

Effective 11/16/2023

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application. Please note that these applications are not reviewed in a public meeting.		
SUBDIVISIONS		MISCELLANEOUS APPLICATIONS
<input type="checkbox"/> Major – Preliminary Plat (<i>Forms PLT & S1</i>)		<input type="checkbox"/> Sidewalk Waiver (<i>Form V2</i>)
<input type="checkbox"/> Major – Bulk Land Plat (<i>Forms PLT & S1</i>)		<input type="checkbox"/> Waiver to IDO (<i>Form V2</i>)
<input type="checkbox"/> Extension of Preliminary Plat (<i>Form S1</i>)		<input type="checkbox"/> Waiver to DPM (<i>Form V2</i>)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (<i>Forms PLT & S2</i>)		<input type="checkbox"/> Vacation of Public Right-of-way (<i>Form V</i>)
<input type="checkbox"/> Minor - Final Plat (<i>Forms PLT & S2</i>)		<input type="checkbox"/> Vacation of Public Easement(s) DHO (<i>Form V</i>)
<input type="checkbox"/> Minor – Preliminary/Final Plat (<i>Forms PLT & S2</i>)		<input type="checkbox"/> Vacation of Private Easement(s) (<i>Form V</i>)
		APPEAL
		<input type="checkbox"/> Decision of DHO (<i>Form A</i>)
BRIEF DESCRIPTION OF REQUEST		
APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:		Block:
Subdivision/Addition:		MRGCD Map No.:
Zone Atlas Page(s):	Existing Zoning:	Unit:
# of Existing Lots:	# of Proposed Lots:	UPC Code:
		Proposed Zoning
		Total Area of Site (Acres):
LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.		
Signature: <i>Carl Garcia</i>		Date:
Printed Name:		<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

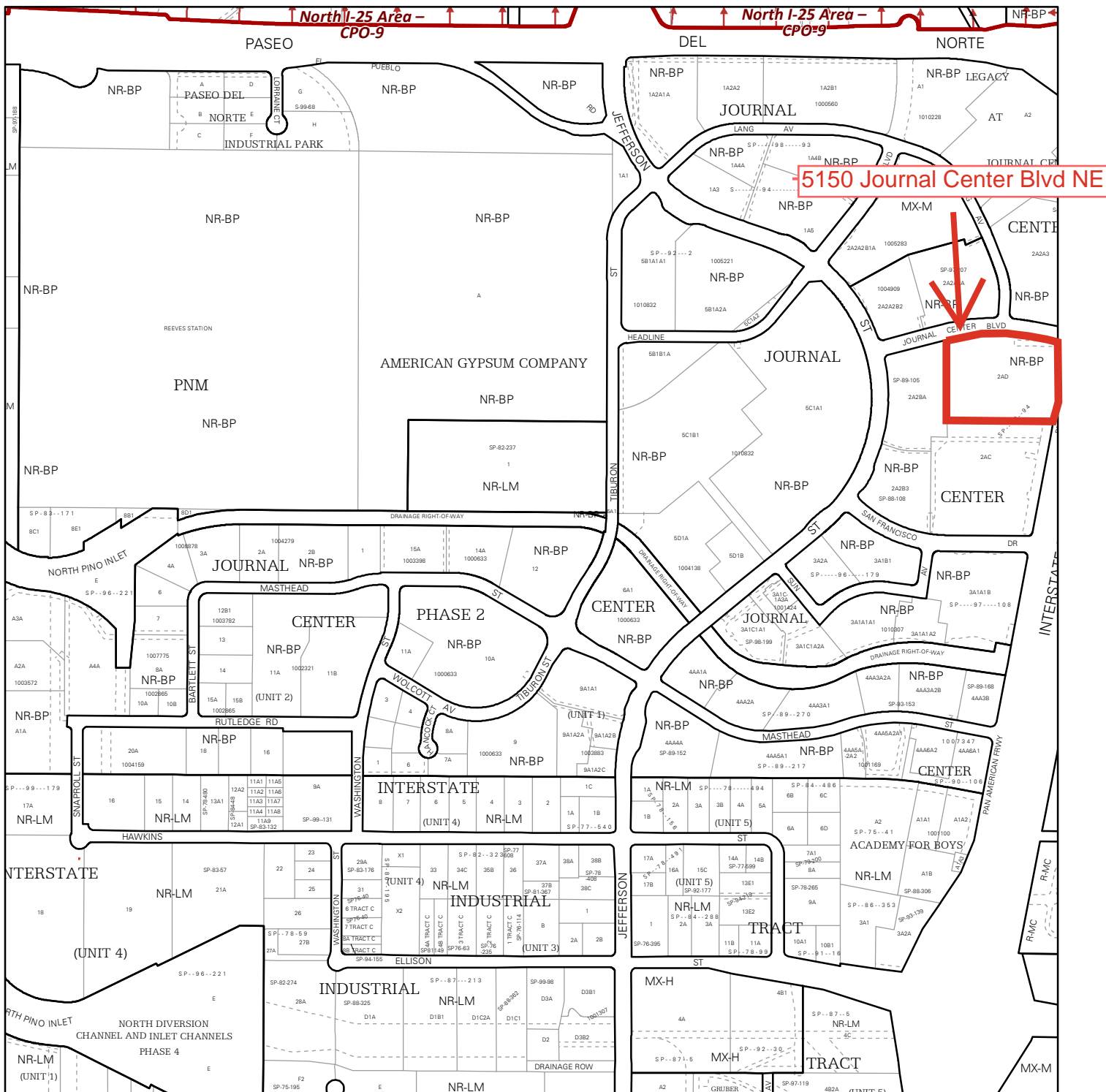
_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

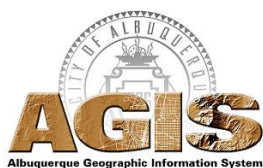
Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

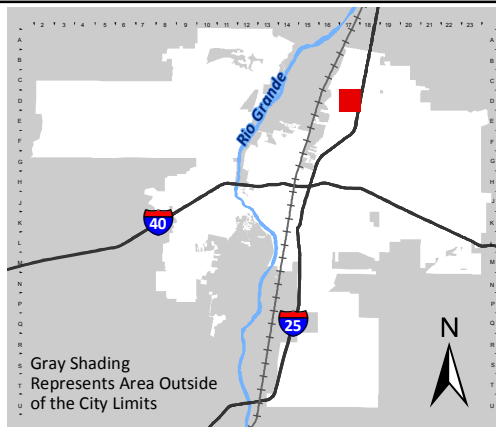


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

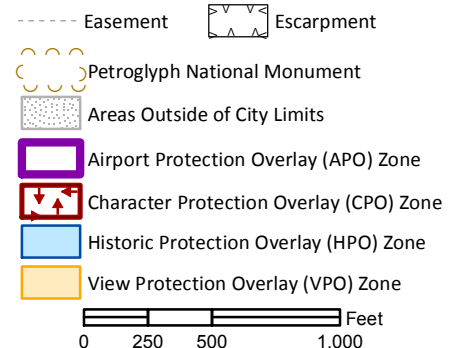
IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page: D-17-Z





ABQ Land Use Consulting LLC

Planning & Zoning Process Specialists

AGENT AUTHORIZATION FORM

Address: 5150 Journal Center Blvd NE

City: Albuquerque State: NM Zip 87109

Lot(s): N/A Block: N/A

Subdivision: N/A

UPC: 101706352734510520

Property Legal Description: TRACT 2A-D, JOURNAL CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT MAP FOR JOURNAL CENTER TRACTS 2A-1 AND 2A-2BB, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 11, 1990, IN VOLUME 90C, PAGE 129.

