

**BP-2023-34420 Minor Amendment Justification Letter – Revision 2**

7/18/2024

To Whom It May Concern:

Please consider approving BP-2023-34420 related modifications as a Minor Amendment to the approved site plan. This project is tenant improvement of an existing office building located at 14820 Central Av SE, Albuquerque, NM. The building occupancy of this facility, Group B, remains unchanged and the minor proposed changes are being pursued to meet the owner's Laboratory - Testing and Research needs. Access to the site remains unchanged and the user's intent is to keep this building and site in their current state with two minor exceptions:

1. Rooftop Installation - Rooftop deck with removable FRP railing will be added above a portion of the existing roof. At its highest elevation this deck will be approximately 18" above the existing parapet and its purpose is to house three removable research antennas. The structural frame of this deck will be comprised of steel framing members and its finishes will match the existing roofing color (gray).
2. Addition of a Fence - Telescope trailer yard with approximately 160 linear feet of 8' R-panel security fencing will be added to the southern end of the existing parking lot.

We would appreciate your quick review of this request and are prepared to answer any questions that you may have.

Sincerely,

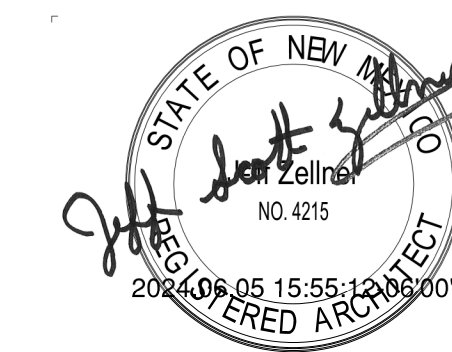
Srđan (Serge) Kalajdzic, Principal Architect
Hartman + Majewski Design Group

Attachment: Site and Elevations PDF, dated 07/18/2024



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PERMIT SET

PROJECT NAME
**GENERAL ATOMICS TI
ABQ**

14820 CENTRAL AVE, ALBUQUERQUE,
NM 87123

GENERAL ATOMICS

REVISIONS

NO.	DATE	DESCRIPTION
5	06.05.2024	TCL Revision 1
4	05.24.2024	TCL
3	11.17.2023	City Comment Response
2	10.30.2023	Addendum 2
1	10.23.2023	Addendum 1

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Drawn by _____ MM
Checked by _____ SK
Date 10/23/2023
Project number 2728

SHEET TITLE

SITE PLAN

SHEET NUMBER

AS101

Site and Elevations - Page 1
H+Mdg, 07/18/2024

1 SHEET KEYED NOTES	REFERENCE KEYED NOTES
NOTE: SHEET KEYNOTES NOT SEQUENTIAL. 1 8 EXISTING TO REMAIN. EXISTING TRASH ENCLOSURE TO REMAIN.	26 00 00.A01 NEW LIGHT FIXTURE, SEE ELECTRICAL. 26 00 00.A04 NEW GENERATOR AND PAD, SEE ELECTRICAL. 32 31 13.A01 8" TALL CHAIN LINK FENCING WITH PRIVACY SLATS, 16" BARBED WIRE EXTENSION ABOVE, ANGLED OUT. 32 31 13.B03 FIELD VERIFY GENERATOR ACCESS CLEARANCE AND CLEAR AREA REQUIREMENTS. PROVIDE SWING GATE WITH PADLOCK AS NEEDED TO PROVIDE ACCESS, AND MODIFY PRIVACY SCREENING INSTALLATION AS NECESSARY TO COMPLY WITH MANUFACTURER'S REQUIREMENTS. 32 31 13.B05 FIELD VERIFY MECHANICAL EQUIPMENT CLEARANCE AND CLEAR AREA REQUIREMENTS. PROVIDE ACCESS DOORS AND MODIFY PRIVACY SCREENING INSTALLATION AS NECESSARY TO COMPLY WITH MANUFACTURER'S REQUIREMENTS.

