

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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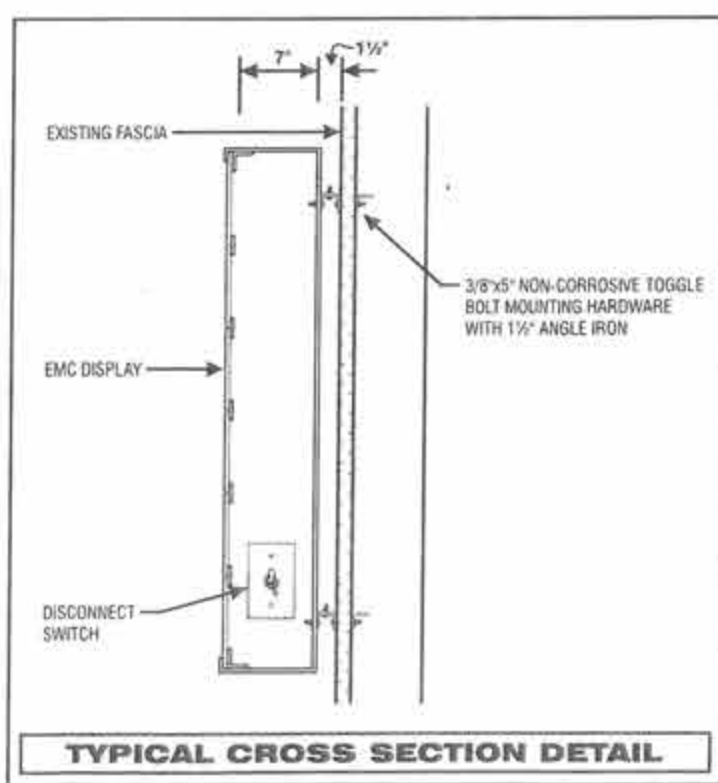
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\_\_\_\_\_  
APPROVED BY

\_\_\_\_\_  
DATE

Permit



**NEW SINGLE FACE ELECTRONIC MESSAGE DISPLAY**  
16MM FULL COLOR RGB L.E.D. ELECTRONIC MESSAGE DISPLAY

Building Fascia: 1752  
Sign: 210  
Ratio: 11.9



**EMC LOCATION**  
N.T.S.

**AL- AG570**

**ZEON signs**  
EPNM, INC.  
ELECTRICAL PRODUCTS COMPANY  
2024 5th St. NW, Albuquerque, NM 87102  
(505) 243-3771 Toll Free: 800-844-7407  
Fax: (505) 243-3575

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF EPNM, INC. AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT.

PIPE SIZES(S) AND/OR SPLICES MAY CHANGE THE ARTIST CONCEPT DEPENDING ON ENGINEERING CALCULATIONS FOR FINAL INSTALLATION.

ACTUAL SIZE OF SIGN AND COPY FROM SCALED DRAWING MAY VARY  
COLOR ON THIS PRESENTATION DOES NOT REPRESENT THE EXACT MATERIAL COLOR SPECIFIED. SEE CHART(S) FOR EXACT APPEARANCE OF COLORS SPECIFIED.

TITLE:	DRWG NO: 324 - 092	APPROVED FOR PRODUCTION:
SCALE:	SALES: TERRY TOPPINO	CUSTOMER APPROVAL:
DESIGN BY: R. GONZALES		
REVISED	3-14-24	
	3-19-24	
	3-19-24	

[illegible]

SOUTHWEST ELEVATION

$$376^{\circ} \pm 1^{\circ}$$

SECURITY DEPOT  
ALBUQUERQUE SAFE CO.  
CITY

The architectural drawing is a floor plan of the Security Depot building, showing multiple levels and a large central structure. The plan includes the following details:

- Levels:** The plan is divided into three main horizontal sections labeled on the left: "1st FLOOR", "2nd FLOOR", and "3rd FLOOR".
- Central Structure:** A large, multi-story structure dominates the center-right of the plan. It features a prominent entrance area with a canopy and a large, multi-paned window or glass door. A ramp or staircase is shown leading up to this structure.
- Windows and Doors:** Numerous rectangular openings are distributed across the plan, representing windows and doors. Some are labeled with dimensions like "8'-0\"/>

NORTHEAST ELEVATION

3.  $2x^2 + 5x + 3 = 0$

SECURITY DEPO  
ALBUQUERQUE SAFE C

**Tomenstock**  
Computer Designed Movers  
& Dining Service

Tom Burkholder  
Owner/Operator

Mobile Restaurant, 1000 S. 10th St., Portland, OR 97204

 **Koimonia Architects**  
ARCHITECT & GENERAL CONTRACTOR  
1075 BUDANE NE, ALBUQUERQUE, NM 87102

ALL FRAMING MEMBERS TO BE CHECKED & CORRECTED BY OWNER AND CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF THE CORROSION AND OVERS.