Property Owner 1: Journal 5150 Medical Properties, LLC

Property Owner 2: N/A

The undersigned, registered property owner(s) of the above listed property, do hereby authorize Carl Garcia of ABQ Land Use Consulting LLC and/or representatives of ABQ Land use consulting LLC to act on my behalf and take standard actions necessary for the processing, issuance and acceptance of this permit or certification and standard or special conditions attached. ~~We certify that all information submitted in this application is true and accurate to the best of our knowledge.~~ , subject to compliance with all applicable laws, rules, regulations, and that certain Lease Agreement dated as of December 30, 2020 between Journal 5150 Medical Properties, LLC and United Healthcare Services, Inc. ("Tenant").

Property owner(s) Address (if different from above): c/o Remedy Medical Properties, Inc., 800 W.

Madison St, Suite 400, Chicago, IL 60607

Phone 1: 630-417-5825

Phone 2:

Email 1: kcavanaugh@cimanetwork.com

Email 2:

Authorized Signature 1: By: Journal 5150 Medical Properties, LLC Date: 8/29/24
Authorized Signatory

Authorized Signature 2: Date:



ABQ Land Use Consulting LLC

Planning & Zoning Process Specialists

Zoning Enforcement Officer
600 2nd Street NW
Albuquerque, NM 87102

On behalf of my clients, Journal 5150 Medical Properties LLC Attn: Remedy Medical Properties Inc., I respectfully request an Administrative Amendment to an existing Site Development Plan to replace existing signage. No additional signs will be added.

Site Information:

Address: 5140 JOURNAL CENTER BLVD NE

Lot: 2AD **Block:** 0000

Subdivision: JOURNAL CENTER

Zone Grid: D18

Case Number: 1010123

AA Case: Y

IDO Zone District: NR-BP

IDO District Definition: Business Park

IDO Category: Non-Residential

Old Zoning Designation: IP

Old Zoning Category: INDUSTRIAL / WHOLESALE / MANUFACTURING

UPC: 101706352734510520

Owner: JOURNAL 5150 MEDICAL PROPERTIES LLC ATTN: REMEDY MEDICAL PROPERTIES INC

Owner Address: 800 W MADISON ST SUITE 400 CHICAGO IL 60607-2481

Situs Address: 5140 JOURNAL CENTER BLVD NE ALBUQUERQUE NM 87109

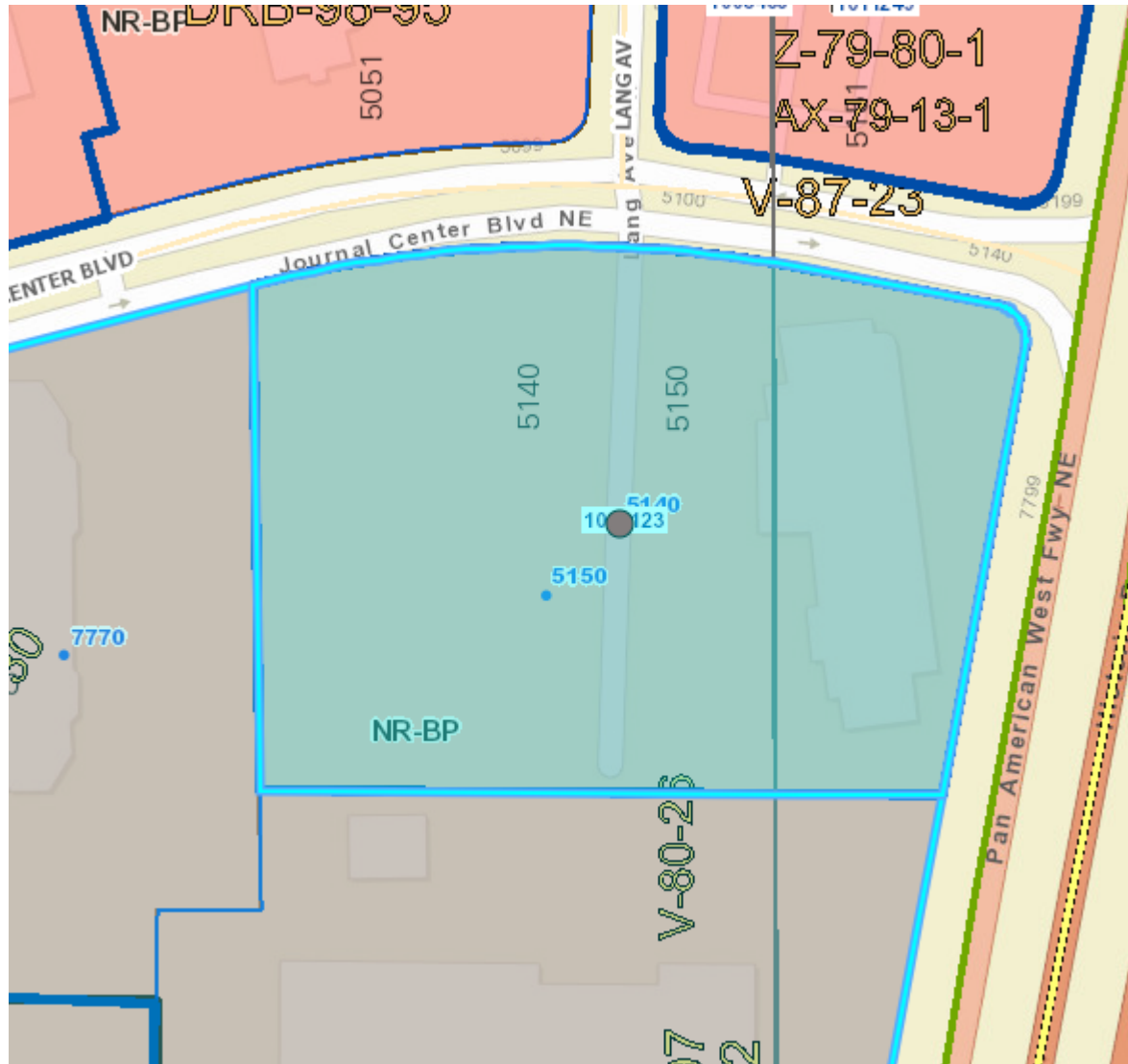
Legal Description: TR 2A-D (REPL OF TRS 2A-1 & 2A-2BB) JOURNAL CENTER CONT
6.1536 AC M/L

Acres: 6.154



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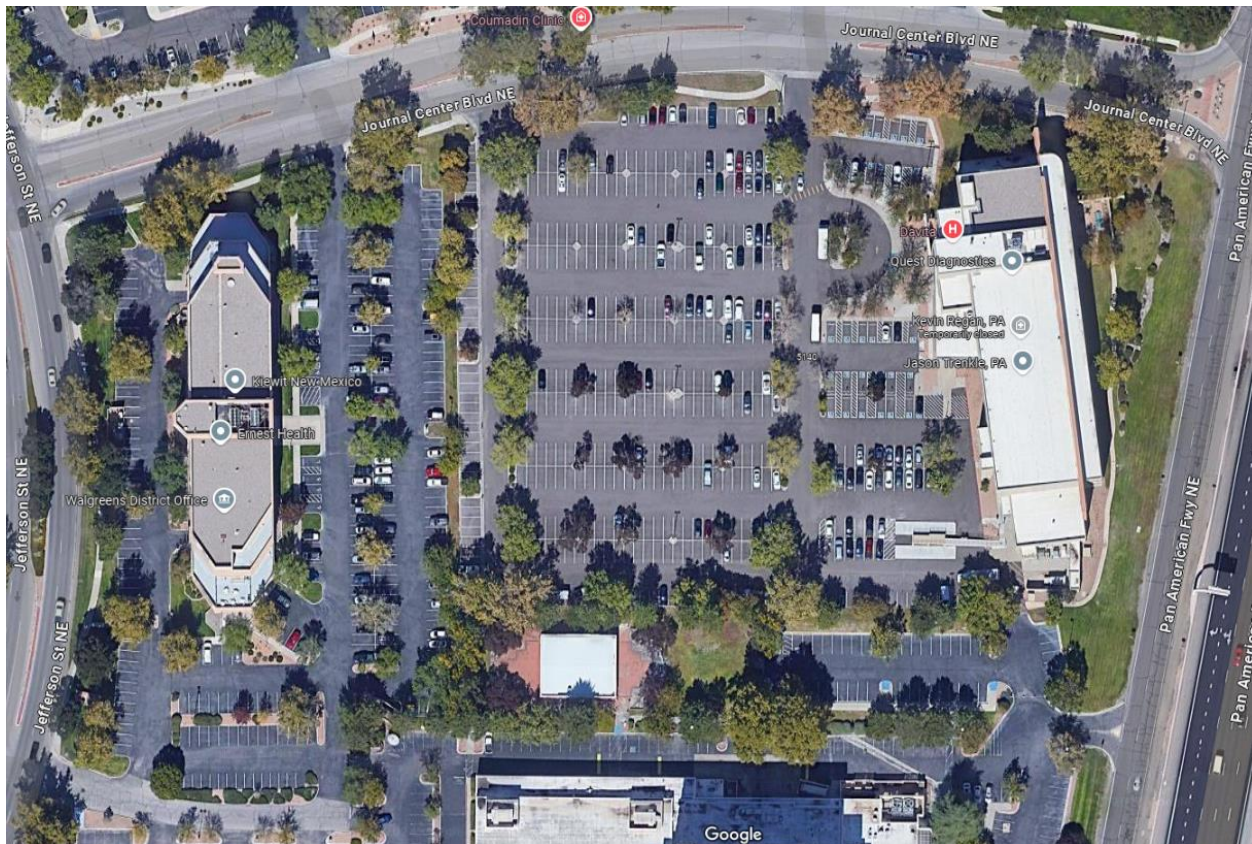
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This request does meet the requirements of the IDO, 6-4(X)(2)(a) A minor amendment must meet all of the following criteria.

