



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST

Amend an approved DRB Site Plan to modify the site layout and modify the existing rear elevations.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

### LOCATION OF PROPERTY BY STREETS

Site Address/Street:	Between:	and:
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### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: <i>Regina Okoye</i>	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project #

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS****\_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Archaeological Compliance Form with property information section completed
- \_\_\_ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**\_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

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- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

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- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- \_\_\_ 6) The approved Site Plan being amended
- \_\_\_ 7) Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ 8) The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information need on the proposed Site Plan*

*Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request*

**\_ ACCELERATED EXPIRATION OF SITE PLAN**

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- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 6) Site Plan to be Expired

**\_ ALTERNATIVE SIGNAGE PLAN**

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- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- \_\_\_ 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- \_\_\_ 7) Sign Posting Agreement
- \_\_\_ 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
  - \_\_\_ Office of Neighborhood Coordination notice inquiry response
  - \_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
  - \_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

**\_ ALTERNATIVE LANDSCAPING PLAN**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) Development Review application form completed, signed, and dated
- \_\_\_ 2) Form P3 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- \_\_\_ 6) Landscape Plan



City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**Re: Agent Authorization Notice – 5001 Montgomery BLVD NE, Albuquerque NM 87109**

To Whom It May Concern,

Montgomery Plaza Partners LLC c/o Scott Goodman, hereby authorizes Angela Williamson, CEO with Modulus Architects to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at: 5001 Montgomery BLVD NE, Albuquerque NM 87109 legally described as:

TR D-1-A PLAT OF TRS D-1-A & D-1-B MONTGOMERY PLAZA (BEING REPL OF TR D-1 MONTGOMERY PLAZA) CONT 16.7682 AC.

This authorization is valid until further written notice from Montgomery Plaza Partners LLC c/o Scott Goodman or Angela Williamson, CEO with Modulus Architects (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for this Administrative Amendment.

Sincerely,

*Scott Goodman*  
Montgomery Plaza Partners, LLC  
c/o Scott Goodman  
100 Sun AVE NE Suite 100  
Albuquerque, NM 87109  
sgoodman@goodmanrealty.com



September 27, 2024

Current Planning Department Director  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW,  
Albuquerque, NM 87102

**RE: PROJECT – 5001 MONTGOMERY BLVD NE, NW CORNOR OF  
MONTGOMERY BLVD & SAN MATEO BLVD NE (MONTGOMERY PLAZA) –  
ALBUQUERQUE, NM. 87109**

**FILE: Z-87-93**

**ADMINISTRATIVE AMENDMENT TO SITE PLAN FOR BUILDING PERMIT**

Dear Mr. Voss,

Modulus Architects, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Montgomery Plaza Partners, LLC., hereafter referred to as “Applicant.” We, “Agent” are requesting approval for this submittal to amend the approved Site Plan to modify the site layout and amend the existing elevations. The site is located 5001 Montgomery BLVD NE, Albuquerque NM 87109. The parcel (the “subject site”) is 16.77 acres in size, zoned MX-M and is located on the northwest corner of Montgomery BLVD & San Mateo Blvd NE.

The subject site is fully constructed and the proposed redevelopment will consist of a Hibbett Sport store. At this time, we are requesting an Administrative Amendment to the approved Site Development Plan that was approved through the Environmental Planning Commission (File: Z-87-93) in 1987. This submittal addresses a proposed Administrative Amendment (AA) for Lot D1A. The proposed changes to the site have been outlined below. All changes meet the IDO and the DPM standards. This minor amendment request falls within the thresholds established in IDO Table 6-4-5. The most recent AA (SI-2022-01769) for this site was approved on 10/13/2022 and has been included in this application.

Our submittal includes the most recent approved Site Plan & Elevations, the amended Site Development Plan and the amended Elevations. The minor changes are listed below. Changes to the overall Site Development Plan package are identified in the AA drawings via bubbled areas.

**Site Development Plan:**

1. A new concrete ramp with railing has been located at the rear of the building. This will be used to service the tenant.



**Elevation Plan:**

1. The elevations that include a service ramp with railing has been included. The ramp is located at the rear of the building.
2. A existing single door will be romove and prlace with a double metal door.

6-4(X)(2) Minor Amendments

6-4(X)(2)(a) A minor amendment must meet all of the following criteria.

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.

**Applicant Response:**

**The user or use was unknown at the time of original approval. The most recnt sife was not approved for a specific tenant. There is now a tenant being proposed (Hibbett Sport).**

2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments).

**Applicant Response:**

**The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 (cumulative of any earlier deviations or amendments). Please see section "Amendment Scope" section above.**

3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.

**Applicant Response:**

**This is not applicable as it is a commercial development.**

4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.

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8220 San Pedro Dr. NE, Suite 520 (Paseo Nuevo Building)

Albuquerque, NM 87113

Phone: 505.338.1499 Fax: 505.338.1498

[www.modulusarchitects.com](http://www.modulusarchitects.com)



**Applicant Response:**

**This is not applicable as we are not changing any building setbacks.**

5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan. If the property is located in a DT-UC-MS-PT area, the amendment does not decrease the required number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.

**Applicant Response:**

**This is not applicable as it is a commercial development.**

6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.

