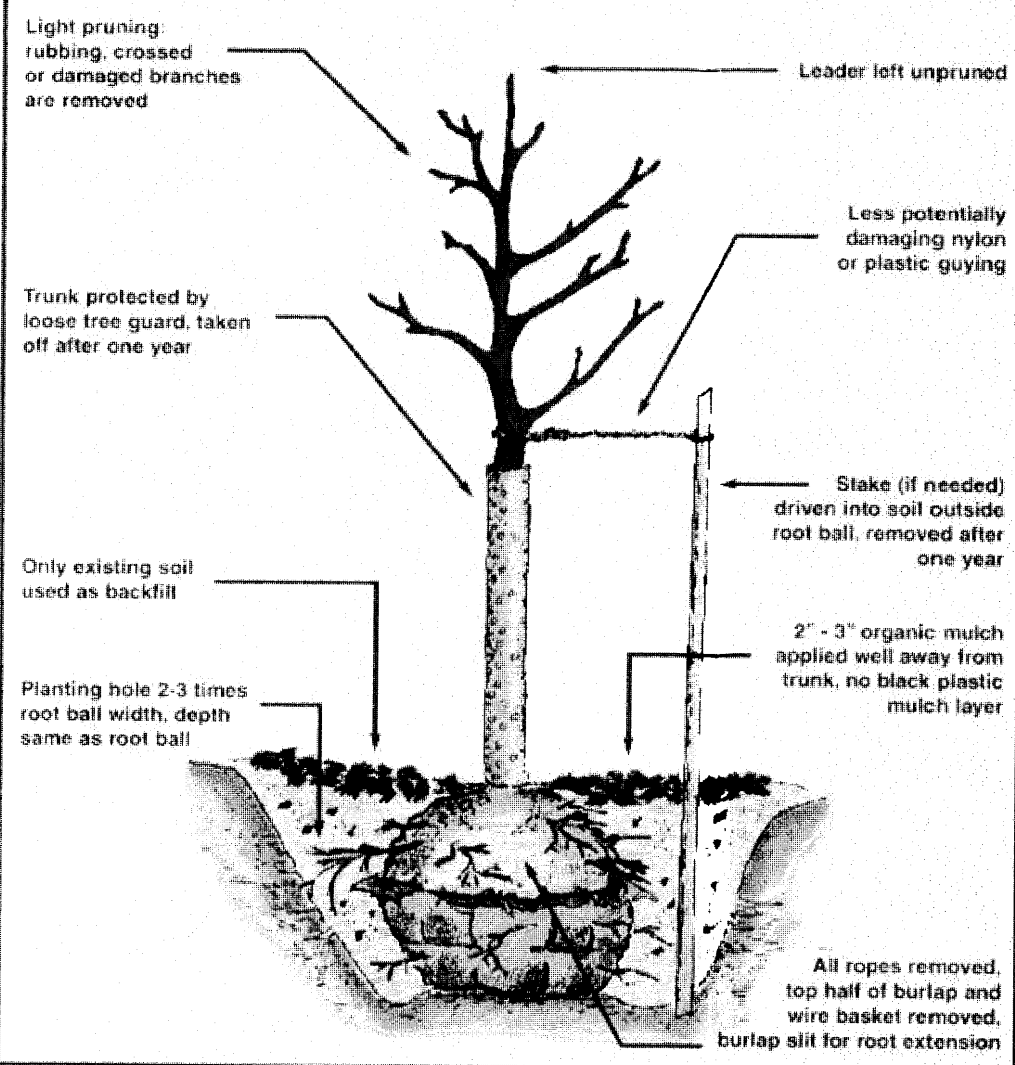


DASYLIRION WHEELERI	DESERT SPOON	5 GAL.	5'	5'	LOW	17
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GROUND COVER

SYMBOL	MATERIAL	COLOR
	GRAVEL	SANTA ANA TAN
	EXISTING LAWN OUTSIDE OF PROPERTY LINE	EXISTING

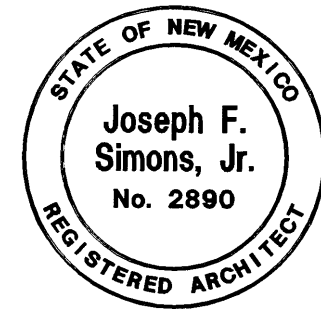
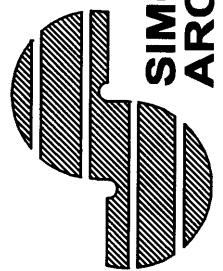
Correct