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

Response: The purpose if this Administrative Amendment is rebranding. Please see Optums's reason for rebranding their company's signage:

The American health services innovation company has unveiled a new look.

"Our wordmark represents us at our best," according to their [brand page](#). "The roundness of our custom letterforms articulates our message in a way that is distinct, modern, friendly and accessible. By using our wordmark consistently and with confidence, we create recognition for Optum."

Founded in 2011, Optum is a pharmacy benefit manager and a healthcare provider for people across America. Optum became a subsidiary of the UnitedHealth Group when UHG merged its



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care delivery and pharmacy services, and since then the brand has been divided into three businesses: Optum Health, OptumRx, and Optum Insight.

Currently, the brand is giving healthcare services to more than 127 million Americans and has been the number one HSA provider in the U.S. In 2017 Optum accounted for almost half (about 44%) of UnitedHealth Group's profits, and in 2019, Optum's revenue surpassed \$100 billion. The brand has also filled over 1.3 billion prescriptions through OptumRx and has saved \$30 billion in annual health plans.

Optum's goal is to make healthcare accessible and effective for every American and was accredited by the NCQA for the third year in a row for their Population Health Program. The brand's goal also focuses on social responsibility by founding Pregnancy.org, a nonprofit organization that provides information to people who are pregnant.

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

Response: *This request does comply with the thresholds in Table 6-4-4.*

Any addition or revision that would otherwise be decided as a Permit – Sign, Permit – Wall or Fence – Minor, or Site Plan – Administrative	Any amount that meets requirements specified in the approved Permit or Site Plan or, if the Permit or Site Plan is silent, the IDO
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This request complies with the above-listed section of the table and will not increase any dimensions.

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

Response: *This request does not reduce the amount of open space in the development or abutting lot containing a residential use. Please see attached Site Development Plan.*

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

Response: This section does not apply to this project.

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

Response: This section does not apply to this project.



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6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

Response: This request does improve the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties. Please see attached Site Development Plan and proposed signage pages to attached document. Also, please see the reason for the proposed change in response number 1.

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

Response: This section does not apply to this project. Please see attached Site Development Plan.

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

Response: This section does not apply to this project. Please see attached Site Development Plan.

9. The amendment does not require major public infrastructure, significant changes to access to the subject property, or a traffic impact study, which would warrant additional review by the original decision-making body.

Response: This section does not apply to this project. Please see attached Site Development Plan.

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

Response: This section does not apply to this project. Please see attached Site Development Plan.



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11. The amendment does not affect a property in an Overlay zone as regulated pursuant to Part 14-16-3, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

Response: This section does not apply to this project. Please see attached Site Development Plan.

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

Response: This section does not apply to this project. Please see attached Site Development Plan.

My client was informed by Zoning that this Administrative Amendment is required to obtain a sign permit. My client wishes to comply with all City of Albuquerque regulations.

Based on the fact that this request meets all the requirements of the IDO, section 6-4(X)(2)(a), I respectfully request that this Administrative Amendment be approved.

I did attempt to locate the Official Notice of Decision, but Planning was unable to find the document. Please see the email copies below as proof of my attempt.



Chavez, Christina M.

to me ▼

Thu, Aug 1, 8:23AM

Good morning Carl,

Here are the documents associated with the file number provided. I will work on further research for you and send you what I find.

Kindly,



Christina Chavez-Gonzales

Historic Preservation

Administrative Assistant UD&D

o 505.924.3370

Monday-Friday 8:00am-4:30pm

cabq.gov/planning



ABQ Land Use Consulting LLC

Planning & Zoning Process Specialists

Chavez, Christina M.

to me ▼

Aug 5, 2024, 10:57 AM

Good morning,

As a follow up to your request for files on 5140 Journal Center, The files I provided last week are the only associated documents.