**Applicant Response:**

**The amendment modifies the approved elevations in order to accommodate minor changes to the façade for the new tenant. The changes are on the rear of the building and is not facing a street.**

7. The amendment does not reduce the amount of total landscaping installed on the subject property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

**Applicant Response:**

**The amendment does not reduce the amount of total landscaping installed. We are not modifying the landscaping in any manner.**

8. The amendment does not increase the traffic accessing the subject property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

**Applicant Response:**

**This amendment does not increase traffic as this existing building site will not be expanded with this request and we are only adding a ramp for the function of the tenant.**



9. The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property.

**Applicant Response:**

**The amendment does not require major public infrastructure or significant changes to access or circulation patterns on the subject property. This access and circulation will remain as is. The current drive isles and parking are constructed. The minor modification is for delivery purposes at the rear of the building and does not have a significant effect on the circulation patterns.**

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the subject property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

**Applicant Response:**

**This amendment does not change specific conditions of approval. All conditions of approval were addressed before final sign-off.**

11. The amendment does not affect a property in an Overlay zone, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

**Applicant Response:**

**This site is not within an overlay zone.**

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the subject property.

**Applicant Response:**

**The a retail use is permissive per the IDO and the site plan approval.**

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

**Applicant Response:**

**Not applicable. There are no nonconformities on this site that will be expanded with this request.**



I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: [rokoye@modulusarchitects.com](mailto:rokoye@modulusarchitects.com)

Best Regards,

**Regina Okoye, Vice President**

**Modulus Architects & Land Use Planning, Inc.**

8220 San Pedro Dr. NE, Suite 520 (Paseo Nuevo Building)

Albuquerque, New Mexico 87113

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686

Direct: 505.808.3868

**Email:** [rokoye@modulusarchitects.com](mailto:rokoye@modulusarchitects.com)



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Albuquerque, NM 87113

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**APPROVED SITE PLAN BEING AMENDED**

# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2022-01769

**PROJECT #:** PR-2020-003287

Modifications to site layout and amendment to existing rear building elevations to

add loading dock; Redevelopment of existing shopping center; Reduction of

parking spaces at rear of building.



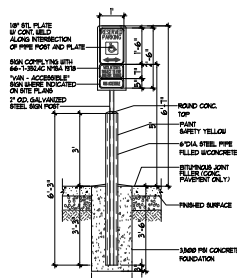
Digitally signed by James M. Aranda  
DN: cn=James M. Aranda, o=City of Albuquerque,  
ou=Planning Department, email=jmaranda@cabq.gov, c=US  
Date: 2022.10.13 10:00:49 -06'00'

10/13/2022

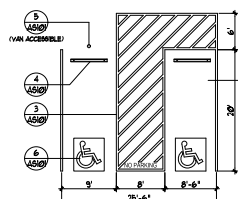
**APPROVED BY**

**DATE**

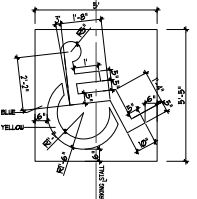
2 ENLARGED SITE PLAN  
SCALE: 1" = 20'



