

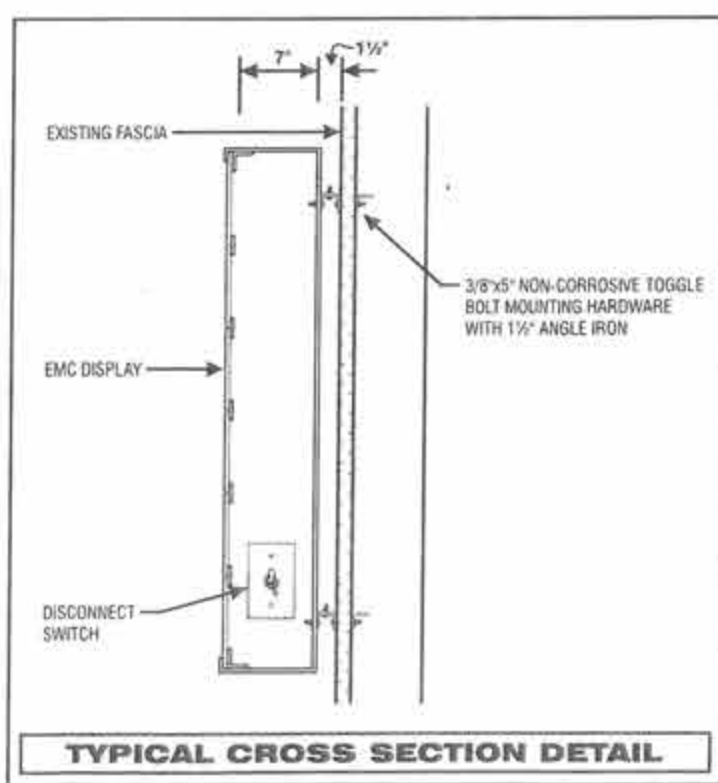
ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

Permit



NEW SINGLE FACE ELECTRONIC MESSAGE DISPLAY
16MM FULL COLOR RGB L.E.D. ELECTRONIC MESSAGE DISPLAY

Building Fascia: 1752
Sign: 210
Ratio: 11.9



EMC LOCATION
N.T.S.

AL- AG570

ZEON signs
EPNM, INC.
ELECTRICAL PRODUCTS COMPANY
2024 5th St. NW Albuquerque, NM 87102
(505) 243-3771 Toll Free: 800-844-7407
Fax: (505) 243-3575

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF EPNM, INC. AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT.

PIPE SIZES(S) AND/OR SPLICES MAY CHANGE THE ARTIST CONCEPT DEPENDING ON ENGINEERING CALCULATIONS FOR FINAL INSTALLATION.

ACTUAL SIZE OF SIGN AND COPY FROM SCALED DRAWING MAY VARY
COLOR ON THIS PRESENTATION DOES NOT REPRESENT THE EXACT MATERIAL COLOR SPECIFIED. SEE CHART(S) FOR EXACT APPEARANCE OF COLORS SPECIFIED.

TITLE:	DRWG NO: 324 - 092	APPROVED FOR PRODUCTION:	REVISED	3-14-24
SCALE:	SALES: TERRY TOPPINO	CUSTOMER APPROVAL:	3-19-24	
DESIGN BY: R. GONZALES			3-19-24	