Kindly,



Christina Chavez-Gonzales

Historic Preservation

Administrative Assistant UD&D

505.924.3370

Monday-Friday 8:00am-4:30pm

cabq.gov/planning

Please contact me if there are any questions

Respectfully submitted,

Carl Garcia

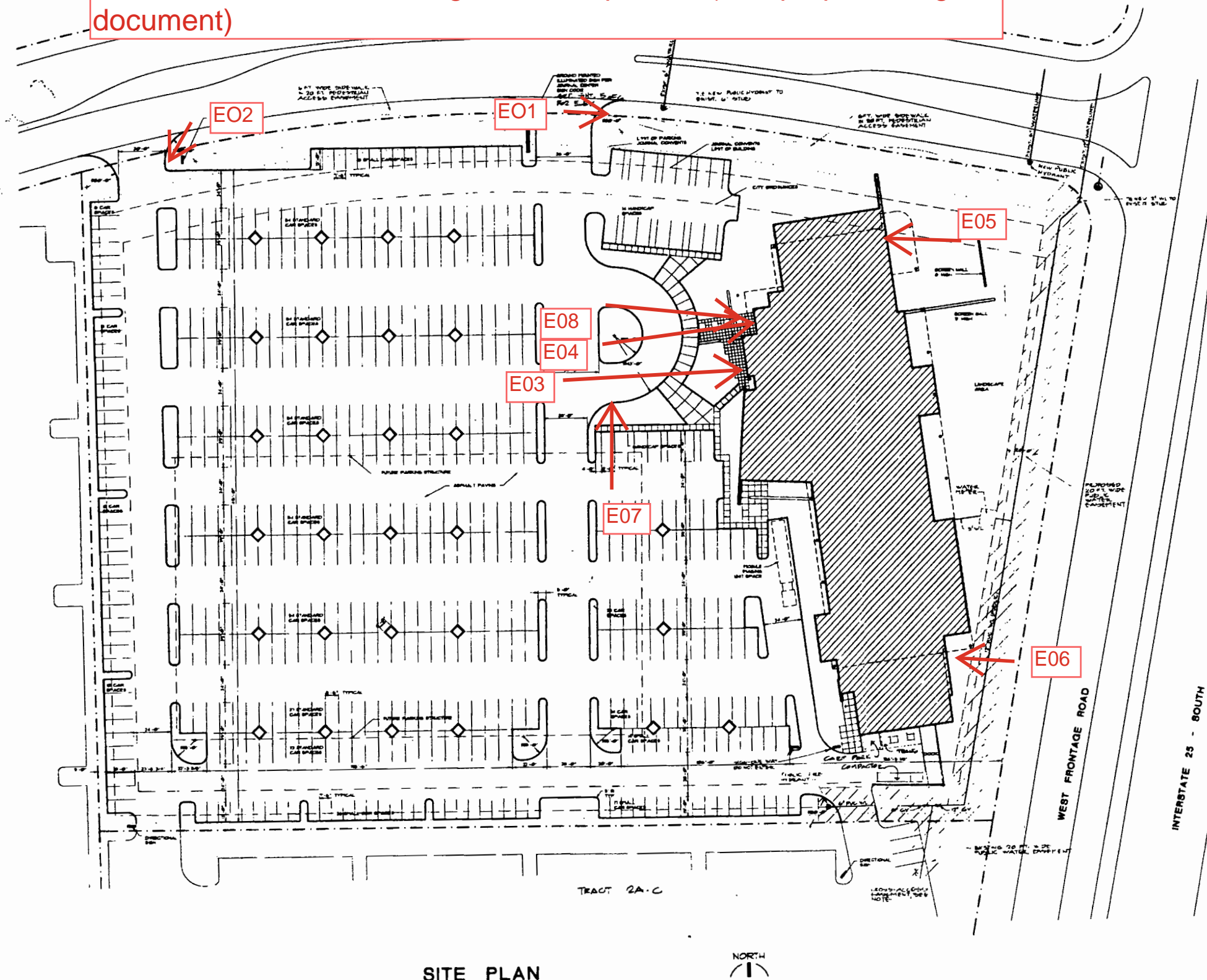
Carl Garcia

ABQ Land Use Consulting LLC

505-306-6289

Administrative Amendment for proposed signage rebrand 9-11-2024
0% Increase of any dimension.
E01-E08 are locations of signs to be replaced. (See proposed signs document)

PARKING DATA		
REQUIRED ON-SITE PARKING		
CLINIC	5 SPACES PER DOCTOR X 4 DOCTORS	205
OFFICE - FIRST LEVEL	1 SPACE PER 200 SF X 1000	5
OFFICE ABOVE FIRST LEVEL	1 SPACE PER 300 SF X 6200	21
TOTAL		235
5% CREDIT FOR BUS STOP (25 x 10)		11
TOTAL PARKING REQUIRED OF WHICH 0 SPACES ARE FOR HANDICAPPED USE		252
STANDARD SPACES		422
SMALL CAR SPACES		11
HANDICAP SPACES		21
TOTAL PROVIDED PARKING		520
SITE DATA		
ZONING	IP	
AREA	6.536 AC	
PAVING AREA	172,457 SF	
LANDSCAPING	615,111 SF	
BUILDING AREA	83,754 SF	50,000 SF
SITE LEGAL DESCRIPTION		
TRACT 2A-D, JOURNAL CENTER		
SITE DEVELOPMENT PLAN APPROVAL		
THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-75-13, 2-75-80-2) AND THE IP CODE.		
IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON AUGUST 14, 1990, AS REFLECTED IN DMS-10-20-2.		
<i>Jack Chisholm</i>	12/1/90	DATE
PLANNING DIRECTOR		
<i>Paul M. Stone</i>	8/14/90	DATE
PARKS AND RECREATION DEPT.		
<i>David K. Smith</i>	8-14-90	DATE
TRANSPORTATION DEVELOPMENT		
<i>Robert W. Kane</i>	8-14-90	DATE
CITY ENGINEERING / AMPLCA		
UTILITY DEVELOPMENT		



SITE PLAN

GREGORY T. HICKS AND ASSO
HOLMES SABATINI EEDS ARCH

Project

LOVELACE MULTI-SPECIALTY FACILITY

Albuquerque, New Mexico

NOTES

PHASE 2 IS CONCEPTUAL ONLY
PHASE 2 SITE DEVELOPMENT PLAN REVIEW WILL BE REQUIRED

SEE UTILITY AS SHOWN ON THIS PLAN, SHALL BE CONSULTED WITH THE SITE DEVELOPMENT.

A 2' PUBLIC WATERLINE SHALL BE CONSTRUCTED ALONG THE 5'-0" EAST BOUNDARY. A PUBLIC EASEMENT SHALL BE PROVIDED PRIOR TO CONSTRUCTION.

A CROSS-ACCESS EASEMENT FOR SITE ACCESS TO THE WEST FRONTAGE ROAD, ACROSS TRACT 2A-C, IS PROVIDED BY THE PLAT ENTITLED, REPLAT MAP FOR JOURNAL CENTER, TRACT 2A-1 AND 2A-200, FILED IN THE COUNTY CLERKS OFFICE ON MAY 11, 1990, BK 90C, PAGE 129.



Branding Document

NM038

Line of Business: Clinic
City/State: Albuquerque, NM
Address: 5150 Journal Center Blvd Ne

Initial Date: 2.19.24

Revision Dates: 2.21.24
2.23.24
3.1.24
3.18.24
4.18.24
4.26.24
5.3.24



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Sign	Existing Sign	Action	Proposed Sign	Qty.
E01	Tenant Panel	RR	Face Replacement	2
E02	Directional	RR	Vinyl and Paint	1
E03	Directional	RR	Face Replacement	1
E04	Channel Letters	RR	Channel Letters	1
E05	Channel Letters	RR	Channel Letters	1
E06	Channel Letters	RR	Channel Letters	1
E07	Aluminum Panel	RR	Aluminum Panel	1
E08	Door Vinyl	RR	Door Vinyl	1
E09	Door Vinyl	RR	Door Vinyl	1
I01	FCO's	RR	FCO's	1
I02	FCO's	RR	FCO's	1
I03	FCO's	RR	FCO's	1
I04	FCO's	RR	FCO's	1
I05	FCO's	RR	FCO's	1
I06	FCO's	RR	FCO's	1
I07	FCO's	RR	FCO's	1

Sign Key:
I - Interior
E - Exterior

Action Key:
RR - Remove & Replace
NI - New Install
NA - No Action
RE - Remove Existing
LLC - Landlord Controlled



Branding Summary			
Ground Signs	Allowed by Code	Proposed	Proposed % Utilized
Height (ft.):	26	n/a	n/a
Number:	n/a	3	100.0%
Square Footage (ft.):	300	n/a	n/a
Wall Signs	Allowed by Code	Proposed	Proposed % Utilized
Height (ft.):	n/a	n/a	n/a
Number:	n/a	3	n/a
Square Footage (ft.):	1,289.25	248.8	19.29%
Total Signage	Allowed by Code	Proposed	Proposed % Utilized
Number:	1	6	0
Square Footage (ft.):	1,589.25	248.8	15.65%

Branding Rationale / Comments

Ground Signs:

- Must have 100 ft of frontage to have F/S sign. 100 sq. ft. at allowable locations abutting a local or collector street.
- 200 sq. ft. at allowable locations abutting an arterial street or interstate highway.
- 300 sq. ft. at allowable locations within 200 feet of a through lane of an interstate highway and visible from the interstate highway.
- 100 sq. ft. at allowable locations abutting a local or collector street.
- 200 sq. ft. at allowable locations abutting an arterial street or interstate highway.
- 300 sq. ft. at allowable locations within 200 feet of a through lane of an interstate highway and visible from the interstate highway.

Wall Signs:

Cannot exceed 15% of a facade

Temp Signs:

n/a

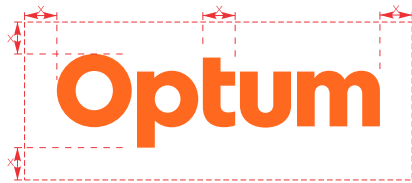
E01

Face Replacements (Qty. 2)

Remove existing faces. Install new white translucent polycarbonate face w/ first surface graphics.