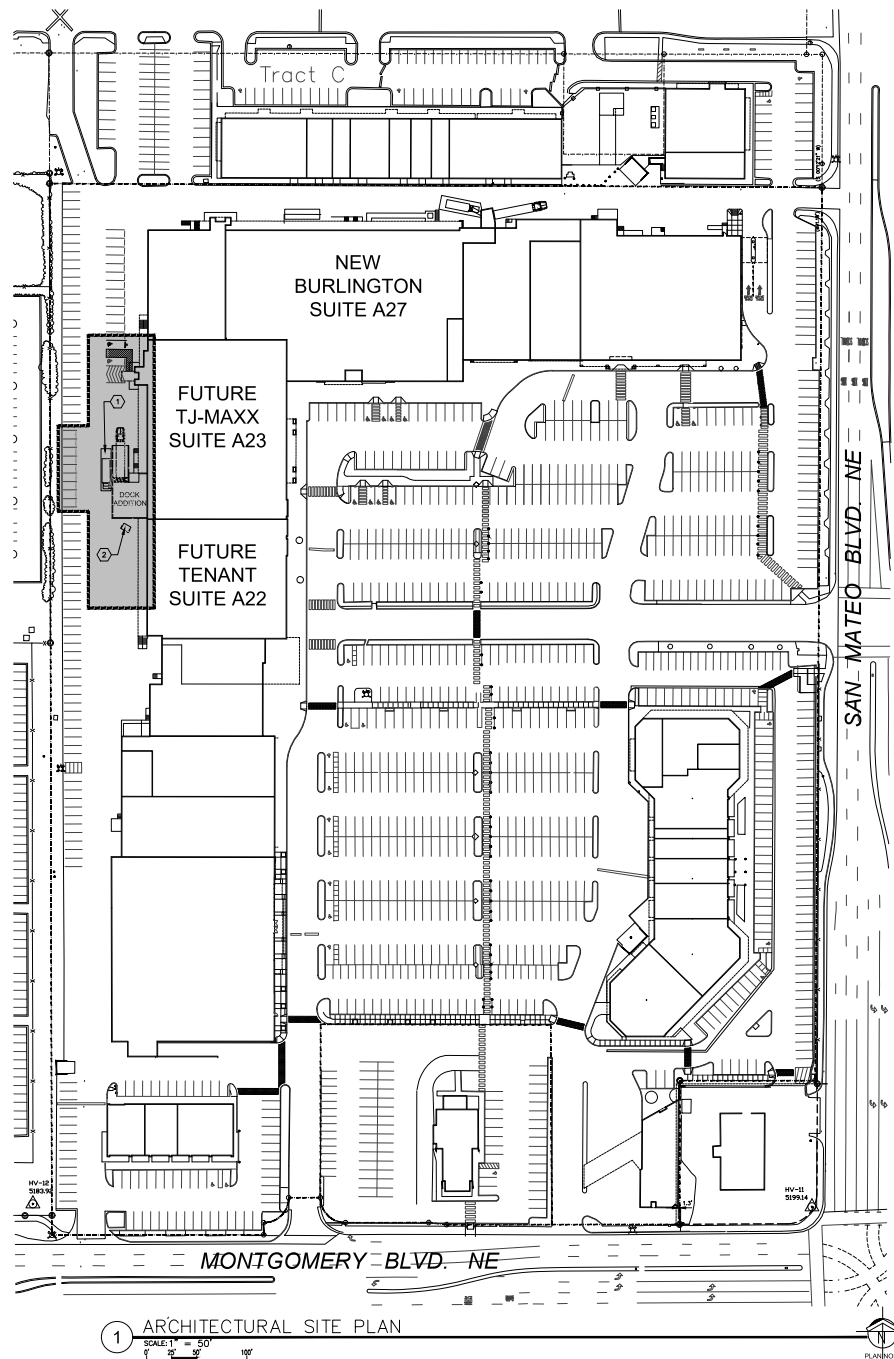
5 H.C SIGNAGE



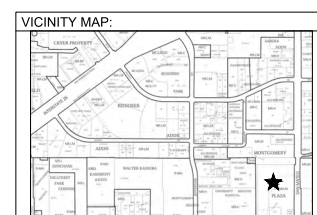
7 H.C PARKING PLAN DETAIL



6 H.C SIGNAGE



1 ARCHITECTURAL SITE PLAN



<b>SITE DATA:</b>	
PROJECT ADDRESS:	5100 MONTGOMERY BLVD. NE
LEGAL DESCRIPTION:	TRACT D-1-A OF TRACTS D-1-A & D-1-B MONTGOMERY PLAZA
PROPERTY SIZE:	16.77 ACRES
CURRENT ZONING:	MX-M (MODERATE INTENSITY)
PROPOSED USE:	COMMERCIAL RETAIL
TOTAL BUILDING SIZE:	191,200 SF
TOTAL RENOVATION AREA:	40,038 SF
TOTAL ADDITION AREA:	2,260 SF

GENERAL NOTES

PARKING REQUIREMENTS				
MANAGEMENT PLAZA USE(S)	SQ. FT.	REQUIRED RATIO	TOTAL PARKING REQ'D	TOTAL PARKING PROVIDED
A - SHOPS	27,022	4 SPACES/1,000 SQ.FT. GFA	108	
B - COMMERCIAL	6,722	4 SPACES/1,000 SQ.FT. GFA	28	
C - BANK	3,672	3 SPACES/1,000 SQ.FT. GFA	10	
D - RESTAURANT	2,819	8 SPACES/1,000 SQ.FT. GFA	24	
E - RETAIL	140,108	4 SPACES/1,000 SQ.FT. GFA	560	
F - LOWER LEVEL STORAGE*	51,062	1 SPACE/1,000 SQ.FT. GFA	17	
TOTAL SQUARE FOOTAGE	231,550		747	1,111

\* LOWER LEVEL STORAGE IN 1,111 SPACES

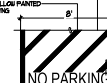
KEYED NOTES
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1. NEW LOADING AND UNLOADING, RECYCLE COMPACTOR AND CONCRETE PAD, SEE ENLARGED PLAN 1/A102 FOR DETAILS.
2. EXISTING TRASH DUMPSTER TO REMAIN FOR USE BY 12-MAX OR SLITE A23 TENANT.
3. EXISTING PARKING SPACES TO BE REMOVED/BLACKED OUT, TOTAL OF 23 SPACES.
4. EXISTING PARKING SPACES TO BE REDUCED TO 15' LENGTH, BLACK OUT STRIPING BEYOND 15' AND ADD "COMPACT" PAVEMENT MARKING 12' HIGH AT END OF PARKING SPACE. TYPICAL OF 9 SPACES.
5. ADD NEW ACCESSIBLE PARKING SPACE PER DETAIL 7/A101.

GRAPHIC LEGEND

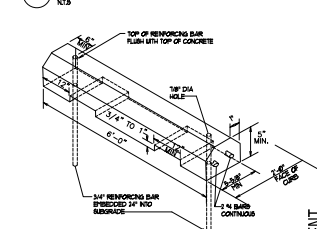


NOTE 5: STRIPING AT NON-VAN ACCESSIBLE PARKING LOCATIONS



—“NO PARKING” PAYMENT  
MARKING IN CAPITAL LETTERS  
EACH OF WHICH SHALL BE  
75 HIGH & 25 WIDE, AT END OF

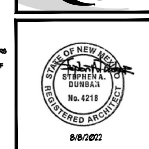
3 H.C. PARKING AISLE PAINT DETAIL



4 WHEEL STOP

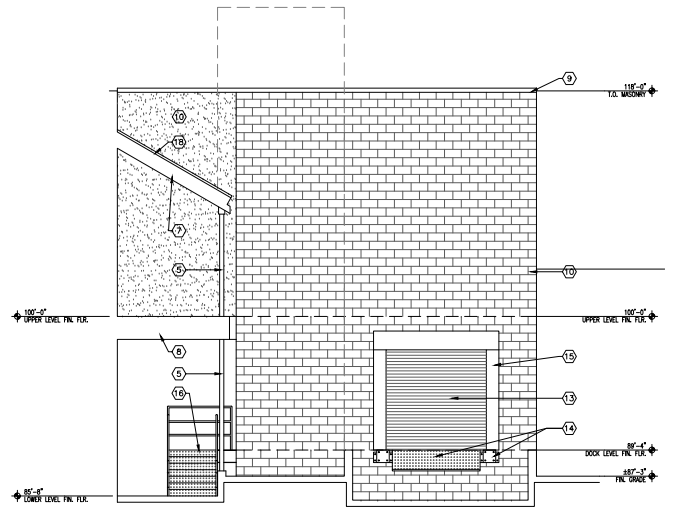
REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
	09/08/2021	CDC	ADMINISTRATIVE AMENDMENT FOR DOCK ADDITION