SOUTHWEST ELEVATION

SOUTHWEST ELEVATION

$$376^{\circ} \pm 1^{\circ}$$

SECURITY DEPOT
ALBUQUERQUE SAFE CO.
CITY

The architectural drawing is a floor plan of a building complex. On the left, a vertical column of text lists levels: "1ST FLOOR", "2ND FLOOR", "3RD FLOOR", "4TH FLOOR", "5TH FLOOR", "6TH FLOOR", "7TH FLOOR", "8TH FLOOR", "9TH FLOOR", "10TH FLOOR", "11TH FLOOR", "12TH FLOOR", "13TH FLOOR", "14TH FLOOR", "15TH FLOOR", "16TH FLOOR", "17TH FLOOR", "18TH FLOOR", "19TH FLOOR", "20TH FLOOR", "21ST FLOOR", "22ND FLOOR", "23RD FLOOR", "24TH FLOOR", "25TH FLOOR", "26TH FLOOR", "27TH FLOOR", "28TH FLOOR", "29TH FLOOR", "30TH FLOOR", "31ST FLOOR", "32ND FLOOR", "33RD FLOOR", "34TH FLOOR", "35TH FLOOR", "36TH FLOOR", "37TH FLOOR", "38TH FLOOR", "39TH FLOOR", "40TH FLOOR", "41ST FLOOR", "42ND FLOOR", "43RD FLOOR", "44TH FLOOR", "45TH FLOOR", "46TH FLOOR", "47TH FLOOR", "48TH FLOOR", "49TH FLOOR", "50TH FLOOR".

The plan shows a large central structure with a prominent entrance and a large window. To the right, there is a section labeled "SECURITY DEPOT" and "ALBUQUERQUE SAFE CO.". The drawing includes various rooms, corridors, and structural elements, with dimensions and labels indicating specific features.

NORTHEAST ELEVATION

3767-27-5

SECURITY DEPO
ALBUQUERQUE SAFE C

Tomenstock
Computer Designed
Dining Service

Tom Burdette

10000 Kew-Forest Blvd. #100, Kew-Forest, NY 11367

 **Koimonia Architects**
ARCHITECT & GENERAL CONTRACTOR
1072 BUDANE NE, ALBUQUERQUE, NM 87102

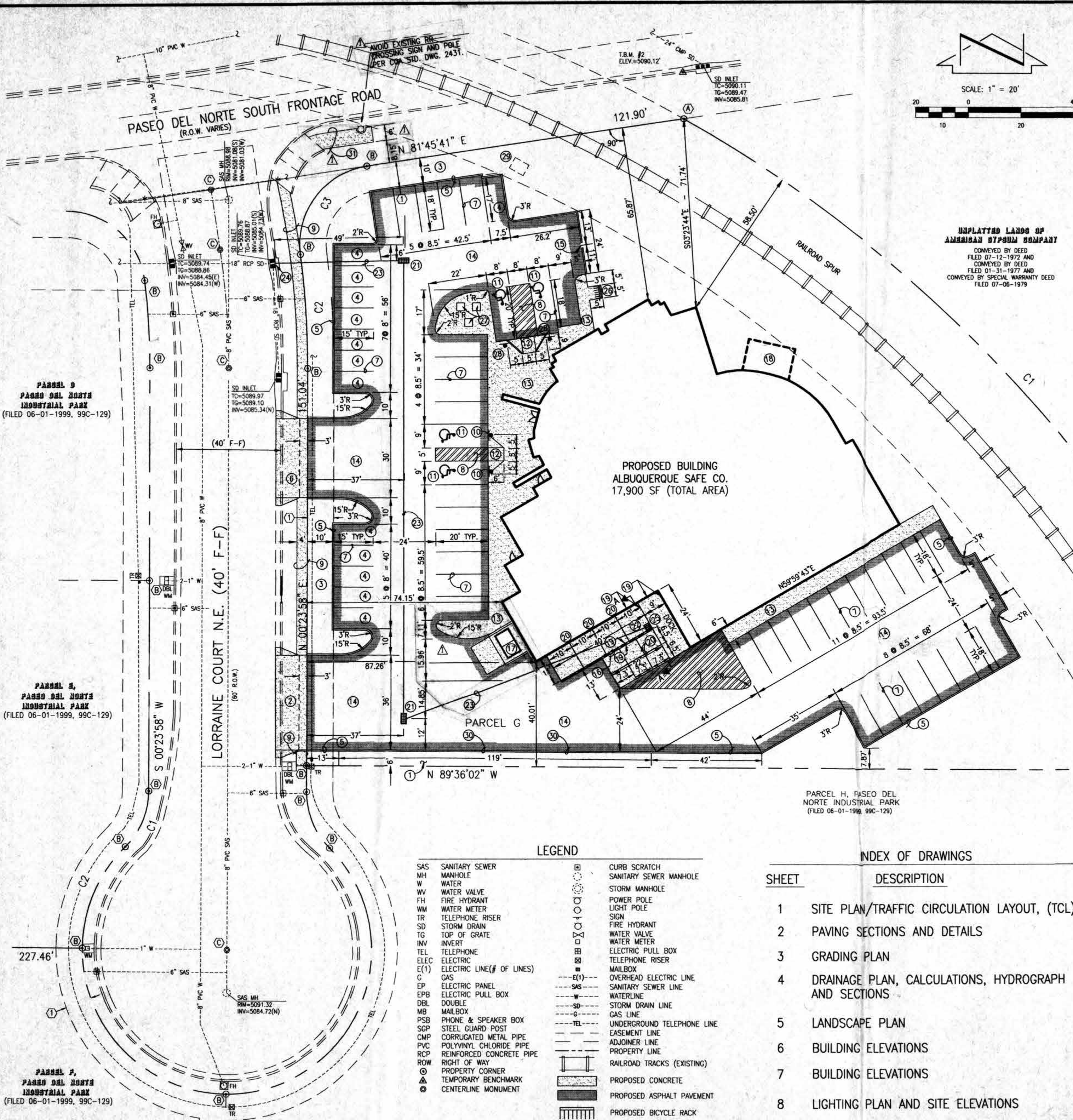
ALL FRAMING MEMBERS TO BE CHECKED & CORRECTED BY OWNER AND CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF THE CORROSION AND OVERS.