COLOR/MATERIAL SPECIFICATIONS

- VINYL:
3M #3630-3247 Translucent Orange (First Surface)
- ACRYLIC:
White Polycarbonate



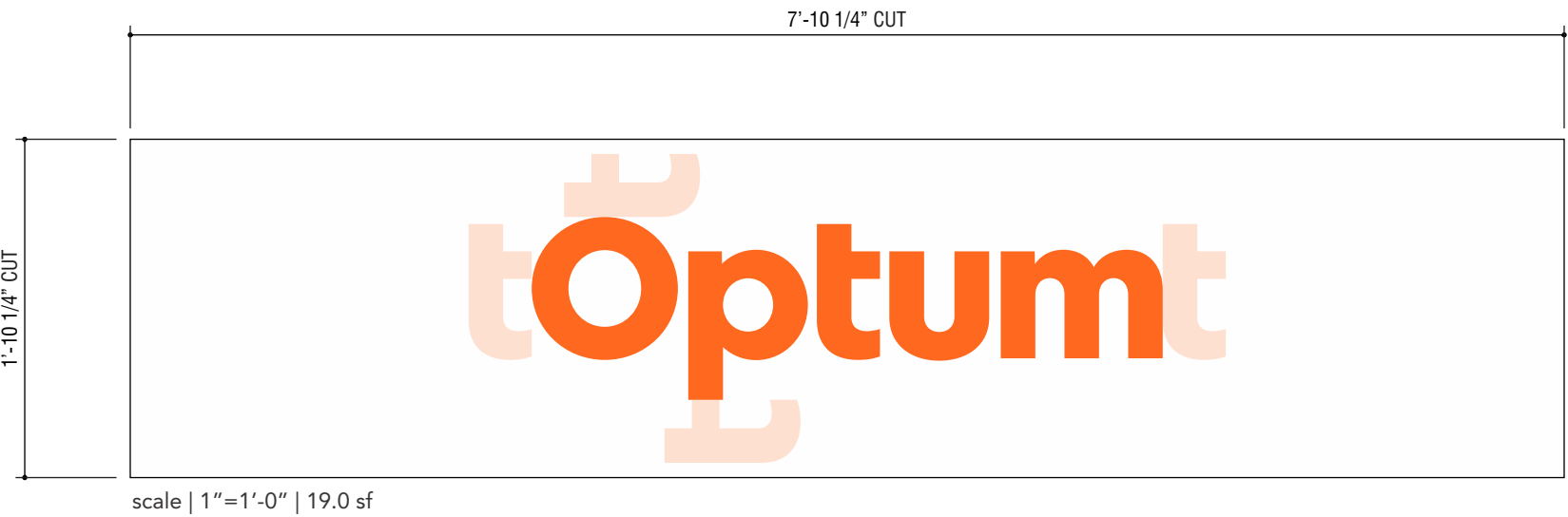
BEFORE



AFTER



Remove face and framing.



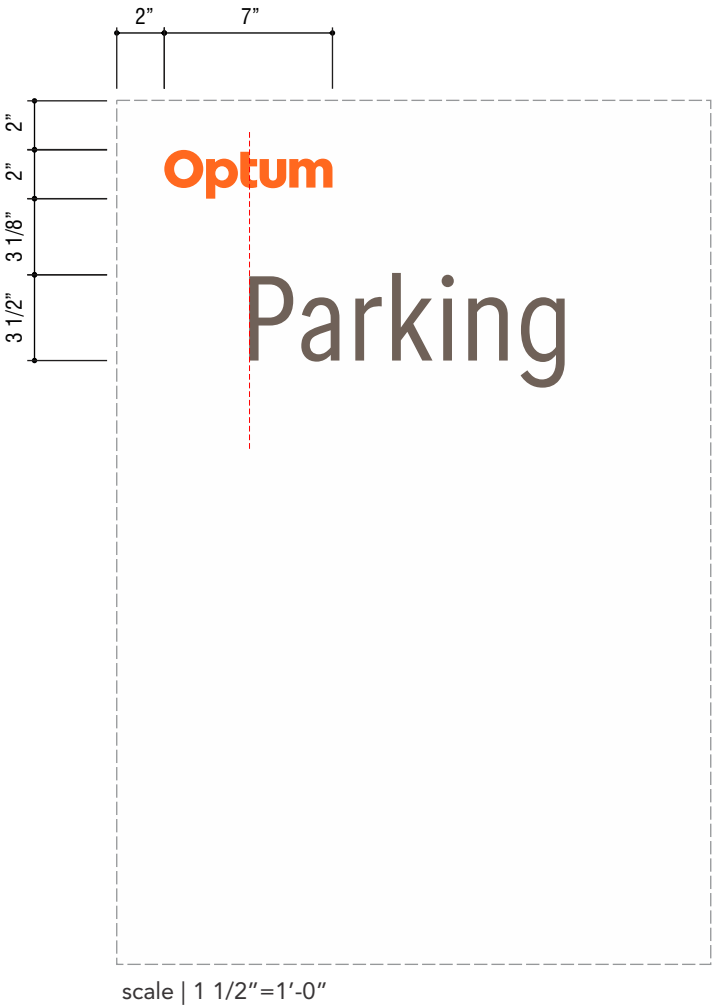
New Vinyl and Paint (Qty. 1)

Paint existing white. Install new first surface vinyl graphics.

COLOR/MATERIAL SPECIFICATIONS

- VINYL:**
Orange 3M 180MC-3289 Opaque
- VINYL:**
Opaque white printed or painted to match PMS Warm Gray 11C
- PAINT:**
White - Satin

FONT: Optum Sans Condensed



BEFORE



AFTER



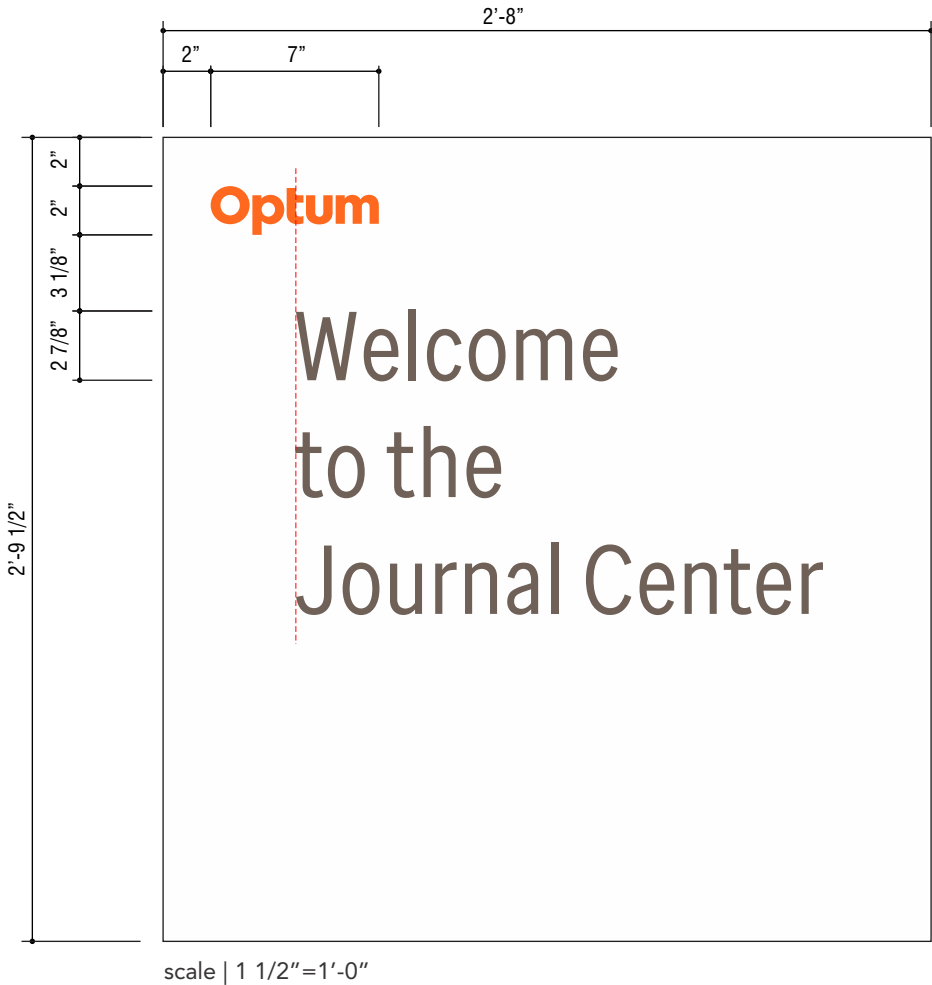
E03 Face Replacement (Qty. 1)

Remove existing face. Install new polycarbonate face w/ first surface graphics. Paint existing cabinet white.