**TRAFFIC CIRCULATION
LAYOUT APPROVED**
Sertil A. Kanbar 6/7/2024
Signed _____ Date _____

GENERAL SHEET NOTES

- FIELD VERIFY DIMENSIONS AND LAYOUT OF EXISTING SITE AND BUILDING ELEMENTS.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING SHEETS FOR ADDITIONAL SITE INFORMATION AND/OR WORK NOT SHOWN.
- LANDSCAPING APPROVED FOR THE ORIGINAL PROJECT SHALL BE MAINTAINED OR RESTORED TO THAT LEVEL OF COMPLETION.
- GOAL OF THIS PROJECT IS TO MAINTAIN THE EXISTING SITE FEATURES AND TO ADD SECURITY FENCING AROUND THE EXISTING MECHANICAL YARD AND RESEARCH PAD AT THE SOUTH END OF THE SITE.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

IDO ZONE: NR-C
MIN. FRONT SETBACK: 5'
MIN. SIDE/REAR SETBACK: 0'
MAX HEIGHT: 38'

GENERAL ZONING COMPLIANCE REQUIREMENTS:

SITE LIGHTING LUMINAIRES LIMITED TO 20 FT. HIGH

STORMWATER TO BE MANAGED PER 14-16-5-4(H)

GRADING TO BE DESIGNED PER 14-16-5-4(J)

ALL WALLS, FENCES, RETAINING WALLS TO COMPLY WITH 14-16-5-7

PARKING FOR OFFICE OCCUPANCY (RESEARCH FACILITY)
IDO REQUIRES 1.5 SPACES/1,000 SF GFA
11,837 GFA - 11,841.5 = 17.76

ORIGINAL SPACES 50
SPACES REQUIRED 18
SPACES PROVIDED 41

MINIMUM NUMBER OF PARKING SPACES:
VEHICLES 18 REQUIRED / 41 PROVIDED
ACCESSIBLE 2 REQUIRED / 2 PROVIDED
MOTORCYCLES 1 REQUIRED / 1 PROVIDED
BYCYCLES 3 REQUIRED / 3 PROVIDED

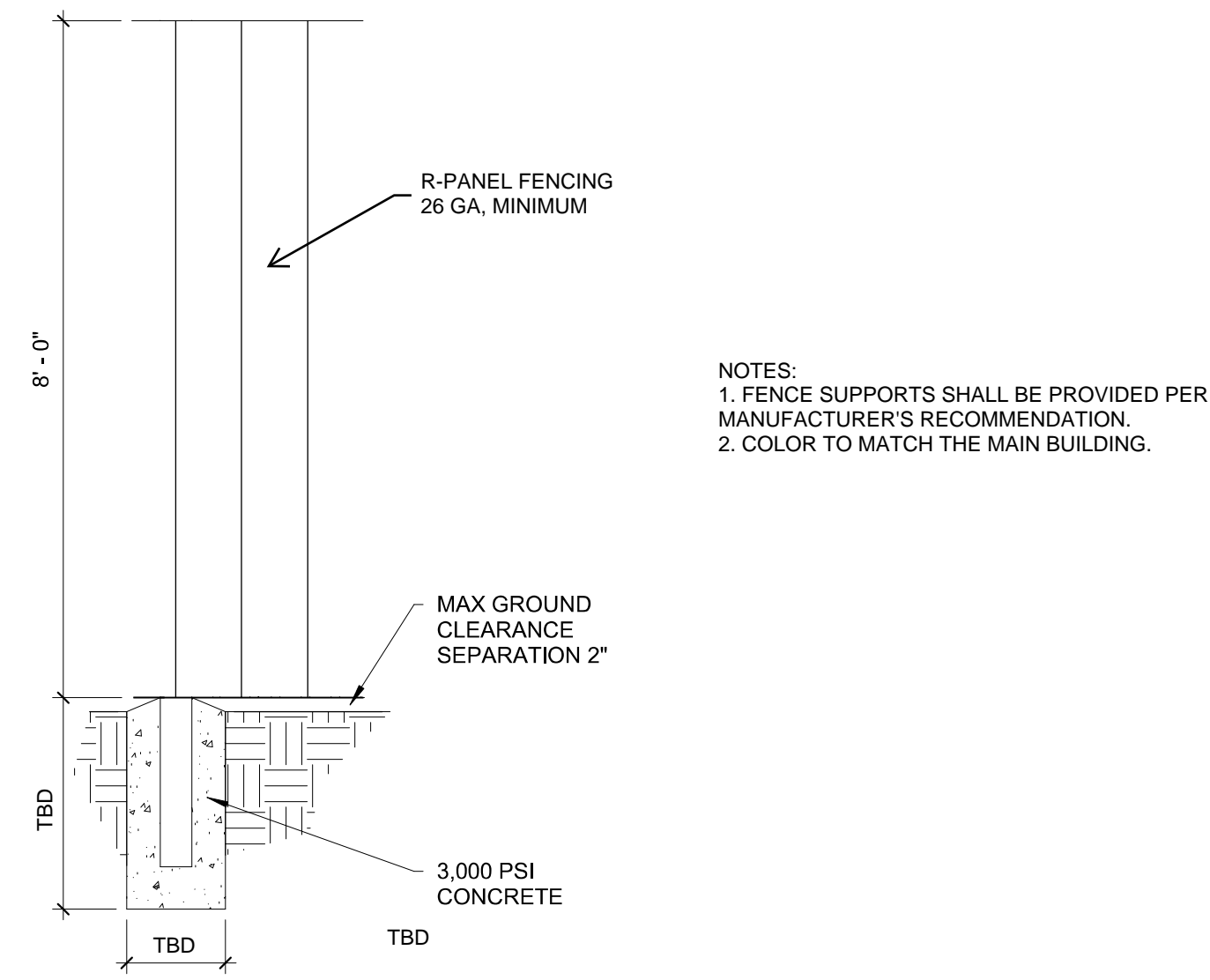
ADA NOTES:
1. THE ADA ACCESS AISLE SHALL HAVE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED (66-1-4.1.8 NMSA 1978).
2. THE ADA ACCESSIBLE PARKING SIGN MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND OR TOWING".