TREE PLANTING DETAIL

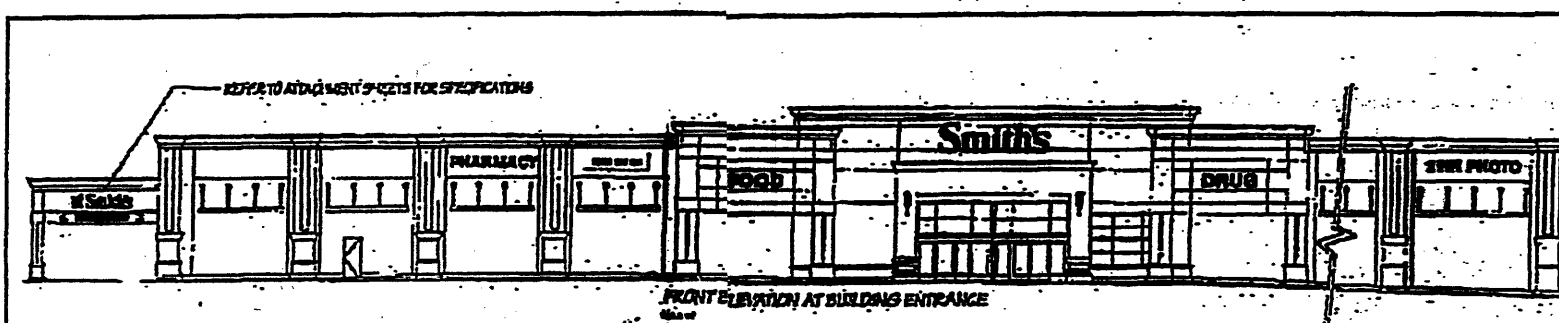


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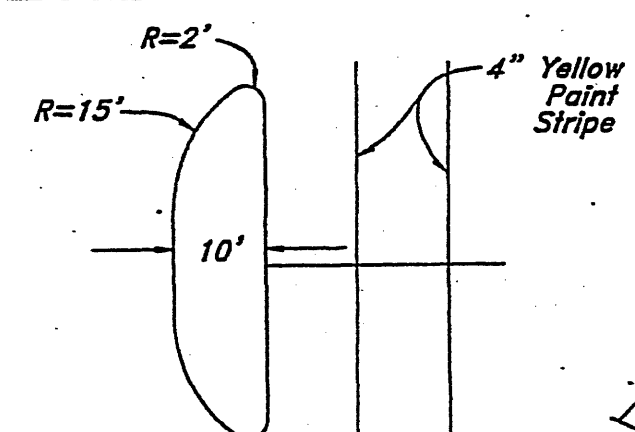
ROC-40
Tract 1B-5, SWC Golf Course & McMahon
Albuquerque, New Mexico