COLOR/MATERIAL SPECIFICATIONS

- VINYL:**
Orange 3M 180MC-3289 Opaque
- VINYL:**
Opaque white printed or painted to match PMS Warm Gray 11C
- MATERIAL:**
White Polycarbonate
- PAINT:**
White - Satin

FONT: Optum Sans Condensed



BEFORE



AFTER



E04

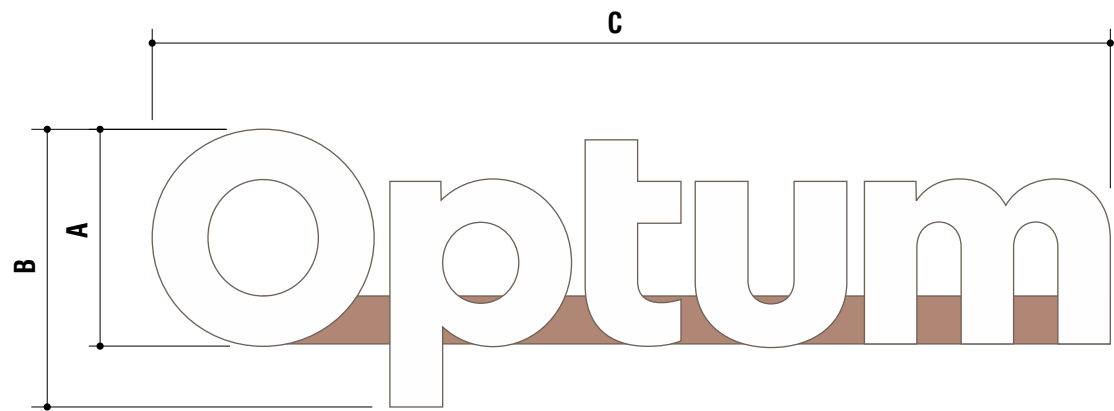
Illuminated Channel Letterset (Qty. 1)

Remove existing. Patch and paint fascia to like new condition. Install new illuminated channel letterset as shown.

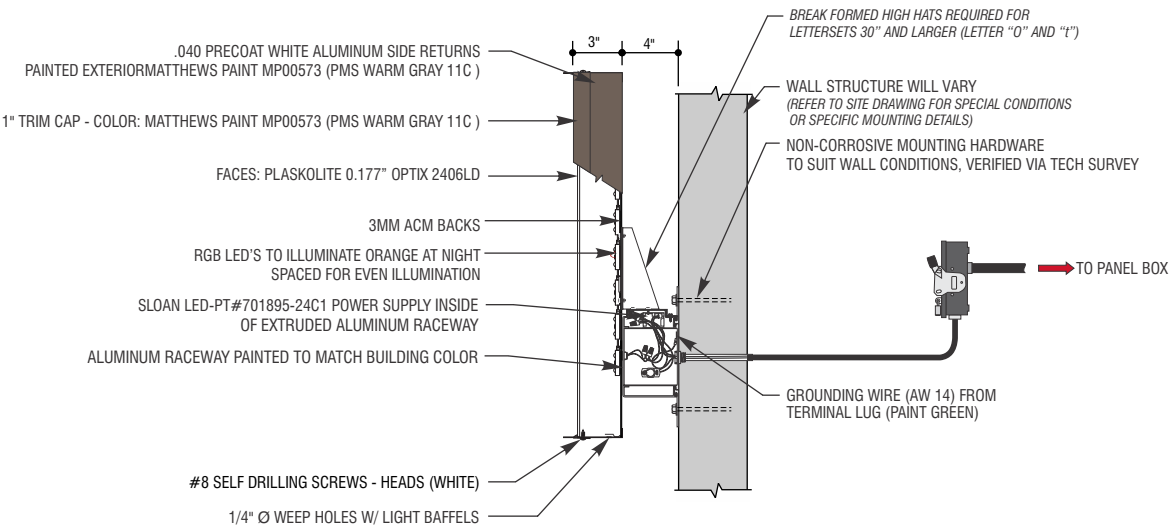
Note: GC to provide power.

COLOR/MATERIAL SPECIFICATIONS

- PAINT:**
Warm Gray Matthews Paint Mp00573 (PMS Warm Gray 11C)
- PAINT:**
SW7702 Spiced Cider



	A	B	C	sf(BxC)
OC-RCW-O-42	3'-6"	4'-6"	15'-5"	69.4



BEFORE



AFTER



Night View



E05

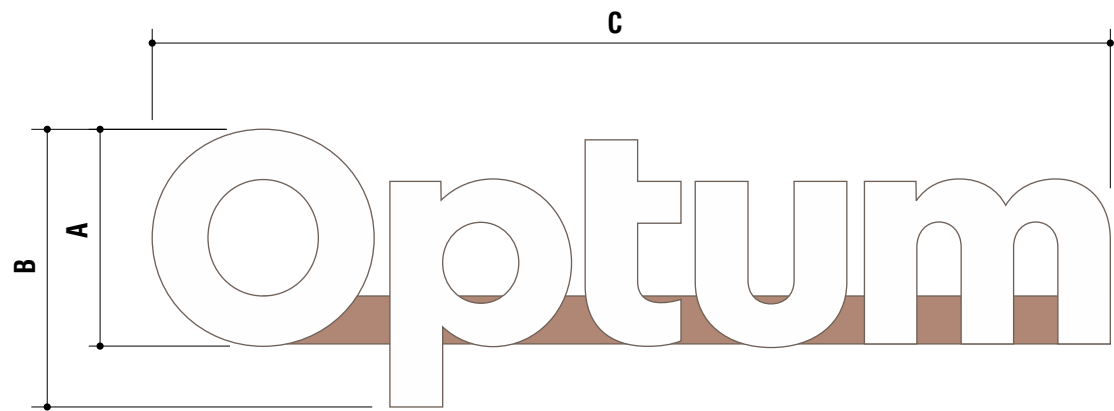
Illuminated Channel Letterset (Qty. 1)

Remove existing. Patch and paint fascia to like new condition. Install new illuminated channel letterset as shown.

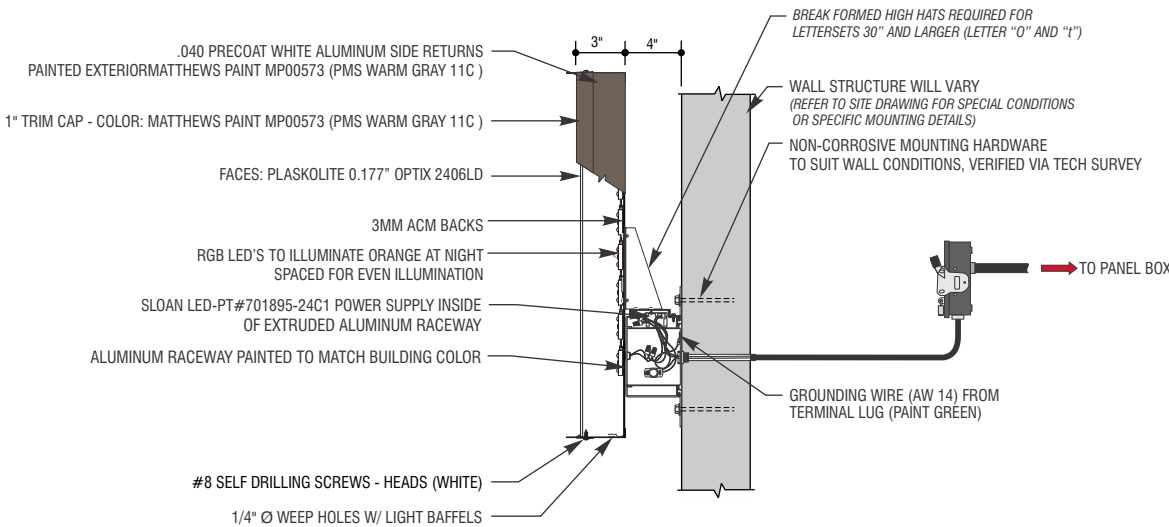
Note: GC to provide power.