8014
DATE: 10/19/00

**Albuquerque
Safe Co.**
PARCEL "G"
LORRAINE COURT NE
ALBUQUERQUE NEW MEXICO

REVISIONS	DRAWN BY:
DATE: 8/2/00	TD
BY: JCC	CHECKED BY:
8/8/00	TSW/PM
8/2/00	REVIEWED BY:
8/22/00	CHIEF
9/4/00	
10/2/00	
10/2/00	

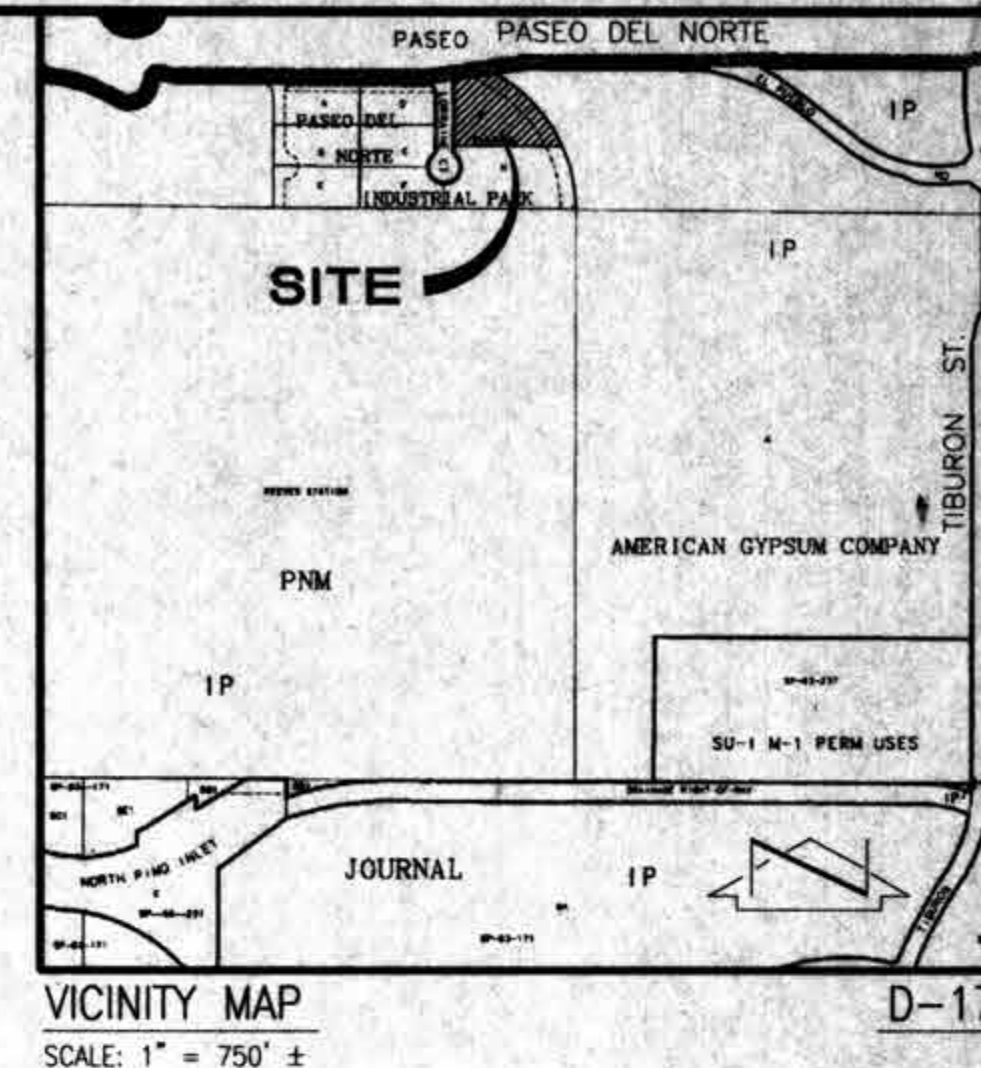
6 OF 8



BOUNDARY TABLES					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	523.22'	338.44'	332.57'	S 41°50'43" E	37°03'40"
C2	330.00'	43.38'	43.35'	N 03°22'00" W	07°31'56"
C3	30.00'	46.54'	42.02'	N 37°18'51" E	88°53'39"

SITE INFORMATION

- LEGAL DESCRIPTION: PARCEL "G" PASEO DEL NORTE INDUSTRIAL PARK IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 01, 1999, IN MAP BOOK 99C, FOLIO 129
 - SITE: 1.5427 ACRES / 67,200 SF
BUILDING FOOTPRINT: 0.3028 ACRES / 13,190 SF
 - ZONING: IP (NO DEVELOPMENT PLAN EXISTS)
 - PARKING ANALYSIS
 - REQUIRED
 - 2750 SF 1ST FLOOR OFFICE (1/200)
 - 2730 SF 2ND FLOOR OFFICE (1/300)
 - 4892 SF SHOWROOM (1/200)