8014  
DATE: 10/19/00

**Albuquerque  
Safe Co.**  
PARCEL "G"  
LORRAINE COURT NE  
ALBUQUERQUE NEW MEXICO

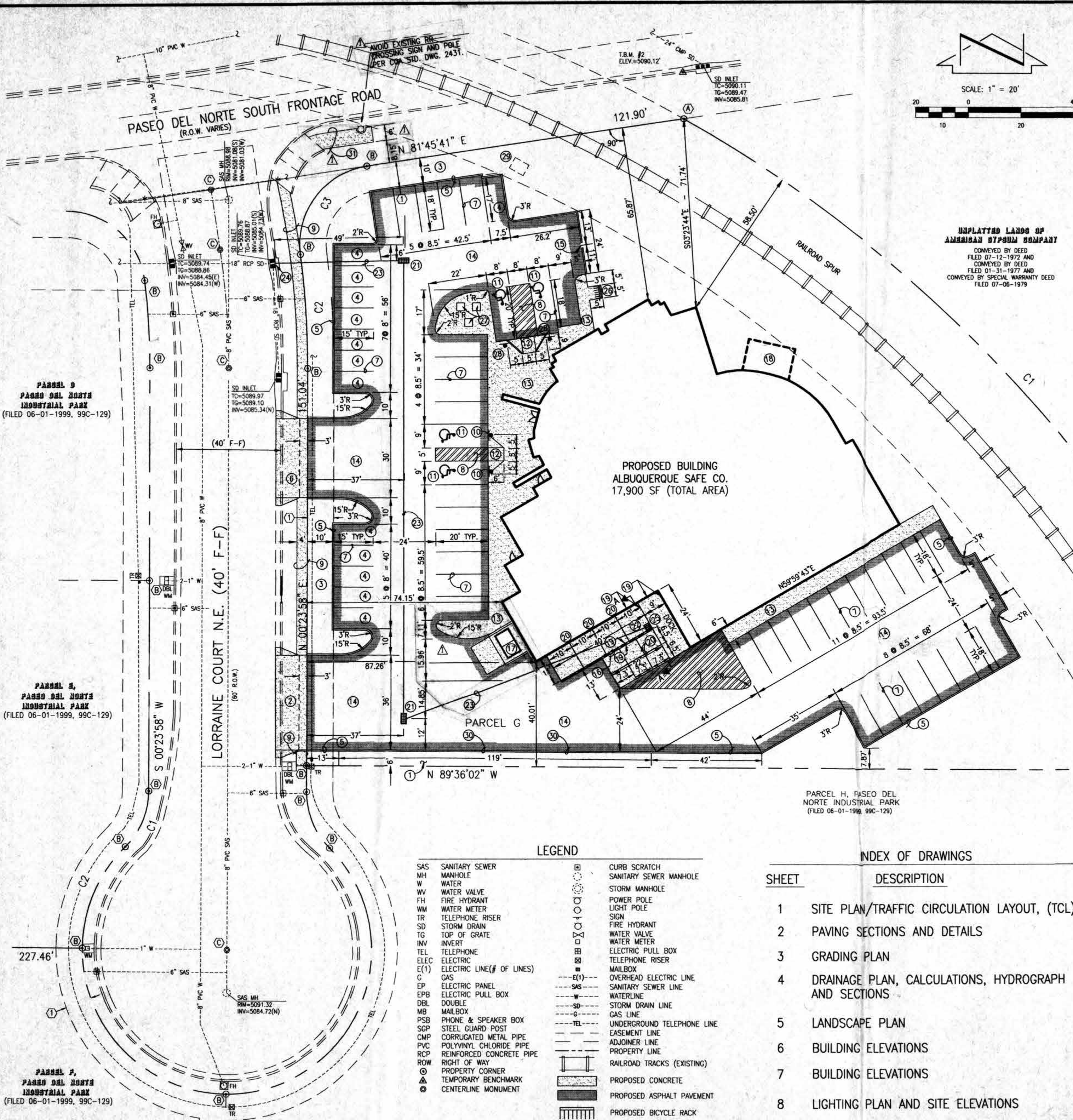
REVISIONS	DRAWN BY:
DATE: 8/2/00	TO:
BY: JCC	CHECKED BY:
8/8/00	DSH/PM
8/2/00	REVIEWED BY:
8/22/00	DATE:
9/4/00	
10/2/00	
10/2/00	