COLOR/MATERIAL SPECIFICATIONS

- PAINT:**
Warm Gray Matthews Paint Mp00573 (PMS Warm Gray 11C)
- PAINT:**
SW7702 Spiced Cider



	A	B	C	sf(BxC)
OC-RCW-O-53	4'-5"	5'-7 3/4"	19'-6"	110.0



BEFORE



AFTER



BEFORE



AFTER



E06

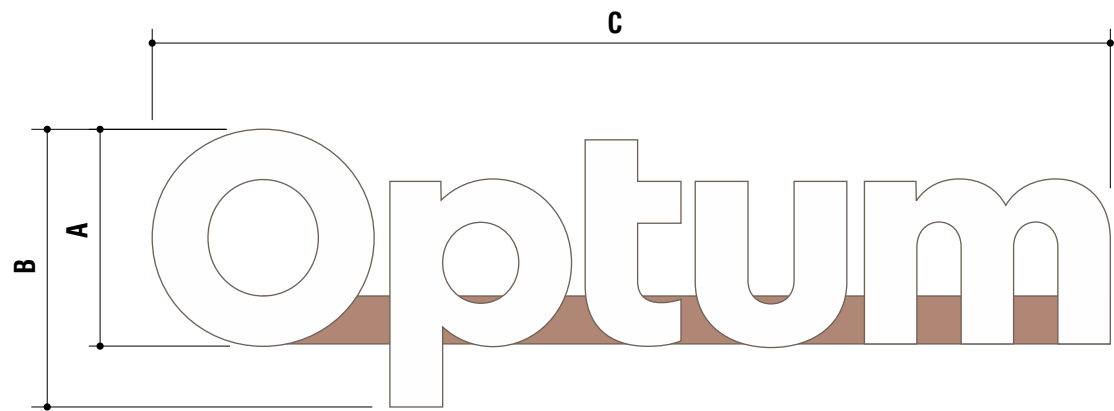
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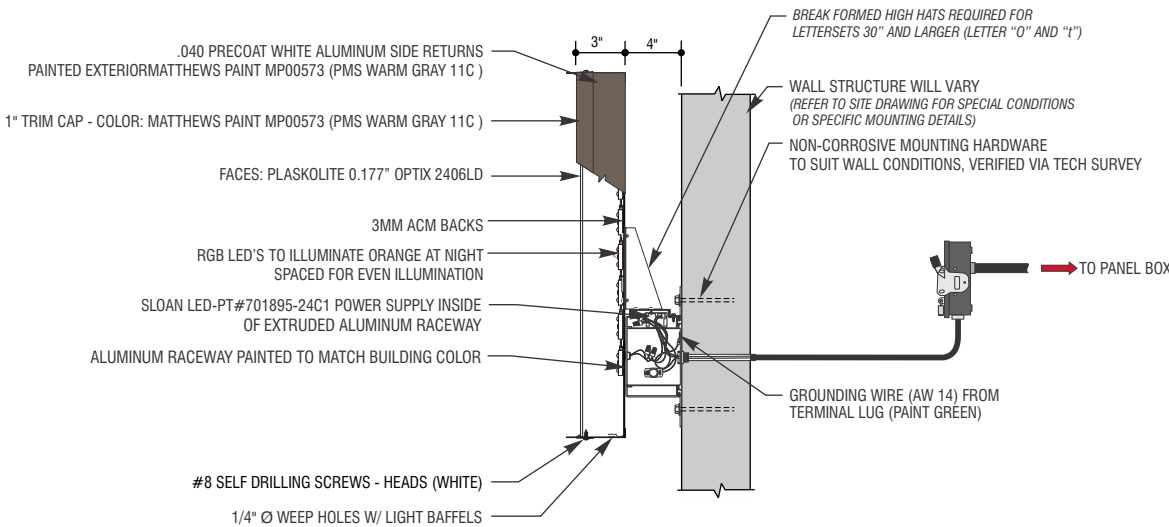
Note: GC to provide power.

COLOR/MATERIAL SPECIFICATIONS

- PAINT:**
Warm Gray Matthews Paint Mp00573 (PMS Warm Gray 11C)
- PAINT:**
SW7702 Spiced Cider



	A	B	C	sf(BxC)
OC-RCW-O-42	3'-6"	4'-6"	15'-5"	69.4



BEFORE



AFTER



AFTER



E07

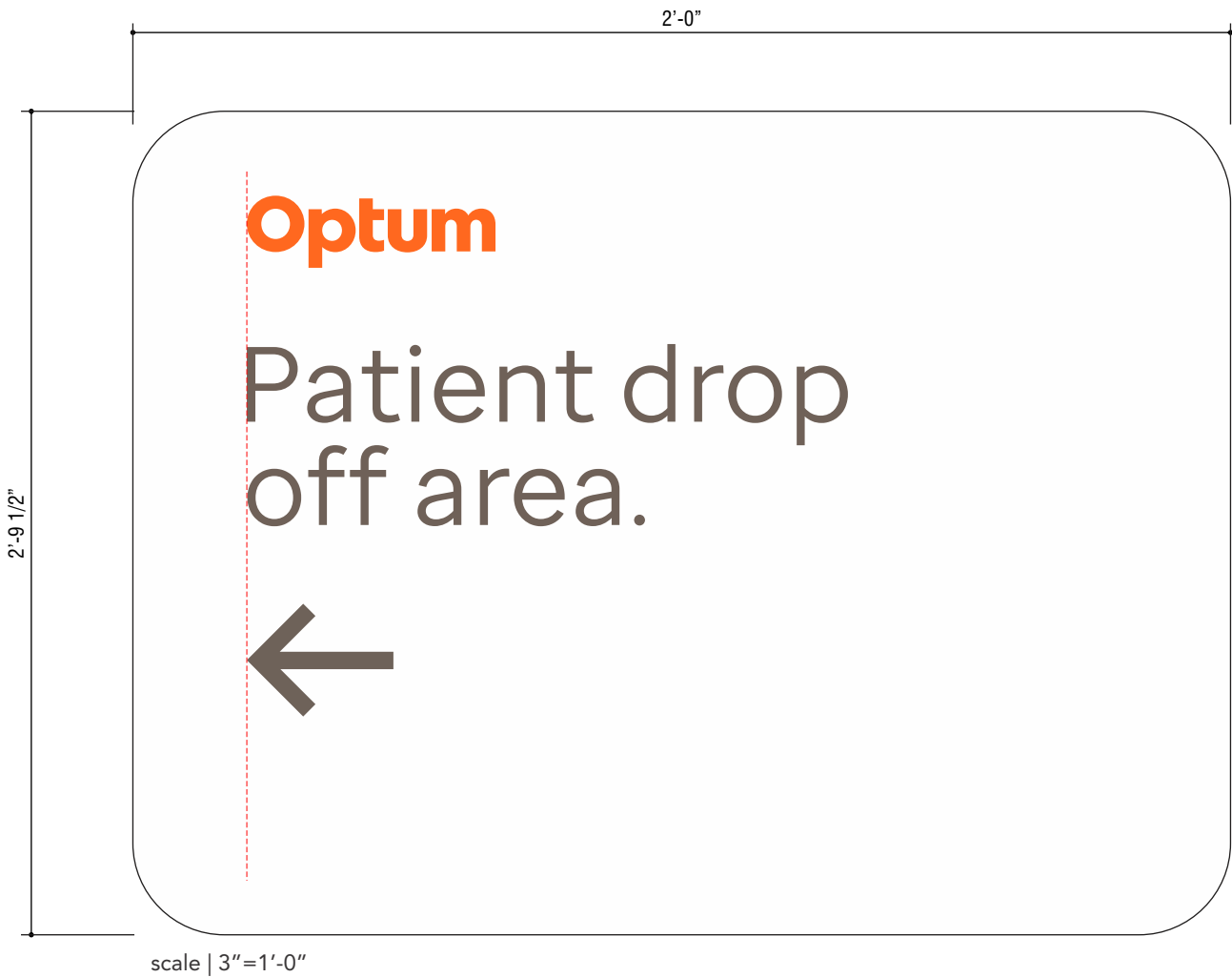
Face Replacement (Qty. 1)