LANDSCAPE PLAN FOR BUILDING PERMIT

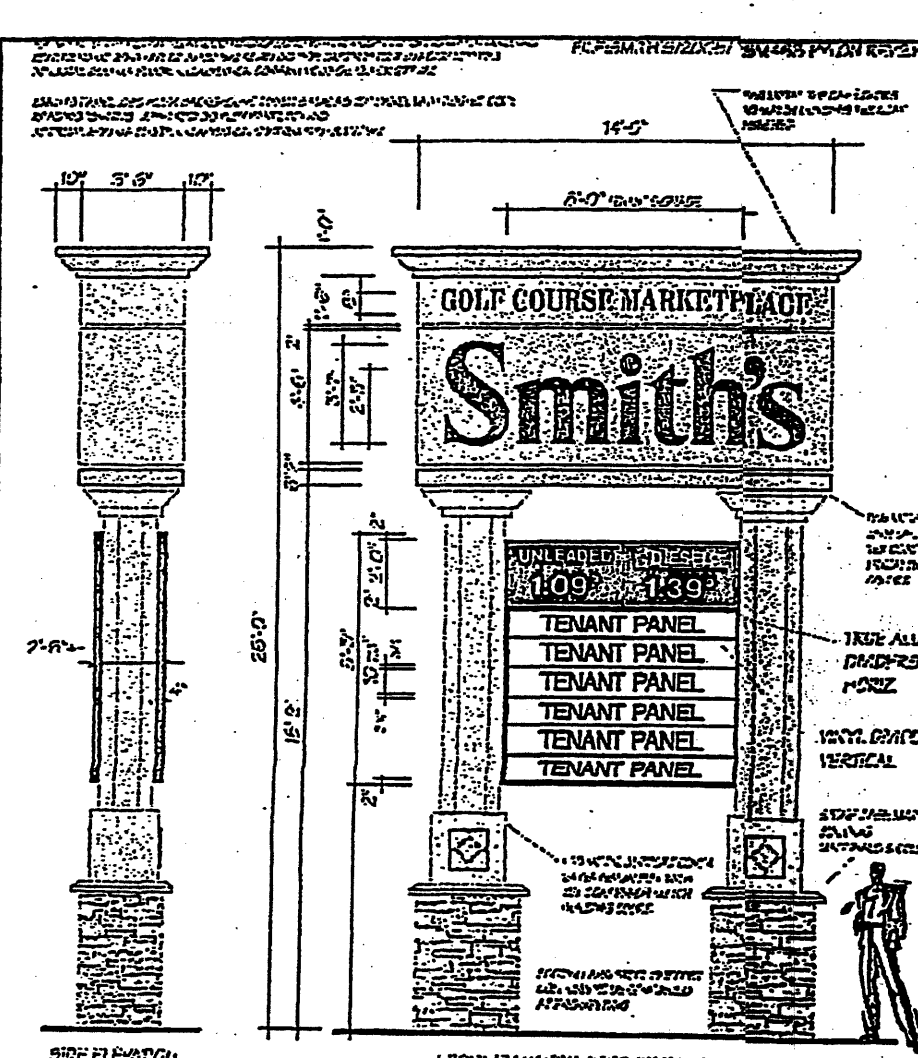
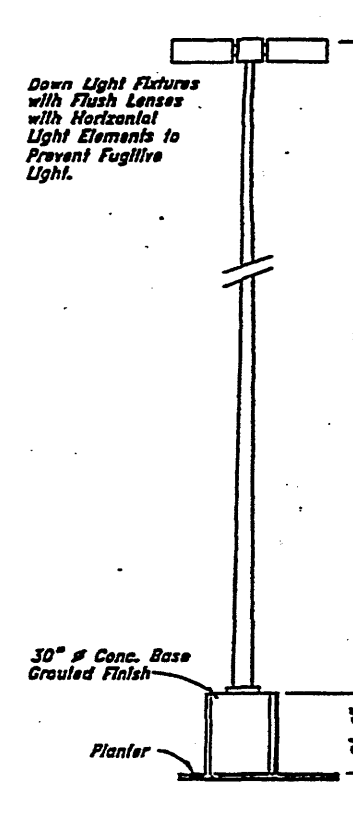


Smith's
FOOD
PHARMACY
DRUG
1 HR PHOTO

GENERAL NOTES:
FAC. OPEN PAN CHANNEL LETTERS 7 1/2" DEPTH RETURNS PRE-FINISHED BRONZE
FACES 3/8" TRANSLUCENT RED FLEX 66 #211 WITH 2" BRONZE TRIM CAP RISE
AT "SMITH'S" LETTERS & 1" BRONZE TRIM CAP AT SMALLER LETTERS
INTERNAL CLEAR RED 2" TUBE AT 2'-0" TO 2'-6" LETTERS TO VARIOUS TUBES NEON AT "SMITH'S"
LETTERS 15 MM. 50 H.A. ILLUMINATION AT 27' H.A.C. (CONFORMING)
SELF-CONTAINED TRANSDUCERS PERMITS
IN LETTERS