6 OF 8





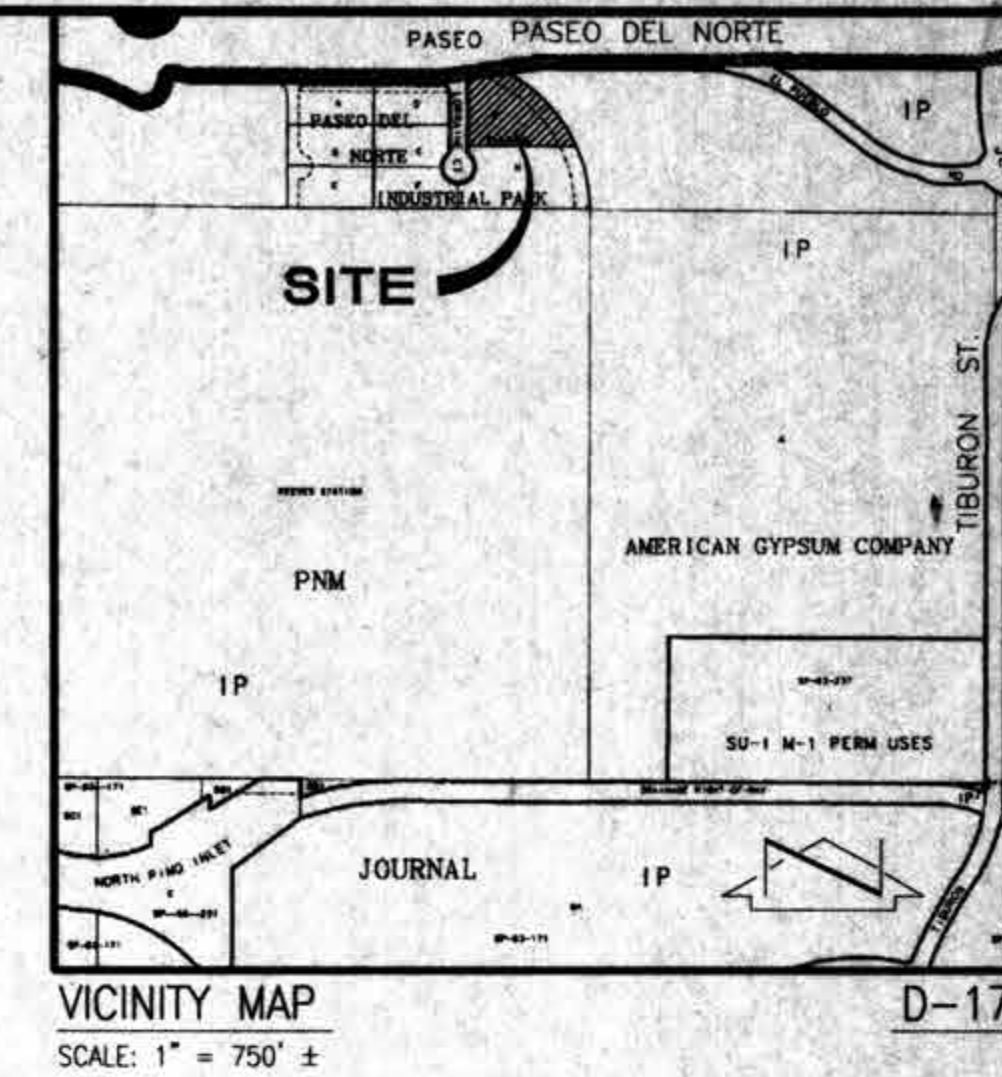




BOUNDARY TABLES					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	523.22'	338.44'	332.57'	S 41°50'43" E	37°03'40"
C2	330.00'	43.38'	43.35'	N 03°22'00" W	07°31'56"
C3	30.00'	46.54'	42.02'	N 37°18'51" E	88°53'39"