Remove existing face. Install new aluminum face w/ first surface graphics.

COLOR/MATERIAL SPECIFICATIONS

- VINYL:**
Orange 3M 180MC-3289 Opaque
- VINYL:**
Opaque white printed or painted to match PMS Warm Gray 11C
- MATERIAL:**
White Aluminum

FONT: Optum Sans



BEFORE

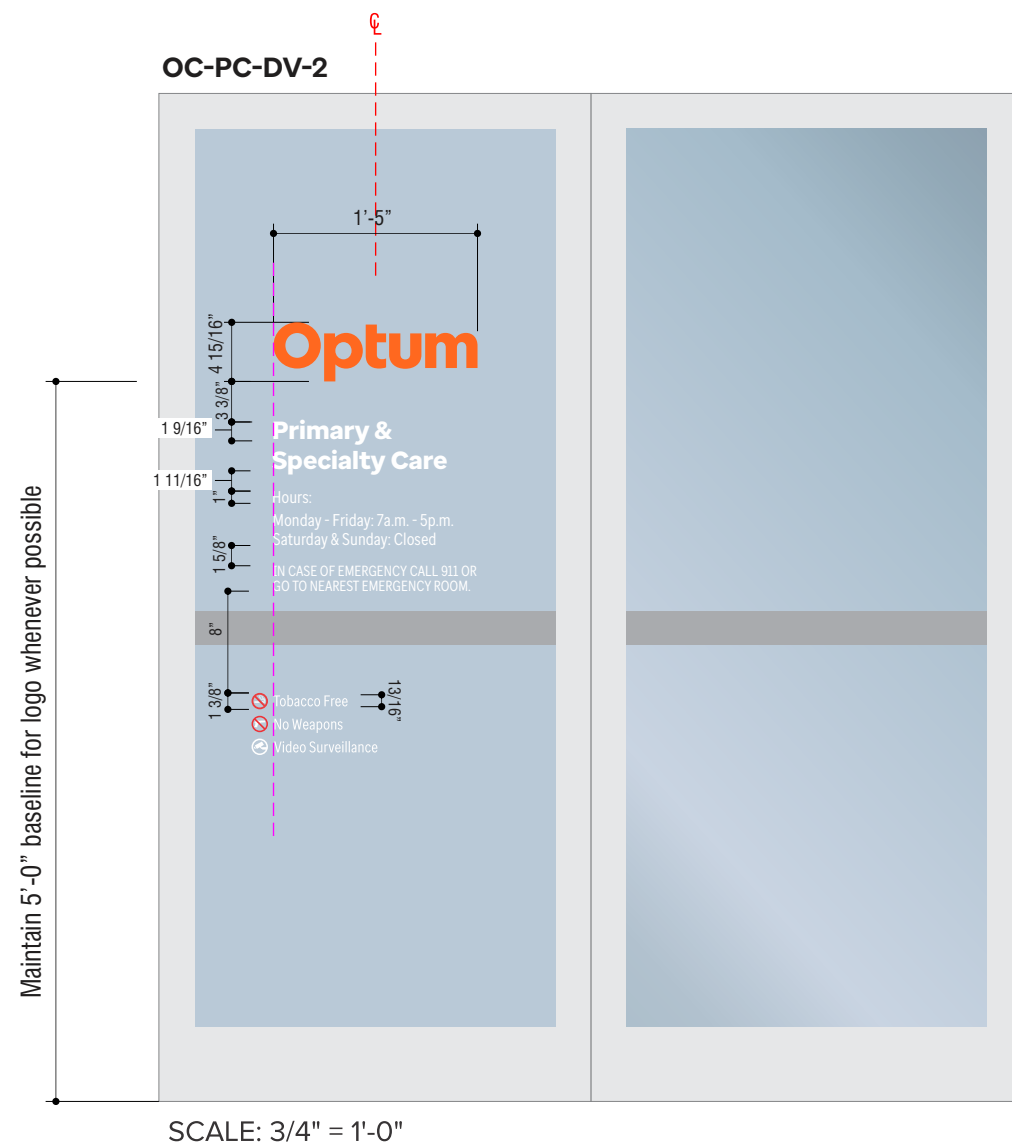


AFTER

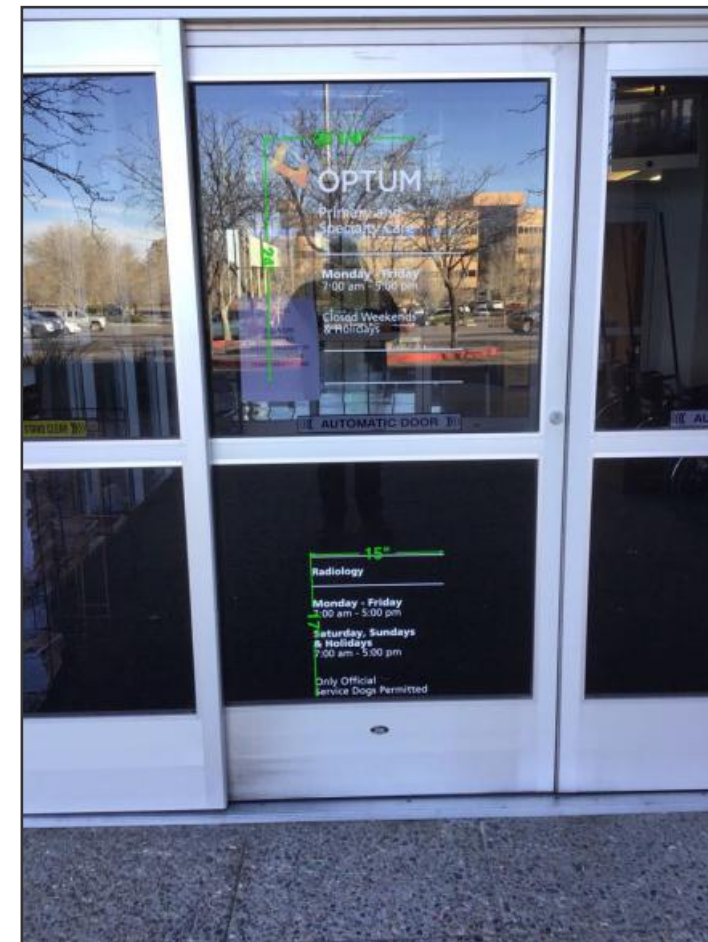


E08

Remove existing vinyl from door and clean off remaining residue. Install new custom door vinyl to first surface.



BEFORE



AFTER



COLOR/MATERIAL SPECIFICATIONS

 Optum Logo: Orange 3M 180MC-3289 Opaque

Copy: White 3M 7725-10 Opaque

 Regulatory Symbols: Digitally Printed to Optically Clear Vinyl

■ FONT: **Optum Sans XBold**
Optum Sans Condensed