**MODULUS ARCHITECTS**  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

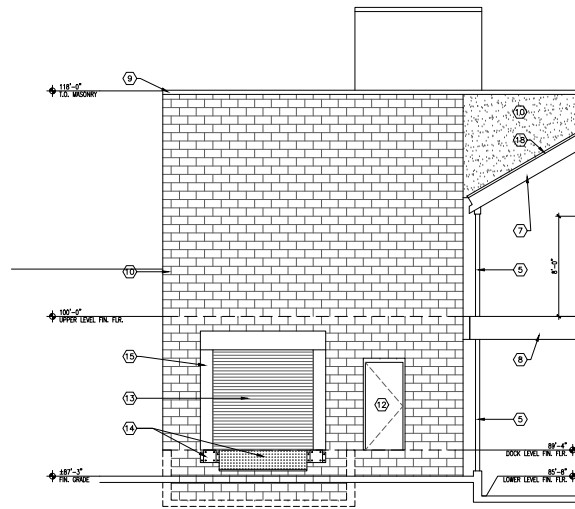


PROJECT TITLE		JOB NO.		DRAWN BY:	
LL SHELL ALTERATIONS & ADDITION		..		CDC	
5001 MONTGOMERY BLVD. NE, SUITES 422 & 423					
ALBUQUERQUE, NM					
PROJECT NUMBER		STEPHEN DUNBAR, AIA		SHEET TITLE	
				ARCHITECTURAL SITE PLAN	

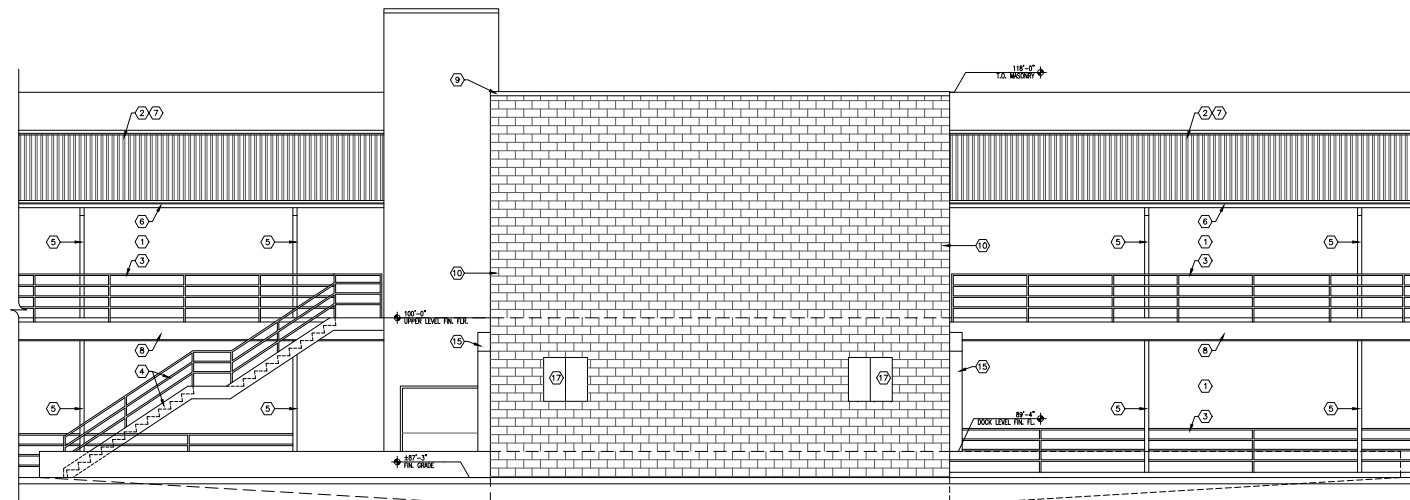
DATE:	08/08/2022	sheet-	-
SCALE:	AS NOTED	AS	10



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

#### GENERAL NOTES:

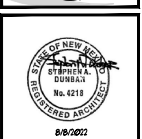
- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CMU UNLESS NOTED OTHERWISE.
- REFER TO SHEET 0-001 FOR REFERENCE SYMBOLS.
- DASH DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED.

#### KEYED NOTES:

- EXISTING CMU TO REMAIN
- EXISTING METAL ROOF TO REMAIN
- EXISTING PIPE RAIL TO REMAIN
- EXISTING METAL STAIR AND RAILING TO REMAIN
- EXISTING STEEL COLUMNS TO REMAIN
- EXISTING METAL GUTTER TO REMAIN
- EXISTING ROOF STRUCTURE TO REMAIN
- EXISTING CATWALK STRUCTURE TO REMAIN
- PRE-FINISHED METAL PARAPET COPING, COLOR TO MATCH ADJACENT FINISH
- PAINTED CMU, COLOR TO MATCH ADJACENT BUILDING
- 2-COAT STUCCO SYSTEM, COLOR TO MATCH ADJACENT BUILDING
- HOLLOW METAL DOOR AND FRAME AS SCHEDULED, PAINT TO MATCH ADJACENT FINISH
- ROLLING METAL SERVICE DOOR AS SCHEDULED, PAINT TO MATCH ADJACENT FINISH
- DOOR BUMPER AND EDGE-OF-DOOR LEVELER
- DOOR SEAL
- METAL STAIR WITH DIAMOND PLATE TREADS AND RISERS, REFER TO STRUCTURAL FOR DETAILS
- IF PAINTING COMPACTOR DOORS AS SCHEDULED, PAINT TO MATCH ADJACENT FINISH
- METAL RAKE FLASHING @ TRANSITION TO EXISTING METAL ROOFING