 - 4295 WAREHOUSE & MEZZANINE (1/2000)TOTAL: 52
(3 OF WHICH MUST BE HANDICAP SPACES)
(3 BICYCLE SPACES REQUIRED)
 - PROVIDED
 - STANDARD SPACES 49
 - HANDICAP SPACES 4
(BICYCLE RACK W/MINIMUM OF 3 SPACES 1)TOTAL: 53
13 SMALL CAR SPACES = 25% OF TOTAL
 - PROPOSED USE
OFFICE / WAREHOUSE / SHOWROOM
- NOTE:
THE CONSTRUCTION OF TRAFFIC CIRCULATION ELEMENTS SHOWN ON THIS PLAN MUST BE CERTIFIED BY THE ENGINEER OF RECORD PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



EASEMENT KEYED NOTES

- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-129
- ORIGINAL 50' P.N.M. RIGHT-OF-WAY EASEMENT (RAILROAD SPUR) GRANTED BY DOCUMENT FILED 08-10-1956, BOOK D359, PAGES 283-288, DOC. #3175.
- AMENDED 50' P.N.M. RIGHT-OF-WAY EASEMENT (RAILROAD SPUR) GRANTED BY DOCUMENT FILED 10-15-1956, BOOK D365, PAGES 383-388, DOC. #9158.
- AMENDED 50' P.N.M. RIGHT-OF-WAY EASEMENT (RAILROAD SPUR) GRANTED BY DOCUMENT FILED 05-28-1957, BOOK D387, PAGES 397-399, DOC. #30315.