#### SITE INFORMATION

- LEGAL DESCRIPTION: PARCEL "G" PASEO DEL NORTE INDUSTRIAL PARK IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 01, 1999, IN MAP BOOK 99C, FOLIO 129
  - SITE: 1.5427 ACRES / 67,200 SF  
BUILDING FOOTPRINT: 0.3028 ACRES / 13,190 SF
  - ZONING: IP (NO DEVELOPMENT PLAN EXISTS)
  - PARKING ANALYSIS
    - REQUIRED
      - 2750 SF 1ST FLOOR OFFICE (1/200)
      - 2730 SF 2ND FLOOR OFFICE (1/300)
      - 4892 SF SHOWROOM (1/200)
      - 4295 WAREHOUSE & MEZZANINE (1/2000)TOTAL: 52  
(3 OF WHICH MUST BE HANDICAP SPACES)  
(3 BICYCLE SPACES REQUIRED)
    - PROVIDED
      - STANDARD SPACES 49
      - HANDICAP SPACES 4
      - (BICYCLE RACK W/MINIMUM OF 3 SPACES 1)TOTAL: 53  
13 SMALL CAR SPACES = 25% OF TOTAL
  - PROPOSED USE  
OFFICE / WAREHOUSE / SHOWROOM
- NOTE:  
THE CONSTRUCTION OF TRAFFIC CIRCULATION ELEMENTS SHOWN ON THIS PLAN MUST BE CERTIFIED BY THE ENGINEER OF RECORD PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



#### EASEMENT KEYED NOTES

- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-129
- ORIGINAL 50' P.N.M. RIGHT-OF-WAY EASEMENT (RAILROAD SPUR) GRANTED BY DOCUMENT FILED 08-10-1956, BOOK D359, PAGES 283-288, DOC. #3175.
- AMENDED 50' P.N.M. RIGHT-OF-WAY EASEMENT (RAILROAD SPUR) GRANTED BY DOCUMENT FILED 10-15-1956, BOOK D365, PAGES 383-388, DOC. #9158.
- AMENDED 50' P.N.M. RIGHT-OF-WAY EASEMENT (RAILROAD SPUR) GRANTED BY DOCUMENT FILED 05-28-1957, BOOK D387, PAGES 397-399, DOC. #30315.

#### MONUMENTATION KEYED NOTES

- #5 REBAR WITH CAP STAMPED "WEAVER LS 6544" TAGGED WITH WASHER STAMPED "NMPS 11184"
- #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- ALUMINUM DISK, C.O.A. CENTERLINE MONUMENT STAMPED "NMPS 11184, 1999"

#### SITE KEYED NOTES

- 6' SIDEYARD LANDSCAPING BUFFER
- CONSTRUCT ADA COMPLIANT 36" CONCRETE DRIVEPAD PER C.O.A. STD. DWG. 2425
- 10' FRONTYARD LANDSCAPING BUFFER
- STENCIL "COMPACT CAR" OR "SMALL CAR" DESIGNATION WITH WHITE PAINTED LETTERING
- INSTALL EXTRUDED CONCRETE CURB PER TYPICAL SECTION, SHEET 2
- CONSTRUCT ADA COMPLIANT 30" CONCRETE DRIVEPAD PER C.O.A. STD. DWG. 2425.
- PAINT 4" WIDE WHITE PARKING STRIPE, TYPICAL
- PAINT 4" WIDE WHITE CROSS-HATCH PAVEMENT MARKINGS.
- CONSTRUCT 4" CONCRETE SIDEWALK AT PROPERTY LINE PER C.O.A. STD. DWG. 2430.
- INSTALL ADA APPROVED HANDICAP PARKING SIGN
- PAINT ADA APPROVED HANDICAP SYMBOL
- CONSTRUCT NEW CONCRETE HANDICAP RAMP. RAMP NOT TO EXCEED 1:12. SIDE FLARES NOT TO EXCEED 1:10.
- CONSTRUCT 6" TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET 2.
- CONSTRUCT NEW ASPHALT PAVING PER TYPICAL PAVEMENT SECTION, SHEET 2.
- 2'-0" CURB OPENING
- RETAINING WALL WITH HANDRAIL PER SECTION A-A, SHEET 2.
- CONSTRUCT REFUSE PAD AND APRON WITH SCREEN WALL PER C.O.A. SOLID WASTE DEPARTMENT STANDARDS.
- SECOND FLOOR BUILDING OVERHANG, ENCROACHMENT ADDRESSED BY ENCROACHMENT AGREEMENT BETWEEN PROPERTY OWNER AND P.N.M.
- EXPANSION JOINT
- 1/2" CONTRACTION JOINT
- SINGLE 'D' STORM INLET (SEE GRADING PLAN, SHEET 3)
- 18"x18" AREA DRAIN (SEE GRADING PLAN, SHEET 3)
- 6" D.I. DRAIN LINE (SEE GRADING PLAN, SHEET 3)
- DRAIN LINE CONNECTION TO EXISTING STORM DRAIN INLET (SEE GRADING PLAN, SHEET 3).
- LOADING DOCK PER ARCHITECTURAL PLANS.
- BICYCLE RACK (MINIMUM OF 3 SPACES).
- 3'x3' TREE WELL, TYPICAL OF 3.
- INSTALL ADA APPROVED HANDICAP PARKING SIGN WITH VAN ACCESSIBLE PLACARD.
- EXISTING RAILROAD CROSSING CONTROL BUILDING.
- CONSTRUCT CONCRETE HEADER CURB (PER TYPICAL SECTION SHEET 2)
- CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER C.O.A. STD. DWG. 2430.
- TERMINATE SIDEWALK WITH SQUARED END AT EDGE OF RIGHT-OF-WAY EASEMENT.