FENCING:
1. ALL NEW FENCING SHALL BE 8" CHAINLINK WITH 3-STRAND BARBED WIRE TOPPING.
2. MAIN BUILDING, NORTH SIDE - 175 LINEAR FEET.
3. TELESCOPE YARD - 160 LINEAR FEET.



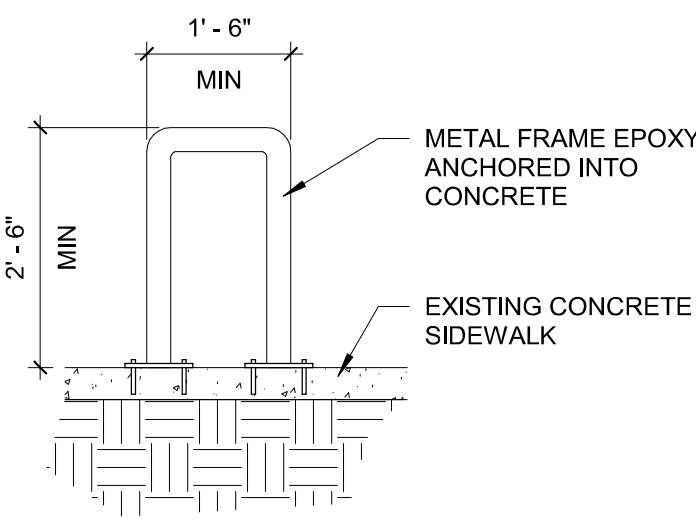
RESERVED PARKING SIGN

TYPICAL FENCE SECTION



NOTES:
1. FENCE SUPPORTS SHALL BE PROVIDED PER MANUFACTURER'S RECOMMENDATION.
2. COLOR TO MATCH THE MAIN BUILDING.

TYPICAL BIKE RACK



CENTRAL AVENUE

BUILDINGS ON NORTH
SIDE OF SITE BY
OTHER TENANT - NOT
PART OF PROJECT
SCOPE.

ZONE C
THE EXISTING
BUILDING FOOTPRINT
AND PARKING
LOT/DRIVE ARE TO
REMAIN UNCHANGED
UNDER PROJECT
SCOPE.

BACK AND SIDE
SETBACK = 0'
FRONT SETBACK = 5'
NO CHANGES.