REVISION	DATE	BY

**MODULUS ARCHITECTS**  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT: LL SHELL ALTERATIONS & ADDITION  
500 MONTEFLORE BLVD. NE, SUITES A22 & A23  
ALBUQUERQUE, NM  
PROJECT MANAGER: STEPHEN DUNN, AIA  
DRAWN BY: CDC  
SCALE: AS NOTED

DATE: 08/08/2012  
SHEET TITLE: EXTERIOR ELEVATIONS

DATE: 08/08/2012  
SCALE: AS NOTED  
SHEET TITLE: EXTERIOR ELEVATIONS

**OFFICIAL NOTICE OF DECISION  
ASSOCIATED WITH THE PRIOR  
APPROVAL**

City of Albuquerque  
Planning Department  
Planning Division  
P.O. Box 1293, Albuquerque, New Mexico 87103

Trammell Crow Company  
P.O. Box 25346  
Albuquerque, NM 87125

Date: July 22, 1987

NOTIFICATION OF DECISION

pg 1 of 2

File: Z-87-93

Location: Tract D Montgomery Plaza located north of Montgomery Boulevard between San Mateo Boulevard and Jefferson Street N.E. and containing approximately 17.97 acres (F-17).

On July 16, 1987, the Environmental Planning Commission voted to approve a change of zone from C-2 to SU-1 for C-2 with Warehousing based on the following Findings:

Findings:

Zone Change

1. The requested zone change from C-2 to SU-1 for C-2 with warehousing is consistent with the existing land use and zoning. (Warehousing limited to maximum square footage as shown on the development plan presented to us.)
2. The requested zone change provides the city with a vehicle by which the property can be monitored.
3. The requested zone change allows warehousing space to substitute for existing retail space.

SITE DEVELOPMENT

1. The combination of parking spaces in Phase I and II, meet the required parking spaces.
2. The Site Development Plan contains the elements required for site plan approval.
3. The proposed Building A will be similar in color and style to that of the existing building on site.

The Environmental Planning Commission voted to approve your Site Development Plan amendment with the following Conditions:

Conditions:

1. Raised curbing with sidewalk be provided at the west end of the parking area north of proposed Building A.
2. The refuse containers for proposed Building A be relocated in order to maintain the existing cross-street for the service station.
3. Repave parking area to allow dedication of needed right-of-way.
4. The sign be located out of the clear-sight-triangle and the sign base color noted on the elevation plan.
5. The required Phase I parking spaces be provided in Phase II.
6. Removal of all non-conforming, temporary, and portable signs.
7. Landscaping along Montgomery Boulevard and around Building A not to take up less than eight parking spaces and to the satisfaction of Planning Staff.
8. Raised curbing provided at the ends of the parking area west of the existing shopping center buildings and at the ends of the parking areas adjacent to proposed Building B.

Trammell Crow Company

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88 2062  
July 22, 1987

9. The offset alignment of the entry lane from Montgomery west of proposed Building B be corrected.
10. Handicap parking indicated on the Site Development Plan for proposed Building B.
11. Refuse container for proposed Building B if required by Staff.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY JULY 31, 1987, IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$40 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Any person aggrieved with any determination of the Environmental Planning Commission acting under this ordinance may file an appeal to the City Council by submitting written application on the Planning Division form to the Planning Division within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 60 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