INDEX OF DRAWINGS	
SHEET	DESCRIPTION
1	SITE PLAN/TRAFFIC CIRCULATION LAYOUT, (TCL)
2	PAVING SECTIONS AND DETAILS
3	GRADING PLAN
4	DRAINAGE PLAN, CALCULATIONS, HYDROGRAPH AND SECTIONS
5	LANDSCAPE PLAN
6	BUILDING ELEVATIONS
7	BUILDING ELEVATIONS
8	LIGHTING PLAN AND SITE ELEVATIONS

Project # 1000514  
Application # 01450-00000-00004

CASE NO:	1000514	DATE	1/19/01
PLANNING DIRECTOR, CITY OF ALBUQUERQUE			
TRANSPORTATION DEVELOPMENT, CITY OF ALBUQUERQUE		DATE	1/17/01
CITY ENGINEER, CITY OF ALBUQUERQUE		DATE	1/10/01
UTILITY DEVELOPMENT, CITY OF ALBUQUERQUE		DATE	1/10/01
DESIGNED BY	JAP	DATE	1/10/01
DRAWN BY	JYR/SGH	DATE	1/10/01
APPROVED BY	JGM/GM	DATE	1/10/01

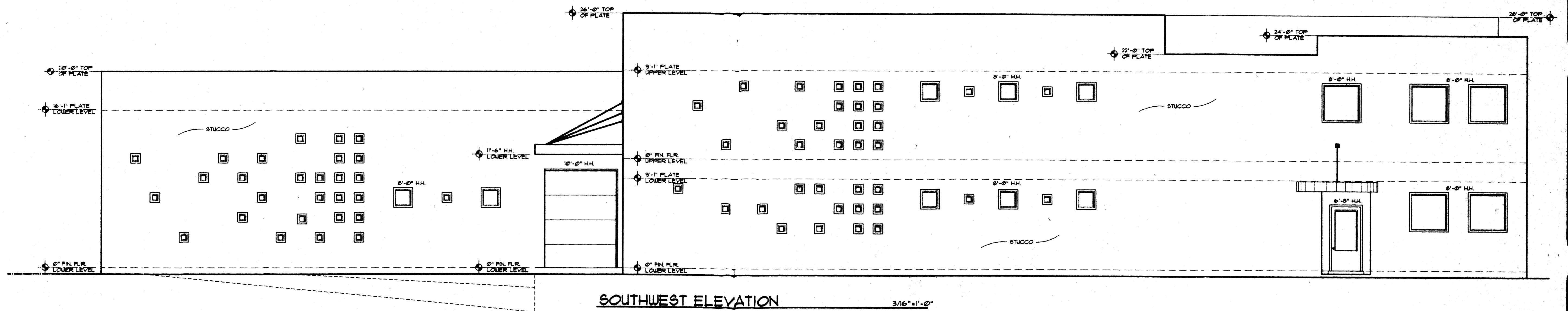


### SITE PLAN / TRAFFIC CIRCULATION LAYOUT (TCL) ALBUQUERQUE SAFE CO.

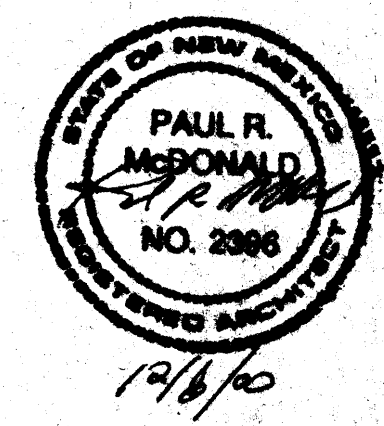
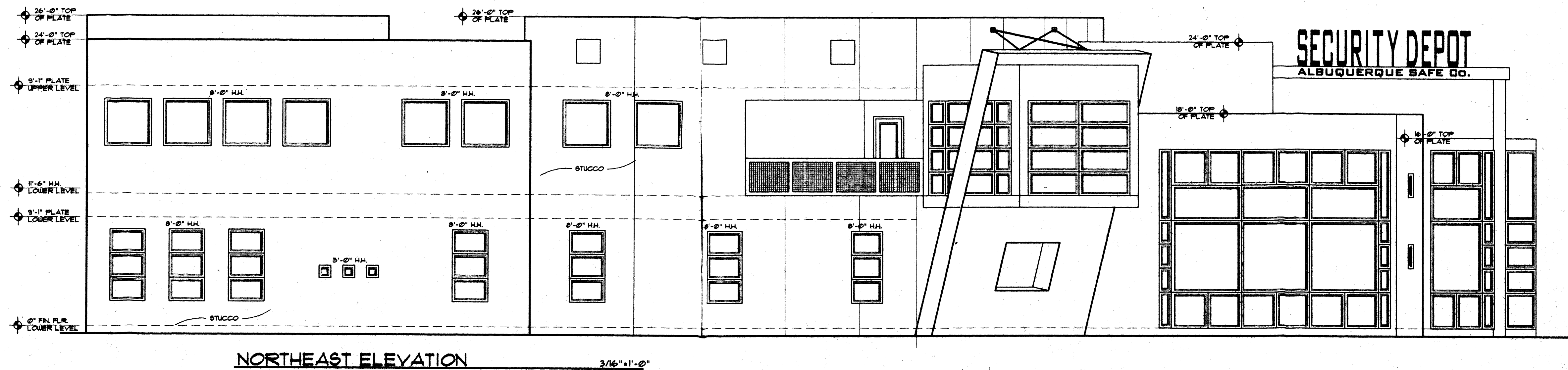
REVISIONS				DATE
DESIGNED BY	JAP	DATE	01/01	BY
DRAWN BY	JYR/SGH	DATE		
APPROVED BY	JGM/GM	DATE		
ADD SIDEWALK ON N. SIDE OF SITE, RELOCATE REFUSE PAD, APRON AND SCREEN WALL.				2000.075.1
				12-2000
				1 OF 8



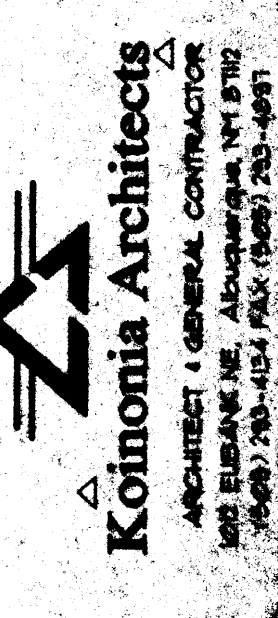
albasvdedg OCT 19, 2000 1:59 AM



BRUSHED ALUMINUM STUDS  
16'-0"  
**SECURITY DEPOT**  
ALBUQUERQUE SAFE CO.  
64 59 FT.