EXISTING
UNINCORPORATED
ADJACENT SITE

A1 OVERALL SITE PLAN
1" = 60'-0"

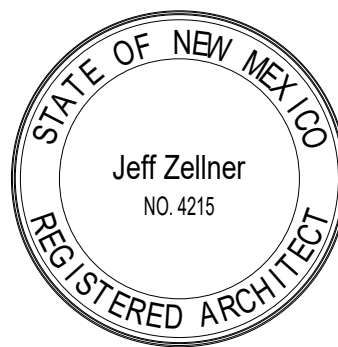
A3 SITE PLAN
1" = 20'-0"



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NM 87123

GENERAL ATOMICS

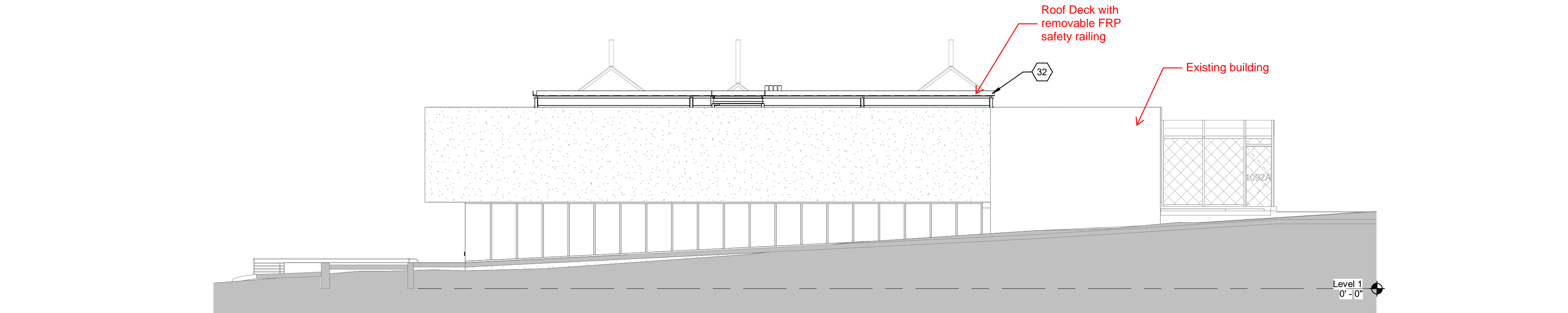
GENERAL SHEET NOTES

- A. FIELD VERIFY DIMENSIONS AND LAYOUT OF SITE AND BUILDING ELEMENTS.
B. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
C. EXISTING EXTERIOR STUCCO FINISHES TO REMAIN.

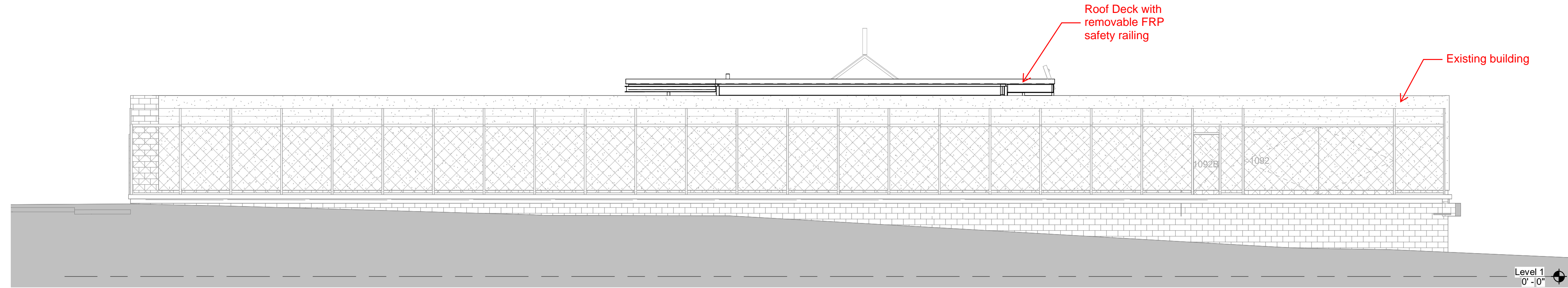
1 SHEET KEYED NOTES

NOTE: SHEET KEYNOTES NOT SEQUENTIAL.