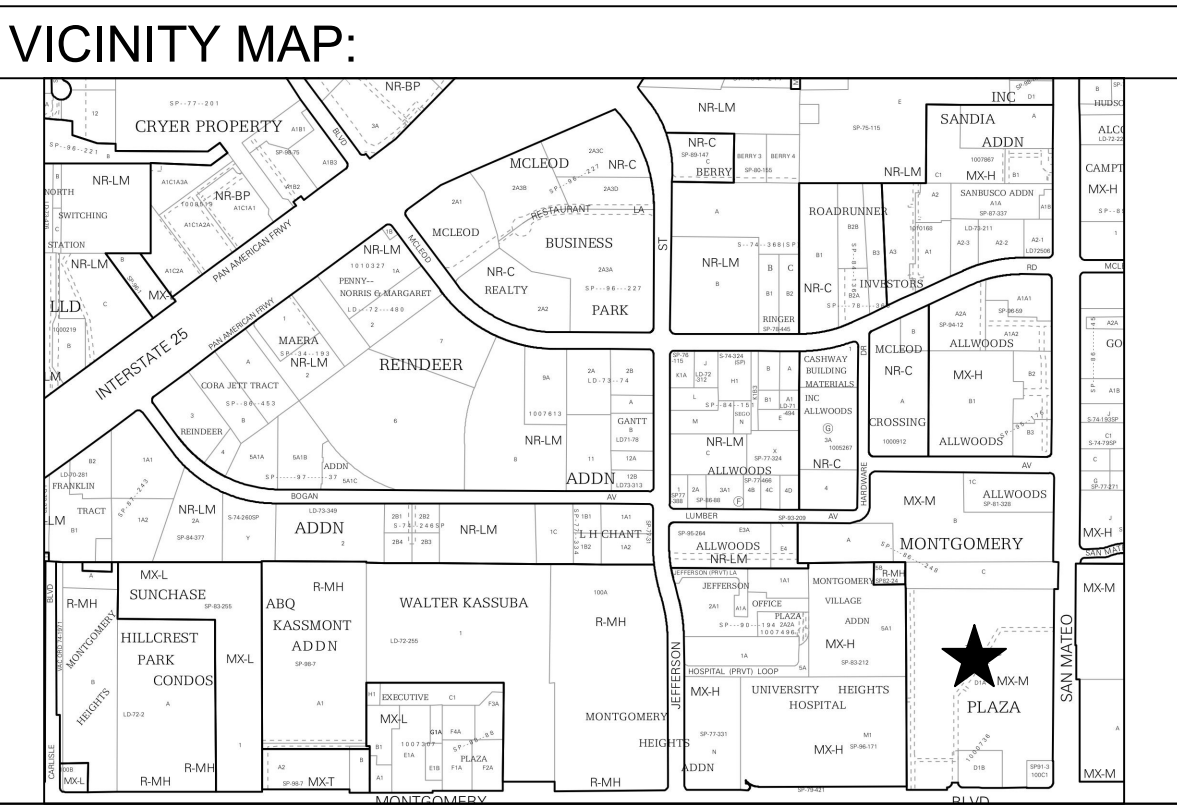
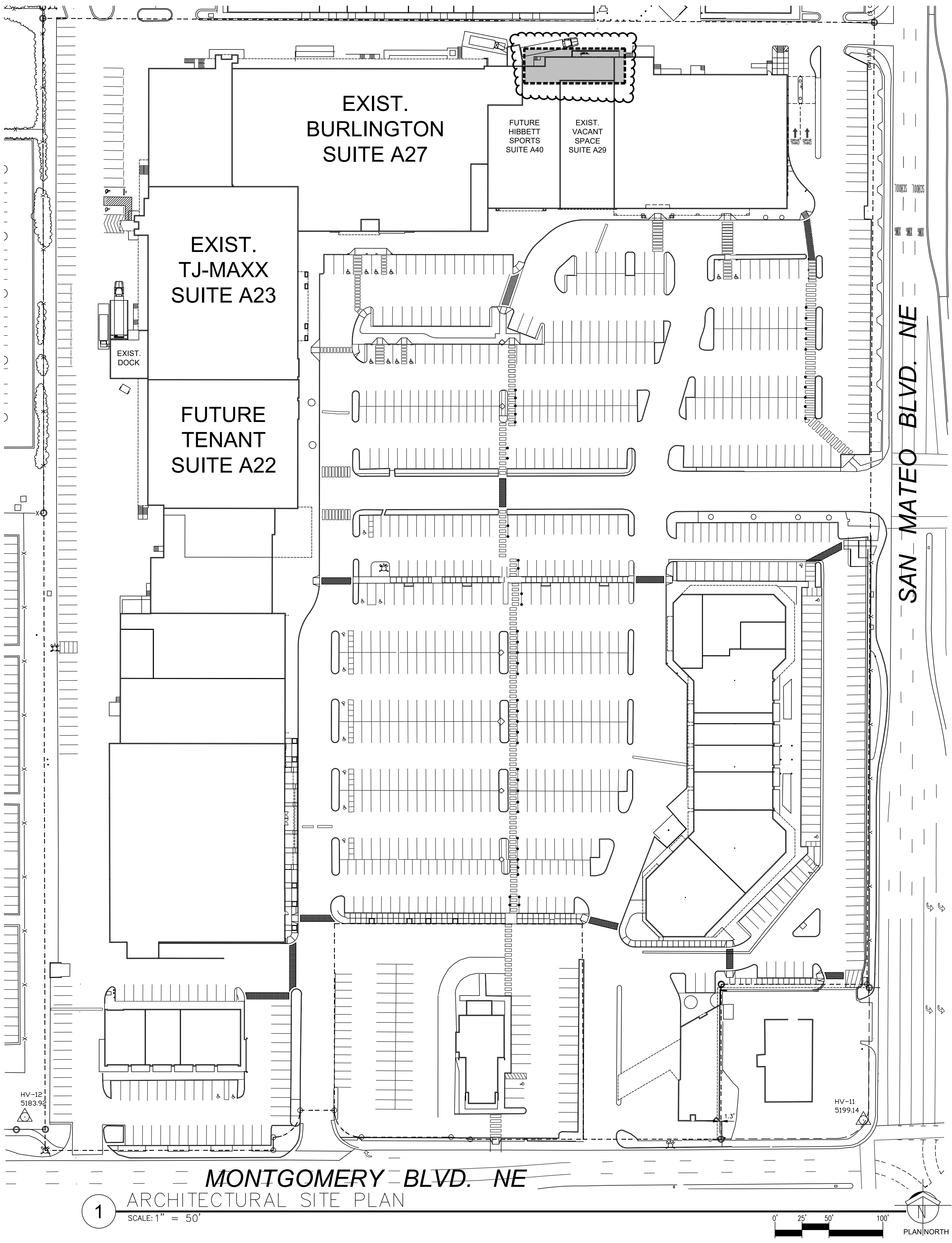
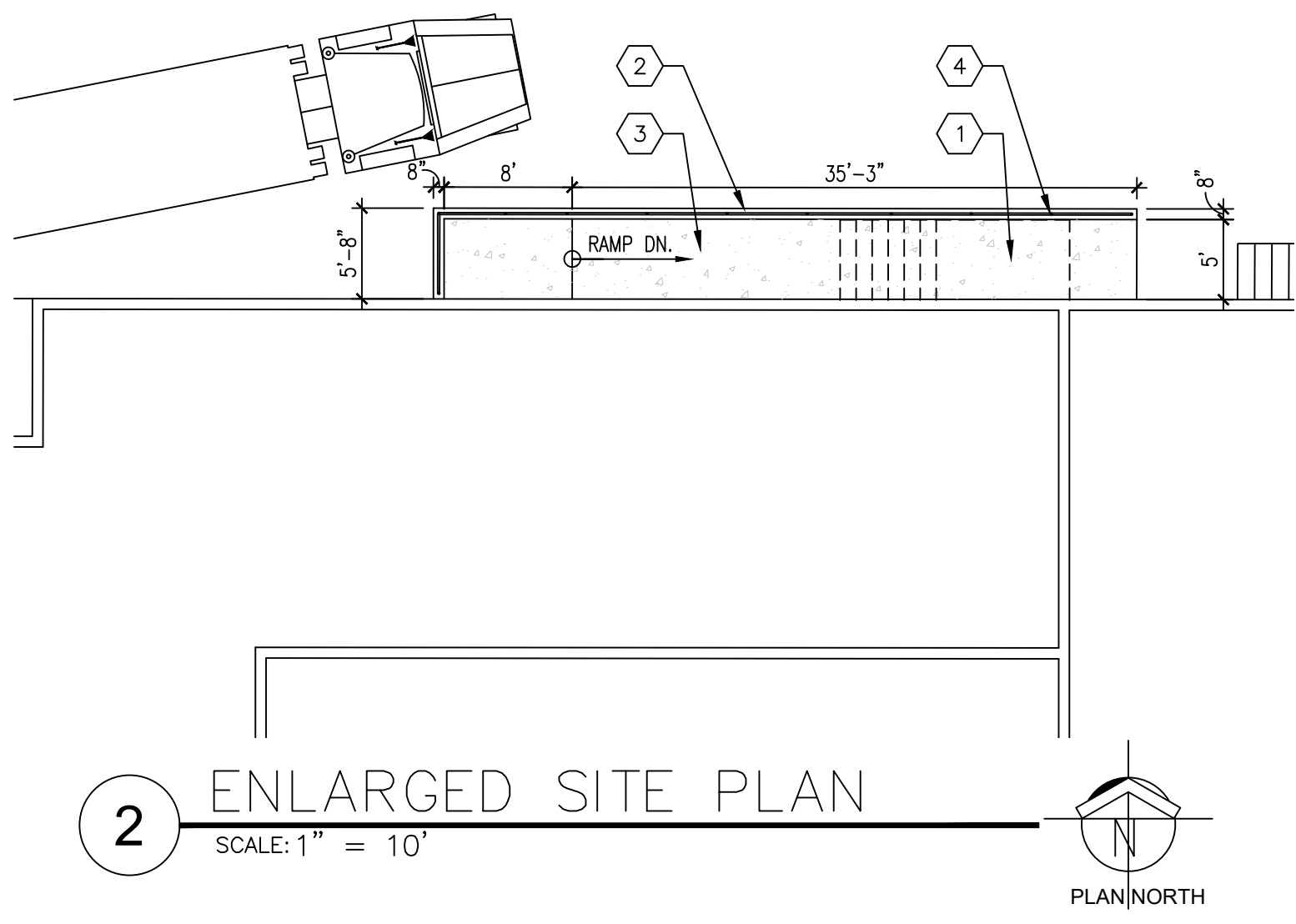
Sincerely,