MONUMENTATION KEYED NOTES

- #5 REBAR WITH CAP STAMPED "WEAVER LS 6544" TAGGED WITH WASHER STAMPED "NMPS 11184"
- #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- ALUMINUM DISK, C.O.A. CENTERLINE MONUMENT STAMPED "NMPS 11184, 1999"

SITE KEYED NOTES

- 6' SIDEYARD LANDSCAPING BUFFER
- CONSTRUCT ADA COMPLIANT 36" CONCRETE DRIVEPAD PER C.O.A. STD. DWG. 2425
- 10' FRONTYARD LANDSCAPING BUFFER
- STENCIL "COMPACT CAR" OR "SMALL CAR" DESIGNATION WITH WHITE PAINTED LETTERING
- INSTALL EXTRUDED CONCRETE CURB PER TYPICAL SECTION, SHEET 2
- CONSTRUCT ADA COMPLIANT 30" CONCRETE DRIVEPAD PER C.O.A. STD. DWG. 2425.
- PAINT 4" WIDE WHITE PARKING STRIPE, TYPICAL
- PAINT 4" WIDE WHITE CROSS-HATCH PAVEMENT MARKINGS.
- CONSTRUCT 4" CONCRETE SIDEWALK AT PROPERTY LINE PER C.O.A. STD. DWG. 2430.
- INSTALL ADA APPROVED HANDICAP PARKING SIGN
- PAINT ADA APPROVED HANDICAP SYMBOL
- CONSTRUCT NEW CONCRETE HANDICAP RAMP. RAMP NOT TO EXCEED 1:12. SIDE FLARES NOT TO EXCEED 1:10.
- CONSTRUCT 6" TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET 2.
- CONSTRUCT NEW ASPHALT PAVING PER TYPICAL PAVEMENT SECTION, SHEET 2.
- 2'-0" CURB OPENING
- RETAINING WALL WITH HANDRAIL PER SECTION A-A, SHEET 2.
- CONSTRUCT REFUSE PAD AND APRON WITH SCREEN WALL PER C.O.A. SOLID WASTE DEPARTMENT STANDARDS.
- SECOND FLOOR BUILDING OVERHANG, ENCROACHMENT ADDRESSED BY ENCROACHMENT AGREEMENT BETWEEN PROPERTY OWNER AND P.N.M.
- EXPANSION JOINT
- 1/2" CONTRACTION JOINT
- SINGLE 'D' STORM INLET (SEE GRADING PLAN, SHEET 3)
- 18"x18" AREA DRAIN (SEE GRADING PLAN, SHEET 3)
- 6" D.I. DRAIN LINE (SEE GRADING PLAN, SHEET 3)
- DRAIN LINE CONNECTION TO EXISTING STORM DRAIN INLET (SEE GRADING PLAN, SHEET 3).
- LOADING DOCK PER ARCHITECTURAL PLANS.
- BICYCLE RACK (MINIMUM OF 3 SPACES).
- 3'x3' TREE WELL, TYPICAL OF 3.
- INSTALL ADA APPROVED HANDICAP PARKING SIGN WITH VAN ACCESSIBLE PLACARD.
- EXISTING RAILROAD CROSSING CONTROL BUILDING.
- CONSTRUCT CONCRETE HEADER CURB (PER TYPICAL SECTION SHEET 2)
- CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER C.O.A. STD. DWG. 2430.
- TERMINATE SIDEWALK WITH SQUARED END AT EDGE OF RIGHT-OF-WAY EASEMENT.

INDEX OF DRAWINGS	
SHEET	DESCRIPTION
1	SITE PLAN/TRAFFIC CIRCULATION LAYOUT, (TCL)
2	PAVING SECTIONS AND DETAILS
3	GRADING PLAN
4	DRAINAGE PLAN, CALCULATIONS, HYDROGRAPH AND SECTIONS
5	LANDSCAPE PLAN
6	BUILDING ELEVATIONS
7	BUILDING ELEVATIONS
8	LIGHTING PLAN AND SITE ELEVATIONS