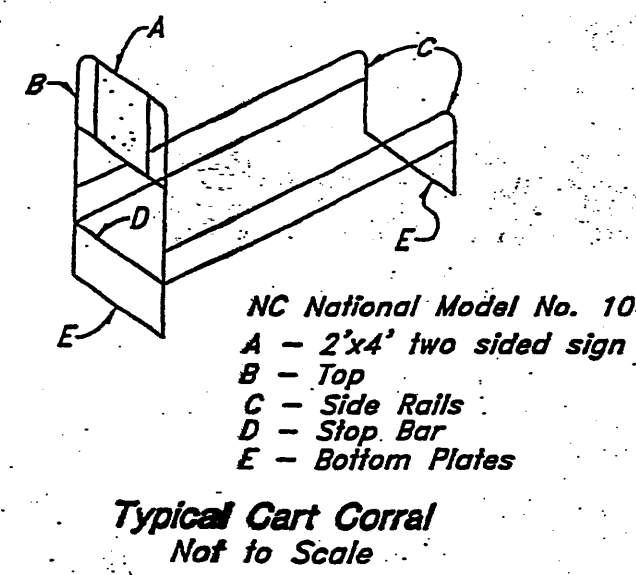
Typical Planter Island
Not to Scale



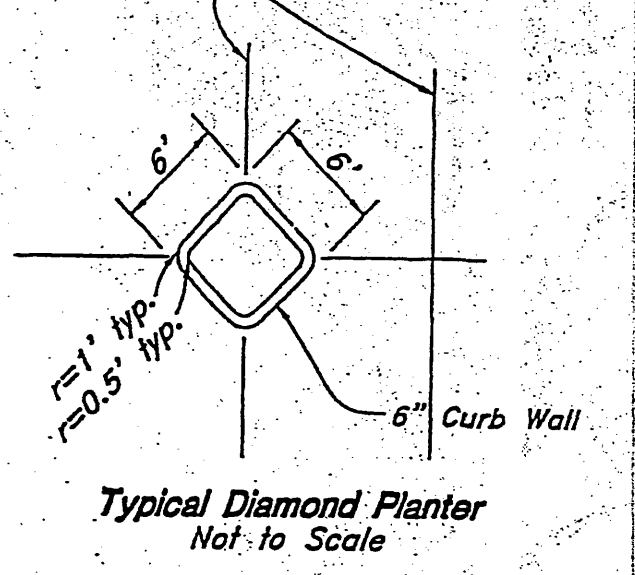
GoldenWest
ADVERTISING

Smith's
57,228 Sq. Ft.
R-Proto
FF=5200.00

Retail B
8,891 Sq. Ft.
FF=1500.00



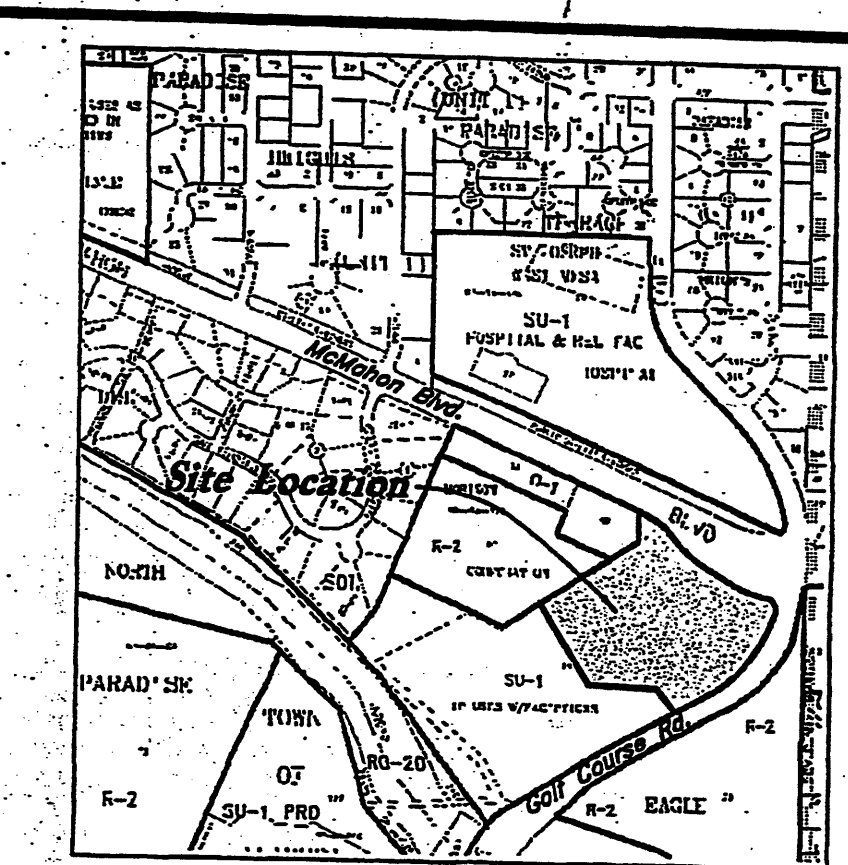
Typical Cart Corral
Not to Scale



Typical Diamond Planter
Not to Scale

Site

Scale: 1" = 40'