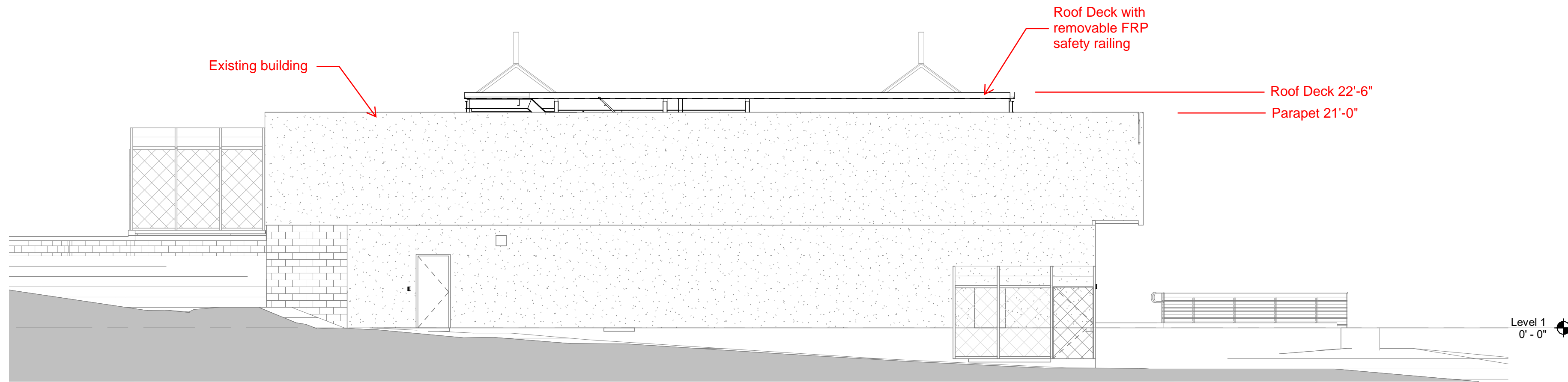
- 32 FIELD VERIFY ELEVATION OF HIGH POINT OF STANDING SEAM ROOFING. FINISHED SURFACE OF ROOF PLATFORM TO BE 2'-2" HIGHER.



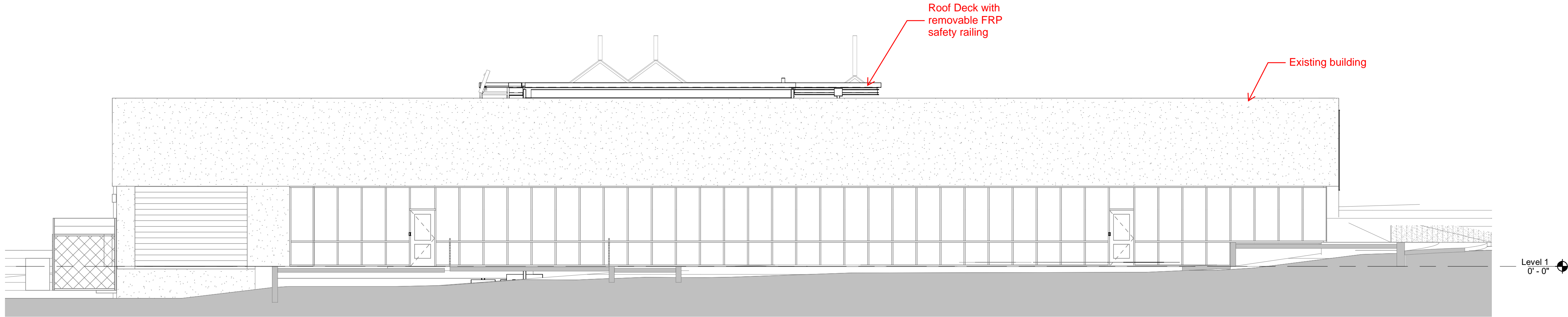
D2 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



C2 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



B2 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



A2 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

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Drawn by MM
Checked by SK
Date 10/23/2023
Project number 2728

SHEET TITLE

BUILDING ELEVATIONS

SHEET NUMBER

A-201

Site and Elevations - Page 2
H+Mdg, 07/18/2024