Project # 1000514
Application # 01450-00000-00004

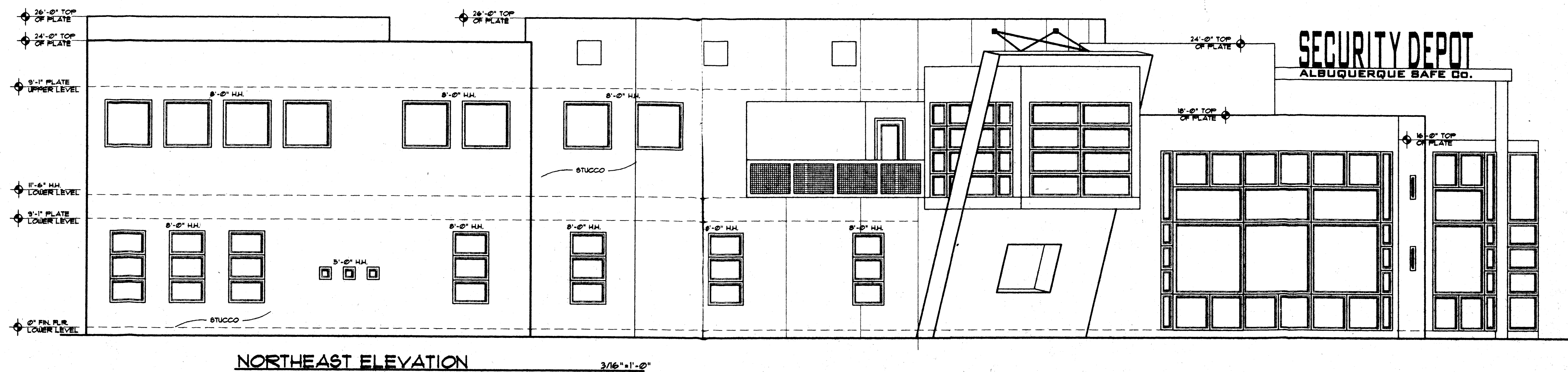
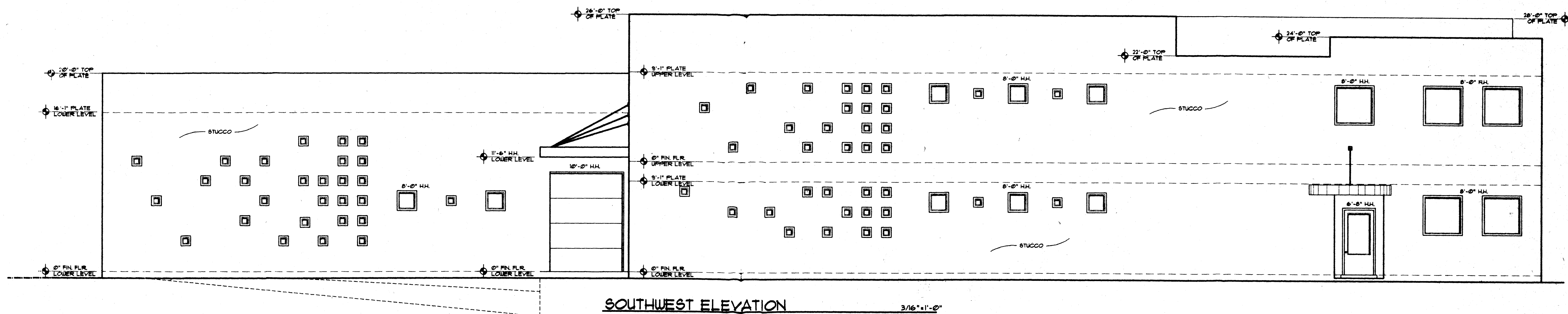
CASE NO:	1000514	DATE	1/19/01
PLANNING DIRECTOR, CITY OF ALBUQUERQUE	<i>Richard D. Smith</i>	DATE	1/17/01
TRANSPORTATION DEVELOPMENT, CITY OF ALBUQUERQUE	<i>Tom D. Miller</i>	DATE	1/10/01
CITY ENGINEER, CITY OF ALBUQUERQUE	<i>Roger A. Green</i>	DATE	1/10/01
UTILITY DEVELOPMENT, CITY OF ALBUQUERQUE	<i>William E. Cardenas</i>	DATE	1/10/01
PARKS-DESIGN AND DEVELOPMENT, C.P.A., CITY OF ALBUQUERQUE	<i>Katherine</i>	DATE	