Vicinity Map
Zone Atlas Page: A-12-Z
Scale: 1" = 750'

Site Data Table:

Existing Zone	= SU-1 w/ IP uses
Proposed Zone	= C-2 (SC)
Site Area	= 344,532 s.f. (7.91 acres)
Building Areas:	
Smith's	= 57,228 sf
Restaurant	= 2,248 sf
Retail B	= 8,700 sf
Fuel Center	
Total	= 68,176 sf
Parking Required:	
Restaurant	= 10 stalls
1/200' - 8,000 s.f.	= 40 stalls
1/250' - 45,000 s.f.	= 180 stalls
1/300' - 12,928 s.f.	= 43 stalls
Bus Shelter 10% Reduction - 29 Stalls	
Total Required	= 244 stalls
Parking Provided	= 306 Stalls
(4.43' / 1000')	
Handicap Parking Required	= 8 stalls
Handicap Parking Provided	= 10 stalls
Bicycle Parking Required	= 18 stalls
Bicycle Parking Provided	= 21 stalls

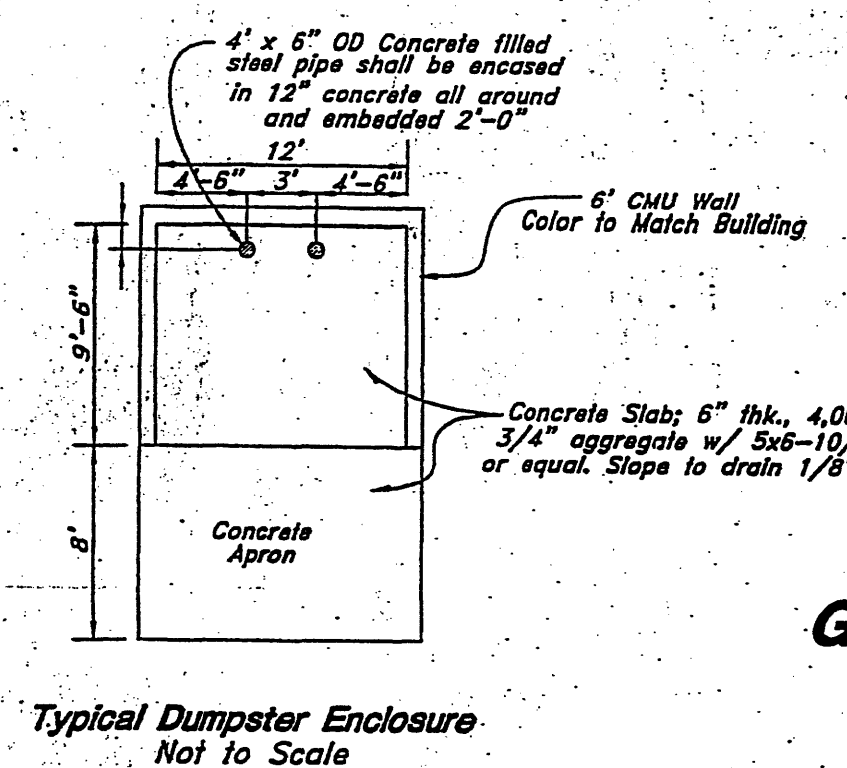
PROJECT #1001685
EPC Application #: 04EPC-01349
DRB Application #: 04EPC-01590
DRB Project #:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on June 20, 2002 and that the findings and conditions in the Official Notice of Decision have been complied with.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	10-11-05
Christine Randall	10/19/05
Parks and Recreation Department	10/19/05
Roger A. Shuman	2/12/07
Public Works, Water Utilities Division	
Bradley J. Babin	10/19/05
City Engineer, Engineering Division / AMAFCA	
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
Andrew Remick	10/19/05
City Planner, Albuquerque Planning Division	
Michael Holten	10/19/05
Solid Waste	
Fire Department	

AFD PLANS CHECKING OFFICE
824-3611
APPROVED/REAPPROVED
HYDRANT(S) ONLY
10-19-05
SIGNATURE & DATE



Typical Dumpster Enclosure
Not to Scale

Smith's
FOOD & DRUG STORES
#463

Golf Course Road & McMahon Road
Albuquerque, New Mexico

Site Development Plan for Building Permit

Golf Course Marketplace
SWC Golf Course Rd. & McMahon Blvd.
Albuquerque, New Mexico

22 Aug, 2005

SHEET NO.
1

SMC483K