*Richard Dineen*  
FRL Phil Garcia  
City Planner

PG/MJL/vb  
(7684L-13-14)

cc: AKT Architects, P.O. Box 3366 87190

# AMENDED PLANS



**SITE DATA:**

PROJECT ADDRESS:	5100 MONTGOMERY BLVD. NE
LEGAL DESCRIPTION:	TRACT D-1-A OF TRACTS D-1-A & D-1-B MONTGOMERY PLAZA
PROPERTY SIZE:	16.77 ACRES
CURRENT ZONING:	MX-M (MODERATE INTENSITY)
PROPOSED USE:	COMMERCIAL RETAIL
TOTAL BUILDING SIZE:	191,200 SF
TOTAL RENOVATION AREA:	40,038 SF
TOTAL ADDITION AREA:	2,260 SF

**GENERAL NOTES**

A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

**PARKING REQUIREMENTS**

MONTGOMERY PLAZA USE(S)	SQ. FT.	REQUIRED RATIO	TOTAL PARKING REQ'D	TOTAL PARKING PROVIDED
A - SHOPS	27,022	4 SPACES/1,000 SQ.FT. GFA	108	
B - COMMERCIAL	6,722	4 SPACES/1,000 SQ.FT. GFA	28	
C - BANK	3,672	3 SPACES/1,000 SQ.FT. GFA	10	
D - RESTAURANT	2,979	8 SPACES/1,000 SQ.FT. GFA	24	
E - RETAIL	140,108	4 SPACES/1,000 SQ.FT. GFA	560	
F - LOWER LEVEL STORAGE	51,092	1 SPACES/3,000 SQ.FT. GFA	17	
TOTAL SQUARE FOOTAGE	231,550		747	1,100*

\* NO CHANGES TO PARKING AS A RESULT OF THIS ADMINISTRATIVE AMENDMENT

- KEYED NOTES**
- DEMOLISH AND REMOVE EXISTING CONCRETE STAIR AND LANDING.
  - NEW CONCRETE RETAINING WALL, REFER TO STRUCTURAL FOR DETAILS
  - NEW CONCRETE LANDING AND RAMP, REFER TO STRUCTURAL FOR DETAILS
  - NEW 1.5" O.D. PAINTED STEEL PIPE RAILING, TOP RAIL TO BE 42" MIN. ABOVE RAMP SURFACE.