BUILDING ELEVATIONS



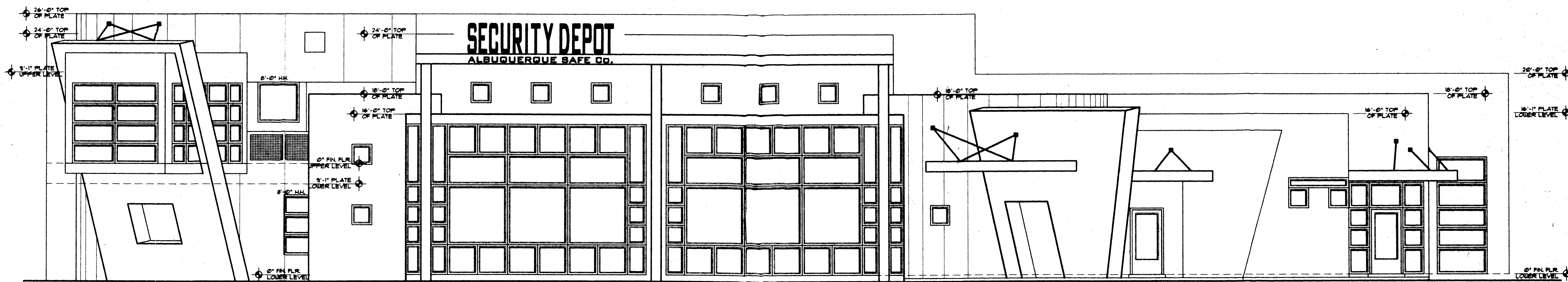
ALL MEASUREMENTS & DIMENSIONS TO BE CHECKED & THE STRUCTURAL INTEGRITY OF THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER  
**ELEVATION PLAN**

SHEET NO. 8 OF 14  
DATE 10/19/00

**Albuquerque Safe Co.**  
PARCEL 'G'  
LORRAINE COURT NE.  
ALBUQUERQUE, NEW MEXICO

REVISIONS	DATE	BY	TO	REASON
1	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	INITIAL DESIGN
2	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
3	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
4	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
5	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
6	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
7	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
8	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
9	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS
10	10/19/00	PAUL R. McDONALD	PAUL R. McDONALD	REVISIONS





NORTHWEST ELEVATION

3/16" = 1'-0"

6" DEEP LIGHTED MTL. CAN LETTER  
BLUE WITH WHITE LEXAN COVER  
ATTACHED TO "I" BEAM AS SHOWN

BRUSHED ALUMINUM W/ STUCCO

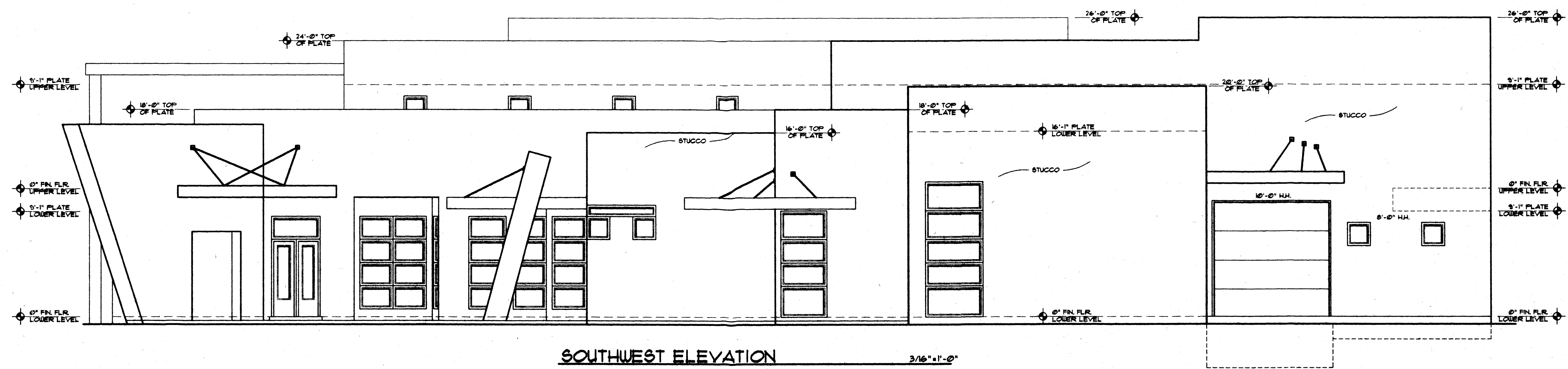
18" 0"

36" 3" 0"

# SECURITY DEPOT

ALBUQUERQUE SAFE CO.

64 S.E.P.T.



SOUTHWEST ELEVATION

3/16" x 1'-0"

albeave.dwg OCT 19, 2000 7:59 AM