DRB NO. 1000514

DESIGNED BY	JAP	DATE	01/01	BY	JAP	DATE	01/01	REVISIONS	ADD SIDEWALK ON N. SIDE OF SITE, RELOCATE REFUSE PAD, APRON AND SCREEN WALL.	DATE	12-2000
DRAWN BY	JYR/SGH										
APPROVED BY	JGM/GM										
										SHEET	1 OF 8

JMA
JEFF HORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE.
ALBUQUERQUE, NM 87109
ENGINEERS & SURVEYORS (C60) 345-4250
C/Fax: 505 345-4254 C/Email: jhainc@swcp.com

SITE PLAN / TRAFFIC CIRCULATION LAYOUT (TCL)
ALBUQUERQUE SAFE CO.



BRUSHED ALUMINUM STUDS

16'-0"

3'-0"


SECURITY DEPOT

ALBUQUERQUE SAFE CO.


64 SQ. FT.

SECURITY DEPOT
ALBUQUERQUE SAFE CO.

Tomenstock
Computer Designed Homes
& Drafting Services



Tom Burkholder
10000 Glenhurst Road, Suite 400 • Irvine, CA 92618
Tel. 949/451-2741 • Fax 949/451-2742
Abbottville, Maryland 21752

 **Koinonia Architects** [△]
ARCHITECT • GENERAL CONTRACTOR
1012 EUBANK NE, ALBUQUERQUE, NM 87112
(505) 243-4134 FAX (505) 243-4091

ELEVATION PLAN

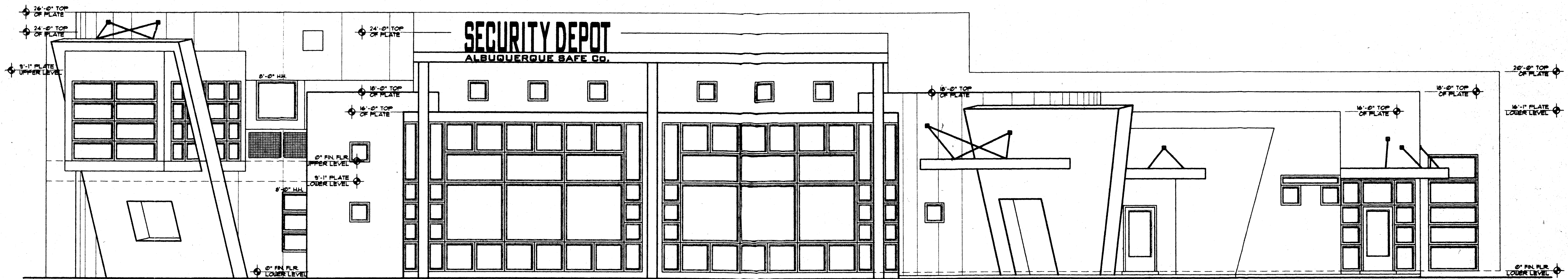
SHEET No. 8 OF 14 DATE 10/13/00

**Albuquerque
Safe Co.**
PARCEL "G"
LORRAINE COURT NE.
ALBUQUERQUE, NEW MEXICO

REVISIONS	DRAWN BY:
DATE: 6/12/00	TP
6/7/00	CHECKED BY:
6/8/00	DS/ PM
6/9/00	REVIEWED BY:
6/22/00	OWNER
6/11/00	
6/14/00	
6/16/00	
6/18/00	

BUILDING ELEVATIONS

6 OF 8



NORTHWEST ELEVATION

3/16"=1'-0"

6" DEEP LIGHTED MTL. CAN LETTER
BLUE WITH WHITE LEXAN COVER
ATTACHED TO I BEAM AS SHOWN



SOUTHWEST ELEVATION

3/16"=1'-0"