**GRAPHIC LEGEND**

AREA OF WORK.

REV	DATE	BY	REVISION

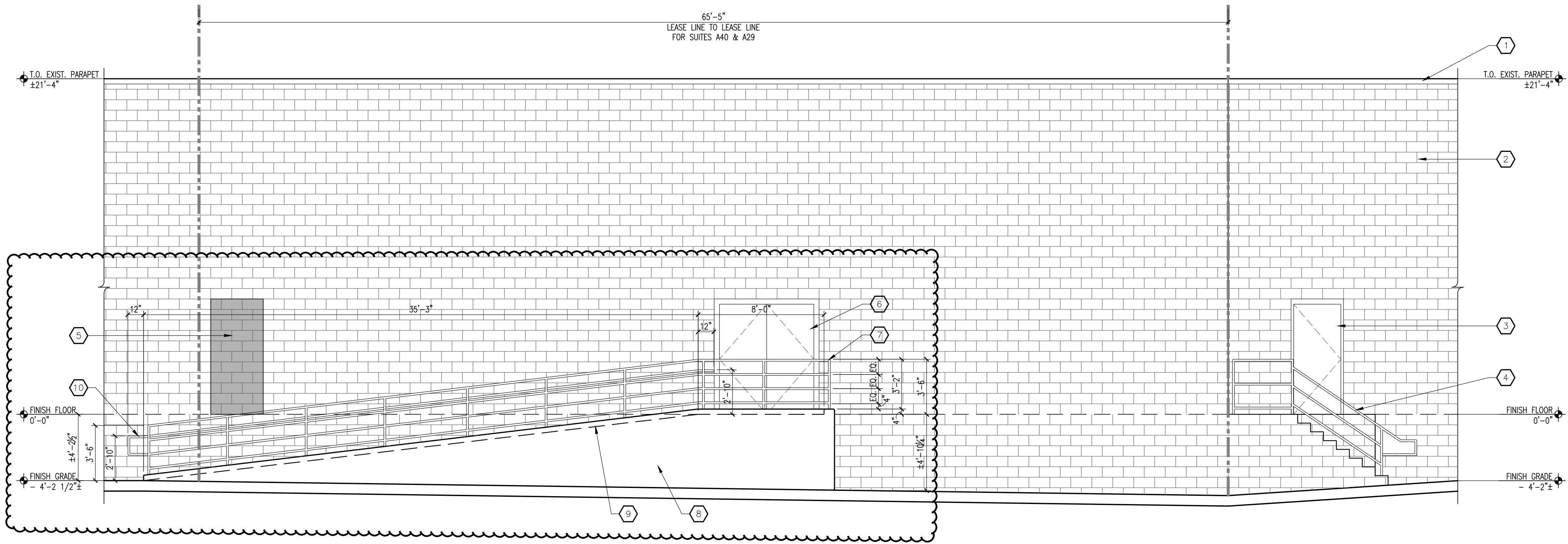
**MODULUS ARCHITECTS**

100 SUN AVENUE NE SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO  
STEPHEN A. DUNBAR  
No. 4218  
REGISTERED ARCHITECT  
9-9-24

**ADMINISTRATIVE AMENDMENT**

PROJECT TITLE LANDLORD WORK FOR FUTURE TENANT 5000 MONTGOMERY BLVD. NE, SUITES A-40 & A-29 ALBUQUERQUE, NM 87109	DATE 09/03/2024	SHEET AS NOTED
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --	DRAWN BY: CDC
SHEET TITLE ARCHITECTURAL SITE PLAN		

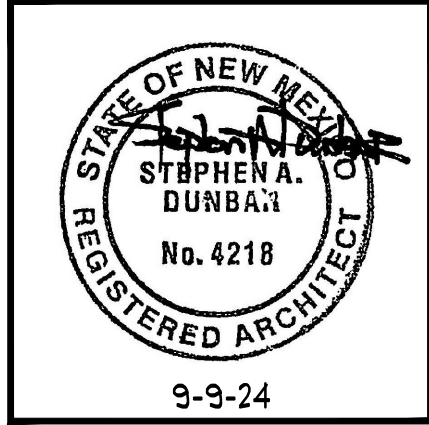


1 REAR (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

- KEYED NOTES:
- EXISTING METAL COPING TO REMAIN.
  - EXISTING CMU WALL TO REMAIN.
  - EXISTING METAL DOOR AND FRAME TO REMAIN.
  - EXISTING CONCRETE LANDING, STAIR AND RAILING TO REMAIN.
  - EXISTING METAL DOOR AND FRAME TO BE REMOVED AND INFILLED WITH CMU TO MATCH EXISTING.
  - NEW METAL DOOR AND FRAME AS SCHEDULED.
  - NEW 1½" O.D. STEEL PIPE GUARDRAIL, PAINT TO MATCH ADJACENT RAILINGS.
  - NEW CONCRETE RETAINING WALL, REFER TO STRUCTURAL.
  - NEW CONCRETE RAMP BEYOND, REFER TO STRUCTURAL.
  - NEW 1½" O.D. STEEL PIPE HANDRAIL, PAINT TO MATCH ADJACENT RAILINGS.

REV	DATE	BY	REVISION
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ADMINISTRATIVE AMENDMENT

PROJECT TITLE LANDLORD WORK FOR FUTURE TENANT 5000 MONTGOMERY BLVD. NE, SUITES A-40 & A-29 ALBUQUERQUE, NM 87109	DATE 09/09/2024	SHEET A201
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. --	DRAWN BY: CDC
SHEET TITLE REAR (NORTH) ELEVATION		